

FONTANA CITY HALL

03/25/2025

ENTITLEMENT SET

PROJECT ADDRESS:

8353 SIERRA AVE., FONTANA, CA 92335

CLIENT:

CITY OF FONTANA



AGENCY APPROVAL

CLIENT

BUILDER

REVISIONS

Date Description

ARCHITECT/CONSULTANT



PREPARED FOR THE

CITY OF FONTANA CALIFORNIA

PREPARED BY



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PROJECT NAME

FONTANA CITY HALL

PROJECT ADDRESS

8353 SIERRA AVE., FONTANA, CA 92335

PROJECT NO.

24013 A.P.

DATE

2/14/25 Author Checker

SHEET NAME

COVER SHEET

SHEET NO.

G000

VICINITY MAP



PROJECT DIRECTORY

CLIENT:

CITY OF FONTANA
8353 SIERRA AVE
FONTANA, CA 92335

ARCHITECT:

SILLMAN ARCHITECTS
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CONTACT:
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PARKING ANALYSIS

EXISTING PARKING LOT SPACES (WEST OF WHEELER AVE)	145
PARKING SPACES TO REMAIN	76
NEW PARKING SPACES	79
TOTAL PARKING SPACES	155
POST CONSTRUCTION (WEST OF WHEELER AVE)	

VEHICLE PARKING REQUIRED:

FONTANA MUNICIPAL CODE CHAPTER 30, ARTICLE III, DIV. IV SECTION 30-361

(N) FONTANA CITY HALL BLDG.	(E) DSO BLDG.
42,072 SF / 200 = 211 211 x 65% = 137	27,052 SF / 200 = 136 136 x 65% = 88

137 PARKING SPACES 88 PARKING SPACES

TOTAL PARKING NEW SPACES	ADA PARKING (CBC TABLE 11B-208.2 REQUIRED) PROVIDED	EV PARKING (CGBC TABLE 5.106.5.3.1 EV CAPABLE) REQUIRED PROVIDED	CLEAN AIR / CARPOOL SPACES (REQUIRED) PROVIDED
79	4 6	17 4	10 10

PER CBC 11B-208.2: ACCESSIBLE PARKING SPACE REQUIREMENTS PER TOTAL NUMBER OF PARKING SPACES BETWEEN 76 AND 100 = 4

PER CALGREEN 5.106.5.3.1: EV PARKING SPACE REQUIREMENTS PER TOTAL NUMBER OF PARKING SPACES BETWEEN 76 AND 100 = 4

PER CITY OF FONTANA: PARKING STALL SIZE FOR OPEN PARKING = 9'X19' UNLESS NOTED OTHERWISE BY CITY

BIKE PARKING REQUIRED:

FONTANA MUNICIPAL CODE CHAPTER 30, ARTICLE III, DIV. IV SECTION 30-393

(N) FONTANA CITY HALL BLDG.	(E) DSO BLDG.
42,072 SF / 1,500 = 28	27,052 SF / 1,500 = 18
28 BIKE SPACES	18 BIKE SPACES

BIKE STORAGE		CGBC 5.106.4.1	
SHORT TERM		LONG TERM	
REQUIRED	PROVIDED	REQUIRED	PROVIDED
4	450 SF	4	4

PER CAL GREEN 5.106.4.1: PROVIDE LONG TERM BICYCLE PARKING FOR 5% OF THE PARKING SPACE NUMBER. 5% x 79 = 3.95

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CIVIL

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LANDSCAPE

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ARCHITECTURAL

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PROJECT INFORMATION

ASSESSOR'S PARCEL NO.: 0192-031-23-0-000 AND 192-031-24-0-000

LEGAL DESCRIPTION:

ALL OF BLOCK 8, FONTANA TOWNSITE, AS PER PLAT RECORDED IN BOOK 19 OF MAPS, PAGES 53 AND 54, RECORDS OF SAID COUNTY, TOGETHER WITH THAT PORTION OF THE WEST HALF OF WHEELER AVENUE, AS SHOWN ON SAID MAP, AS VACATED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF SAN BERNARDINO COUNTY, A CERTIFIED COPY OF SAID RESOLUTION BEING RECORDED OCTOBER 21, 1948, IN BOOK 2309, PAGE 554, OFFICIAL RECORDS, AND BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, A CERTIFIED COPY OF WHICH WAS RECORDED NOVEMBER 24, 1986, AS INSTRUMENT NO. 88-355438, OFFICIAL RECORDS, WHICH WOULD PASS WITH A CONVEYANCE OF SAID BLOCK BY OPERATION OF LAW.

EXCEPTING THEREFROM THE WESTERLY 45.5 FEET OF SAID BLOCK 8 (AS MEASURED FROM THE CENTER LINE OF SIERRA AVENUE, ORIGINALLY 60 FEET WIDE), AS GRANTED TO THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITICAL, OF THE STATE OF CALIFORNIA, BY DEED RECORDED FEBRUARY 15, 1951, IN THE BOOK 2718, PAGE 373, OFFICIAL RECORDS.

SETBACKS:

PER FMC SEC. 30-361

FRONT STREET = 5 FT MIN TO 25 FT MAX

SIDE STREET = 0 FT MIN TO 15 FT MAX

REAR STREET = 10 FT

BASE ZONE: CIVIC CORE DISTRICT

CONSTRUCTION TYPE: II-B

OCCUPANCY GROUP(S): B, A-3, S-2

STORIES ABOVE GRADE: 2

GROSS BLDG AREA SUMMARY

TYPE II-B BUILDING AREA

LEVEL	AREA
LEVEL 1	16,810 S.F.
LEVEL 2	25,262 S.F.
NUMBER OF FLOORS: 2	TOTAL: 42,072 S.F.

SEE SHEET G004 FOR ALLOWABLE AREA DETERMINATION/PLAN

SCOPE OF WORK

COMPLETE DEMOLITION OF THE EXISTING MUNICIPAL BUILDING, AND THE CONSTRUCTION OF A NEW TWO-STORY FACILITY. THE NEW BUILDING WILL ENCOMPASS APPROXIMATELY 42,000 SQ. FT. WITH A MULTI-LEVEL EXTERIOR PLAZA OF ROUGHLY 14,000 SQ. FT. AND 75 NEW GROUND-LEVEL PARKING SPACES FOR STAFF AND VISITORS.

SOUTHWEST
AERIAL
VIEW



VIEW FROM
PARKING
LOT



AGENCY APPROVAL

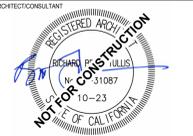
CLIENT

BUILDER

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12/16/24

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SHEET NAME

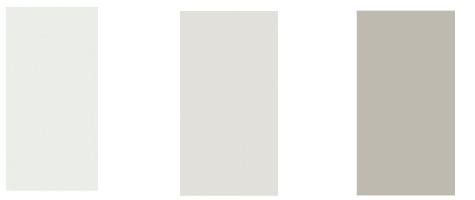
RENDERINGS

SHEET NO.

G010



**INSULATED COMPOSITE METAL PANEL
RAINSCREEN SYSTEM**



- ① COLOR 1 - WHITE - "PURE WHITE" (TO MATCH DSO BLDG)
- ② COLOR 2 - LIGHT WARM GREY - "ALABASTER" (TO MATCH PHASE 1 BLDG)
- ③ COLOR 3 - MEDIUM WARM GREY - "BEIGE" (TO MATCH PHASE 1 BLDG)

**LARGE FORMAT CERAMIC PANEL
RAINSCREEN SYSTEM**



- ④ COLOR 1 - TEXTURED WARM GREY
- ⑤ COLOR 2 - TEXTURED ORANGE TERRACOTTA
- ⑥ COLOR 3 - LIGHT TAN

WINDOW AND CURTAIN WALL SYSTEMS



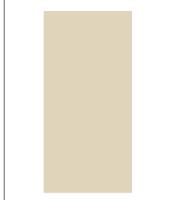
- ⑦ GLASS 1 - CLEAR LOW-E GLASS
- ⑧ GLASS 2 - CLEAR LOW IRON, LOW-E GLASS
- ⑨ SPANDREL GLASS - COOL MEDIUM GREY
- ⑩ SEALANT - CHARCOAL GREY

MISCELLANEOUS METAL AND STEEL



- ⑪ MULLIONS & FLASHING - MEDIUM BRONZE / GUN METAL PAINTED ALUMINIUM (TO MATCH PHASE 1 BLDG)
- ⑫ EXPOSED STRUCTURE & CANOPY - GUN METAL GREY
- ⑬ PERFORATED ALUMINIUM SCREEN FINNS - ANODIZED GUN METAL GREY
- ⑭ WIRE MESH - DARK GREY

CONCRETE



- ⑮ GRAND PLAZA STAIRWAY

INTERIOR



- ⑯ WOOD SLAT FINISH

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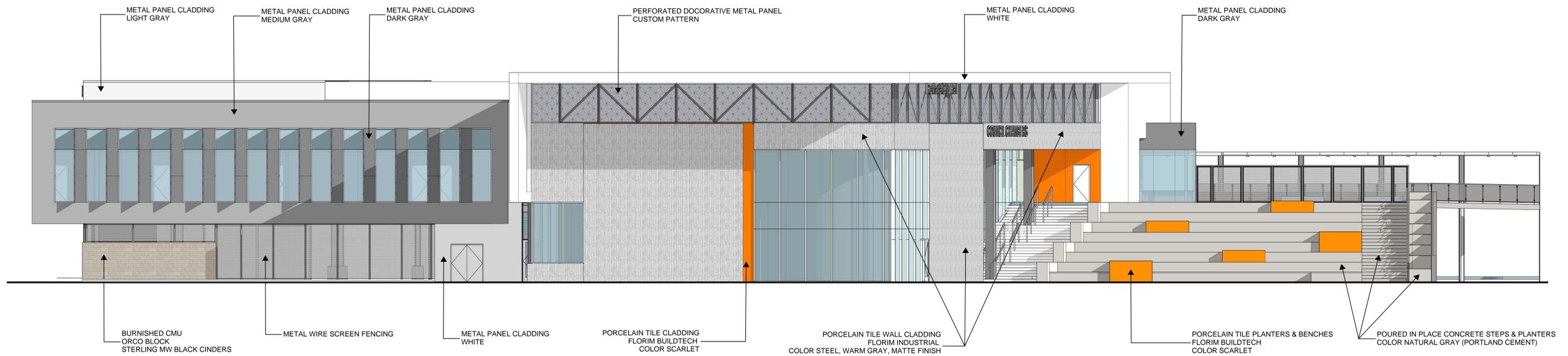
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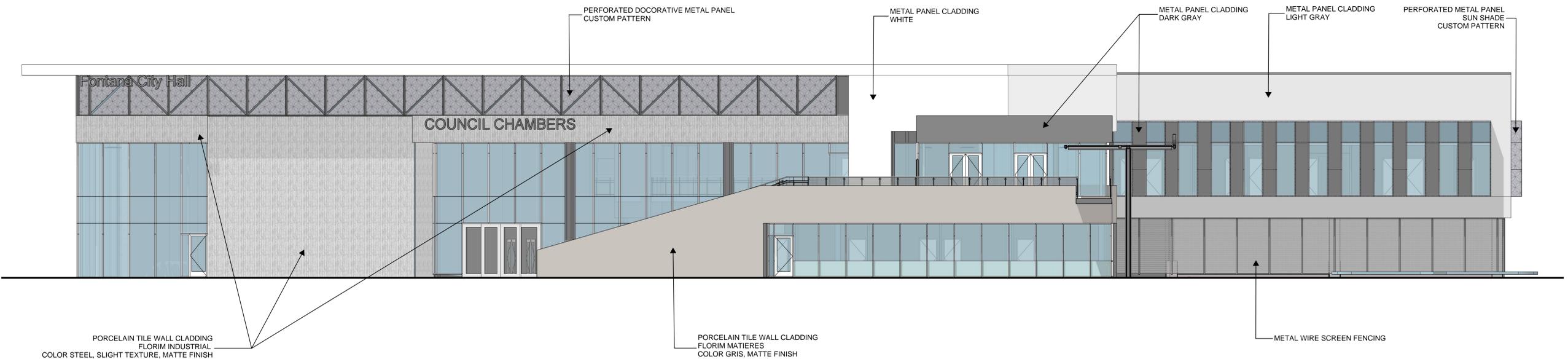
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SHEET NAME
MATERIAL BOARD

SHEET NO.
G011



WEST ELEVATION



SOUTH ELEVATION

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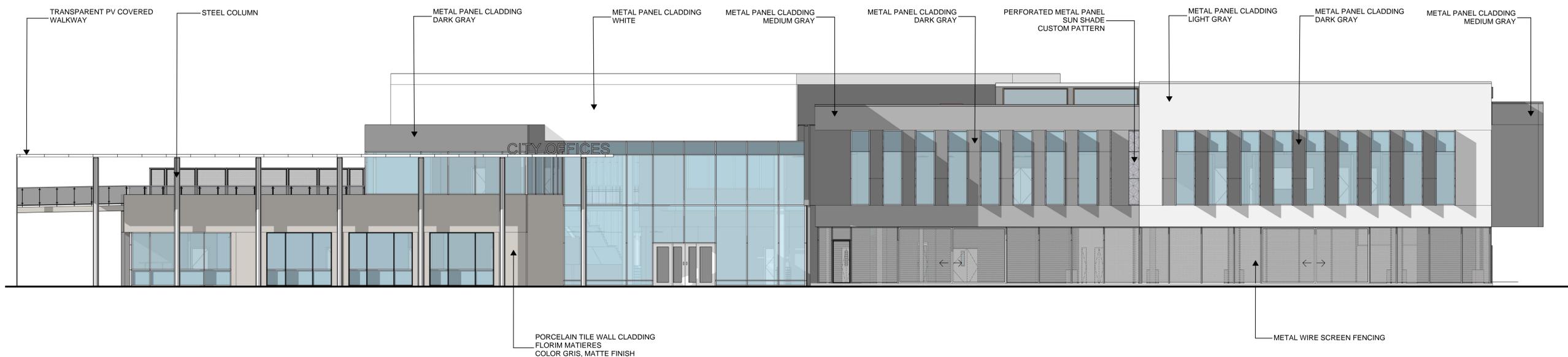
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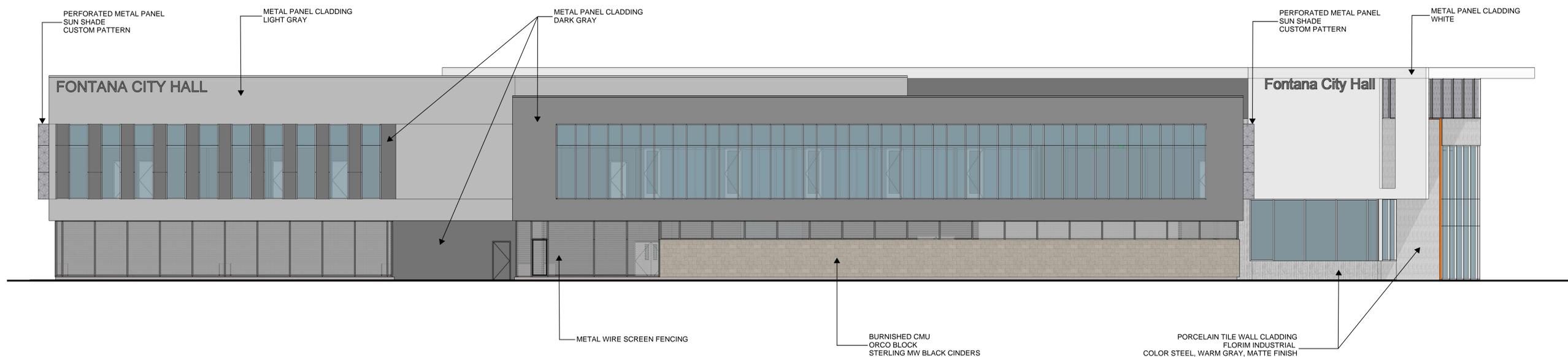
COLORED ELEVATIONS

SHEET NO.

G012



EAST ELEVATION



NORTH ELEVATION

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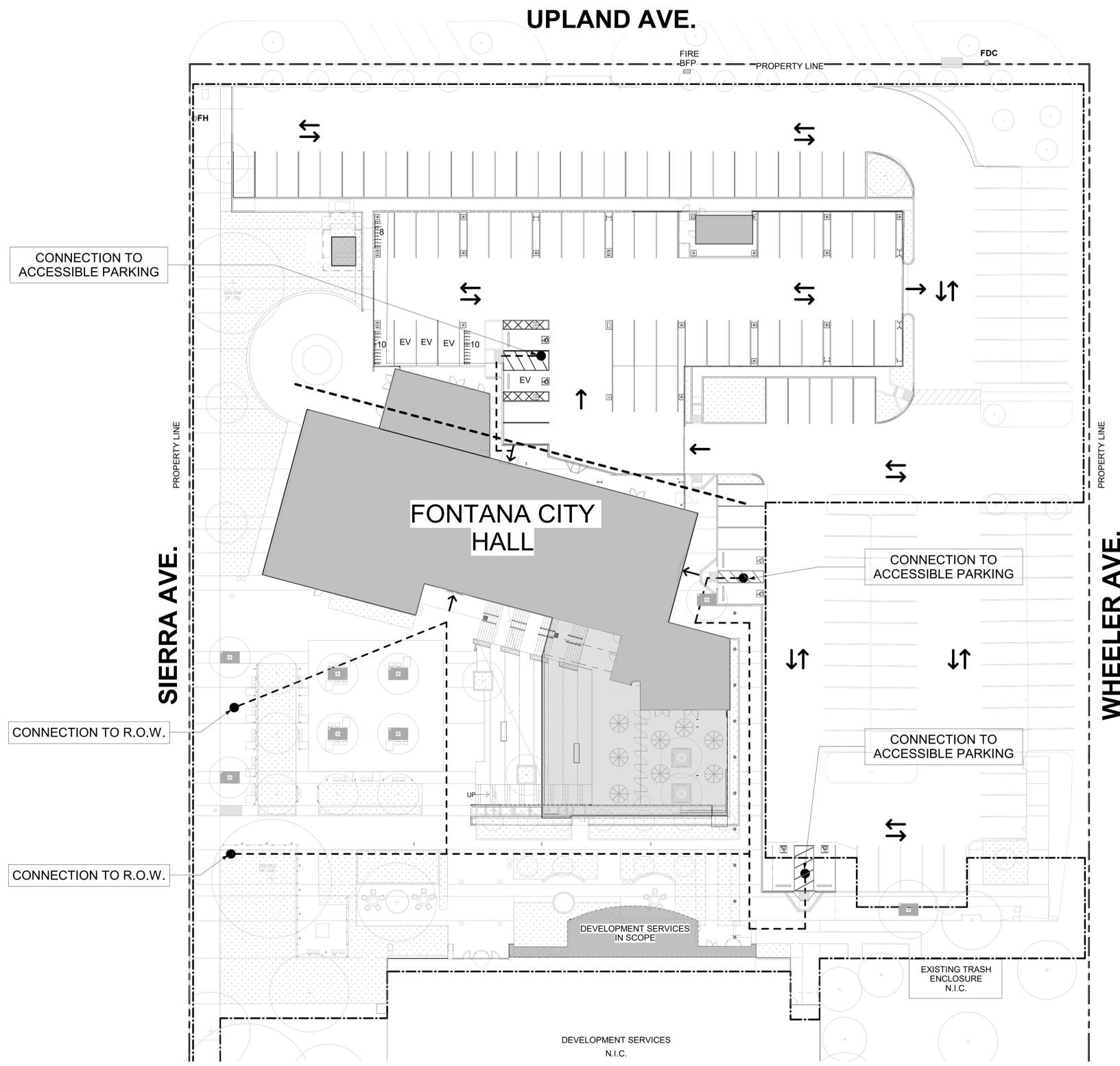
2/14/25 Author
Checker

SHEET NAME

COLORED ELEVATIONS

SHEET NO.

G013



GENERAL NOTES

KEYNOTES

LEGEND

- PROPERTY LINE
- INDICATES MAIN BUILDING ENTRY
- INDICATES ACCESSIBLE PATH OF TRAVEL (POT)
- LANDSCAPING AREAS
- CONCRETE SIDEWALK

GRAPHIC SCALE

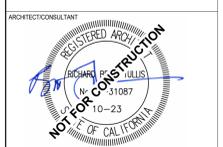


AGENCY APPROVAL

CLIENT

BUILDER

REVISIONS
Date Description



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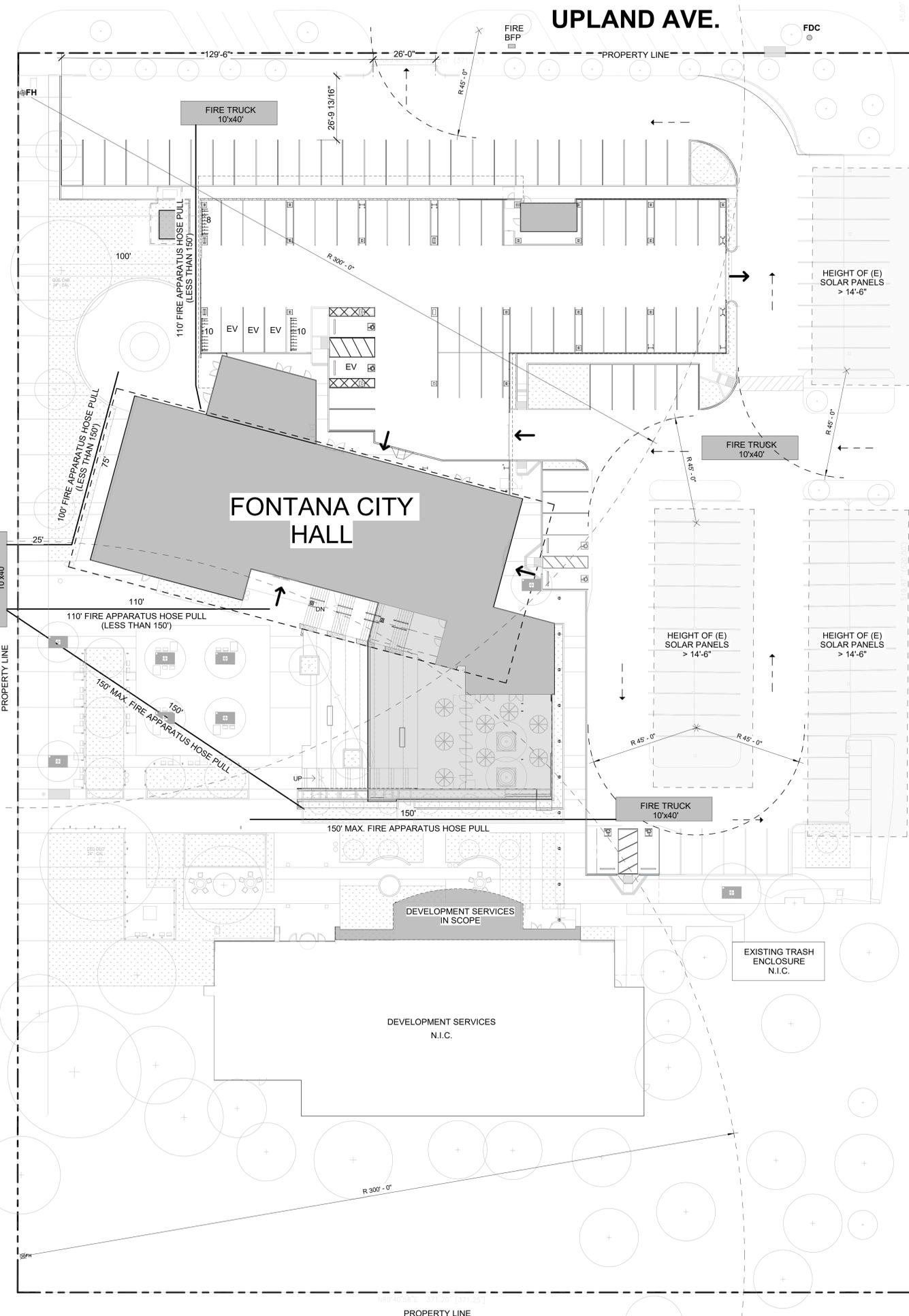
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SHEET NAME
ACCESSIBILITY SITE PLAN

SHEET NO.
G101

1 OVERALL SITE ACCESSIBILITY PLAN

G101 SCALE: 1" = 20'-0"
REF: A301



1 FIRE DEPARTMENT ACCESS PLAN
 G102 SCALE: 1" = 20'-0"
 REF: A301

UPLAND AVE.

SIERRA AVE.

WHEELER AVE.

SEVILLE AVE.

GENERAL NOTES

- BUILDING ADDRESS NUMBERS(S) SHALL BE VISIBLE AND LEGIBLE FROM THE STREET/ROAD FRONTING THE PROPERTY.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL FIRE ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S).
- ALL REQUIRED ACCESS ROADWAYS SHALL NOT PROVIDE LESS THAN THE REQUIRED/APPROVED WIDTH AND/OR BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE INADEQUATE WIDTH HAS NOT PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEN SUCH ACCESS SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS.
- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION.
- FIRE HYDRANTS SHALL BE LOCATED NO FURTHER APART THAN 600', MEASURED ON CENTER. IN ADDITION, A FIRE ENGINE SHALL TRAVEL NO FURTHER THAN 300' IN ANY DIRECTION TO REACH A HYDRANT. THESE DISTANCES ARE MEASURED ALONG THE FIRE ACCESS ROADWAY. WHERE FIRE HYDRANTS ARE VULNERABLE TO VEHICULAR DAMAGE, APPROPRIATE CRASH POSTS SHALL BE PROVIDED. NO OBSTRUCTIONS SHALL EXIST WITHIN 3' OF THE HYDRANT. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT.
- ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S). HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200' INCLUDING CHANGE IN VERTICAL ELEVATION.
- EXTERIOR DOORS AND OPENINGS REQUIRED BY CFC/CBC SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM THE FIRE APPARATUS ACCESS ROAD(S) TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE CODE OFFICIAL.
- WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND THE EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.
- ALL BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATOR(S) SHALL BE PROVIDED WITH NO LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE PROVISIONS OF SECTION 3002.4A.

LEGEND

- PROPERTY LINE
- INDICATES BUILDING/STRUCTURE
- INDICATES (E) PV PANELS
- INDICATES FIRE TRUCK TURN RADIUS
- INDICATES FIRE TRUCK DIRECTION
- INDICATES MAIN BUILDING ENTRY
- FIRE TRUCK 10' X 40'
- INDICATES FIRE HOSE REACH
- FH INDICATES (E) FIRE HYDRANT
- FDC INDICATES (E) FIRE DEPARTMENT CONNECTION
- FIRE BFP INDICATES (E) BACK FLOW PREVENTER

GRAPHIC SCALE



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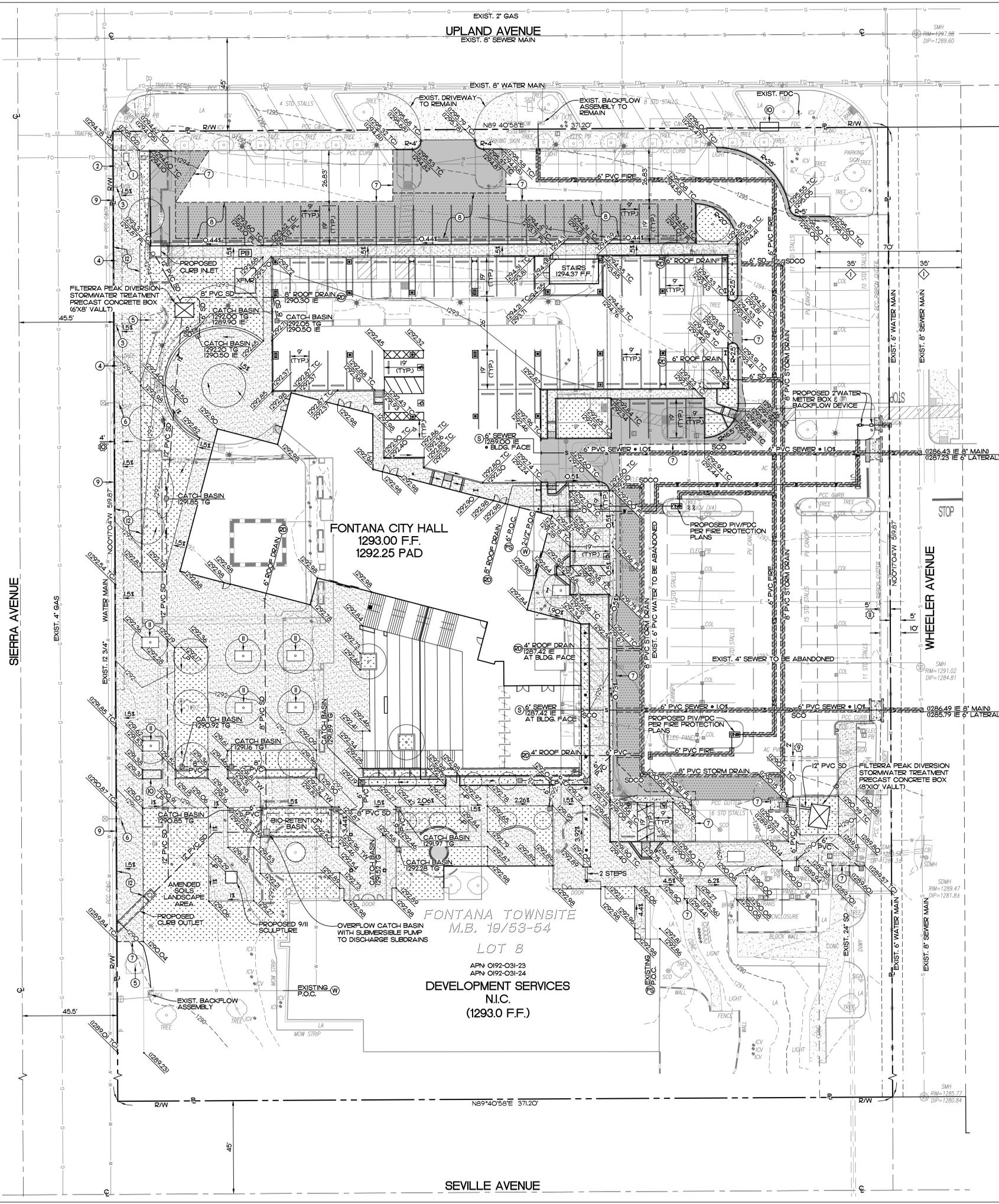
PROJECT NO.
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SHEET NAME
FIRE DEPARTMENT ACCESS SITE PLAN

SHEET NO.
G102

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LEGEND

IMPROVEMENT	SYMBOL
PROPERTY LINE	---
RIGHT OF WAY	---
EXISTING CONTOUR	---
EXISTING CONCRETE PAVEMENT	---
EXISTING A.C. PAVEMENT	---
EXISTING OVER-HEAD LIGHT	*
EXISTING FIRE HYDRANT	⊕
EXISTING TREE W/ TRUNK DIAMETER	⊙
EXISTING STORM DRAIN	---
EXISTING ELECTRICAL	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING FIBER OPTIC	---
EXISTING GAS	---
EXISTING TRAFFIC SIGNAL	---
EXISTING WALL	---
PROPOSED A.C. PAVEMENT & BASE	---
PROPOSED IMPVIOUS PEDESTRIAN PAVING SEE LANDSCAPE PLANS	---
PROPOSED A.C. GRIND & OVERLAY	---
PROPOSED LANDSCAPE/PLANTER AREA SEE LANDSCAPE PLANS	---
PROPOSED CONTOUR	---
PROPOSED SPOT ELEVATION	---
PROPOSED CONCRETE CURB	---
PROPOSED CONCRETE CURB/GUTTER	---
PROPOSED CONCRETE SWALE	---
PROPOSED PVC SDR-35 STORM DRAIN	---
PROPOSED STORMDRAIN CATCH BASIN	---
PROPOSED STORMDRAIN CURB INLET	---
PROPOSED STORMWATER TREATMENT BOX	---
PROPOSED DOMESTIC WATER SERVICE	---
PROPOSED FIRE SERVICE	---
PROPOSED SEWER LATERAL	---
PROPOSED WATER P.O.C.	---
PROPOSED FIRE SERVICE P.O.C.	---
PROPOSED SEWER P.O.C.	---
PROPOSED ROOF DRAIN P.O.C.	---
PROPOSED A.C. TRENCH REPAIR	---
LIMITS OF SAWCUT	---
DIRECTION OF FLOW	---

ABBREVIATIONS

- AC - INDICATES ASPHALT
- APN - INDICATES ASSESSORS PARCEL NUMBER
- BFA - INDICATES BACKFLOW ASSEMBLY
- CB - INDICATES CATCH BASIN
- CL - INDICATES CENTERLINE
- COMM - INDICATES COMMUNICATION
- CONC - INDICATES CONCRETE
- CG - INDICATES CURB & GUTTER
- DWVY - INDICATES DRIVEWAY
- ELEC - INDICATES ELECTRIC
- FDC - INDICATES FIRE DEPARTMENT CONNECTION
- FF - INDICATES FINISH FLOOR
- FH - INDICATES FIRE HYDRANT
- FL - INDICATES FLOW LINE
- FS - INDICATES FINISH SURFACE
- FO - INDICATES FIBER OPTIC
- G - INDICATES GAS
- ICV - INDICATES IRRIGATION CONTROL VALVE
- IE - INDICATES INVERT ELEVATION
- LA - INDICATES LANDSCAPE AREA
- N.I.C. - INDICATES NOT IN CONTRACT
- PB - INDICATES PULL BOX
- PCC - INDICATES PORTLAND COMPOSITE CEMENT
- R - INDICATES PROPERTY LINE
- PIV - INDICATES POST INDICATOR VALVE
- P.O.C. - INDICATES POINT OF CONNECTION
- PV - INDICATES PHOTOVOLTAIC
- PVC - INDICATES POLYVINYL CHLORIDE
- RD - INDICATES ROOF DRAIN
- R/W - INDICATES RIGHT OF WAY
- R - INDICATES RADIUS
- S - INDICATES SEWER
- SCE - INDICATES SOUTHERN CALIFORNIA EDISON
- SCO - INDICATES SEWER CLEANOUT
- SD - INDICATES STORM DRAIN
- SDCO - INDICATES STORM DRAIN CLEANOUT
- SMH - INDICATES SEWER MAN-HOLE
- STD - INDICATES STANDARD
- TBD - INDICATES TO BE DETERMINED
- TC - INDICATES TOP OF CURB
- TG - INDICATES TOP OF GRATE
- TS - INDICATES TRAFFIC SIGNAL
- W - INDICATES WATER
- WM - INDICATES WATER METER
- XFMR - INDICATES TRANSFORMER

LEGAL DESCRIPTION

ALL OF BLOCK 8, FONTANA TOWNSITE, AS PER PLAT RECORDED IN BOOK 19 OF MAPS, PLATS AND RECORDS OF SAID COUNTY, TOGETHER WITH THAT PORTION OF THE WEST HALF OF WHEELER AVENUE, AS SHOWN ON SAID MAP, AS VACATED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF SAN BERNARDINO COUNTY, A CERTIFIED COPY OF SAID RESOLUTION BEING RECORDED OCTOBER 21, 1948, IN BOOK 2309, PAGE 554, OFFICIAL RECORDS, AND BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, A CERTIFIED COPY OF WHICH WAS RECORDED NOVEMBER 24, 1986 AS INSTRUMENT NO. 86-355438, OFFICIAL RECORDS, WHICH WOULD PASS WITH A CONVEYANCE OF SAID BLOCK BY OPERATION OF LAW,

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APN 0192-031-23-000 AND 0192-031-24-0-000

BASIS OF BEARINGS

THE BEARING OF THE CENTERLINE OF SIERRA AVENUE, FROM SEVILLE AVENUE TO UPLAND AVENUE IS NORTH 07°04'00" WEST ON RECORD OF SURVEY NO. 99-0136, FILED IN BOOK 113, PAGE 65, IS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

CITY OF FONTANA BENCHMARK # 156

TOP SCREW IN THE NORTH-WEST CORNER OF UPLAND WEST & MANGO AVENUE

ELEVATION 1297.54

EASEMENT EXCEPTIONS

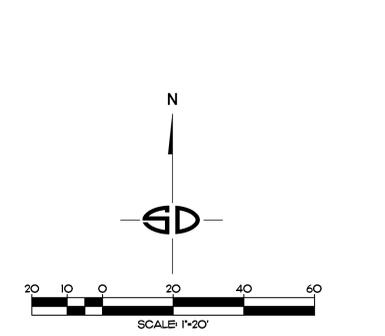
THE FOLLOWING EASEMENT EXCEPTION ITEMS REFER TO EASEMENTS LISTED IN PRELIMINARY REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY DATED MAY 10, 2024 ORDER NO. NCS-1219777-0NT1

- ① AN EASEMENT FOR RIGHT OF WAY FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED JANUARY 18, 1910 IN BOOK 449, PAGE 360 OF DEEDS AND AS CONTAINED IN CORRECTION DEED RECORDED JANUARY 19, 1910, IN BOOK 449, PAGE 357 OF DEEDS.
- IN FAVOR OF: FONTANA WATER COMPANY
- ② THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- ③ AN EASEMENT FOR RIGHTS OF WAY FOR PIPE LINE FOR THE DISTRIBUTION OF WATER AND INCIDENTAL PURPOSES, RECORDED JANUARY 14, 1941 IN BOOK 1489, PAGE 494 OF OFFICIAL RECORDS.
- IN FAVOR OF: FONTANA UNION WATER COMPANY
- ④ THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- ⑤ AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 31, 1954 IN BOOK 3537, PAGE 574 OF OFFICIAL RECORDS.
- IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
- ⑥ AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JUNE 14, 1957 IN BOOK 4256, PAGES 549 AND 550 OF OFFICIAL RECORDS.
- IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
- ⑦ AN EASEMENT FOR CONVEYING WATER AND FURNISHING WATER SERVICE AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 29, 1988 AS INSTRUMENT NO. 88-060475 OF OFFICIAL RECORDS.
- IN FAVOR OF: SAN GABRIEL VALLEY WATER COMPANY, A CORPORATION, ITS SUCCESSORS AND ASSIGNS

VACATION

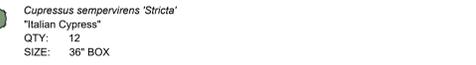
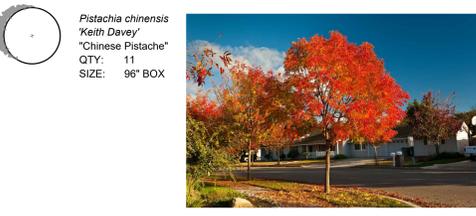
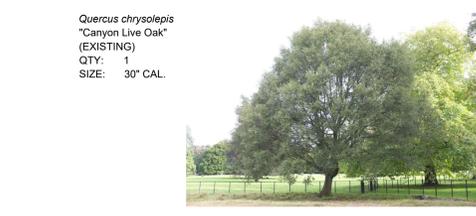
⑧ VACATED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF SAN BERNARDINO COUNTY, RECORDED OCTOBER 21, 1948, IN BOOK 2309, PAGE 554, OFFICIAL RECORDS, AND BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, RECORDED NOVEMBER 24, 1986 AS INSTRUMENT NO. 86-355438, OFFICIAL RECORDS.

- CONSTRUCTION NOTES**
- ① EXIST. ELECTRICAL WALL TO BE PROTECTED IN-PLACE, ADJUST TO FINISH SURFACE.
 - ② EXIST. FIRE HYDRANT TO REMAIN.
 - ③ EXISTING SIGN TO BE REMOVED AND REPLACED.
 - ④ EXISTING STREET TREE TO BE REMOVED.
 - ⑤ EXISTING STREET TREE TO REMAIN.
 - ⑥ EXISTING STREET LIGHT TO BE REPLACED WITH EN-HANCED STREET LIGHT PER DOWNTOWN CARE PROJECT.
 - ⑦ SAWCUT & MATCH EXISTING PAVEMENT (TYP.).
 - ⑧ APPROXIMATE LIMITS OF GRIND & OVERLAY.
 - ⑨ EXISTING CURB/GUTTER TO REMAIN. MATCH CONC. PAVEMENT TO BACK OF CURB (TYP.).
 - ⑩ PROPOSED FLAGPOLE AND MONUMENT SIGN.
 - ⑪ PROPOSED TREE WELL (TYP.).
 - ⑫ REMOVE AND REPLACE SIDEWALK PER CITY STANDARDS (TYP.).



ENGINEER OF WORK
Snipes Dga associates
civil engineers and land surveyors
 8348 CENTER DRIVE, SUITE G, LA MESA, CA 91942
 TELEPHONE (619) 997-9234 FAX (619) 460-2033
 03/25/25
 WILLIAM A. SNIPES R.C.E. 50477
 EXPIRES 06-30-25

AGENCY APPROVAL	
CLIENT	
BUILDER	
REVISIONS	
Date	Description
PROJECT/CONSULTANT	
PREPARED FOR THE	
CITY OF FONTANA CALIFORNIA	
PREPARED BY	
7515 Metropolitan Dr. Suite 400 San Diego, CA 92108 T 619.294.7515 www.sillmanarch.com	
PROJECT NAME	
FONTANA CITY HALL	
PROJECT ADDRESS	
8353 SIERRA AVE., FONTANA, CA 92335	
PROJECT NO.	A.P.
24013	
DATE	Author Checker
03/25/25	
SHEET NAME	
CONCEPTUAL GRADING PLAN	
SHEET NO.	
C100	



LANDSCAPE TABULATIONS

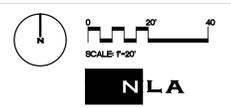
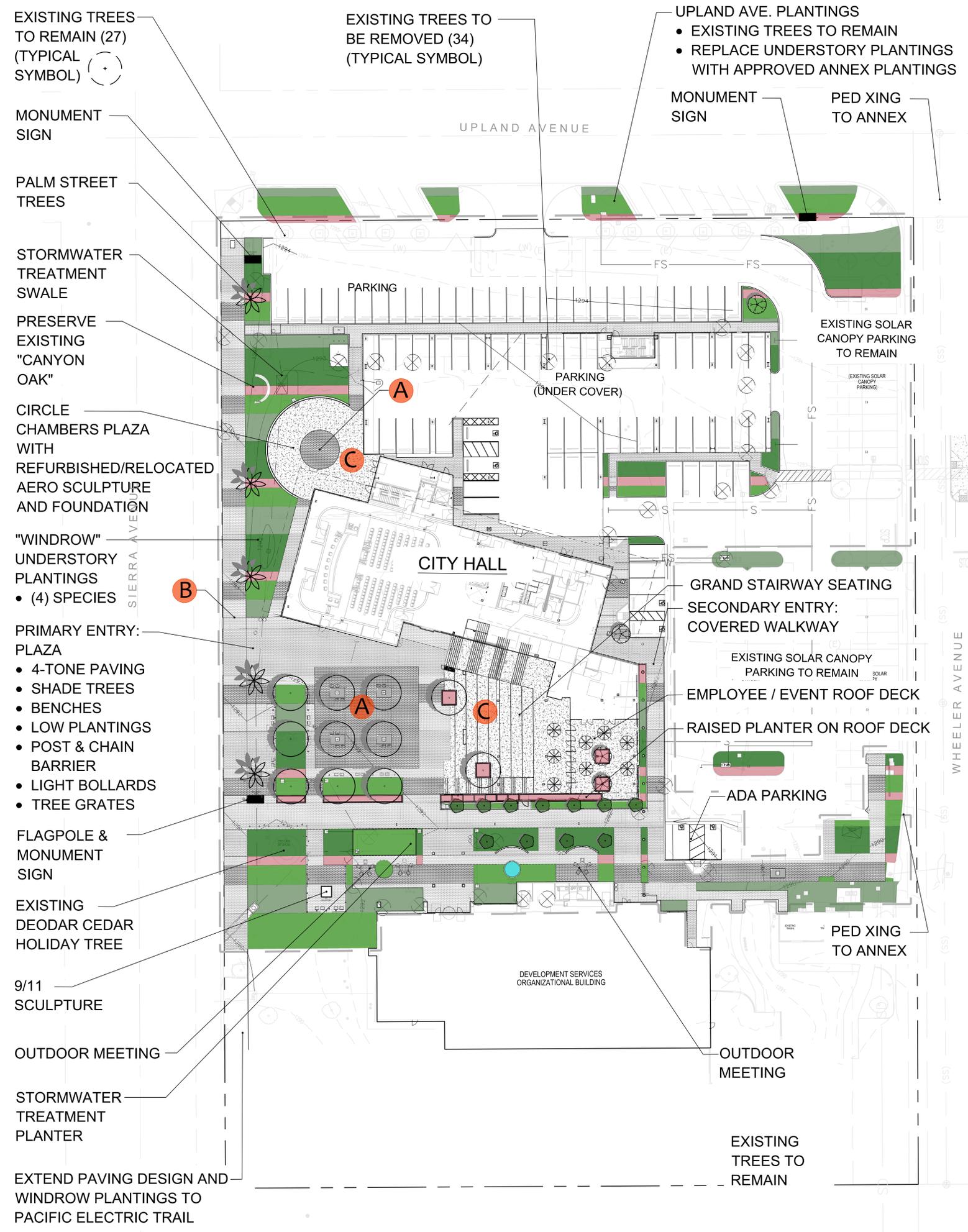
TOTAL SITE AREA:	135,021 SF
PLANTING AREA:	20,590 SF (15.24%)
SITE:	14,708 SF (10.89%)
PKG:	5,882 SF (4.35%)
OFFSITE PLANTING AREA:	2,148 SF
PLANT QTY:	2,751 @ 36" O.C.
PLANT SIZE:	5 GALLON
EXISTING TREES TO REMAIN:	27
EXISTING TREES TO BE REMOVED:	34
NEW TREES:	29
HARDSCAPE AREA:	36,667 SF (27.15%)
TOTAL LANDSCAPE AREA:	57,257 SF (42.40%)

PLANTING LEGEND

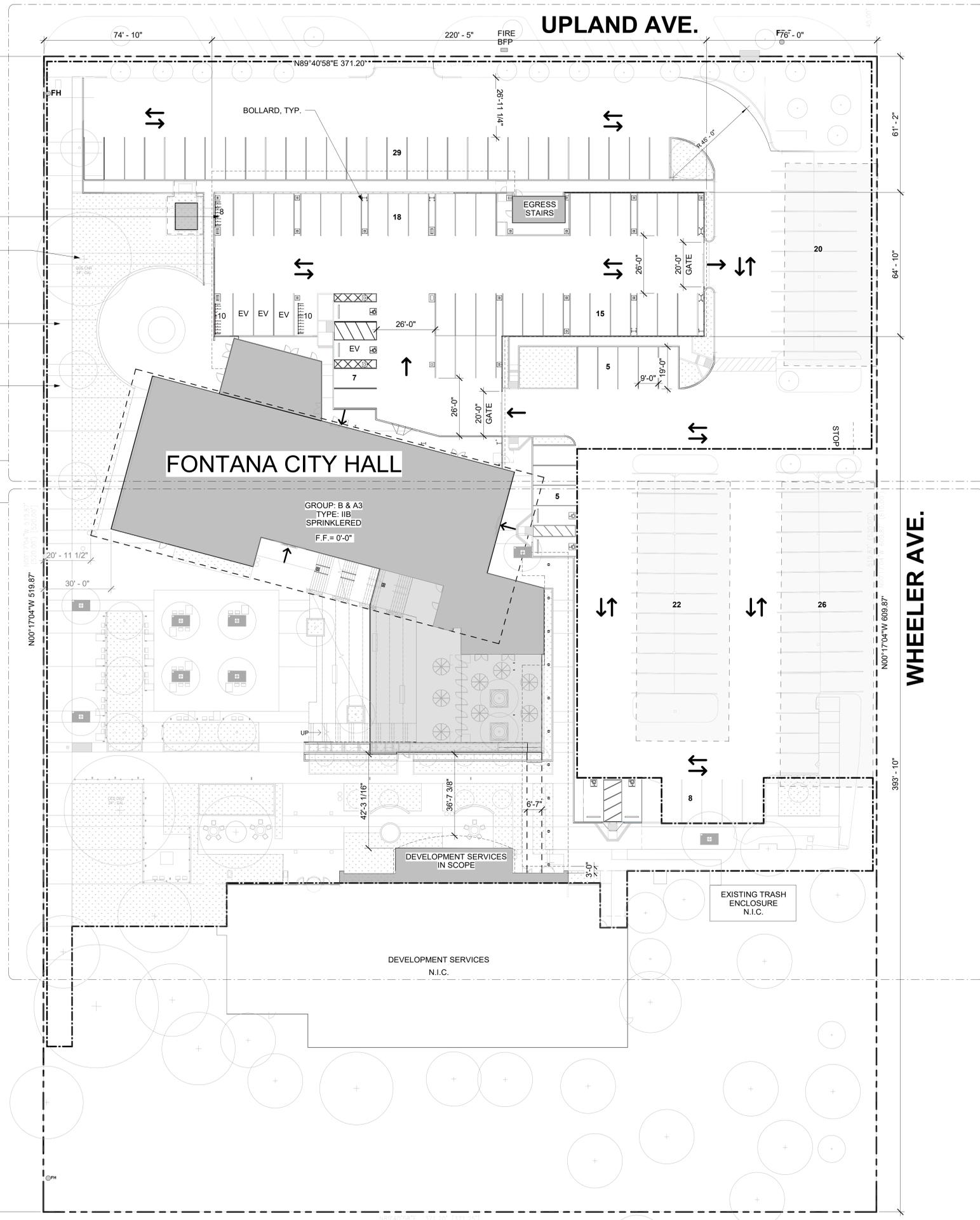
SHRUB PLANTING AREA: 22,338 SF (17.11%)	20,590 SF
SITE: 16,456 SF (12.61%)	
PKG: 5,882 SF (4.50%)	
OFFSITE PLANTING AREA: 2,148 SF	
PLANT QTY: 2,751 @ 36" O.C.	
PLANT SIZE: 5 GALLON	

HARDSCAPE LEGEND

A HARDSCAPE PAVING 'A' Impervious pedestrian paving such as: • Pavers on concrete base • (1) tone	2,885 SF
B HARDSCAPE PAVING 'B' Impervious pedestrian paving such as: • Pavers on concrete base • (4) tones	25,449 SF
C HARDSCAPE PAVING 'C' Impervious pedestrian paving such as: • Cast-in-place concrete paving, steps and stadium seating with subdrainage system	8,333 SF



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1 OVERALL SITE PLAN
 A101 SCALE: 1" = 20'-0"
 REF: A301

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- D. ALL CONCRETE SURFACES AT EQUIPMENT PADS, TRASH ENCLOSURES, AND SIMILAR AREAS SHALL HAVE A MEDIUM BROOM FINISH UNLESS NOTED OTHERWISE.
- E. INSTALL 1/2" WIDE EXPANSION JOINTS WITH SEALANT AT THE LOCATIONS WHERE THE PAVING CONNECTS TO THE BUILDING, COLUMNS, OR OTHER STRUCTURES. THE SEALANT COLOR SHOULD MATCH THE SURROUNDING PAVING.
- F. WAY FINDING SIGN LOCATIONS TO BE DETERMINED.
- G. REFER TO SHEET G004 FOR PARKING ANALYSIS

AGENCY APPROVAL

PROJECT SUMMARY

PROJECT INFO

APN: 0192-031-23-0-000 AND 0192-031-24-0-000
 8353 SIERRA AVENUE, FONTANA CA 92335

LOT SIZE 192,947 SF (4.43 AC)
 SCOPE OF WORK AREA 135,021 SF

LOT COVERAGE

NEW CITY HALL	42,580 SF	32% OF SCOPE OF WORK
OPEN SPACE	56,641 SF	43% OF SCOPE OF WORK
LANDSCAPE PLANTING	23,338 SF	17% OF SCOPE OF WORK
LANDSCAPE HARDSCAPE	34,303 SF	25% OF SCOPE OF WORK

PARKING

EXISTING PARKING LOT SPACES (WEST OF WHEELER AVE)	145
PARKING SPACES TO REMAIN	76
NEW PARKING SPACES	79
TOTAL PARKING SPACES POST CONSTRUCTION (WEST OF WHEELER AVE)	155

VEHICLE PARKING REQUIRED:
 FONTANA MUNICIPAL CODE CHAPTER 30, ARTICLE III, DIV. IV SECTION 30-361

(N) FONTANA CITY HALL BLDG.	(E) DSO BLDG.
42,072 SF / 200 = 211	27,052 SF / 200 = 136
211 x 65% = 137	136 x 65% = 88
137 PARKING SPACES	88 PARKING SPACES

CLIENT

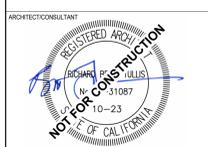
BUILDER

REVISIONS

Date	Description

LEGEND

- SCOPE OF WORK LINE
- PROPERTY LINE
- LINE OF BUILDING ABOVE
- FIRE HYDRANT
- (N) BUILDING/STRUCTURE
- (E) PV PANELS TO REMAIN
- LANDSCAPING AREAS
- CONCRETE SIDEWALK
- INDICATES MAIN BUILDING ENTRY



PREPARED FOR THE

CITY OF FONTANA CALIFORNIA

PREPARED BY



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PROJECT NAME

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PROJECT ADDRESS

8353 SIERRA AVE., FONTANA, CA 92335

PROJECT NO.

24013 A.P.

DATE

2/14/25 Author

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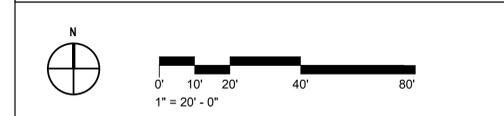
SHEET NAME

OVERALL SITE PLAN

SHEET NO.

A101

GRAPHIC SCALE



GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
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- G. REFER TO SHEET G004 FOR PARKING ANALYSIS

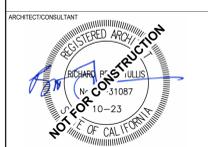
AGENCY APPROVAL

KEYNOTES

- 02.42 (E) PV PANELS TO REMAIN
- 03.30 CONCRETE SIDEWALK
- 03.32 HARDSCAPE PLAZA ABOVE
- 05.11 CANTILEVERED STRUCTURAL STEEL CANOPY

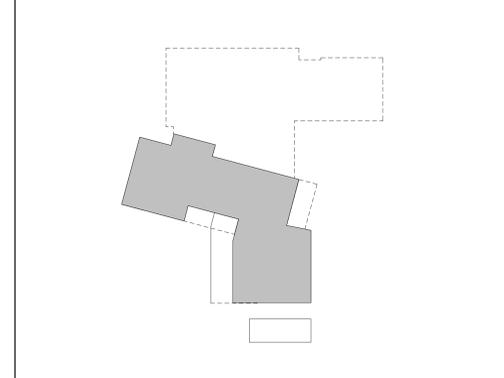
LEGEND

- SCOPE OF WORK LINE
- PROPERTY LINE
- LINE OF BUILDING ABOVE
- FIRE HYDRANT
- (N) BUILDING/STRUCTURE
- (E) PV PANELS TO REMAIN
- LANDSCAPING AREAS
- CONCRETE SIDEWALK
- INDICATES MAIN BUILDING ENTRY
- DOOR/GATE TYPE



PREPARED FOR THE
CITY OF FONTANA CALIFORNIA

KEY PLAN



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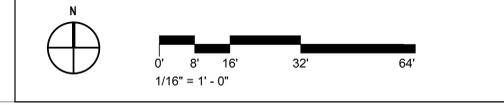
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PROJECT ADDRESS
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24013 A.P.

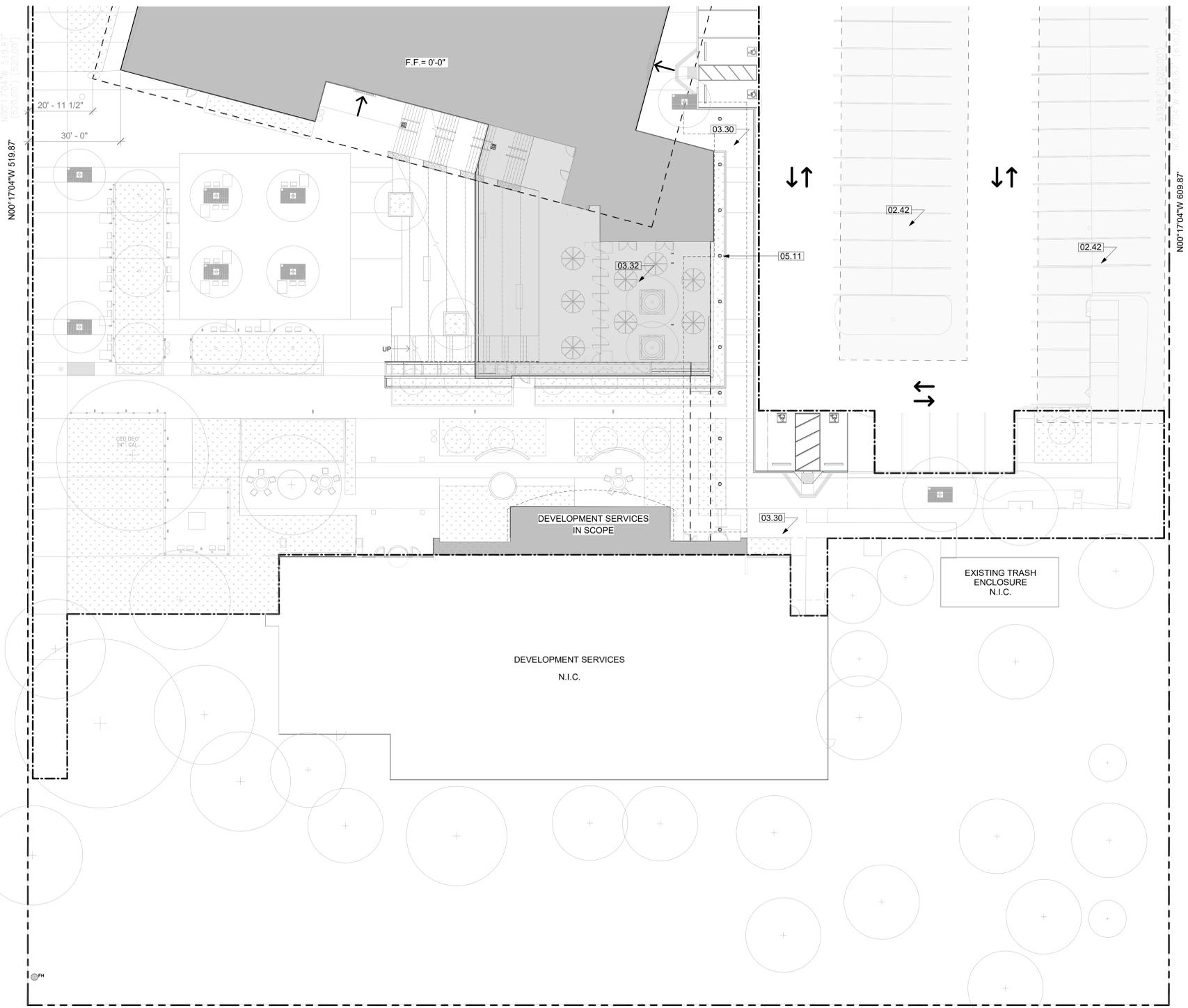
DATE
2/14/25 Author
Checker

GRAPHIC SCALE



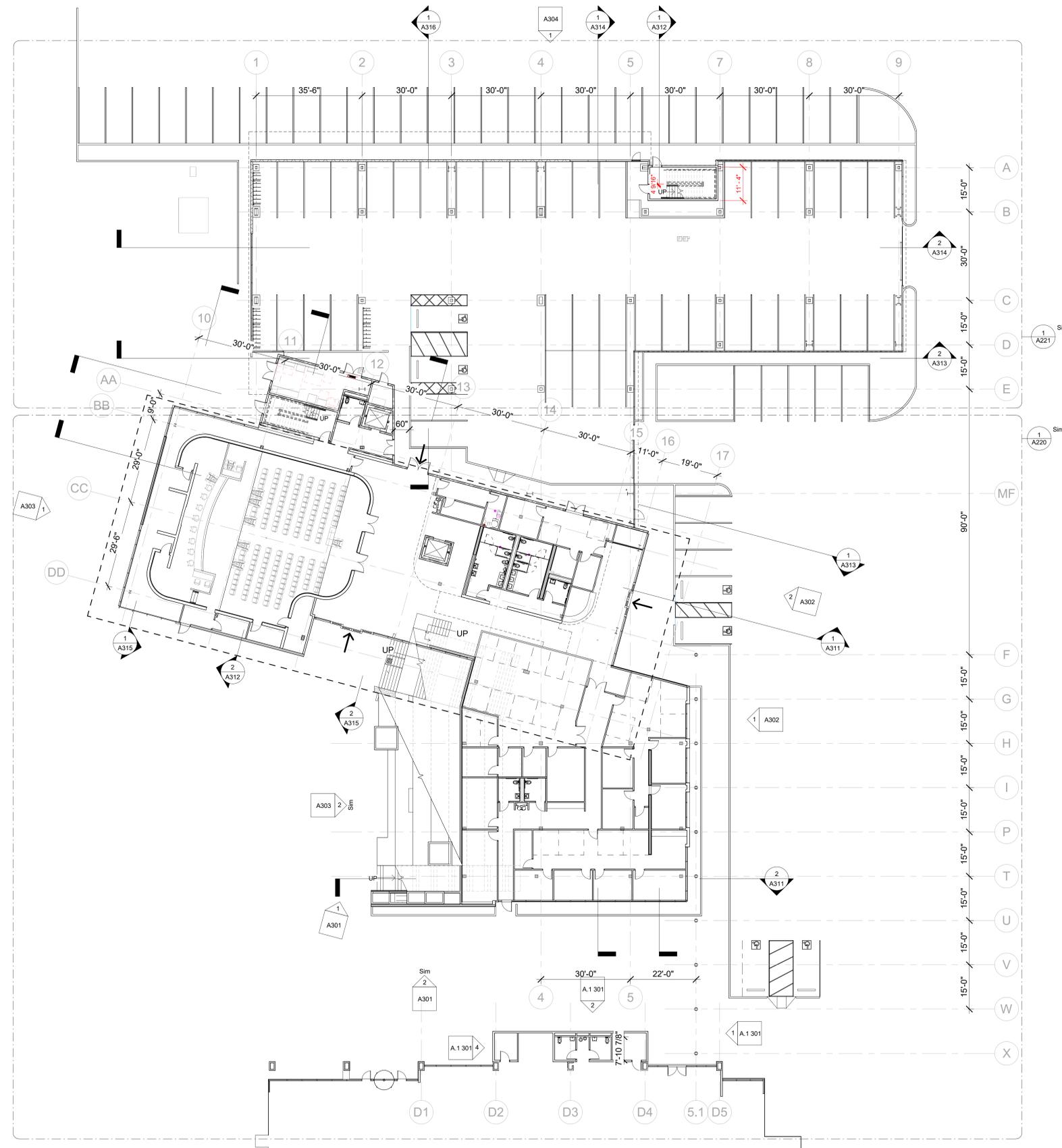
SHEET NAME
ENLARGED SITE PLAN

SHEET NO.
A103



1 ENLARGED SITE PLAN - SOUTH
SCALE: 1/16" = 1'-0"
REF: A101

N89°40'58"E 371.20' [371.25]
N89°40'58"E 371.20'



1 FLOOR PLAN - LEVEL 1
 A219 SCALE: 1/16" = 1'-0"
 REF: A301

GENERAL NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CONCRETE OR METAL STUD, U.O.N.
2. FOR FURNITURE LAYOUT REFER TO INTERIOR DESIGN SHEETS.
3. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
4. **PENETRATIONS:** PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 7-5 AND SHALL HAVE AN F-RATING (AND AT RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACOUSTICAL WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.
5. **WALL BACKING:** BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, 16 GA. BACKING FOR CABINETS, SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
6. **WALL ACCESS PANELS:** PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MECHANICAL PLUMBING AND ELECTRICAL EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
7. **RETURN AIR WALL OPENINGS:** PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILINGS AS PER MECHANICAL DRAWINGS. FINISH AT PARTITIONS SHALL BE MIN. 6" ABOVE THE ACOUSTICAL/DRYWALL CEILING-TYP. U.N.O.
- 8.

KEYNOTES

REVISIONS	Date	Description

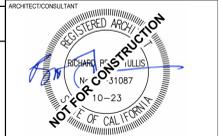
CLIENT

BUILDER

LEGEND

- MATCHLINE
- ← INDICATES MAIN BUILDING ENTRY

AGENCY APPROVAL



PREPARED FOR THE
CITY OF FONTANA CALIFORNIA

PREPARED BY

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 www.sillmanarch.com

PROJECT NAME
FONTANA CITY HALL

PROJECT ADDRESS
 8353 SIERRA AVE., FONTANA, CA 92335

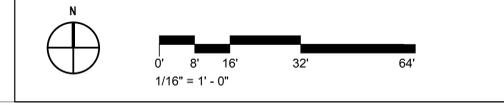
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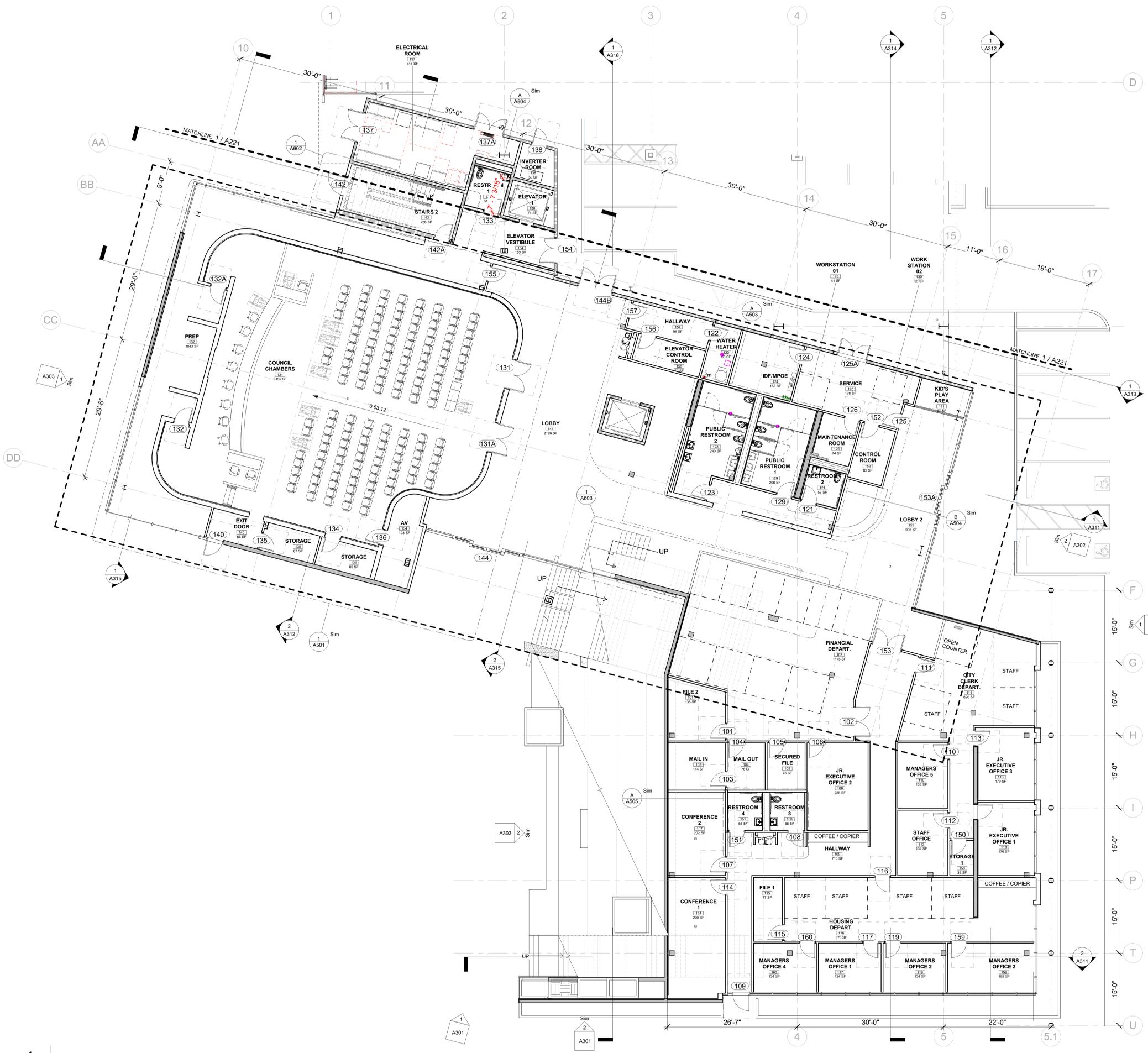
DATE 2/14/25 Author Checker

SHEET NAME
LEVEL 1 FLOOR PLAN

SHEET NO.
A219

GRAPHIC SCALE





GENERAL NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CONCRETE OR METAL STUD, U.O.N.
2. FOR FURNITURE LAYOUT REFER TO INTERIOR DESIGN SHEETS.
3. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 7-5 AND SHALL HAVE AN F RATING (AND AT RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACOUSTICAL WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT. WALL BACKING, BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, 16 GA. BACKING FOR CABINETS, SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
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KEYNOTES

REVISIONS	Date	Description

LEGEND

- ROOM NAME**
- 101 ROOM NAME & NUMBER
 - 150 SF
 - DOOR WITH ADA CLEARANCE
 - DOOR & GATE TAG. REFER TO SHEETS A700 - A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
 - WINDOW WALL & CURTAIN WALL TAG. REFER TO SHEETS A706 - A711 FOR MORE INFO
 - INDICATES MATCHLINE

AGENCY APPROVAL

CLIENT

BUILDER



PREPARED FOR THE

CITY OF FONTANA CALIFORNIA

PREPARED BY



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PROJECT NAME

FONTANA CITY HALL

PROJECT ADDRESS

8353 SIERRA AVE., FONTANA, CA 92335

PROJECT NO.

24013 A.P.

DATE

2/14/25 Author
Checker

SHEET NAME
LEVEL 1 FLOOR PLAN - SOUTH

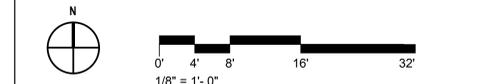
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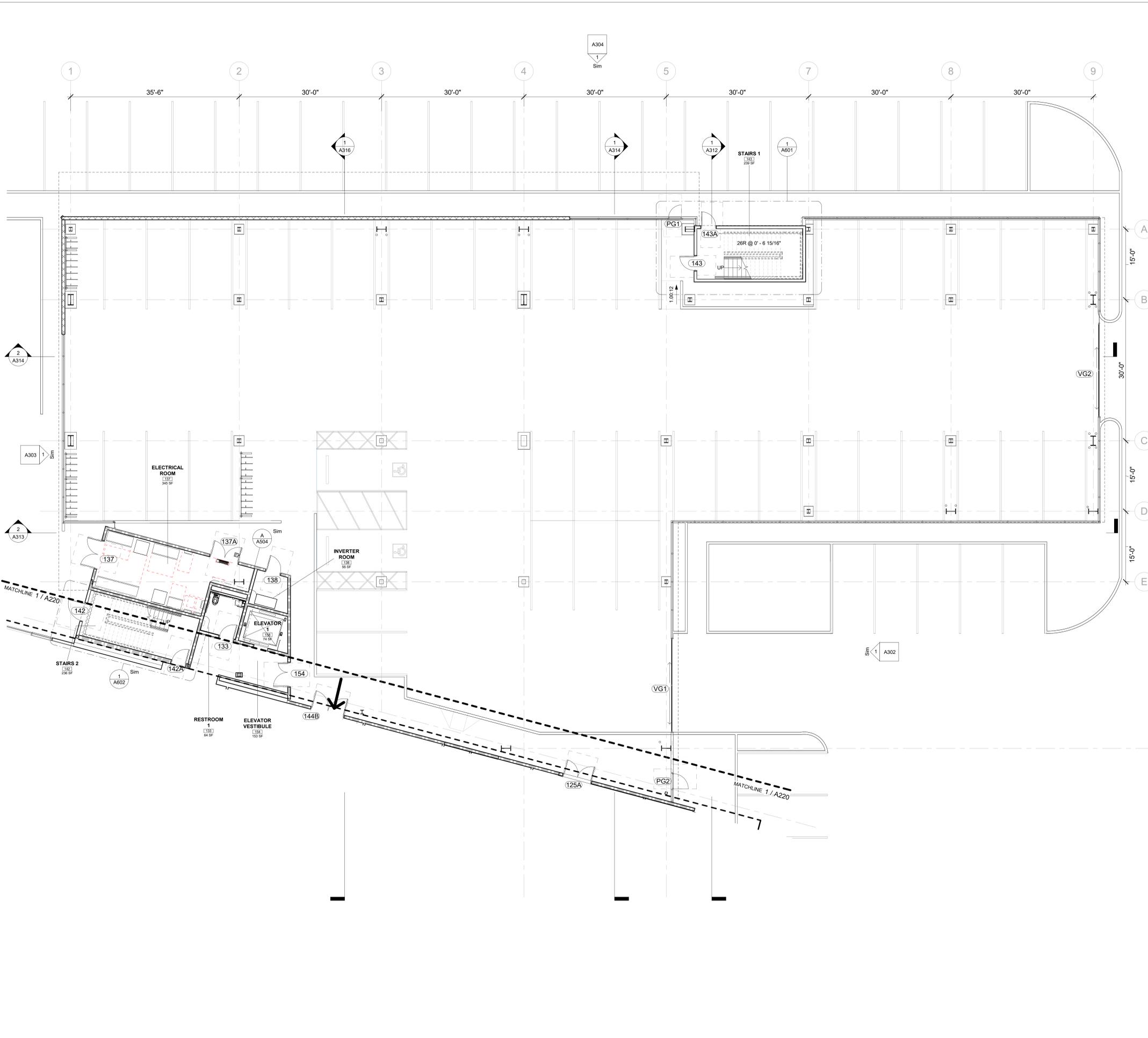
A220

1 FLOOR PLAN - LEVEL 1 - SOUTH

A220 SCALE: 1/8" = 1'-0"
REF: A219

GRAPHIC SCALE





- ### GENERAL NOTES
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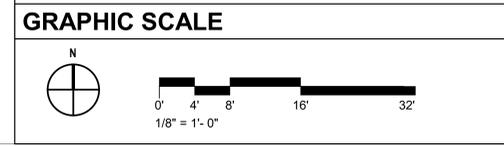
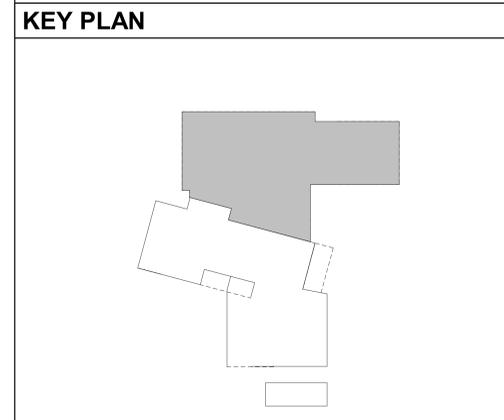
KEYNOTES

CLIENT	
BUILDER	
REVISIONS	
Date	Description

LEGEND

ROOM NAME	ROOM NAME & NUMBER
101	ROOM NAME & NUMBER
150 SF	ROOM NAME & NUMBER
	DOOR WITH ADA CLEARANCE
	DOOR & GATE TAG, REFER TO SHEETS A700 - A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
	WINDOW WALL & CURTAIN WALL TAG, REFER TO SHEETS A706 - A711 FOR MORE INFO
	INDICATES MATCHLINE

PREPARED FOR THE
CITY OF FONTANA CALIFORNIA



AGENCY APPROVAL

ARCHITECT/CONSULTANT

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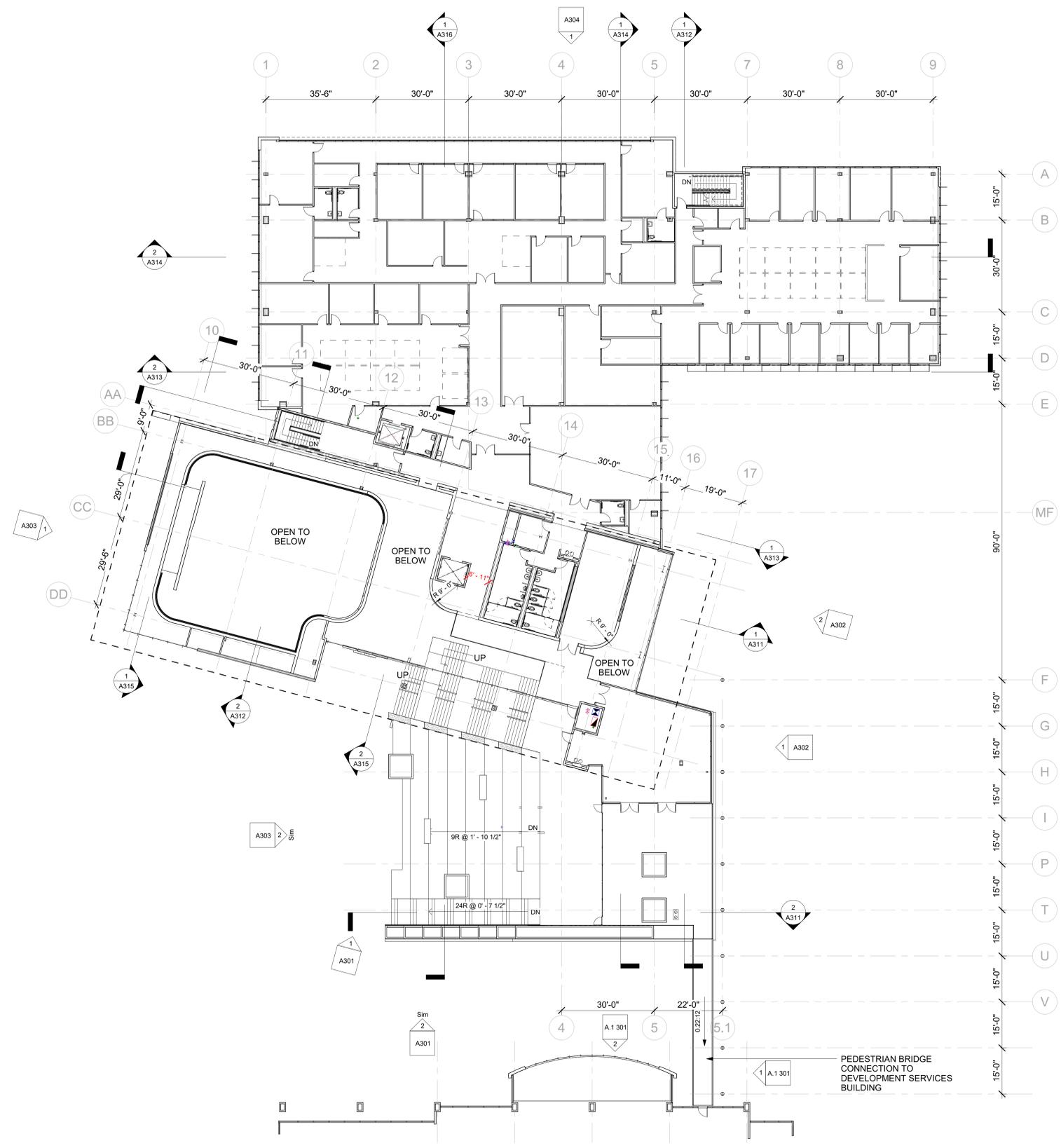
PROJECT NO.
24013 A.P.

DATE
2/14/25 Author
Checker

SHEET NAME
LEVEL 1 FLOOR PLAN - NORTH

SHEET NO.
A221

1 FLOOR PLAN - LEVEL 1 - NORTH
A221 SCALE: 1/8" = 1'-0"
REF: A219



- ### GENERAL NOTES
- ALL DIMENSIONS SHOWN ARE TO FACE OF CONCRETE OR METAL STUD, U.O.N.
 - FOR FURNITURE LAYOUT REFER TO INTERIOR DESIGN SHEETS.
 - DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
 - PENETRATIONS:** PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 7-5 AND SHALL HAVE AN F-RATING (AND AT RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACOUSTICAL WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.
 - WALL BACKING:** BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, 16 GA. BACKING FOR CABINETRY, SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
 - WALL ACCESS PANELS:** PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MECHANICAL PLUMBING AND ELECTRICAL EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
 - RETURN AIR WALL OPENINGS:** PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILINGS AS PER MECHANICAL DRAWINGS. FINISH AT PARTITIONS SHALL BE MIN. 6" ABOVE THE ACOUSTICAL/DRYWALL CEILING-TYP. U.N.O.

KEYNOTES

CLIENT	
BUILDER	
REVISIONS	
Date	Description

- ### LEGEND
- MATCHLINE
 - INDICATES MAIN BUILDING ENTRY

AGENCY APPROVAL

PREPARED FOR THE

**CITY OF FONTANA
CALIFORNIA**

PREPARED BY

SILLMAN

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PROJECT NAME

FONTANA CITY HALL

PROJECT ADDRESS

8353 SIERRA AVE., FONTANA, CA 92335

PROJECT NO. 24013 A.P.

DATE 2/14/25 Author Checker

SHEET NAME

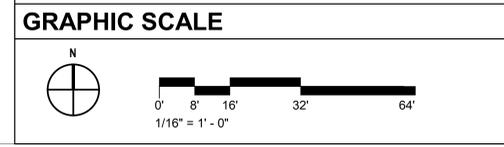
LEVEL 2 FLOOR PLAN

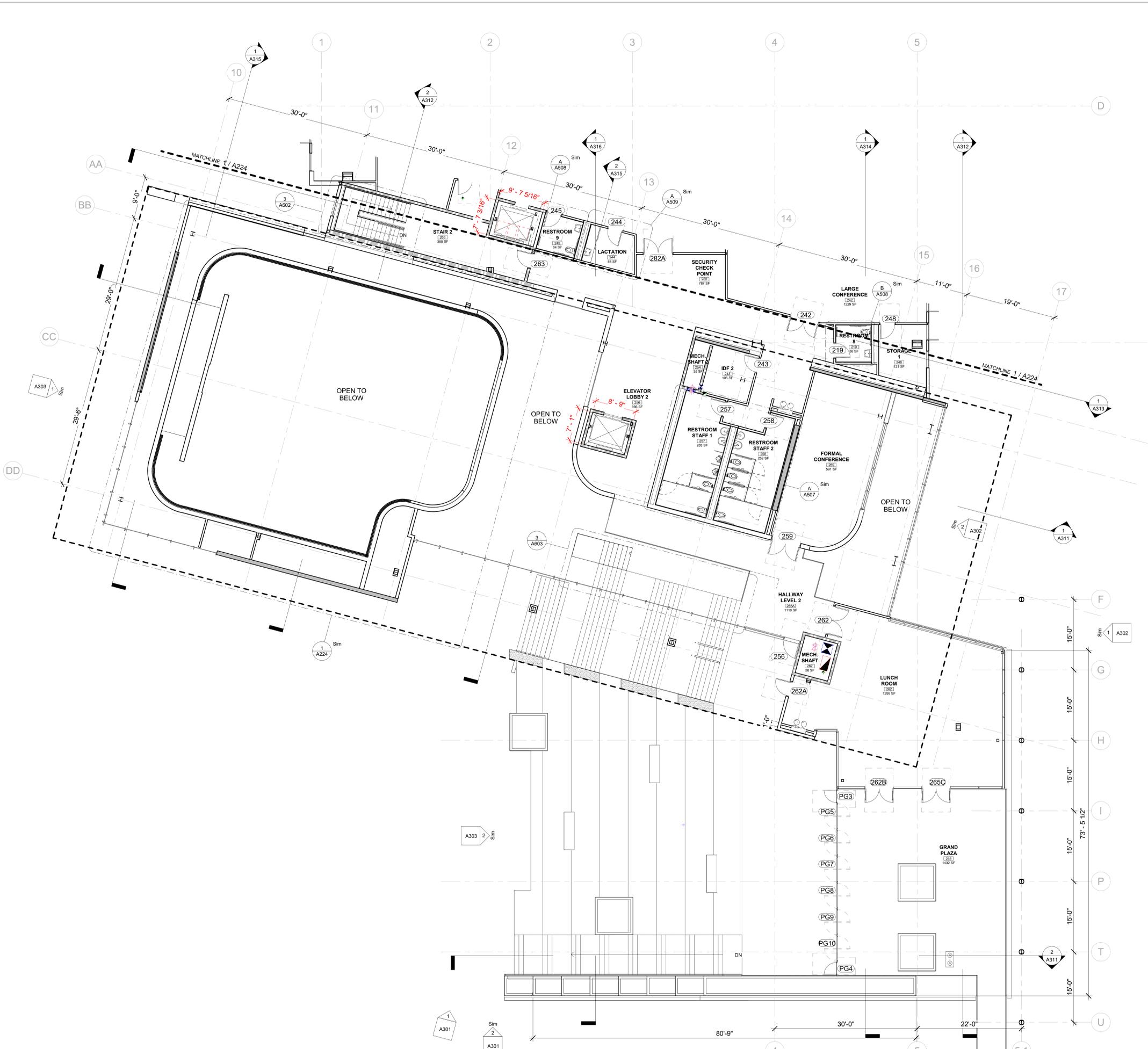
SHEET NO.

A222

1 FLOOR PLAN - LEVEL 2

A222 SCALE: 1/16" = 1'-0" REF: A180





- ### GENERAL NOTES
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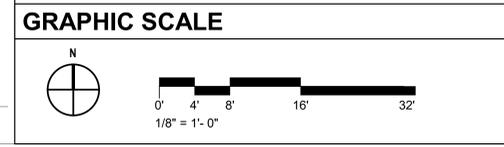
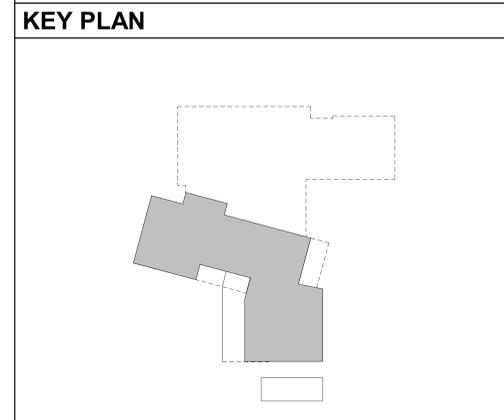
KEYNOTES

Date	Description

LEGEND

ROOM NAME	ROOM NAME & NUMBER
101	ROOM NAME & NUMBER
150 SF	
	DOOR WITH ADA CLEARANCE
	DOOR & GATE TAG. REFER TO SHEETS A700 - A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
	WINDOW WALL & CURTAIN WALL TAG. REFER TO SHEETS A706 - A711 FOR MORE INFO
	INDICATES MATCHLINE

PREPARED FOR THE
CITY OF FONTANA CALIFORNIA



AGENCY APPROVAL

CLIENT

BUILDER

ARCHITECT/CONSULTANT

PREPARED BY

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PROJECT NAME
FONTANA CITY HALL

PROJECT ADDRESS
8353 SIERRA AVE., FONTANA, CA 92335

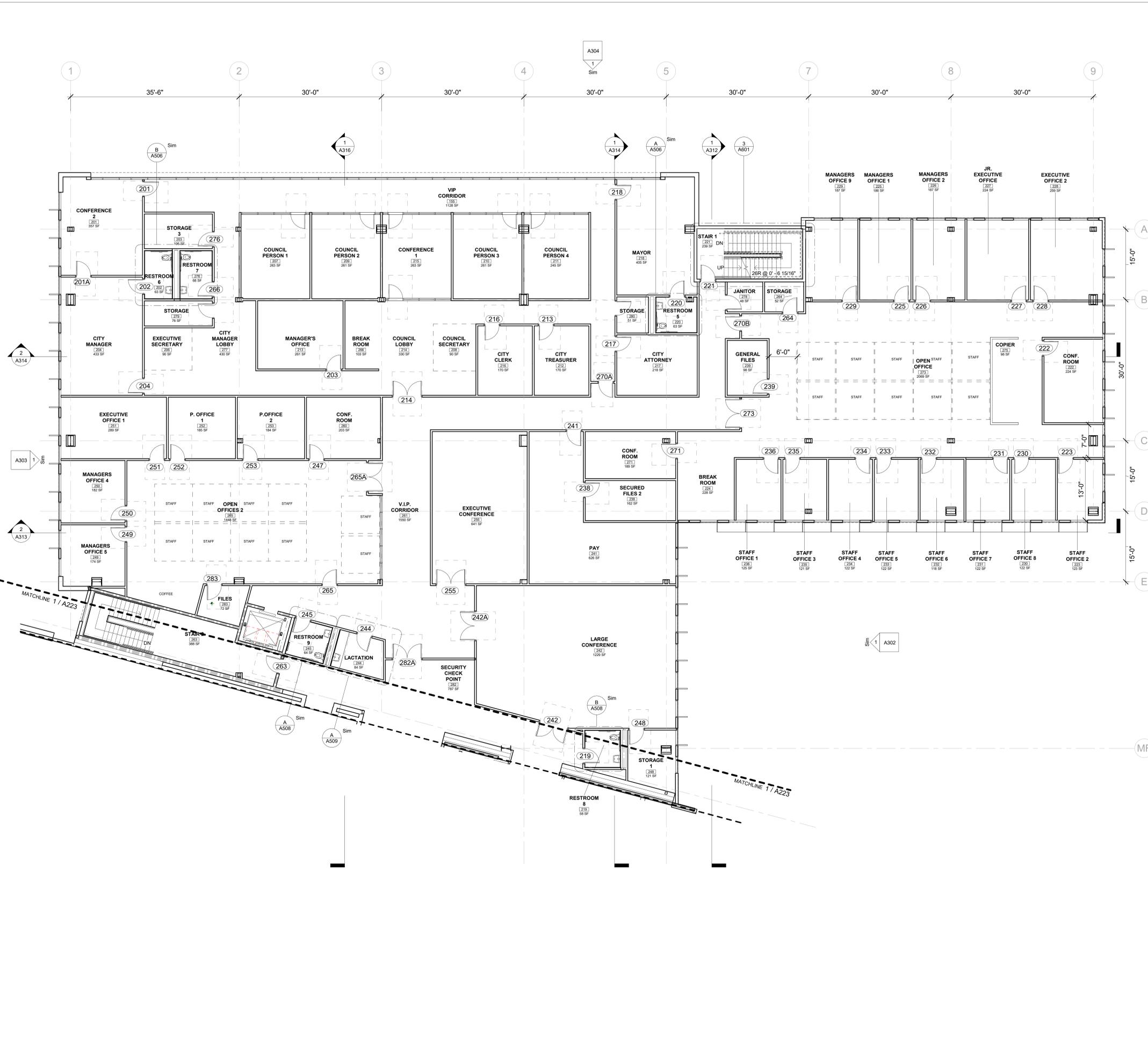
PROJECT NO.
24013 A.P.

DATE
2/14/25 Author
Checker

SHEET NAME
LEVEL 2 FLOOR PLAN - SOUTH

SHEET NO.
A223

1 FLOOR PLAN - LEVEL 2 - SOUTH
A223 SCALE: 1/8" = 1'-0"
REF: A180



- ### GENERAL NOTES
- ALL DIMENSIONS SHOWN ARE TO FACE OF CONCRETE OR METAL STUD, U.O.N.
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KEYNOTES

Client	Builder

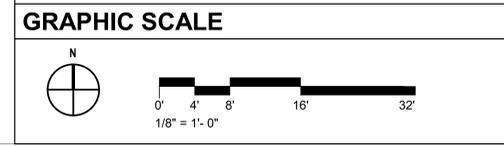
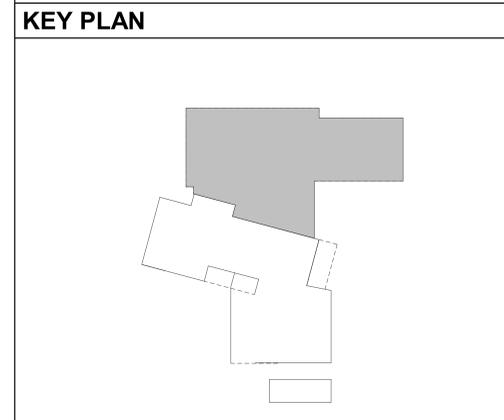
REVISIONS

Date	Description

LEGEND

ROOM NAME	ROOM NAME & NUMBER
101	ROOM NAME & NUMBER
150 SF	
	DOOR WITH ADA CLEARANCE
	DOOR & GATE TAG. REFER TO SHEETS A700 - A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
	WINDOW WALL & CURTAIN WALL TAG. REFER TO SHEETS A706 - A711 FOR MORE INFO
	INDICATES MATCHLINE

PREPARED FOR THE
CITY OF FONTANA CALIFORNIA



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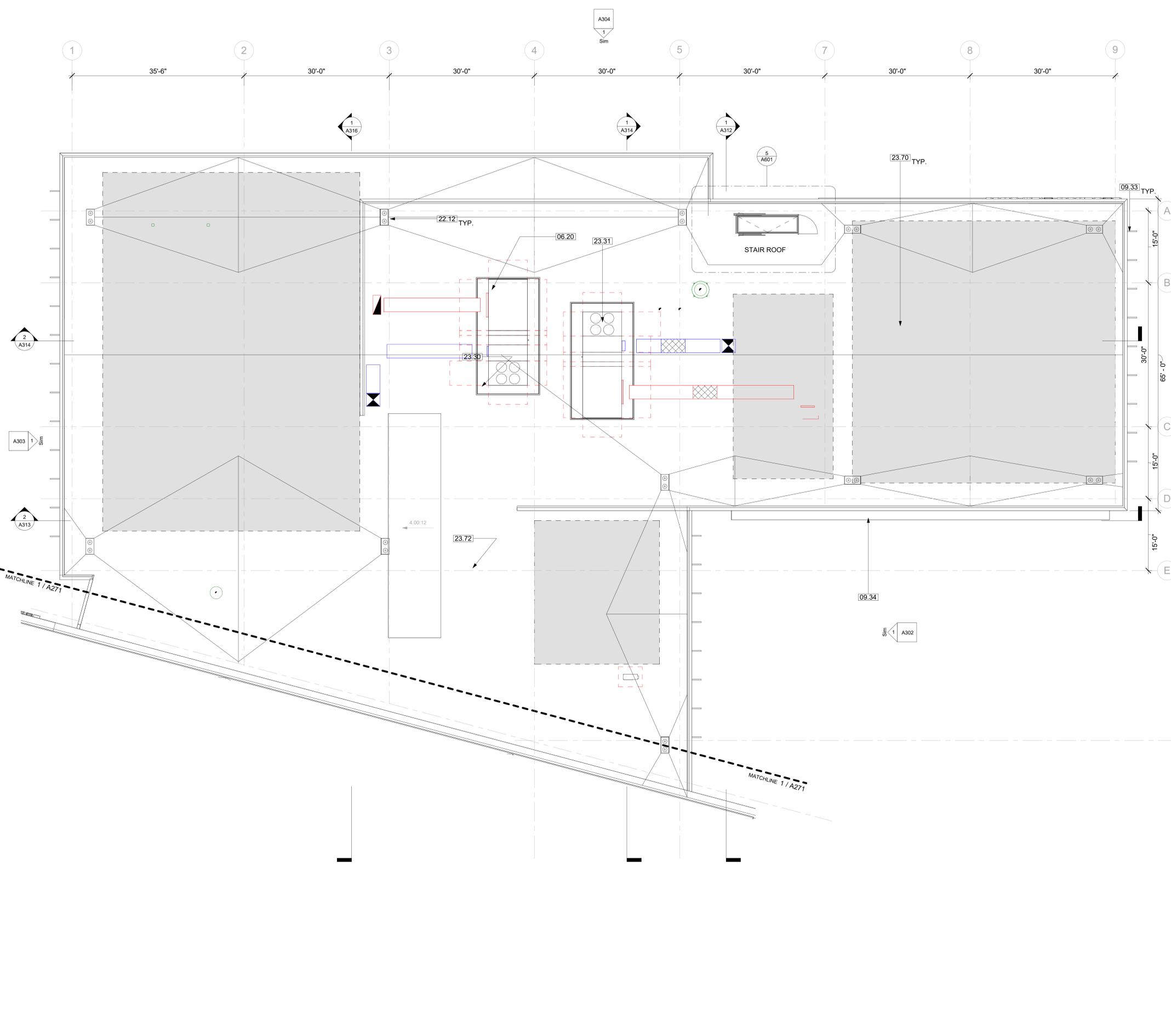
PROJECT NO.
24013 A.P.

DATE
2/14/25 Author
Checker

SHEET NAME
LEVEL 2 FLOOR PLAN - NORTH

SHEET NO.
A224

1 FLOOR PLAN - LEVEL 2 - NORTH
A224 SCALE: 1/8" = 1'-0"
REF: A180



- ### GENERAL NOTES
1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 3. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 4. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 5. FIELD VERIFY ROOF SPOT ELEVATIONS AND COORDINATE WITH STRUCTURAL DRAWINGS.
 6. ALL EXTERIOR EXPOSED METAL TO BE GALVANIZED AND PAINTED.
 7. **ROOFING CLASSIFICATION:** CLASS A (CBC 1504).
 8. **ROOF SLOPE:** TYPICAL ROOF SLOPE IS 1/4"/FT MINIMUM U.O.N. ROOFS SHALL BE SLOPED A MINIMUM OF 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2% SLOPE) FOR DRAINAGE (CBC 1506.1).
 9. **TOP OF PARAPET:** TYPICAL TOP OF PARAPET HEIGHT IS SOUTH UPPER ROOF @ +39'-6" LOWER ROOF @ + 27'-0" AND NO ROOF @ +33'-9".
 10. **COORDINATION:** CONTRACTOR SHALL VERIFY LOCATIONS AND COORDINATE SIZES FOR ALL ROOF OPENINGS, CURBS, CONCRETE PADS, AND ATTACHMENT REQUIREMENTS W/ MANUFACTURER FOR ACTUAL MECHANICAL EQUIPMENT SUBMITTED.

- ### KEYNOTES
- 06.20 MECHANICAL UNIT PARAPET WALL
 - 09.33 VERTICAL SHADING FIN, MOUNTED TO WINDOW WALL MULLIONS
 - 09.34 VERTICAL SHADING FIN W/ SHADOW BOX PERIMETER, MOUNTED TO WINDOW WALL MULLIONS
 - 22.12 ROOF DRAIN & OVERFLOW DRAIN. REFER TO PLUMBING
 - 23.30 THERMOPLASTIC POLYOLEFIN ROOFING (TPO)
 - 23.31 HVAC UNIT, REFER TO MECHANICAL
 - 23.70 PHOTOVOLTAIC PANELS
 - 23.72 OPEN COURTYARD

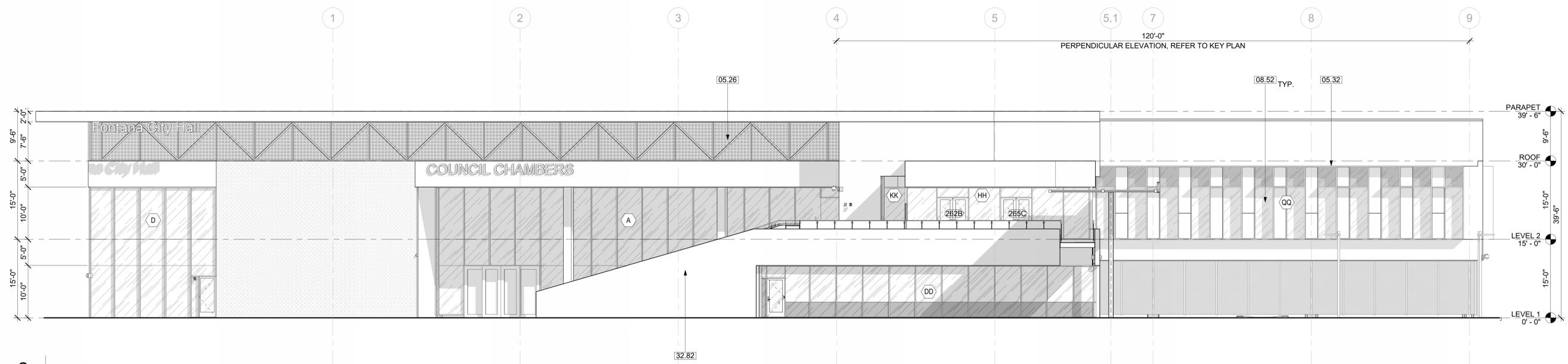
LEGEND

	INDICATES MATCHLINE
	ROOF DRAINS
	INDICATES: RELIEF HOOD PER MECH.
	INDICATES: EXHAUST FAN PER MECH.
	ROOF SLOPE AND DIRECTION

KEY PLAN

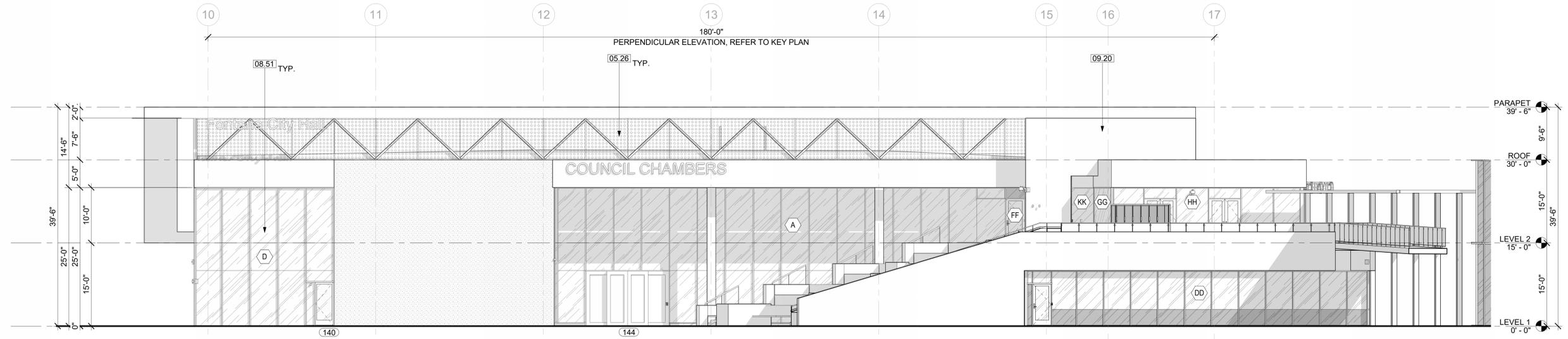
GRAPHIC SCALE

AGENCY APPROVAL	
CLIENT	
BUILDER	
REVISIONS	
Date	Description
PREPARED FOR THE	CITY OF FONTANA CALIFORNIA
PREPARED BY	
7515 Metropolitan Dr. Suite 400 San Diego, CA 92108 T 619.294.7515 www.sillmanarch.com	
PROJECT NAME	FONTANA CITY HALL
PROJECT ADDRESS	8353 SIERRA AVE., FONTANA, CA 92335
PROJECT NO.	24013 A.P.
DATE	2/14/25 Author Checker
SHEET NAME	ROOF PLAN - NORTH
SHEET NO.	A272



2 SOUTH ELEVATION 2

A301 SCALE: 1/8" = 1'-0"
REF: A200



1 SOUTH ELEVATION

A301 SCALE: 1/8" = 1'-0"
REF: A200

GENERAL NOTES

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- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR EXPOSED METAL TO BE GALVANIZED AND PAINTED.

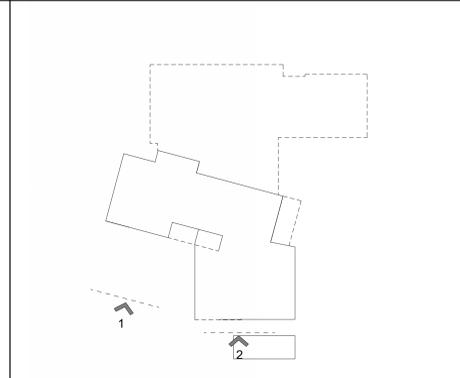
LEGEND

- (01) WINDOW WALL & CURTAIN WALL TAG, REFER TO SHEETS A706-A711 FOR MORE INFO
- (101) DOOR AND GATE TAG, REFER TO SHEETS A700-A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
- ROOM NAME**
- 101 INDICATES ROOM NAME & NUMBER
- 150 SF
- X'-X" DIMENSION TO FACE OF STUD

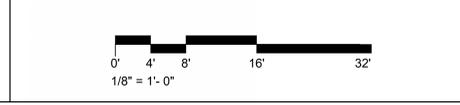
KEYNOTES

- 05.26 STRUCTURAL/DECORATIVE TRUSS ELEMENT BEHIND PERFORATED POWDER-COATED METAL PANEL PARAPET. LED UPLIGHTING ON BOTH SIDES
- 05.32 HORIZONTAL AND VERTICAL SHADING FIN MOUNTED TO MULLION
- 08.51 DOUBLE STORY CURTAIN WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 08.52 WINDOW WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 09.20 INSULATED COMPOSITE METAL PANEL
- 32.82 STEPPED PLANTERS

KEY PLAN



GRAPHIC SCALE



AGENCY APPROVAL

CLIENT

BUILDER

REVISIONS

Date Description

ARCHITECT/CONSULTANT



PREPARED FOR THE

CITY OF FONTANA
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PROJECT NAME

FONTANA CITY HALL

PROJECT ADDRESS

8353 SIERRA AVE., FONTANA, CA 92335

PROJECT NO.

24013 A.P.

DATE

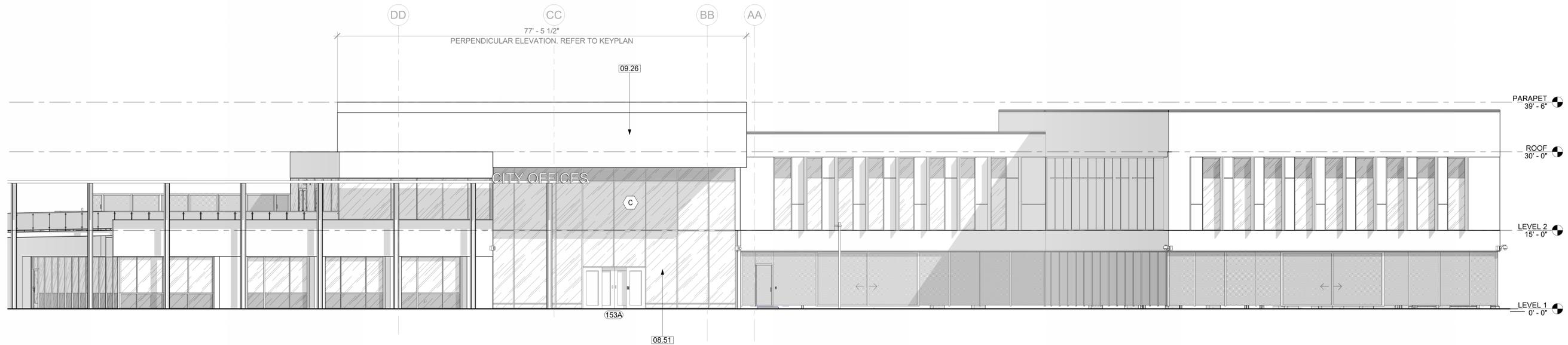
2/14/25 Author
Checker

SHEET NAME

**EXTERIOR BUILDING
ELEVATIONS SOUTH**

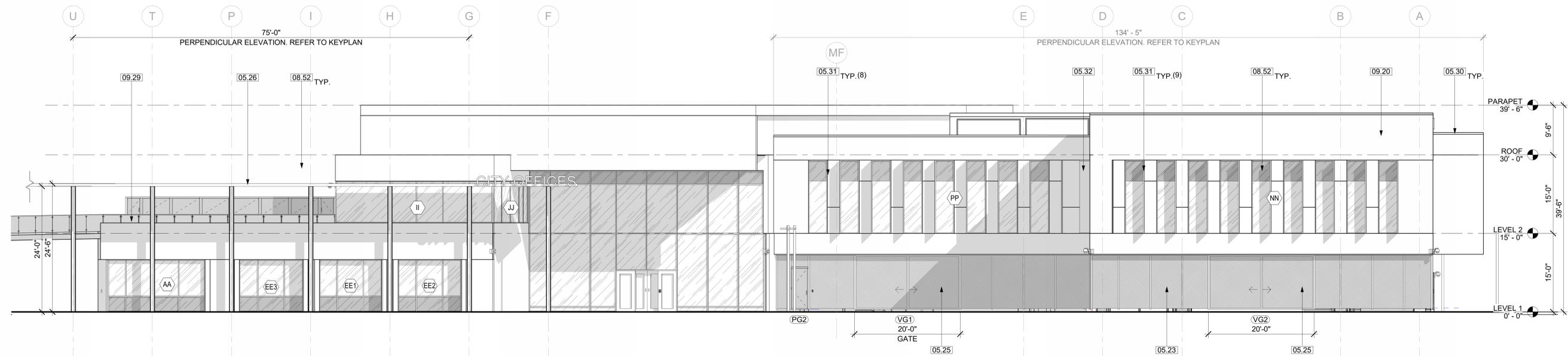
SHEET NO.

A301



2 EAST ELEVATION 2

A302 SCALE: 1/8" = 1'-0"
REF: A200



1 EAST ELEVATION

A302 SCALE: 1/8" = 1'-0"
REF: A200

GENERAL NOTES

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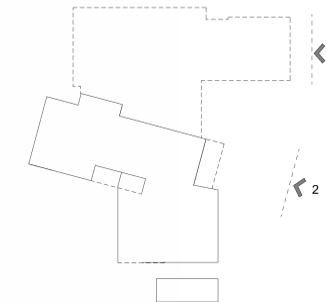
LEGEND

- 01 WINDOW WALL & CURTAIN WALL TAG, REFER TO SHEETS A706-A711 FOR MORE INFO
- 101 DOOR AND GATE TAG, REFER TO SHEETS A700-A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
- ROOM NAME**
- 101 INDICATES ROOM NAME & NUMBER
- 150 SF
- X'-X" DIMENSION TO FACE OF STUD

KEYNOTES

- 05.23 METAL WIRE MESH SCREEN O/ 6" CONCRETE CURB W/ ENHANCED BLASTED FINISH
- 05.25 METAL WIRE MESH VEHICULAR GATE TO MATCH WIRE MESH SCREEN (KEYNOTE 05.23)
- 05.26 STRUCTURAL/DECORATIVE TRUSS ELEMENT BEHIND PERFORATED POWDER-COATED METAL PANEL PARAPET. LED UPLIGHTING ON BOTH SIDES
- 05.30 METAL PARAPET COPING
- 05.31 VERTICAL SHADING FIN MOUNTED TO MULLION
- 05.32 HORIZONTAL AND VERTICAL SHADING FIN MOUNTED TO MULLION
- 08.51 DOUBLE STORY CURTAIN WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 08.52 WINDOW WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 09.20 INSULATED COMPOSITE METAL PANEL
- 09.26 LARGE FORMAT CERAMIC TILE RAINSCREEN SYSTEM
- 09.29 GLASS GUARDRAIL, 42" AF.F.F. MIN.

KEY PLAN



GRAPHIC SCALE



AGENCY APPROVAL

CLIENT

BUILDER

REVISIONS

Date Description



PREPARED FOR THE

CITY OF FONTANA CALIFORNIA

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PROJECT NAME

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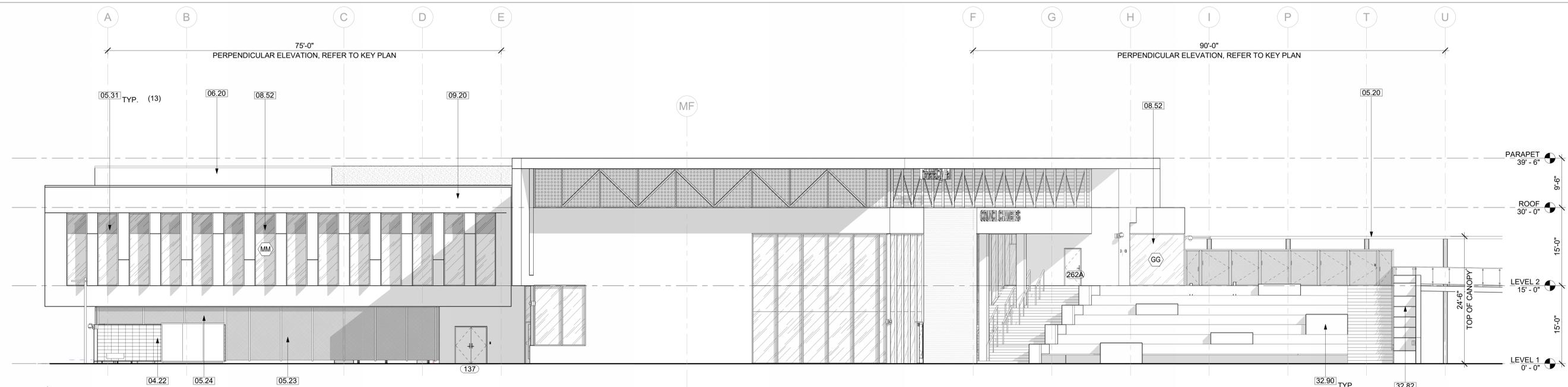
2/14/25 Author Checker

SHEET NAME

EXTERIOR BUILDING ELEVATIONS EAST

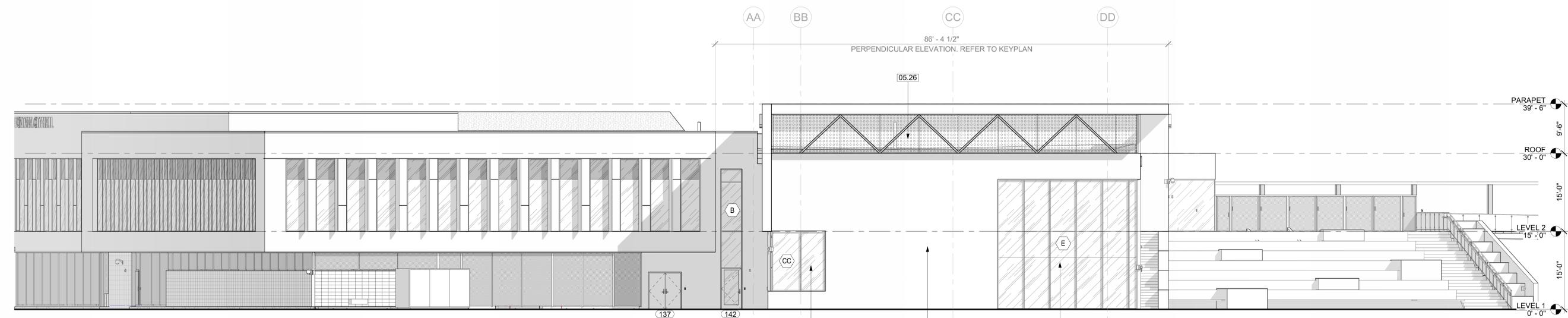
SHEET NO.

A302



2 WEST ELEVATION 2

A303 SCALE: 1/8" = 1'-0"
REF: A219



1 WEST ELEVATION

A303 SCALE: 1/8" = 1'-0"
REF: A200

GENERAL NOTES

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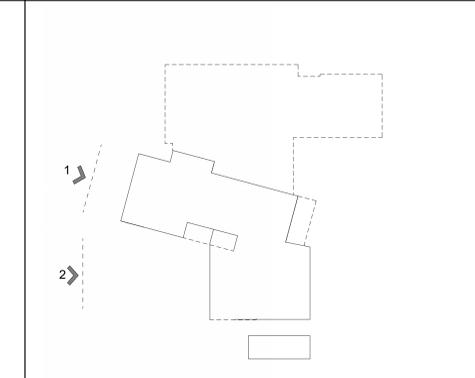
LEGEND

- (01) WINDOW WALL & CURTAIN WALL TAG, REFER TO SHEETS A706-A711 FOR MORE INFO
- (101) DOOR AND GATE TAG, REFER TO SHEETS A700-A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
- ROOM NAME**
- (101) INDICATES ROOM NAME & NUMBER
- 150 SF
- X'-X" DIMENSION TO FACE OF STUD

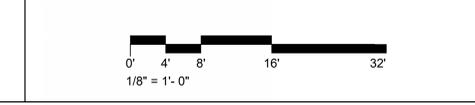
KEYNOTES

- 04.22 STACK BOND CMU
- 05.20 STRUCTURAL STEEL COVERED WALKWAY W/ TRANSPARENT PV GLAZING
- 05.23 METAL WIRE MESH SCREEN O/ 6" CONCRETE CURB W/ ENHANCED BLASTED FINISH
- 05.24 METAL WIRE MESH SCREEN O/ CMU WALL
- 05.26 STRUCTURAL/DECORATIVE TRUSS ELEMENT BEHIND PERFORATED POWDER-COATED METAL PANEL PARAPET. LED UPLIGHTING ON BOTH SIDES
- 05.31 VERTICAL SHADING FIN MOUNTED TO MULLION
- 06.20 MECHANICAL UNIT PARAPET WALL
- 08.51 DOUBLE STORY CURTAIN WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 08.52 WINDOW WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 09.20 INSULATED COMPOSITE METAL PANEL
- 09.26 LARGE FORMAT CERAMIC TILE RAINSCREEN SYSTEM
- 32.82 STEPPED PLANTERS
- 32.90 TREE PLANTER

KEY PLAN



GRAPHIC SCALE



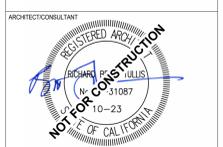
AGENCY APPROVAL

CLIENT

BUILDER

REVISIONS

Date Description



PREPARED FOR THE

CITY OF FONTANA
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PROJECT NAME

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PROJECT ADDRESS
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PROJECT NO. 24013 A.P.

DATE 2/14/25 Author Checker

SHEET NAME
EXTERIOR BUILDING ELEVATIONS WEST

SHEET NO.
A303

AGENCY APPROVAL

CLIENT

BUILDER

REVISIONS

Date Description

ARCHITECT/CONSULTANT



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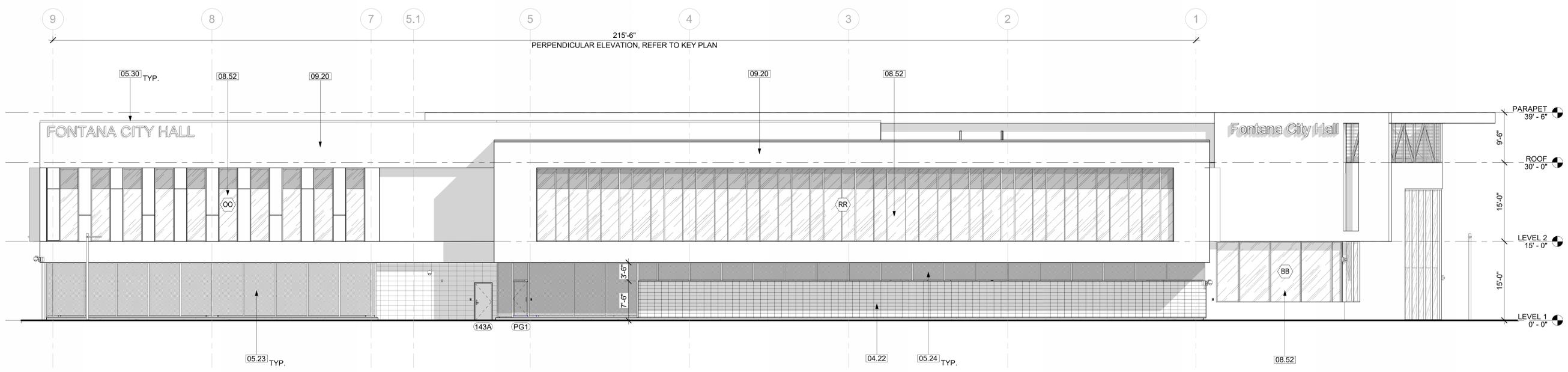
2/14/25 Author Checker

SHEET NAME

EXTERIOR BUILDING ELEVATIONS NORTH

SHEET NO.

A304



1 NORTH ELEVATION

A304 SCALE: 1/8" = 1'-0" REF: A201

GENERAL NOTES

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- REFER TO FLOOR PLANS FOR ADDITIONAL DIMENSIONS.
- REFER TO STRUCTURAL DRAWING FOR ADDITIONAL INFORMATION.
- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR EXPOSED METAL TO BE GALVANIZED AND PAINTED.

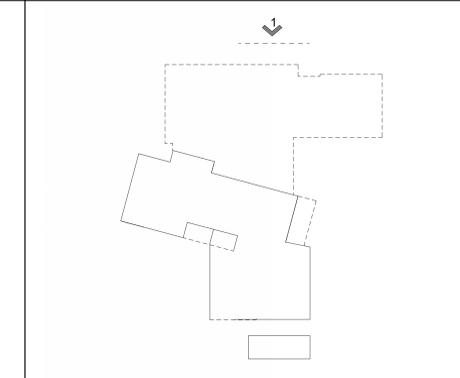
LEGEND

- (01) WINDOW WALL & CURTAIN WALL TAG, REFER TO SHEETS A706-A711 FOR MORE INFO
- (101) DOOR AND GATE TAG, REFER TO SHEETS A700-A701 FOR MORE INFO ON DOORS, & A180 FOR MORE INFO ON GATES
- ROOM NAME**
- 101 INDICATES ROOM NAME & NUMBER
- 150 SF
- X'-X" DIMENSION TO FACE OF STUD

KEYNOTES

- 04.22 STACK BOND CMU
- 05.23 METAL WIRE MESH SCREEN O/ 6" CONCRETE CURB W/ ENHANCED BLASTED FINISH
- 05.24 METAL WIRE MESH SCREEN O/ CMU WALL
- 05.30 METAL PARAPET COPING
- 08.52 WINDOW WALL SYSTEM, REFER TO SHEET A706-A711 FOR MORE INFO
- 09.20 INSULATED COMPOSITE METAL PANEL

KEY PLAN



GRAPHIC SCALE

