

City of Fontana

8437 Sierra Avenue
Fontana, CA 92335



Regular Agenda

Resolution No. PC 2026-001

Tuesday, January 20, 2026

6:00 PM

Steelworkers' Auditorium

Planning Commission

Idilio Sanchez, Chair
Ricardo Quintana, Vice Chair
Joe Armendarez, Secretary
Dylan Keetle, Commissioner
Torrie Lozano, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. Meetings are held at the Steelworker's Auditorium 8437 Sierra Avenue, Fontana, CA 92335. To address the Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Council Chambers is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires accommodation to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at the City Clerk's Office.

Para traducción en Español, comuníquese con la oficina, "City Clerk" al (909) 350-7602.

The City of Fontana is committed to ensuring a safe and secure environment for its residents to engage with the government. No oversized bags or backpacks (size limit of 14"x14"x6") will be allowed inside the Council Chambers. All bags are subject to search. Face masks are prohibited in the Council Chambers, but clear masks will be provided upon request to accommodate individuals with medical needs, ensuring their safety and well-being. Before entering the Council Chambers, you may be subject to a metal detector screening. The City Manager retains the discretion to grant any exemptions. Fontana aims to provide safe buildings for our community members, employees, and visitors.

CALL TO ORDER/ROLL CALL:

- A. Call To Order/Roll Call:

INVOCATION/PLEDGE OF ALLEGIANCE:

- A. Invocation/Pledge of Allegiance:

SPECIAL PRESENTATION

- A. Special Presentation:

Swearing-In of Newly Appointed Commissioners for a one-year term (City Clerk Germaine Key to present).

PUBLIC COMMUNICATIONS:

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

A. Public Communications:

CONSENT CALENDAR:

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion.

A. Approval of Minutes

Approve the Regular Planning Commission Meeting Minutes of December 16, 2025.

CC-A Approval of Minutes of December 16, 2025.

[26-0765](#)

Attachments: [Draft Planning Commission Minutes of December 16, 2025.](#)

Approve Consent Calendar Item as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontanaca.gov. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

- (a) hearing opened
- (b) written communication
- (c) council/staff comments
- (d) applicant comments
- (e) oral - favor
- (f) oral - opposition
- (g) hearing closed

PH-A Master Case No. (MCN) 24-0037; Design Review No. 24-0013; A request for site and architectural review for the development of a 492,240 square foot industrial commerce building with associated site improvements on property located at 14970 Jurupa Avenue (APNs: 0237-121-03 & 0237-122-07), pursuant to an Addendum to the Southwest Industrial Park Specific Plan Final Environmental Impact Report (SCH No. 2009091089) prepared for the Project.

[26-0720](#)

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2026-____, and

1. Adopt the Addendum and Mitigation, Monitoring, and Reporting Program (MMRP) to the Southwest Industrial Park Specific Plan Final Environmental Impact Report (SCH No. 2009091089), and direct staff to file a Notice of Determination; and

2. Approve Design Review (DR) No. 24-0013.

APPLICANT:

Prologis
3546 Concourse Street, #100
Ontario, CA 91764

LOCATION:

The project site is located at 14970 Jurupa Avenue (APNs: 0237-121-03 and 0237-122-07).

PROJECT PLANNER:

Alejandro Rico, Associate Planner

Attachments: [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Project Plan Set](#)
[Attachment No. 3 - Resolution](#)
[Attachment No. 4 - Notice of Determination](#)
[Attachment No. 5 - Public Hearing Notice](#)

PH-B Master Case No. 25-0080 and Municipal Code Amendment No. [26-0714](#) (MCA) 25-0011: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) to modify Section No. 30-467 pertaining to accessory dwelling units (ADUs) and junior accessory dwelling units (JADU) to comply with State of California law, pursuant to a statutory exemption from the California Environmental Quality Act Under Section No. 21080.17 of the Public Resources Code.

RECOMMENDATION:

Based on the information contained in the staff report, staff recommends that the Planning Commission adopt Resolution PC No. 2026 - _____, and forward a recommendation to the City Council to:

1. Determine that the proposed ordinance is statutorily exempt from the California Environmental Quality Act (“CEQA”) pursuant to California Public Resources Code section 21080.17 as CEQA does not apply to the adoption of an ordinance by a city or county implementing the provisions of Article 2 of Chapter 13 of Division 1 of Title 7 of the California Government Code, which is California’s ADU law and which also regulates JADUs, as defined by section 66313; and,

2. Approve a Resolution recommending the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 25-0011 amend Chapter 30 of the Municipal Code.

APPLICANT:
 City of Fontana
 8353 Sierra Avenue
 Fontana, CA 92335

LOCATION:
 Citywide.

PROJECT PLANNER:
 Cecily Session-Goins, Associate Planner

Attachments: [Attachment No. 1 - Planning Commission Resolution](#)
[Attachment No. 2 - Notice of Exemption](#)
[Attachment No. 3 - Public Hearing Notice](#)

UNFINISHED BUSINESS:

A. None

NEW BUSINESS:

NB-A Election of Planning Commission Officers: [26-0753](#)
 Chair, Vice Chair, Secretary

DIRECTOR COMMUNICATIONS:

A. Director Communications:

DC-A Upcoming cases scheduled for City Council and Planning Commission. [26-0766](#)

An update of future City Council agenda items for January 27, 2026 and February 10, 2026 for the Planning

Commission's information.

An update of future Planning Commission agenda items for February 3, 2026 for the Planning Commission's information.

Attachments: [Upcoming Items CC Memo](#)
[Upcoming Items PC Memo](#)

COMMISSION COMMENTS:

- A. Planning Commission Remarks:

WORKSHOP:

- A. None

ADJOURNMENT:

- A. Adjournment

Adjourn to the next Regular Planning Commission Meeting on Tuesday, February 3, 2026 at 6:00 p.m. in the Steelworkers' Auditorium, 8437 Sierra Avenue, Fontana, California.



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0765
Agenda #: CC-A

Agenda Date: 1/20/2026
Category: Consent Calendar

FROM:
Planning

TITLE:
Approval of Minutes

RECOMMENDATION:
Approve the minutes of the Regular Planning Commission Meeting of December 16, 2025.

DISCUSSION:
The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of December 16, 2025. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:
Approve staff recommendation.



City of Fontana
Planning Commission
Minutes

Idilio Sanchez, Chair
Ricardo Quintana, Vice Chair
Joe Armendarez, Secretary
Torrie Lozano, Commissioner
Dylan Keetle, Commissioner

Tuesday, December 16, 2025 6:00 P.M. Grover W. Taylor Council Chambers

CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, December 16, 2025. Vice Chair Quintana called the meeting to order at 6:03 p.m.

Present: Vice Chair Quintana, Secretary Armendarez and Commissioner Lozano

Absent: Chair Sanchez and Commissioner Keetle

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Ellen Miller, the Pledge of Allegiance was led by Commissioner Lozano.

PUBLIC COMMUNICATIONS:

A. Public Communications:

None.

CONSENT CALENDAR:

A. Approval of Minutes:

Approve the Regular Planning Commission Meeting Minutes of December 2, 2025.

ACTION: A Motion was made by Secretary Armendarez and seconded by Commissioner Lozano and passed by a vote of 3-0 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Vice Chair Quintana, Secretary Armendarez and Commissioner Lozano

Absent: Chair Sanchez and Commissioner Keetle

Abstain: None

PH- A

Master Case (MCN) No. 23-0095: Conditional Use Permit (CUP) No. 23-0025, and Administrative Site Plan (ASP) No. 23-039 - A request for the establishment of a private school within an existing (church) building and a request for site and architectural review for the modifications to the building and associated on-site improvements, on an existing 2.9 acre parcel located at 17487 Arrow Boulevard, pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15301.

Vice Chair Quintana opened the Public Hearing

Alexia Barberena, Associate Planner, presented the staff report.

No written correspondence was received.

The applicant, Ben Wu, stated that he read and agreed to the Conditions of Approval and provided a brief overview of the project. The applicant provided clarification.

Secretary Armendarez asked for clarification on whether the school would operate during daytime or nighttime hours.

No individual spoke in favor or in opposition.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information contained in this staff report and subject to the attached Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025 - 050, and,

1. Determine that the project is categorically exempt pursuant to Section No. 15301 (Class No. 1, Existing Facilities), and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption, and;
2. Approve Conditional Use Permit (CUP) No. 23-0025, and;
3. Approve Administrative Site Plan (ASP) No. 23-0039.

ACTION: Motion was made by Commissioner Lozano and seconded by Vice Chair Quintana and passed by a vote of 3-0 to approve Public Hearing Item "A" and adopt Resolution No. PC 2025-050.

The motion carried by the following vote:

AYES: Vice Chair Quintana, Secretary Armendarez and Commissioner Lozano
NOES: None; **ABSTAIN:** None; **ABSENT:** Chair Sanchez and Commissioner Keetle

PH-B

Master Case No. (MCN) 24-0026: Tentative Tract Map No. 24-0002 (TTM No. 20690), and Design Review (DRP) No. 24-0011; A Tentative Tract Map for the subdivision of one parcel to establish a condominium map for the development of 153 units and a Design Review request for site and architectural approval of 153 condominiums units, inclusive of 69 detached units and 84 attached units along with associated site improvements, pursuant to the adoption of a Mitigated Negative Declaration, and approval of a Mitigation Monitoring and Reporting Program and directing staff to file a Notice of Determination.

Vice Chair Quintana opened the Public Hearing.

The City Clerk's noted that two (2) written correspondence were received regarding this item.

Cecily Session-Goins, Associate Planner, presented the staff report.

The Planning Commission and staff discussed zoning and traffic impacts for the proposed project. Associate Planner, Session-Goins confirmed the project is consistent with the existing Village District Form-Based Code zoning and no general plan amendment or zone change was required. The Commission reviewed construction-related traffic concerns, with staff explaining that the developer will be required to implement traffic

control plans during construction, which will be reviewed by the Engineering Department. Associate Planner Session-Goins also confirmed that a traffic study was completed as part of the Mitigated Negative Declaration, including analysis of Catawba Avenue, and found that the majority of project-related trips would use Curtis Avenue toward Citrus Avenue, with only approximately 15 percent of trips estimated to travel south on Catawba Avenue.

The applicant, Stacey Sassaman, on behalf of North Fontana Investment Company, stated that she read and agreed to the Conditions of Approval and provided the Commission with a brief overview of the project and an estimated date of completion.

No individual spoke in favor or in opposition.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-051, and

- 1. Adopt the Mitigated Negative Declaration, and approve the Mitigation Monitoring and Reporting Program (MMRP) and direct staff to file a Notice of Determination, and;**
- 2. Approve Tentative Tract Map No. 24-0002 (TTM No. 20690), and;**
- 3. Approve Design Review (DR) No. 24-0011.**

ACTION: Motion was made by Secretary Armendarez and seconded by Commissioner Lozano and passed by a vote of 3-0 to approve Public Hearing Item "B"; adopt Resolution No. PC 2025-051; Approve Tentative Tract Map No. 24-0002 (TTM No. 20690) and Design Review (DR) No. 24-0011.

The motion carried by the following vote:

**AYES: Vice Chair Quintana, Secretary Armendarez and Commissioner Lozano
NOES: None; ABSTAIN: None; ABSENT: Chair Sanchez and Commissioner Keetle**

PH-C

Master Case No. (MCN) 25-0018: Tentative Tract Map No. 25-0001 (TTM No. 20282), and Design Review (DRP) No. 25-0006; A request for the establishment of a condominium map, and for the site and architectural review for the development of 219 attached condominium units with various amenities and associated improvements, pursuant to a previously adopted Environmental Impact Report and Mitigation Monitoring and Reporting Program for the Ventana at Duncan Canyon

specific plan project (SCH No. 2021100400) and directing staff to file a Notice of Determination.

Vice Chair Quintana opened the Public Hearing.

The City Clerk's noted that one (1) written correspondence was received regarding this item.

Alexia Barberena, Associate Planner, presented the staff report.

The applicant, Addison Garza, on behalf of KB Homes stated that she read and agreed to the Conditions of Approval and provided the commission with the project's estimated timeline/date of completion.

No individual spoke in favor or in opposition.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-052, and

- 1. Find that the project has been reviewed under the previous Environmental Impact Report for the Ventana Specific Plan (Master Case No. 22-000099R1, General Plan Amendment No. 21-000006, and Specific Plan Amendment No. 22-000001) pursuant to CEQA Sections 15162 through 15164 and Section 8-10 of the Fontana 2019 Local Guidelines for Implementing CEQA and that none of the exceptions in CEQA Section 15162 apply here, and direct staff to file a Notice of Determination;**
- 2. Approve Tentative Tract Map No. 25-0001; and;**
- 3. Approve Design Review (DR) No. 25-0006.**

ACTION: Motion was made by Secretary Armendarez and seconded by Commissioner Lozano and passed by a vote of 3-0 to approve Public Hearing Item "C"; adopt Resolution No. PC 2025-052; Approve Tentative Tract Map No. 25-0001 and Design Review (DR) No. 25-0006.

The motion carried by the following vote:

**AYES: Vice Chair Quintana, Secretary Armendarez and Commissioner Lozano
NOES: None; ABSTAIN: None; ABSENT: Chair Sanchez and Commissioner Keetle**

DIRECTOR COMMUNICATIONS:**A. Director Communications:**

Planning Director, Patty Nevins announced that future meetings will be held at the Steelworkers' Auditorium beginning in January 2026 during City Hall construction and wished the Commission happy holidays.

COMMENTS:**A. Public Communication Commission Comments:**

Commissioner Lozano thanked staff for this year's presentations and highlighted the exciting projects coming to Fontana. She expressed appreciation to Planning staff and the City Clerk's Department for their support, thanked her colleagues, and wished everyone a happy holiday season.

Secretary Armendarez echoed prior remarks and wished everyone a wonderful holiday.

Vice Chair Quintana reflected on a successful year with many quality projects approved and expressed anticipation for their construction. Noted this was the last meeting before returning to the newly built City Hall/Council Chambers, confirmed meetings would be held at the Steelworkers' Auditorium in the interim, thanked all who supported the meetings, and wished everyone happy holidays.

ADJOURNMENT:

Vice Chair Quintana adjourned the meeting at 6:36 p.m. to the next Regular Planning Commission Meeting on Tuesday, January 20, 2026, at 6:00 p.m. in the Steelworkers' Auditorium located at 8437 Sierra Avenue, Fontana, California.

Susana Gallardo
Deputy City Clerk

**THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION
ON THE 20th DAY OF JANUARY 2026.**

Ricardo Quintana
Vice Chair



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0720
Agenda #: PH-A

Agenda Date: 1/20/2026
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. (MCN) 24-0037; Design Review No. 24-0013; A request for site and architectural review for the development of a 492,240 square foot industrial commerce building with associated site improvements on property located at 14970 Jurupa Avenue (APNs: 0237-121-03 & 0237-122-07), pursuant to an Addendum to the Southwest Industrial Park Specific Plan Final Environmental Impact Report (SCH No. 2009091089) prepared for the Project.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2026- _____, and;

1. Adopt the Addendum and Mitigation, Monitoring, and Reporting Program (MMRP) to the Southwest Industrial Park Specific Plan Final Environmental Impact Report (SCH No. 2009091089), and direct staff to file a Notice of Determination; and
2. Approve Design Review (DR) No. 24-0013

APPLICANT:

Prologis
3546 Concourse Street, #100
Ontario, CA 91764

LOCATION:

The project site is located at 14970 Jurupa Avenue (APNs: 0237-121-03 and 0237-122-07).

REQUEST:

Design Review (DR) No. 24-0013; A request for site and architectural approval for a new industrial commerce building totaling 492,240 square feet, and associated site improvements.

PROJECT PLANNER:

Alejandro Rico, Associate Planner

BACKGROUND INFORMATION:

Land Use Table

	General Plan	Zoning/Overlay	Existing Land Use
Site:	Light Industrial (I-L)	Southwest Industrial Park Specific Plan (SWIP)/Jurupa North Research and Development District (JND)	Steel material business and storage uses
North:	Light Industrial (I-L)	Southwest Industrial Park Specific Plan (SWIP)/Jurupa North Research and Development District (JND)	Industrial and office uses
South:	Residential-Planned Community (R-PC)	Southridge Village Specific Plan	Single-family uses
East:	Light Industrial (I-L)	Southwest Industrial Park Specific Plan (SWIP)/Jurupa North Research and Development District (JND)	Warehouse Distribution uses
West:	Light Industrial (I-L)	Southwest Industrial Park Specific Plan (SWIP)/Jurupa North Research and Development District (JND)	Warehouse Distribution uses

PROJECT DESCRIPTION:

- A. Site Area: Approximately 22.26 acres
- B. Building:
 - Warehouse: 472,240 square feet
 - Offices 20,000 square feet
 - Total: 492,240 square feet
- C. Parking:
 - Vehicle Required: 121 spaces
 - Vehicle Provided: 234 spaces
 - Trailer Required: 99 spaces
 - Trailer Provided: 128 spaces
- D. Landscaping:
 - Required: 492,191 square feet (15 percent)
 - Provided: 109,990 square feet (22.6 percent)

ANALYSIS:

The applicant, Prologis, is requesting that the Planning Commission approve Design Review No. 24-0013, for development of a 492,240 square foot industrial commerce building, and associated site improvements on approximately 22.23 acres.

Design Review (DR) No. 24-0013

This development proposal is for the site and architectural approval of a new industrial commercial building with sixty (60) dock doors, including 20,000 square feet of office space, totaling 492,240 square feet.

The architecture of the industrial commercial building will feature an exterior white, neutral gray tone color palette with dark green accents. The architectural details include metal canopies and doors, glazed windows, aluminum storefront windows, and exterior lighting. Variations to the buildings' faces, roof lines and building height of forty-two (42) feet six (6) inches high will make the Project architecturally pleasing and will be consistent with the surrounding area as required by the Southwest Industrial Park Specific Plan (SWIP). The Project includes associated on and off-site improvements including parking spaces, new landscaping, enhanced lighting, curb, gutter, sidewalks, and utilities related to the Project.

The proposal has been designed to be compatible with surrounding industrial uses. The Project Site is physically suitable in size and shape to support the development of the proposed industrial commercial building. The building is designed to have sixty (60) dock doors along the northern portion of the facility facing away from the Southridge residential community for ample screening. Applicable building codes, zoning and municipal codes, and fire codes and standards will be met and make for a safe, attractive, and well-designed project. The Project incorporates safety measures for automobiles and pedestrians in the area.

To finalize the site design for this development, the project includes the vacation of Jurupa Avenue and a portion of Live Oak Avenue. The purpose of the vacation is to facilitate the efficient development of the property, directly supporting industrial development. This aligns with the vision set forth in the City's General Plan Chapter 15 to promote employee centers and industrial development near regional transportation routes such as the I-10 freeway.

Grading/Walls:

The project site is relatively flat and currently utilized for metal storage. The existing drainage pattern flows from the northeast to the southwest. An underground water chamber system will be constructed for the Project.

The project plans include a ten (10) foot high concrete tilt up screen wall along the northwest and northeast sides of the property. The wall adjacent to both sides of the property will align with the adjacent screen wall, resulting in heights up to twelve (12) feet.

Site Access/Circulation/Parking:

Vehicular access to the Project site will be off Hemlock Avenue, with two driveways and Live Oak Avenue which will also have two (2) two-way drive aisles. Trucks will utilize two driveways, one on Hemlock Avenue and one on Live Oak Avenue. Both are located near the northern portion of the site. SWIP classifies both streets as Collector streets which can be used to access freeways by either Jurupa Avenue located directly to the south of the Project site and Slover Avenue located approximately .9 miles to the north. The internal circulation has been reviewed by the Planning, Fire, Traffic, and Engineering Departments and found to be sufficient to support this type of use.

Environmental:

Pursuant to CEQA Guidelines Sections 15162 and 15164, a lead agency shall prepare an Addendum

to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. The proposed changes were evaluated in light of the standards for subsequent environmental review outlined in Public Resources Code Section 21166, CEQA Guidelines Section 15162 and the City of Fontana's 2019 Local Guidelines for Implementing CEQA. Based on this evaluation, it was determined that the FEIR fully analyzed and mitigated, where feasible, all potentially significant environmental impacts, if any, that would result from the Project. Additionally, none of the conditions described in Section 15162 have occurred and as a result, an Addendum to the Southwest Industrial Park Specific Plan Final EIR (SCH No. 2009091089) is the appropriate document to evaluate the proposed Project.

MOTION:

Approve staff's recommendation.

ATTACHMENTS:

Attachment No. 1 - Vicinity Map

Attachment No. 2 - Project Plan Set

Attachment No. 3 - Planning Commission Resolution, Findings & Conditions of Approval

Attachment No. 4 - Notice of Determination

Attachment No. 5 - Public Hearing Notice



VICINITY MAP

DATE: January 20, 2026

CASE: Master Case No. 24-0037
Design Review No. 24-0013



MOUNTAIN VIEW INDUSTRIAL PARK 13

14970 JURUPA AVE.
FONTANA, CA 92337



Attachment No. 2 - Project Plan Set

MTN VIEW IND PARK 13
14970 JURUPA AVE.
FONTANA, CA

PROJECT
6TH ENTITLEMENT SUBMITTAL



HERDMAN
ARCHITECTURE + DESIGN
A24-2007
03.26.2025

TITLE SHEET

A0



KEYNOTES	
107	(N) SIDEWALK
109	(N) TRANSFORMER LOCATION
111	TYP U.O.N. STANDARD PARKING STALL 9'-0" WIDE X 19'-0" DEEP
112	EV (ELECTRIC VEHICLE) CAPABLE PARKING STALL. PROVIDE FOR FUTURE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT) MATCH STANDARD STALL SIZE
114	ACCESSIBLE PARKING SITE ENTRANCE SIGN
119	TRUCK TRAILER PARKING STALL
135	CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE
143	PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
146	2 POSITION BIKE RACK
156	FUTURE GUARD SHACK
159	MONUMENT SIGN
174	12" x 6" CONCRETE CURB TYP @ ALL CURBS IN TRUCK COURT AREA
178	20' WIDE EMERGENCY VEHICLE ACCESS POINT WITH A MANUAL GATE. LESS THAN 14% GRADE (SEE CIVIL & LANDSCAPE DWGS)
179	EXISTING SCREEN WALL ON NEIGHBORING PROPERTY
180	EXISTING CURB ALONG PROPERTY LINE

LOT AREA	
SQUARE FOOTAGE	ACRES
NET	
969431 SF	22.26

FLOOR AREA RATIO			
BUILDING AREA	SITE AREA	FAR ALLOWABLE	FAR PROVIDED
492240 SF	969431 SF	55%	50.8%

BUILDING AREA SUMMARY	
NAME	AREA
LEVEL 01	
WAREHOUSE	472240 SF
OFFICE	5000 SF
OFFICE	5000 SF
OFFICE	482240 SF
MEZZANINE	
OFFICE	5000 SF
OFFICE	5000 SF
OFFICE	10000 SF
GROUND LEVEL + MEZZANINE	
WAREHOUSE	472240 SF
OFFICE	20000 SF
TOTAL BUILDING AREA	492240 SF

LANDSCAPE AREA SUMMARY			
LOT AREA EXCL. OF BLDG	% LANDSCAPING REQUIRED	AREA LANDSCAPING PROVIDED	% LANDSCAPING PROVIDED
487191 SF	15%	109990 SF	22.6%

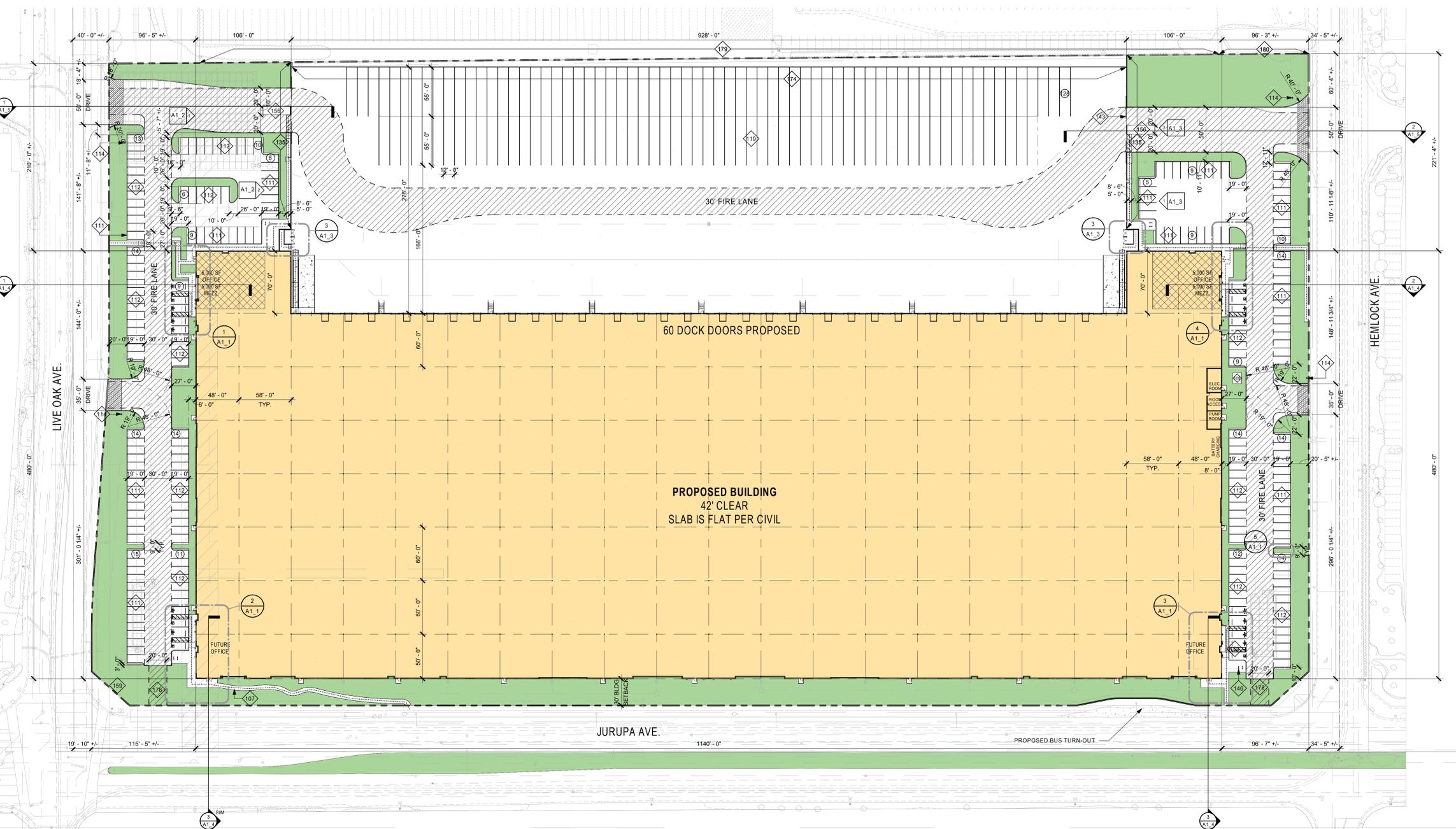
TOTAL PARKING REQUIRED			
BUILDING USE	BUILDING AREA	PARKING RATIO 1X	REQ. PARKING
OFFICE	20000 SF	5000	4
WAREHOUSE	20000 SF	1000	20
WAREHOUSE	20000 SF	2000	10
WAREHOUSE	432240 SF	5000	87
TOTAL	492240 SF		121

REQUIRED PARKING BREAKDOWN	
SPACE TYPE	SPACES REQUIRED
STANDARD STALLS	55
STANDARD ACCESSIBLE STALLS	3
VAN ACCESSIBLE STALLS	2
EV CAPABLE STALL (w/o EVSE)	55
EVCS (EV CAPABLE STALL w/ EVSE)	1
STANDARD ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE)	1
VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE)	2
EVCS (EV CAPABLE STALL w/ EVSE)	2
AMBULATORY ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE)	2
TOTAL	121

PARKING PROVIDED	
SPACE TYPE	SPACES PROVIDED
STANDARD STALLS	110
STANDARD ACCESSIBLE STALLS	2
VAN ACCESSIBLE STALLS	2
EV CAPABLE STALL (w/o EVSE)	106
EVCS (EV CAPABLE STALL w/ EVSE)	1
STANDARD ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE)	4
VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE)	2
EVCS (EV CAPABLE STALL w/ EVSE)	4
AMBULATORY ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE)	4
TOTAL	234

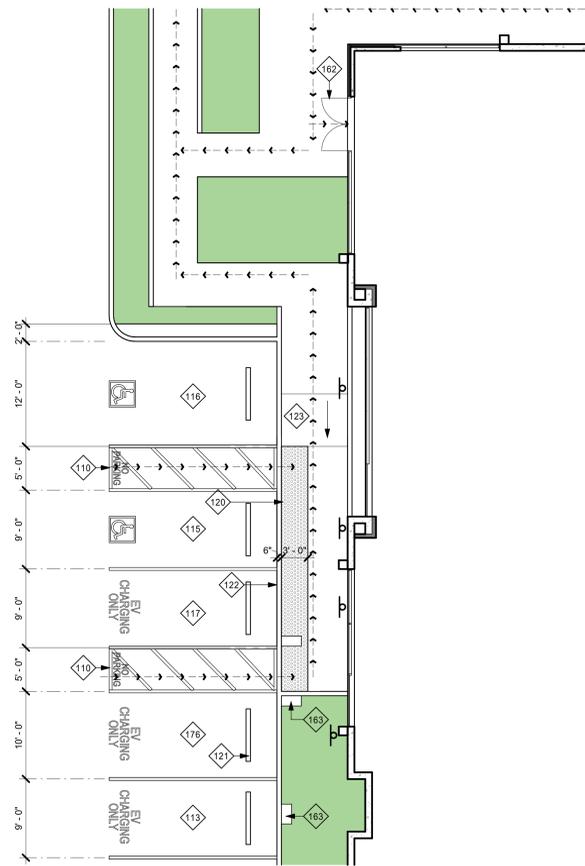
TRAILER PARKING REQUIRED	TRAILER PARKING PROVIDED
1/5000	128
99	

SITE LEGEND	
	LANDSCAPE AREA
	CONCRETE PAVING WHEN OCCURS @ PARKING AREAS, DRIVE AISLES, & OR TRUCK COURT. SEE CIVIL DRAWINGS FOR PAVING SECTIONS
	FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY THE FIRE AUTHORITY. SEE 3/AD1.1
	STREET LIGHT
	INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6
	PROPERTY LINE

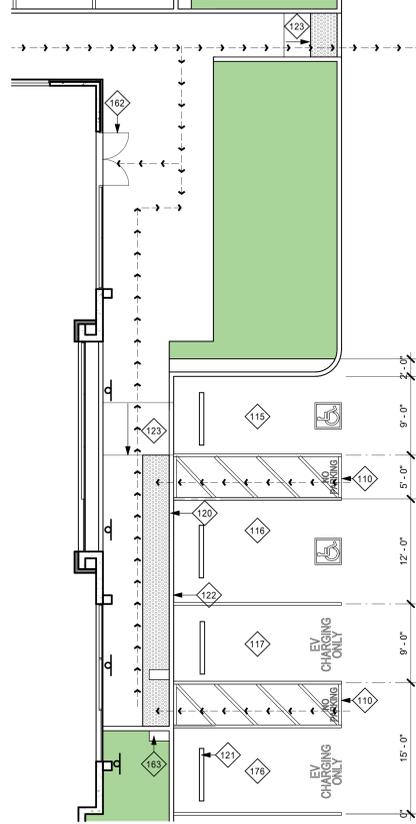


1 PROPOSED SITE PLAN
Scale: 1" = 50'-0"

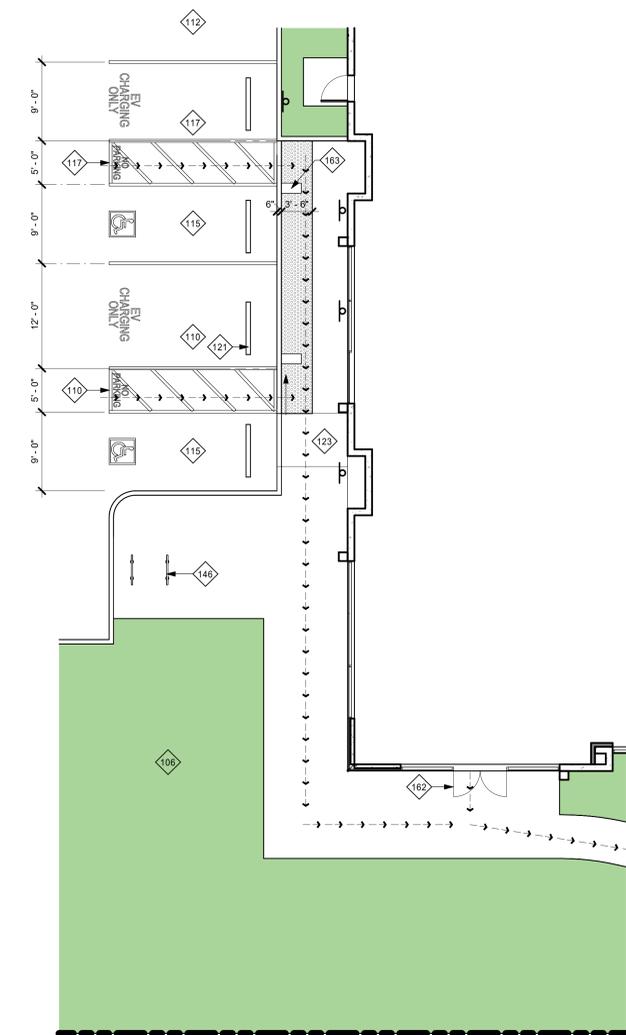
DEVELOPER/OWNER	SCOPE OF WORK	PROJECT INFORMATION & AREA ANALYSIS	SHEET INDEX	VICINITY MAP	SITE PLAN GENERAL NOTES	SITE LEGEND
<p>PROLOGIS 3546 CONCOURSE ST., SUITE 100 ONTARIO CA 91764 CONTACT: D.J. ARELLANO PHONE: 562.376.9233 EMAIL: DARELLANO@PROLOGIS.COM</p>	<p>CONSTRUCT NEW ONE STORY + MEZZANINE CONCRETE TILT-UP WAREHOUSE/DISTRIBUTION FACILITY WITH ELECTRICAL AND PLUMBING SERVICES, EXTERIOR LIGHTING, LANDSCAPING & IRRIGATION, TRASH ENCLOSURES, CONCRETE SCREEN WALLS, AND SLIDING/SWINGING METAL GATES. FIRE SPRINKLER AND GRADING PLANS TO BE A SEPARATE SUBMITTAL AND PERMIT</p>	<p>BUILDING ADDRESS: 14970 JURUPA AVE. 1049 B / S-1 OCCUPANCY: YES (ESFR NFPA 72, NFPA 13 & NFPA 24) 42' @ 6" INSIDE FIRST COLUMN LINE FIRE SPRINKLER: CLEAR HEIGHT:</p> <p>ZONING: GENERAL PLAN: IL (LIGHT INDUSTRIAL) JURUPA NORTH RESEARCH & DEVELOPMENT DISTRICT (UND) - SOUTHWEST INDUSTRIAL PARK S.P. NO FLOOD ZONE FEMA FLOOD ZONE:</p> <p>BUILDING SETBACKS: FRONT SETBACK: 30' SIDE SETBACK: 20' REAR SETBACK: - MAX. HEIGHT: 60'</p> <p>ALLOWABLE AREA: UNLIMITED AREA PER CBC 507 OR X SF PER TABLE 506.2</p>	<p>A1 SITE PLAN A1.1 ENLARGED SITE PLANS A1.2 GATE & FENCE ELEVATIONS A1.3 GATE & FENCE ELEVATIONS A1.4 LINE OF SIGHT A1.5 LINE OF SIGHT A2.1 GROUND LEVEL FLOOR PLANS A2.2 MEZZANINE LEVEL FLOOR PLANS A3 ROOF PLAN A4.1 EXTERIOR ELEVATIONS A4.2 COLOR ELEVATIONS A4.3 RENDERINGS A5 COLOR BOARD C1 CONCEPT GRADING PLAN C2 CONCEPT GRADING SECTIONS C3 CONCEPT UTILITY PLAN L1 PRELIMINARY LANDSCAPE PLAN L2 PRELIMINARY LANDSCAPE PLAN FC-1.0 PHOTOMETRIC PLAN</p>		<ol style="list-style-type: none"> THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS U.O.N. ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: <ol style="list-style-type: none"> SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5% CROSS SLOPES DO NOT EXCEED 2%. THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11/AD 2.1 CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS. THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 80" MIN. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2/AD 1.1 PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AD.1.1 ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6/AD 1.2 PROVIDE A HOSE BIB NEAR THE MAIN BUILDING ENTRANCE THE SEE PLAN FOR LOCATION. 	<p>LANDSCAPE AREA</p> <p>CONCRETE PAVING WHEN OCCURS @ PARKING AREAS, DRIVE AISLES, & OR TRUCK COURT. SEE CIVIL DRAWINGS FOR PAVING SECTIONS</p> <p>FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY THE FIRE AUTHORITY. SEE 3/AD1.1</p> <p>STREET LIGHT</p> <p>INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6</p> <p>PROPERTY LINE</p>



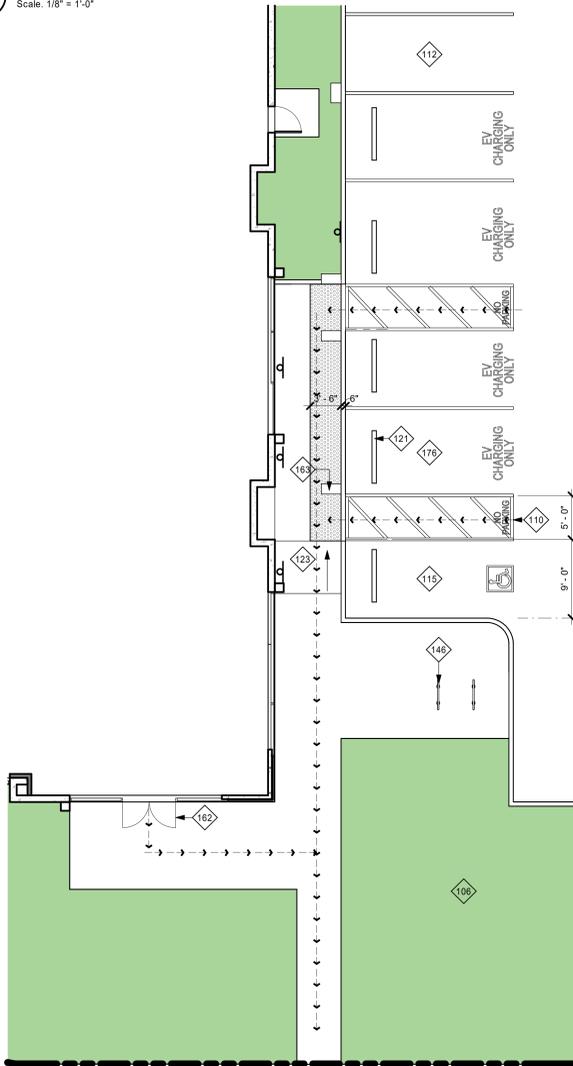
1 ENLARGED SITE PLAN NORTHWEST CORNER
A1_1 Scale: 1/8" = 1'-0"



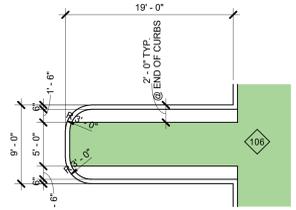
4 ENLARGED SITE PLAN NORTHEAST CORNER
A1_1 Scale: 1/8" = 1'-0"



2 ENLARGED SITE PLAN SOUTHWEST CORNER
A1_1 Scale: 1/8" = 1'-0"



3 ENLARGED SITE PLAN SOUTHEAST CORNER
A1_1 Scale: 1/8" = 1'-0"



5 ENLARGED PLANTER PLAN
A1_1 Scale: 1/8" = 1'-0"

KEYNOTES

- 106 @ SHADING, PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS.
- 110 ACCESS AISLE FOR ACCESSIBLE PARKING STALL. 5'-0" WIDE
- 112 EV (ELECTRIC VEHICLE) CAPABLE PARKING STALL. PROVIDE FOR FUTURE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE.
- 113 EVCS (ELECTRIC VEHICLE CHARGING STATION). PROVIDE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE.
- 115 STANDARD ACCESSIBLE PARKING STALL. 9'-0" WIDE x DEPTH OF STANDARD STALL.
- 116 VAN ACCESSIBLE PARKING STALL. 12'-0" WIDE x DEPTH OF STANDARD STALL.
- 117 STANDARD ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 9'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
- 120 TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.
- 121 PRECAST CONCRETE WHEEL STOP.
- 122 ZERO CURB FACE.
- 123 CURB RAMP. @ 3.3% MAX SLOPE w/ 2% MAX CROSS SLOPE.
- 146 2 POSITION BIKE RACK.
- 162 ACCESSIBLE BUILDING ENTRANCE.
- 163 FUTURE EVCS CHARGING EQUIPMENT.
- 176 AMBULATORY ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 10'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.

SITE LEGEND

- LANDSCAPE AREA
- CONCRETE PAVING WHEN OCCURS @ PARKING AREAS, DRIVE AISLES, & OR TRUCK COURT. SEE CIVIL DRAWINGS FOR PAVING SECTIONS
- FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY THE FIRE AUTHORITY. SEE 3AD1.1
- STREET LIGHT
- INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY w/ SITE PLAN GENERAL NOTE #6
- PROPERTY LINE

EXTERIOR COLOR SCHEDULE

- (A) EXTERIOR PAINT COLOR: PLD-9 PURE WHITE
- (B) EXTERIOR PAINT COLOR: PLD-6 STABLE
- (C) EXTERIOR PAINT COLOR: PLD-7 LIQUORICE TINT
- (D) EXTERIOR PAINT COLOR: PLD-8 DRAKE
- (E) EXTERIOR PAINT COLOR: PLD-5 NEW DARK GREEN
- (F) ACM PANEL COLOR: CHARCOAL ANODIZED

- SITE PLAN GENERAL NOTES**
1. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
 2. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS.
 3. U.O.N. ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH.
 4. REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION.
 5. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY.
 6. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING:
 - a. SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%.
 - b. THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN.
 - c. CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 11/A0.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS.
 - d. THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8' MIN.
 7. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N.
 8. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2AD1.1
 9. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3AD1.1.
 10. ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN.
 11. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 3AD1.2
 12. PROVIDE A HOSE BIB NEAR THE MAIN BUILDING ENTRANCE THE. SEE PLAN FOR LOCATION.

- EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: GREEN.**
- EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS**
- (G) ACM PANEL COLOR: GREEN ANODIZED
 - (H) EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED MULLION

- NOTES:**
1. ALL IMPERFECTIONS ON THE SURFACE OF THE CONCRETE WALL PANELS SHALL BE PATCHED / SACKED / SANDED SMOOTH PRIOR TO PAINTING.
 2. ALL INTERIOR AND EXTERIOR FABRICATED STEEL SHALL BE SHOP PRIMED WITH A GRAY, RUST INHIBITIVE PRIMER PRIOR TO DELIVERY TO THE JOB SITE. ANY AND ALL DAMAGE TO THE PRIMER COAT SHALL BE TOUCHED UP PRIOR TO ADDITIONAL FINAL COLOR PAINTING OR COMPLETION OF THE PROJECT.
 3. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
 4. U.O.N. EXTERIOR SIDE OF TRUCK DOORS TO BE "A" INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
 5. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
 6. PAINT EXTERIOR WALLS w/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
 7. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/A04.1.
 8. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
 9. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
 10. PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL, WHEN THERE IS A COLOR CHANGE AT THE REVEAL. SEE 3AD1.1
 11. U.O.N. PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN. IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
 12. ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE

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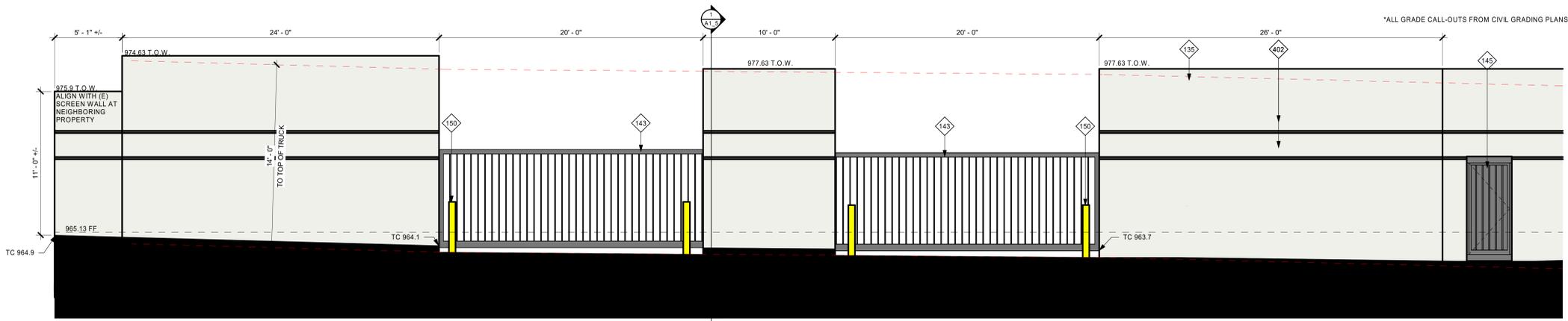
PROJECT
 6TH ENTITLEMENT SUBMITTAL



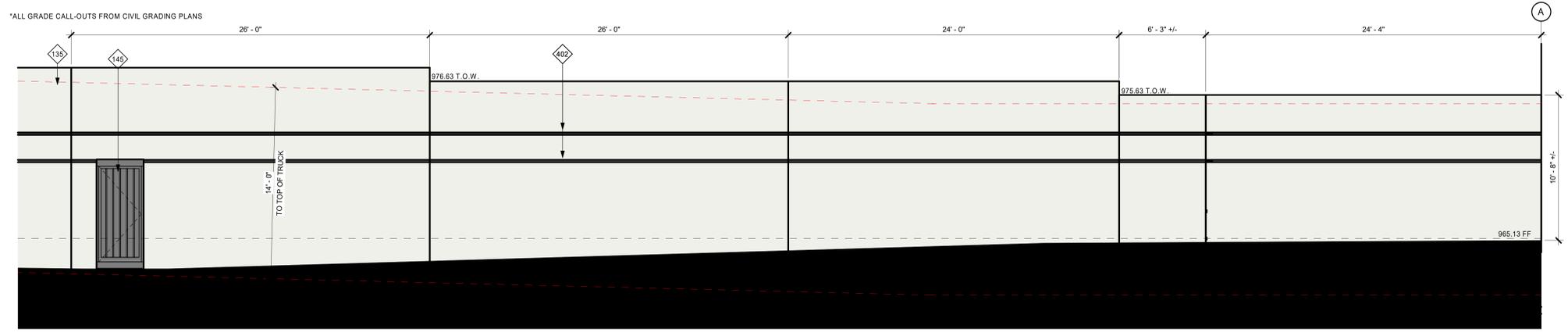
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ENLARGED
SITE PLANS

A1_1



1 NORTHWEST GATE & TYPICAL SCREEN WALL ELEVATION
Scale: 1/4" = 1'-0"



2 NORTHWEST GATE & TYPICAL SCREEN WALL ELEVATION
Scale: 1/4" = 1'-0"

KEYNOTES

- 135 CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
- 143 PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
- 145 PAINTED STEEL SWINGING PEDESTRIAN GATE. WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP w/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N., ALIGN TOP w/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
- 150 STEEL PIPE BOLLARD PROTECTION POST.
- 402 WALL REVEAL.

EXTERIOR COLOR SCHEDULE

	(A) EXTERIOR PAINT COLOR: PLD-9 PURE WHITE
	(B) EXTERIOR PAINT COLOR: PLD-6 STABLE
	(C) EXTERIOR PAINT COLOR: PLD-7 LIQUORICE TINT
	(D) EXTERIOR PAINT COLOR: PLD-8 DRAKE
	(E) EXTERIOR PAINT COLOR: PLD-5 NEW DARK GREEN
	(F) ACM PANEL COLOR: CHARCOAL ANODIZED

PAINT COLOR FOR EXPOSED STEEL BROW & CANOPY FRAMING: WALL BEHIND OPEN TRELLIS (KEY NOTE 428, OR 429) WHEN OCCURS & TRASH ENCLOSURE METAL ROOF, ROOF BEAMS, & SUPPORT COLUMNS.

	(G) ACM PANEL COLOR: GREEN ANODIZED
	(H) EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED MULLION

EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: GREEN.

EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS.

NOTES:

1. ALL IMPERFECTIONS ON THE SURFACE OF THE CONCRETE WALL PANELS SHALL BE PATCHED / SACKED / SANDED SMOOTH PRIOR TO PAINTING.
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7. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CALKED PER DETAIL 1AD4.1.
8. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
9. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
10. PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL WHEN THERE IS A COLOR CHANGE AT THE REVEAL. SEE 2AD4.1
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SITE PLAN GENERAL NOTES

1. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
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 - c. CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 11AD.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS.
 - d. THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8'-0" MIN.
7. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N.
8. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2AD1.1
9. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3AD1.1
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11. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6AD1.2
12. PROVIDE A HOSE BIB NEAR THE MAIN BUILDING ENTRANCE THE. SEE PLAN FOR LOCATION.

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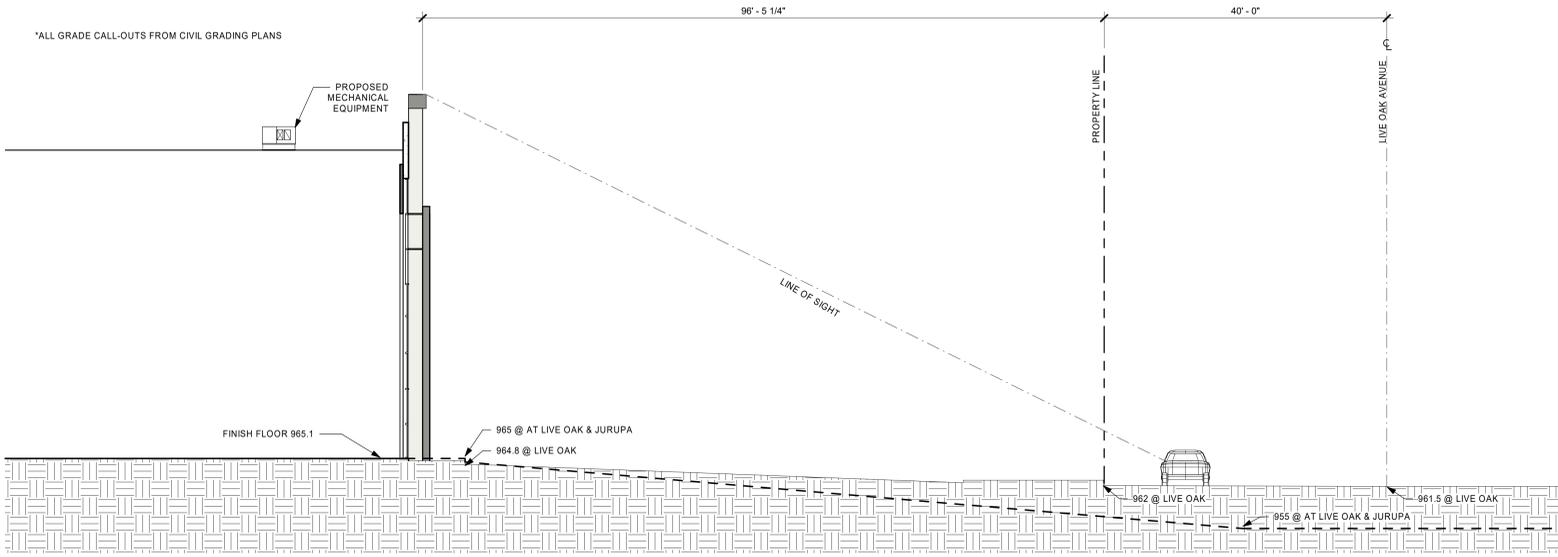
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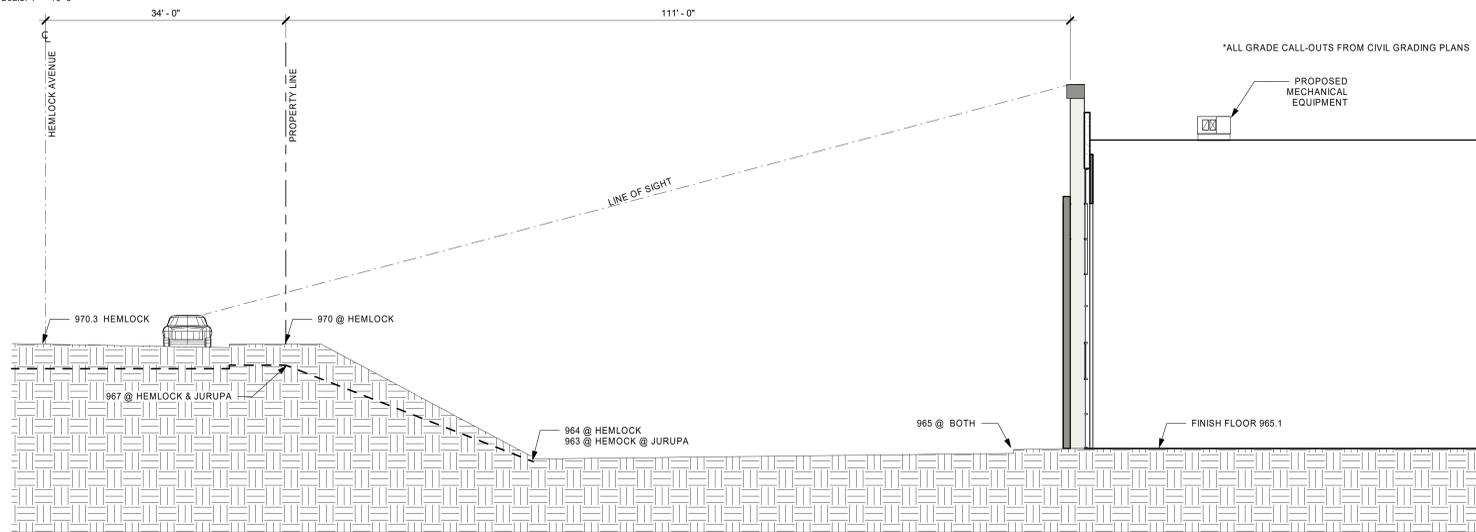
GATE & FENCE
ELEVATIONS

A1_2



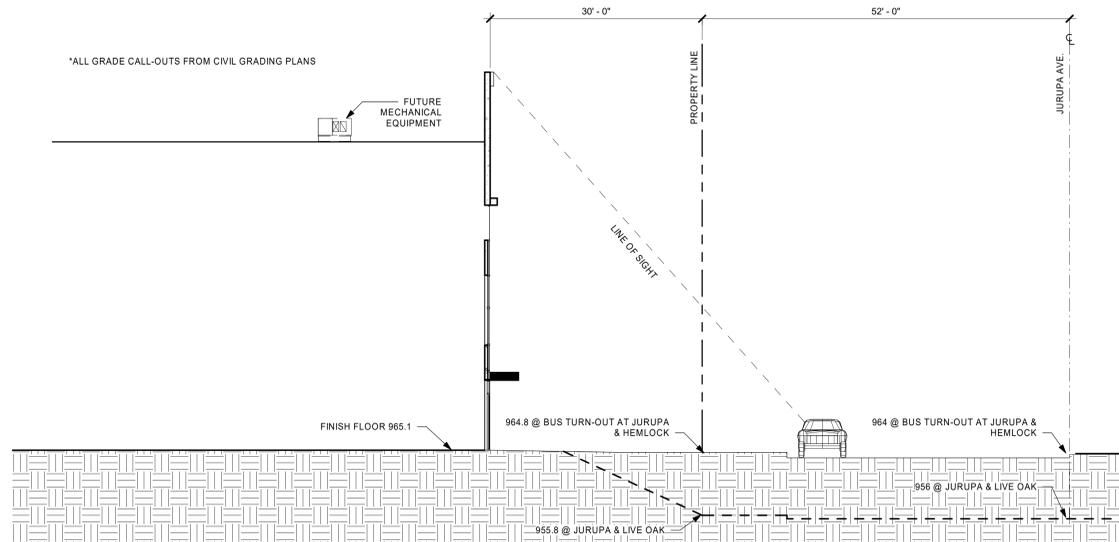
1 LINE OF SIGHT - BUILDING FROM LIVE OAK AVE.

A1_4 Scale: 1" = 10'-0"



2 LINE OF SIGHT - BUILDING FROM HEMLOCK AVE.

A1_4 Scale: 1" = 10'-0"



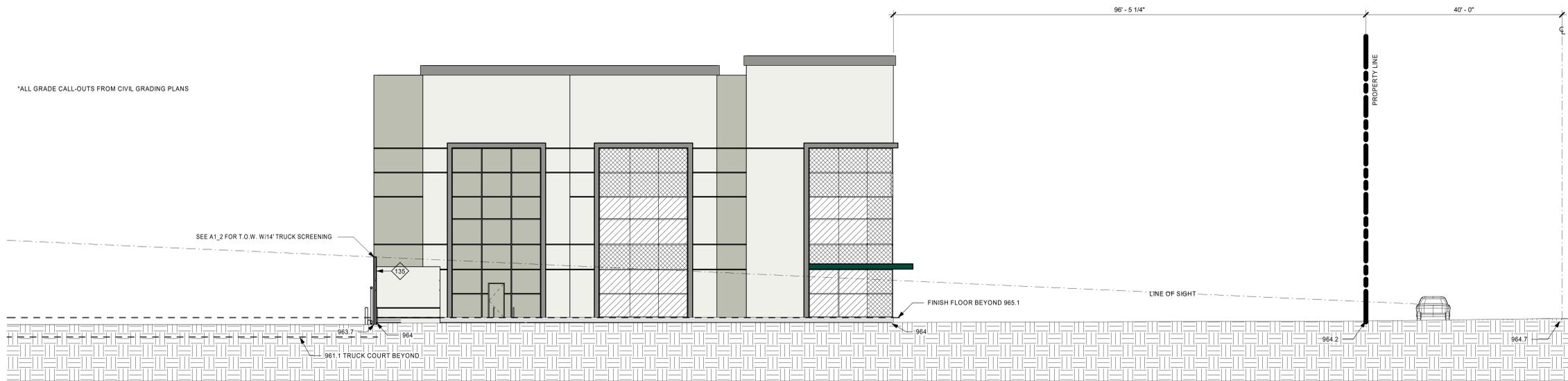
3 LINE OF SIGHT - BUILDING FROM JURUPA AVE.

A1_4 Scale: 1" = 10'-0"

KEYNOTES



*ALL GRADE CALL-OUTS FROM CIVIL GRADING PLANS

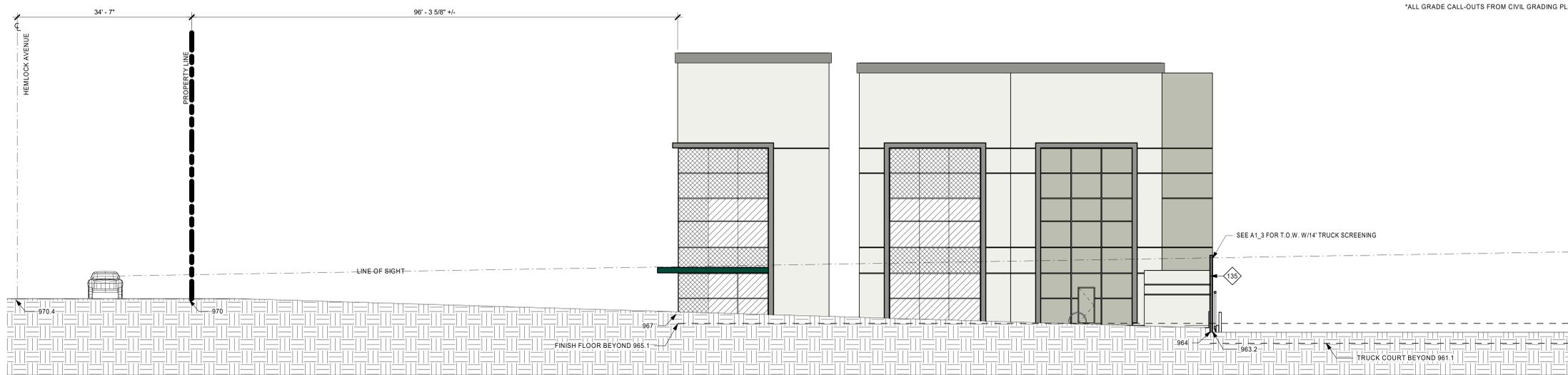


KEYNOTES 

135 CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.

1 LINE OF SIGHT - BUILDING FROM LIVE OAK AVE.
A1_5 Scale: 1" = 10'-0"

*ALL GRADE CALL-OUTS FROM CIVIL GRADING PLANS



2 LINE OF SIGHT - BUILDING FROM HEMLOCK AVE.
A1_5 Scale: 1" = 10'-0"



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LINE OF SIGHT

A1_5

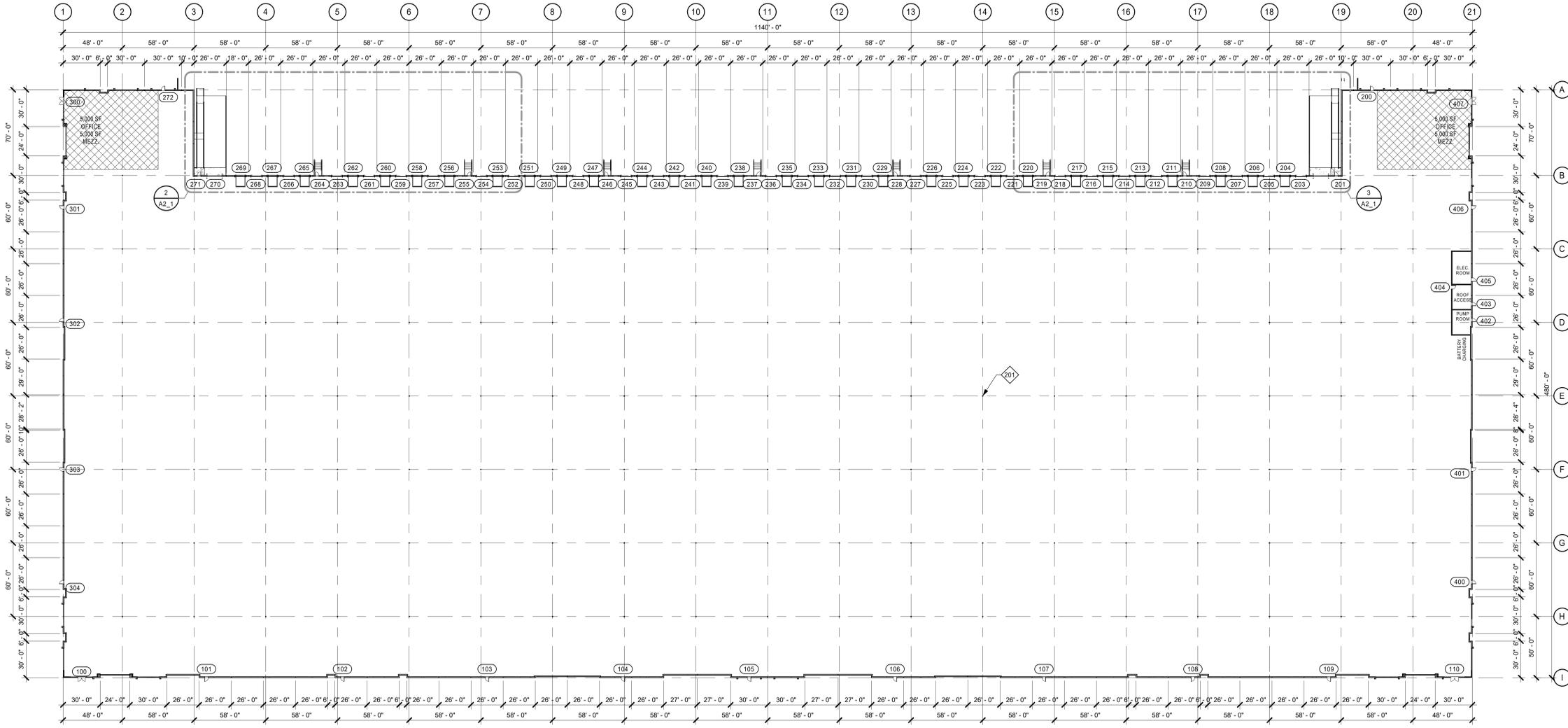


KEYNOTES	
120	TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.
149	CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDES. PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE.
201	STRUCTURAL BUILDING COLUMN.
407	PAINTED HOLLOW METAL PEDESTRIAN DOOR.
443	4'-0" w x 8'-0" h PAINTED STEEL WALL LOUVER. TOP @ +10'-0".

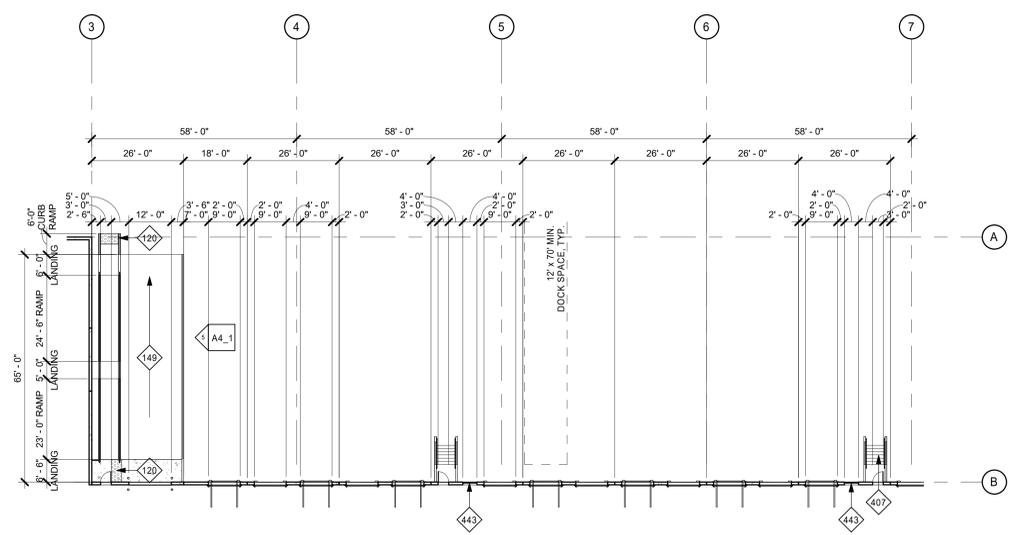
FLOOR PLAN LEGEND	
	EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP MEZZANINE SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
	STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
	METAL STUD NON BEARING PARTITION WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
	WOOD STUD BEARING WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
	STRUCTURAL BUILDING COLUMNS
	PROVIDE VAPOR BARRIER UNDER PROPOSED AND/OR FUTURE OFFICE AREA FLOOR SLAB. EXTEND MIN 40'-0" BEYOND 1'-1" AREA OR AS DIMENSIONED ON THE FLOOR PLAN. SEE 41A1.0
	FIRE SPRINKLER RISER. SEE FIRE PROTECTION PLANS AND 7/ADS.0.
	DOOR TAG. SEE SHEET A8.0 FOR DOOR SCHEDULE.
	WINDOW TAG. SEE SHEET A8.0 FOR WINDOW SCHEDULE.
	STOREFRONT TAG. SEE SHEETS A8.0.1 & A8.0.2 FOR STOREFRONT SCHEDULE.
	WALL TAG.

FLOOR SLAB GENERAL NOTES	
1.	THE FLOOR SLAB THICKNESS TO BE 'X'. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
2.	THE FLOOR SLAB TO BE CLASS V PER ACI 302-1R-04 TABLE 21.
3.	THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER WHETHER OR NOT TO PROVIDE JOINT FILLER AT FLOOR SLAB CONTROL AND CONSTRUCTION JOINTS.
4.	SLOPE POUR STRIPS @ EXTERIOR PEDESTRIAN AND OVERHEAD DOORS. SEE 5, 7, & 10/A4.1.
5.	CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT ARE PROHIBITED ON THE FLOOR SLAB DURING CONSTRUCTION.
6.	BELOW FLOOR SLAB SOIL COMPACTION TO BE 95% MIN.
7.	TRENCH SOIL COMPACTION TO BE 80% MIN.
8.	SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
9.	THE GENERAL CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB. ALL TRUCKS AND EQUIPMENT TO BE DIAPERED.
10.	ALL CONSTRUCTION MARKINGS SHALL BE REMOVED FROM THE FLOOR SLAB PRIOR TO SEALING.
11.	SEE 6/A2.1 FOR SLAB PATCHING DETAIL.
12.	PROVIDE 10'-0" WIDE PERIMETER FLOOR POUR STRIPS AT ALL TRUCK DOCK WALLS AND 5'-0" WIDE AT ALL OTHER WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. NO UNDERGROUND PIPING, CONDUITS, ETC ALLOWED IN POUR STRIPS @ DOCK DOORS TO ALLOW FOR CURRENT OR FUTURE RECESSED DOCK LEVELERS.
13.	ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES TO BE FILLED WITH APPROVED 2-PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR -
14.	ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED.
15.	CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE FLOOR SLAB.

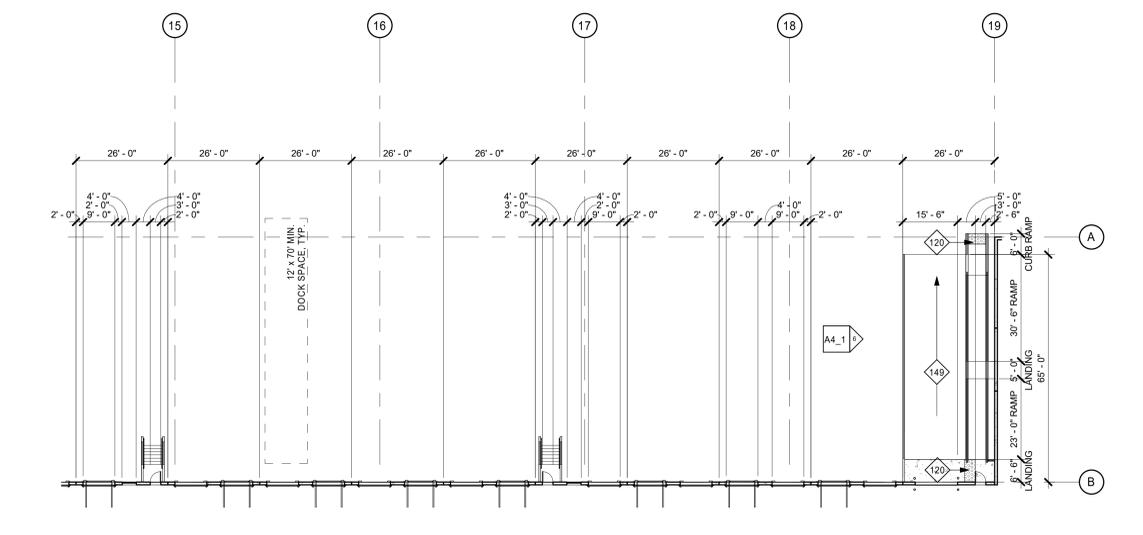
FLOOR PLAN GENERAL NOTES	
1.	WHERE A MEZZANINE OCCURS AND A 1" TOPPING IS CALLED OUT FOR IN THE STRUCTURAL DRAWINGS, PROVIDE A 1" THICK TOPPING OF GYP-CRETE 2000 WITH A MINIMUM STRENGTH OF 2,500 PSI.
2.	PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFD. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE DEPARTMENT INSPECTOR.
3.	ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHS A03.3 & A02.4.
4.	U.O.N. ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
5.	PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS.
6.	SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
7.	PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/ADS.0 FOR ADDITIONAL INFORMATION.
8.	FOR REQUIRED LANDINGS @ ALL INTERIOR & EXTERIOR DOORS. SEE 11/A02.1.
9.	NO SMOKING IS ALLOWED WITHIN 25' OF ALL BUILDING ENTRANCES. PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE.
10.	U.O.N @ INTERIOR PARTITIONS. FINISHED INSE SIDE OF JAMB TO BE 0" FROM FINISHED SURFACE OF INTERSECTING WALL.



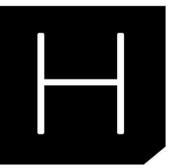
1 PROPOSED BUILDING FLOOR PLAN
Scale: 1" = 40'-0"



2 ENLARGED DOCK PLAN
Scale: 1" = 20'-0"



3 ENLARGED DOCK PLAN
Scale: 1" = 20'-0"



KEYNOTES

FLOOR PLAN LEGEND

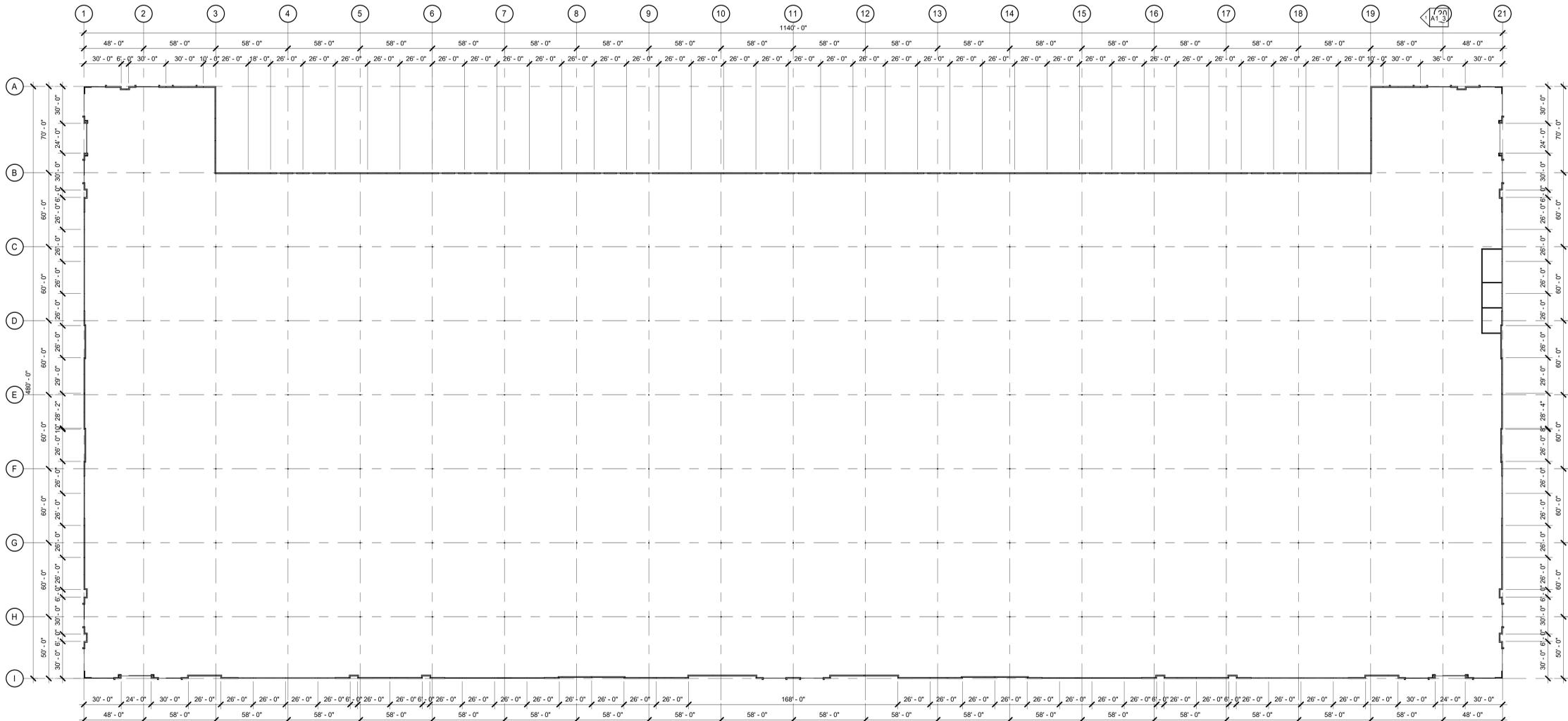
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FLOOR PLAN GENERAL NOTES

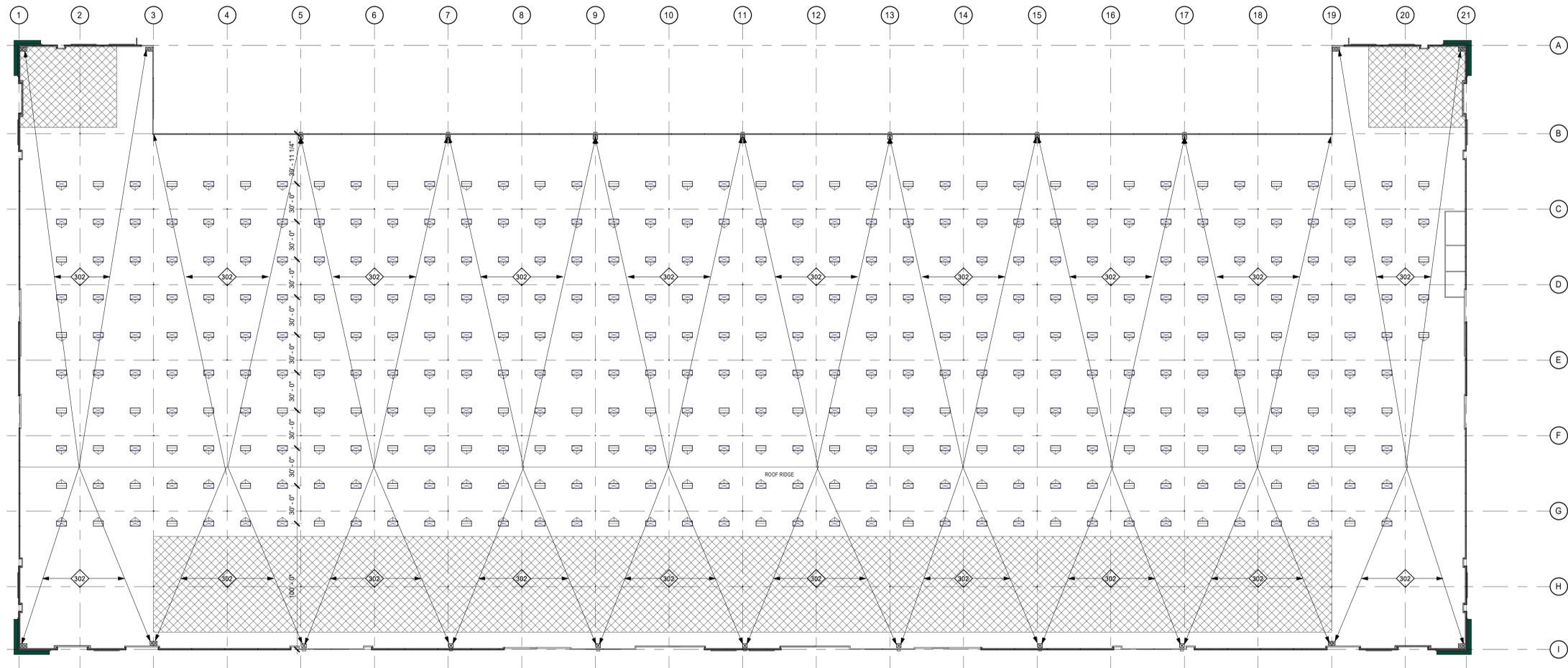
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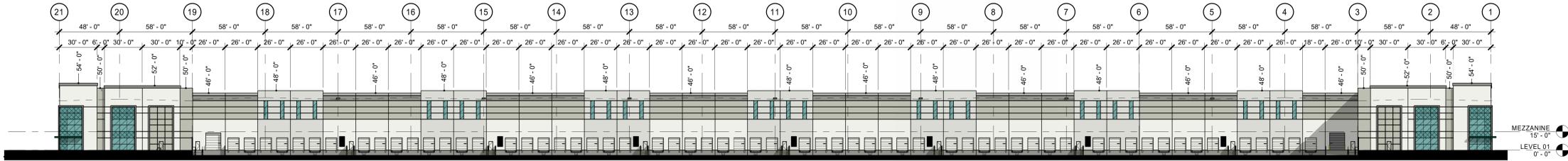
1 MEZZANINE
Scale: 1" = 40'-0"



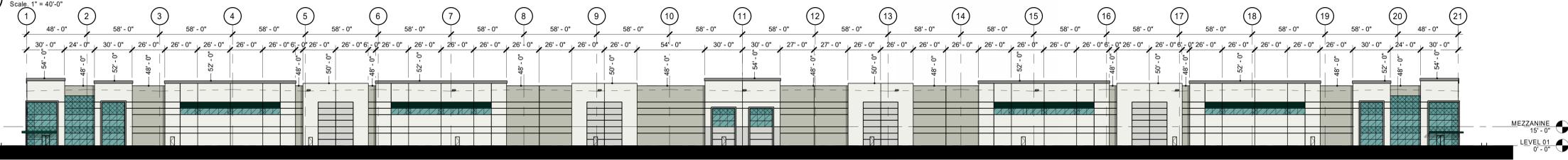
KEYNOTES			
302	SLOPE ROOF MINIMUM 1/4"FOOT		
ROOF PLAN GENERAL NOTES			
1.	GENERAL CONTRACTOR TO PROVIDE A 4-PLY BUILT-UP ASPHALT ROOF BY MALARKY (CCRR-0333), GAF (UL ER 1306-02), JOHNS MANVILLE (UL ER 10167-03), OR AN EQUAL APPROVED BY THE OWNER. ROOF TO HAVE A UL CLASS "A" FIRE RATING. ASPHALT TO BE "TRUMBAL" ASPHALT OR AN APPROVED EQUAL. PROVIDE A 15 YEAR NO DOLLAR LIMIT WARRANTY. SEE DETAIL 1/AD3.0 FOR TYPICAL ROOFING CROSS SECTION.		
2.	FOR TYPICAL PARAPET DETAILS, SEE 2 & 3/AD3.0 FOR TYPICAL ROOF TOP PIPE SUPPORT DETAIL, SEE 4/AD3.1 FOR PRE-FAB EQUIPMENT CURB DETAIL, SEE 5/AD3.0 FOR EQUIPMENT PLATFORM DETAIL, SEE 6/AD3.0 FOR TYPICAL ROOF PENETRATION DETAILS, SEE 10, 11, & 12/AD3.0		
3.	ROOFING DETAILS SHOWN ON THESE PLANS ARE MINIMUM STANDARDS. ROOFING DETAILS PROVIDED BY THE BUILT UP ROOFING MANUFACTURER SHALL TAKE PRECEDENCE IF THEY REQUIRE MORE THAN THE ROOF PLAN GENERAL REQUIREMENTS ON THESE PLANS.		
4.	GENERAL CONTRACTOR SHALL CONFIRM THE ROOF ELEVATIONS SHOWN ON THE ARCHITECTURAL ROOF PLAN WITH THE STRUCTURAL DRAWINGS.		
5.	GENERAL CONTRACTOR SHALL VERIFY THERE IS POSITIVE ROOF DRAINAGE AT ALL AREAS OF THE ROOF PRIOR TO INSTALLING RIGID INSULATION OR BUILT UP ROOFING.		
6.	GENERAL CONTRACTOR TO PROVIDE CRICKETING ON THE HIGH SIDE OF ALL SKYLIGHTS, SMOKE HATCHES, ROOF HATCHES, AND MECHANICAL EQUIPMENT. SEE 9/AD3.0		
7.	GENERAL CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS.		
8.	ALL MECHANICAL EQUIPMENT CONDENSATE DRAIN LINES TO BE RUN BELOW THE ROOF.		
9.	GENERAL CONTRACTOR TO PROVIDE WALKING PADS FROM THE ROOF HATCH TO ALL OFFICE AREA ROOF TOP MECHANICAL EQUIPMENT. THE WALKING PADS SHALL BE A PRODUCT APPROVED BY THE MANUFACTURER OF THE ROOFING SYSTEM.		
10.	ALL EXPOSED WOOD CURBS TO BE PRESSURE TREATED DOUGLAS FIR.		
11.	ALL ROOF TOP EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. COORDINATE LOCATION AND INSTALLATION WITH THE FIRE PROTECTION PLANS.		
12.	GENERAL CONTRACTOR TO PROVIDE FULL TIME INSPECTION FOR OSB MOISTURE CONTENT AND GAP BETWEEN PANELS BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO COMMENCING ANY BUILT-UP ROOFING WORK.		
13.	GENERAL CONTRACTOR TO PROVIDE FOR CONTINUOUS ROOFING INSPECTION BY AN IRC ROOFING CONSULTANT OR AN EQUAL APPROVED BY THE OWNER.		
14.	WHEN REQUIRED BY TITLE 24 (SEE MECHANICAL DRAWINGS) THE ROOFING CAP SHEET OVER ALL CONDITIONED SPACES SHALL HAVE A MINIMUM 5-YEAR AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.63, AND AN SRI EQUAL TO OR GREATER THAN 75 (COOL ROOF).		
15.	ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED BY "SIMPSON" OR EQUAL.		
16.	PROVIDE A ROOF TOP HOSE BIB NEAR THE OFFICE AND OR FUTURE OFFICE AREA. SEE PLAN FOR LOCATION.		
17.	PROVIDE WHITE FSK SKRM MEMBRANE OVER THE ENTIRE WAREHOUSE CEILING. SEE 4/AD3.2. CONFIRM REQUIREMENT WITH THE OWNER PRIOR TO ORDERING MATERIAL.		
18.	REGARDING ROOF DRAINAGE - ROOF AND OVERFLOW DRAIN SIZES PER PLUMBING PLANS, OVERFLOW SCUPPER AND EXTERIOR DOWNSPOUT SIZES PER ARCHITECTURAL PLANS UNLESS PLUMBING PLANS CALL OUT FOR LARGER SIZES.		
ROOF PLAN LEGEND			
	OFFICE AREA BELOW		
	SOLAR READY ROOF AREA. SEE "SOLAR READY ROOF NOTES", THIS SHEET FOR ADDITIONAL INFORMATION.		
	CURB MOUNTED SKYLIGHT. "SKYLIGHT/SMOKE HATCH NOTES" THIS SHEET FOR ADDITIONAL INFORMATION.		
	CURB MOUNTED SMOKE HATCH. "SKYLIGHT/SMOKE HATCH NOTES" THIS SHEET FOR ADDITIONAL INFORMATION.		
	BILCO TYPE S 30"x36" ALUMINUM FRAME SELF FLASHING ROOF HATCH w/ "BIL GUARD" 2"0 SAFETY RAILING SYSTEM & "LADDER UP" SAFETY POST OR -. SEE 7 & 8/AD3.0 FOR TYPICAL DETAILS.		
	INTERIOR ROOF DRAIN IN ROOF SUMP w/ EXTERIOR OVERFLOW SCUPPER. SEE 14/AD3.0		
	INTERIOR ROOF AND OVERFLOW DRAINS IN ROOF SUMP. SEE 13/AD3.0		
	EXTERIOR DOWNSPOUT w/ (2) OVERFLOW SCUPPERS. SEE 17/AD3.0 & 3/AD3.1		
	EXTERIOR DOWNSPOUT w/ (1) OVERFLOW SCUPPER. SEE 18/AD3.0 & 3/AD3.1		
NOTE: SOME ITEMS SHOWN IN THE LEGEND MAY NOT BE IN THE PROJECT SCOPE			
TOTAL OPENINGS REQ. BY OWNER, SKYLIGHTS + SMOKE HATCHES			
TOTAL ROOF AREA	% OF ROOF AREA REQ. FOR OPENINGS	TOTAL AREA OF OPENINGS REQ.	NUMBER OF 4X8 UNITS REQ.
478653 SF	2.5%	11966 SF	374
TOTAL OPENINGS REQ. BY CODE SMOKE HATCHES ONLY			
TOTAL ROOF AREA	RIDGE HEIGHT	REQUIRED SMOKE HATCHES	
478653 SF	48' - 0"	80	
TOTAL SKYLIGHTS & SMOKE HATCHES PROVIDED			
SKYLIGHTS	295		
SMOKE HATCHES	80		
GRAND TOTAL	375		
SOLAR READY ROOF NOTES			
GROSS ROOF AREA	SKYLIGHT / SMOKE HATCH % OF ROOF AREA	SKYLIGHT / SMOKE HATCH AREA	AREA PROVIDED EXCLUSIVE OF SKYLIGHTS
478653 SF	2.5%	11966 SF	466686 SF / 70003 SF
			70528 SF



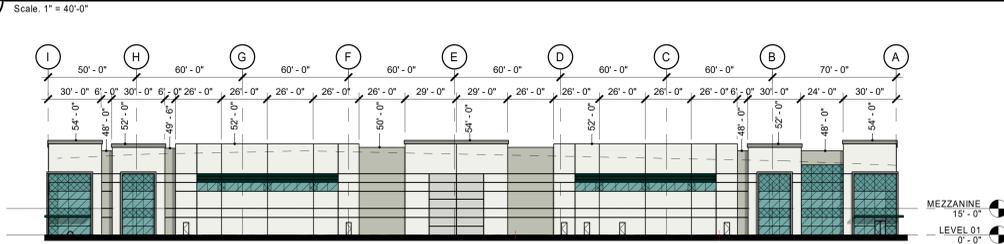
1 PROPOSED ROOF PLAN
Scale: 1" = 40'-0"



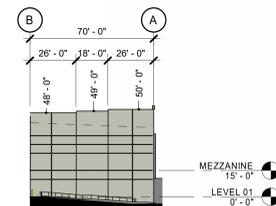
1 PROPOSED NORTH ELEVATION



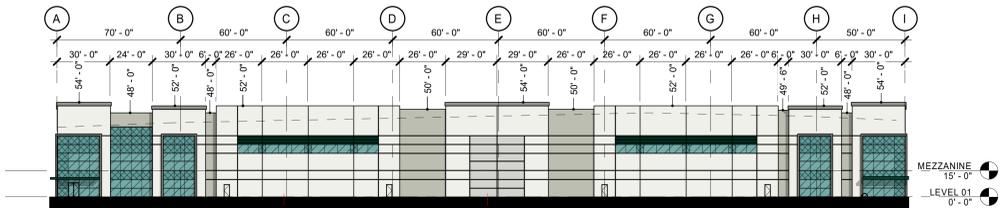
2 PROPOSED SOUTH ELEVATION



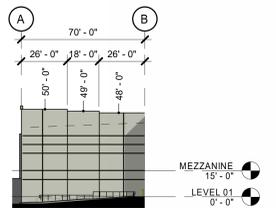
3 PROPOSED EAST ELEVATION



5 PROPOSED EAST TRUCK COURT RETURN



4 PROPOSED WEST ELEVATION



6 PROPOSED WEST TRUCK COURT RETURN

KEYNOTES

GLAZING LEGEND & NOTES

- STOREFRONT FRAMING:**
1" O.N. @ VISION SYSTEM, MIN 2"x4" 1/2" OFFSET SYSTEM, U.O.N. @ SPANDREL SYSTEM, 2"x1 3/4" OFFSET SYSTEM. STOREFRONT SYSTEM TO BE DESIGN BUILT BY THE GENERAL CONTRACTOR. DESIGN SHALL COMPLY WITH ALL RELEVANT CODE & WIND LOADING REQUIREMENTS.
- VISION SYSTEM GLAZING:**
FOR EXTERIOR VISION GLAZING USE 1/4" PILKINGTON EVERGREEN ECLIPSE ADVANTAGE LOW E #2 TEMP 1/2" SPACER - AIR 1/4" PPG SOLARBAN 60XL #3 TEMP
- SPANDREL SYSTEM GLAZING:**
FOR EXTERIOR SPANDREL GLAZING USE 1/4" PILKINGTON EVERGREEN SPANDREL TEMPERED. BACK PAINTING OF GLASS NOT REQUIRED.

- NOTES:**
1. FOR GLASS AND MULLION COLORS, SEE EXTERIOR COLORS, LEGEND & NOTES, THIS SHEET.
 2. PROVIDE TEMPERED GLASS @ THE FOLLOWING:
 - A. ALL SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS
 - B. ALL GLAZING WITHIN 18" OF AN ADJACENT WALKING SURFACE.
 3. ALL GLAZING WITH 24" OF ANY PORTION OF A DOOR, @ SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS, PROVIDE 1" DIA. VENTILATION HOLES IN THE CONCRETE A MAX OF 5" O.C. CONTRACTOR TO PROVIDE A SMOOTH FINISH ON THE GLASS FACING CONCRETE SURFACES AND TO PAINT THEM & ALL STOREFRONT FRAMES AND CLIPS BEHIND THE GLASS BLACK.
 4. @ SPANDREL SYSTEM GLAZING NOT IN FRONT OF A CONCRETE WALL PANEL, PROVIDE TENCATE MIRAFI 140N FILTER FABRIC SHADE CLOTH.

EXTERIOR WALL COLOR LEGEND & NOTES

- (A) EXTERIOR PAINT COLOR: PLD-9 PURE WHITE
 - (B) EXTERIOR PAINT COLOR: PLD-6 STABLE
 - (C) EXTERIOR PAINT COLOR: PLD-7 LIQUORICE TINT
 - (D) EXTERIOR PAINT COLOR: PLD-8 DRAKE
 - (E) EXTERIOR PAINT COLOR: PLD-5 NEW DARK GREEN
 - (F) ACM PANEL COLOR: CHARCOAL ANODIZED
 - (G) PAINT COLOR FOR EXPOSED STEEL BROW & CANOPY FRAMING, WALL BEHIND OPEN TRELLIS (KEY NOTE 428, OR 429) WHEN OCCURS & TRASH ENCLOSURE METAL ROOF, ROOF BEAMS, & SUPPORT COLUMNS.
 - (H) ACM PANEL COLOR: GREEN ANODIZED
 - (I) EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED MULLION
- EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: GREEN.
- EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

- NOTES:**
1. ALL IMPERFECTIONS ON THE SURFACE OF THE CONCRETE WALL PANELS SHALL BE PATCHED / SACKED / SANDED SMOOTH PRIOR TO PAINTING.
 2. ALL INTERIOR AND EXTERIOR FABRICATED STEEL SHALL BE SHOP PRIMED WITH A GRAY, RUST INHIBITIVE PRIMER PRIOR TO DELIVERY TO THE JOB SITE. ANY AND ALL DAMAGE TO THE PRIMER COAT SHALL BE TOUCHED UP PRIOR TO ADDITIONAL FINAL COLOR PAINTING OR COMPLETION OF THE PROJECT.
 3. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
 4. U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE "A" INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
 5. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
 6. PAINT EXTERIOR WALLS W/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
 7. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1A04.1.
 8. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
 9. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
 10. PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL, WHEN THERE IS A COLOR CHANGE AT THE REVEAL, SEE 2A04.
 11. U.O.N., PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN, IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
 12. ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE.



HERDMAN
ARCHITECTURE + DESIGN
A24-2007
03.26.2025

EXTERIOR
ELEVATIONS

A4_1



KEYNOTES

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-  (A) EXTERIOR PAINT COLOR: PLD-9 PURE WHITE
 -  (B) EXTERIOR PAINT COLOR: PLD-6 STABLE
 -  (C) EXTERIOR PAINT COLOR: PLD-7 LIQUORICE TINT
 -  (D) EXTERIOR PAINT COLOR: PLD-8 DRAKE
 -  (E) EXTERIOR PAINT COLOR: PLD-5 NEW DARK GREEN
 -  (F) ACM PANEL COLOR: CHARCOAL ANODIZED
- PAINT COLOR FOR EXPOSED STEEL BROW & CANOPY FRAMING, WALL BEHIND OPEN TRELLIS (KEY NOTE 428, OR 429) WHEN OCCURS & TRASH ENCLOSURE METAL ROOF, ROOF BEAMS, & SUPPORT COLUMNS.
-  (G) ACM PANEL COLOR: GREEN ANODIZED
 -  (H) EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED MULLION
- EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: GREEN.
- EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

- NOTES:**
1. ALL IMPERFECTIONS ON THE SURFACE OF THE CONCRETE WALL PANELS SHALL BE PATCHED / SACKED / SANDED SMOOTH PRIOR TO PAINTING.
 2. ALL INTERIOR AND EXTERIOR FABRICATED STEEL SHALL BE SHOP PRIMED WITH A GRAY, RUST INHIBITIVE PRIMER PRIOR TO DELIVERY TO THE JOB SITE. ANY AND ALL DAMAGE TO THE PRIMER COAT SHALL BE TOUCHED UP PRIOR TO ADDITIONAL FINAL COLOR PAINTING OR COMPLETION OF THE PROJECT.
 3. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
 4. U.O.N, EXTERIOR SIDE OF TRUCK DOORS TO BE "A" INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
 5. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
 6. PAINT EXTERIOR WALLS W/ 1. COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2. COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
 7. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CALKED PER DETAIL 1/A4.1.
 8. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
 9. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
 10. PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL, WHEN THERE IS A COLOR CHANGE AT THE REVEAL, SEE 2/A4.1
 11. U.O.N, PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN, IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
 12. ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE.





VIEW FROM LIVE OAK AVE. & JURUPA AVE.



NIGHT VIEW FROM LIVE OAK AVE. & JURUPA AVE.



VIEW FROM LIVE OAK AVE.



VIEW FROM HEMLOCK AVE. & JURUPA AVE.



NIGHT VIEW FROM HEMLOCK AVE. & JURUPA AVE.

MTN VIEW IND PARK 13
14970 JURUPA AVE.
FONTANA, CA

PROJECT
6TH ENTITLEMENT SUBMITTAL



HERDMAN
ARCHITECTURE + DESIGN

A24-2007
03.26.2025

RENDERINGS

A4_3



A. EXTERIOR PAINT
PLD-9 PURE WHITE



B. EXTERIOR PAINT
PLD-6 STABLE



C. EXTERIOR PAINT
PLD-7 LIQUORICE TINE



D. EXTERIOR PAINT
PLD-8 DRAKE



E. EXTERIOR PAINT
PLD-5 NEW DARK GREEN



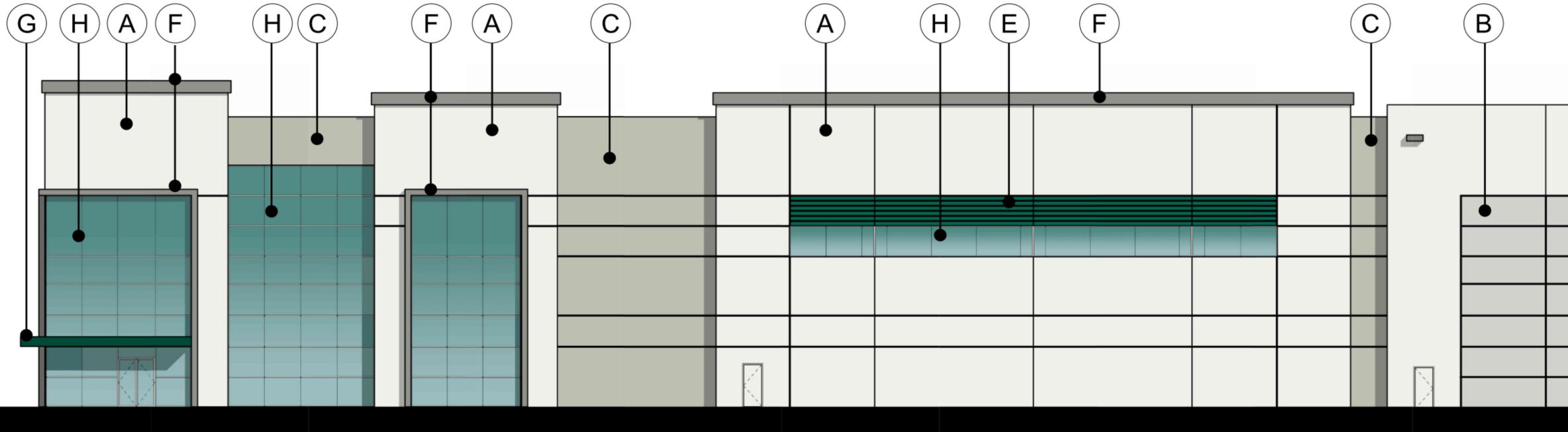
F. CHARCOAL ANODIZED
ACM EYE BROW



G. GREEN ANODIZED
ACM CANOPY



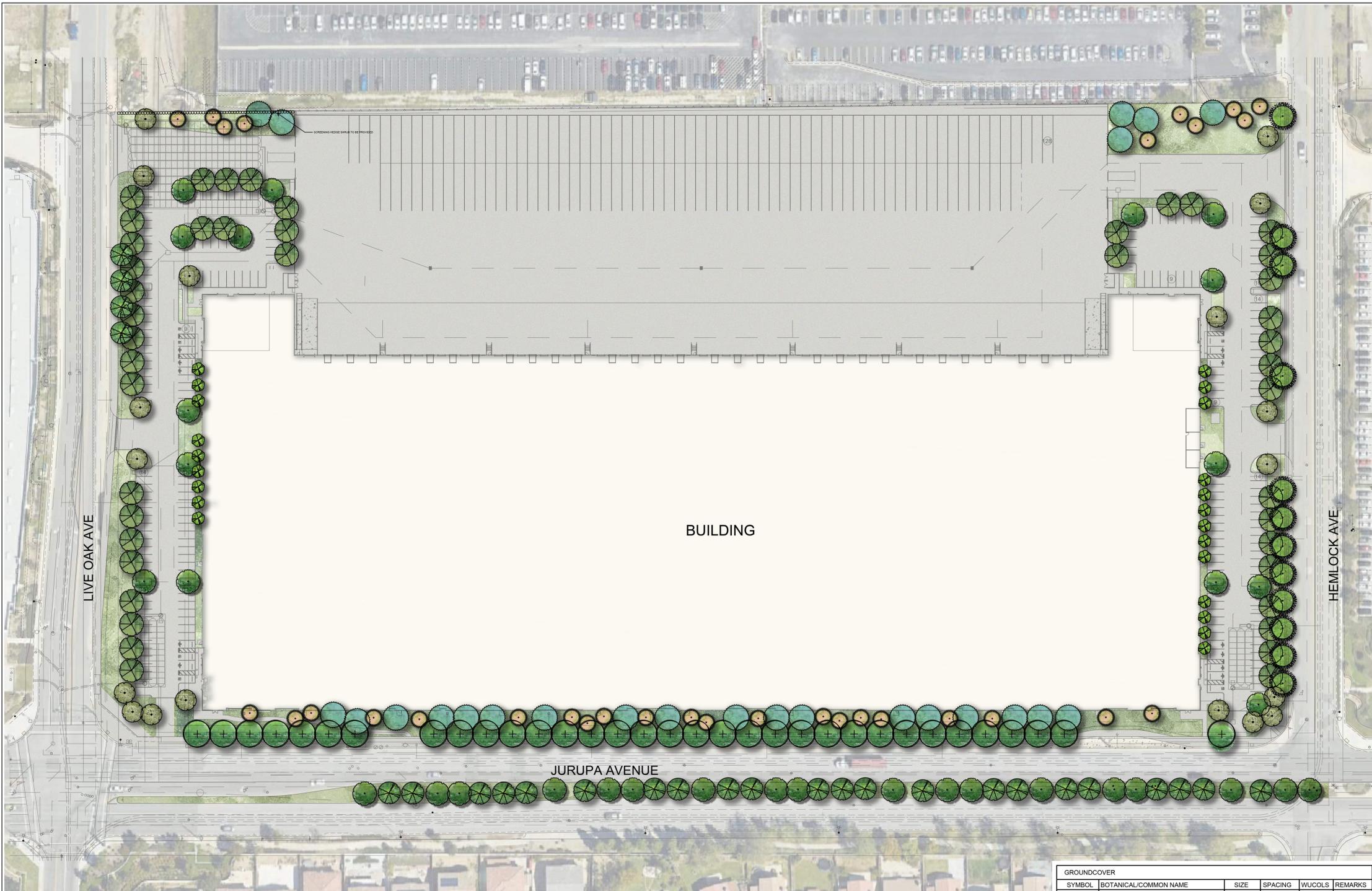
H. STOREFRONT
MEDIUM PERFORMANCE
GREEN REFLECTED GLAZING
CLEAR ANODIZED MULLION



HERDMAN
ARCHITECTURE + DESIGN

A24-2007
03.26.2025

COLOR BOARD



PLANTING LEGEND

TREES					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Chilopsis linearis</i> Desert Willow	24" Box	31	L	
	<i>Cinnamomum camphora</i> Camphor Tree	24" Box	44	M	
	<i>Magnolia g. 'Samuel Sommer'</i> Magnolia	24" Box	4	M	Street Tree
	<i>Olea europaea</i> Olive	36" Box	18	L	
	<i>Pinus canariensis</i> Canary Island Pine	24" Box	24	L	
	<i>Pistacia chinensis</i> Chinese Pistache	24" Box	33	M	
	<i>Platanus acerifolia</i> London Plane	24" Box	12	M	
	<i>Tristania conferta</i> Brisbane Box	24" Box	22	M	
	<i>Ulmus parvifolia</i> Chinese Elm	24" Box	15	M	Street Tree

TREE REQUIREMENTS
 TOTAL LANDSCAPE AREA - 109,155 SF
 TOTAL TREES REQUIRED (600:1) - 181
 TOTAL TREES PROVIDED - 203
 ○○○ SCREENING HEDGE SHRUB

SHRUBS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING
LARGE SCREEN SHRUBS					
	<i>Heteromeles arbutifolia</i> Toyon	5 Gal		M	5' OC 3' from hardscape
	<i>Rhamnus californica</i> Coffeeberry	5 Gal		L	4' OC 2.5' from hardscape
	<i>Westringia fruticosa</i> Coast Rosemary	5 Gal		L	5' OC 3' from hardscape

MEDIUM HEDGE SHRUBS					
	<i>Acca sellowiana</i> Pineapple Gauva	5 Gal		M	3' OC 2' from hardscape
	<i>Baccharis p. 'Centennial'</i> Coyote Bush	5 Gal		L	4' OC 2.5' from hardscape
	<i>Callistemon 'Little John'</i> Dwarf Bottle Brush	5 Gal		M	3' OC 2' from hardscape
	<i>Cassia phyllodenia</i> Silverleaf Cassia	5 Gal		L	4' OC 2.5' from hardscape
	<i>Ligustrum j. Texanum</i> Texas Privet	5 Gal		M	3' OC 2' from hardscape
	<i>Rhaphirolepis l. 'Springtime'</i> Indian Hawthorn	5 Gal		M	3' OC 2' from hardscape
	<i>Rosmarinus o. 'Tuscan Blue'</i> Rosemary	5 Gal		L	3' OC 2' from hardscape
	<i>Salvia c. 'Allen Chickering'</i> Allen Chickering Sage	5 Gal		L	4' OC 2.5' from hardscape
	<i>Salvia leucantha</i> Mexican Sage	5 Gal		L	3' OC 2' from hardscape
	<i>Muhlenbergia capillaris</i> Pink Muhly	5 Gal		M	3' OC 2' from hardscape

SMALL HEDGE SHRUBS					
	<i>Dianthus bicolor</i> Fortnight Lily	5 Gal		M	3' OC 2' from hardscape
	<i>Eremophila g. 'Mingewau Gold'</i> Emu Bush	5 Gal		M	5' OC 3' from hardscape
	<i>Westringia f. 'Grey Box'</i> Dwarf Coast Rosemary	5 Gal		L	3' OC 2' from hardscape

ACCENT PLANTS					
	<i>Aloe maculata</i> Soap Aloe	5 Gal		L	
	<i>Aloe striata</i> Coral Aloe	1 Gal		L	
	<i>Dasyliodon wheeleri</i> Desert Spoon	5 Gal		L	
	<i>Hesperaloe parviflora</i> Red Yucca	5 Gal		L	

GROUND COVER					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	<i>Acacia redolens 'Low Boy'</i> Dwarf Acacia	1 Gal	8' O.C.	L	
	<i>Baccharis p. 'Pigeon Point'</i> Dwarf Coyote Bush	1 Gal	6' O.C.	L	
	<i>Carissa m. 'Green Carpet'</i> Prostrate Natal Plum	1 Gal	36" O.C.	M	
	<i>Hemerocallis hybridus-Yellow</i> Yellow Day Lily	1 Gal	24" O.C.	M	
	<i>Rosa 'Flower Carpet'-Red</i> Red Flower Carpet Rose	1 Gal	30" O.C.	L	
	<i>Rosmarinus o. 'Huntington Carpet'</i> Prostrate Rosemary	1 Gal	48" O.C.	L	
	<i>Trachelospermum jasminoides</i> Star Jasmine	1 Gal	24" O.C.	M	

- NOTES:
1. ALL TREES WITHIN 5' OF HARDSCAPE SHALL BE IN A LINEAR ROOT BARRIER.
 2. ALL LANDSCAPE SHALL BE DROUGHT TOLERANT, AND TO THE EXTENT FEASIBLE, SPECIES WITH LOW BIOGENIC EMISSIONS. NO PALMS HAVE BEEN USED.
 3. ALL LANDSCAPING AREAS SHALL BE PROPERLY IRRIGATED FOR THE LIFE OF THE FACILITY TO ALLOW FOR PLANTS AND TREES TO MAINTAIN GROWTH.
 4. TREES SHALL BE INSTALLED IN AUTOMOBILE PARKING AREAS TO PROVIDED AT LEAST 35% SHADE COVER OF PARKING AREAS WITHIN 15 YEARS. TREES SHALL BE PLANTED THAT ARE CAPABLE OF MEETING THIS REQUIREMENT.
 5. LOADING DOCKS SHALL BE ORIENTED AWAY FROM NEARBY SENSITIVE RECEPTORS. LOADING DOCKS, TRUCK ENTRIES, AND TRUCK AISLES SHALL NOT ADJACENT SENSITIVE RECEPTORS.

VICINITY MAP

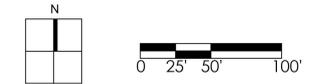


SHEET 1

Jurupa Ave and Hemlock Ave

24-026
 02.20.24 09.13.24
 04.02.24 09.18.24
 06.25.24 11.22.24

Fontana, California



HUNTER LANDSCAPE
 711 FEE ANA STREET PLACENTIA, CA 92870
 714.986.2400 FAX 714.986.2408

TREES



Chilopsis linearis / Desert Willow



Cinnamomum camphora / Camphor Tree



Magnolia g. 'Samuel Sommer' / Magnolia



Olea europaea / Olive



Pinus canariensis / Canary Island Pine



Pistacia chinensis / Chinese Pistache



Platanus acerifolia / London Plane



Tristania conferta / Brisbane Box



Ulmus parvifolia / Chinese Elm

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration Rate (Eto): 56.4

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area	ETAF x Area	Estimated Total Water Use (ETWU) Gallons per Year	Estimated Total Water Use (ETWU) Acre Feet per Year	
Regular Landscape Areas Potable									
Water									
Low Water Use Landscape	0.2	Drip	0.81	0.25	43,662	21,515	247,337	0.76	
Mod Water Use Landscape	0.3	Drip	0.81	0.37	65,087	14,344	252,885	0.78	
Low/Mod Trees	0.3	Bubbler	0.75	0.4	406	12,569	1,704	0.01	
					Totals	109,155	48,428		
							ETWU Total	501,926	1.54
							Maximum Allowed Water Allowance (MAWA)	1,717,619	5.27
Special Landscape Areas Recycled									
Water									
Hydrozone 2	1	-	-	-	-	-	-	0.00	
Hydrozone 2	1	-	-	-	-	-	-	0.00	
Hydrozone 4	1	-	-	-	-	-	-	0.00	
Hydrozone 6	1	-	-	-	-	-	-	0.00	
					Totals	-	-	0.00	
							ETWU Total	-	0.00
							Maximum Allowed Water Allowance (MAWA)	-	0.00

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	48,428
Total Area	109,155
Average ETAF	0.443663

All Landscape Areas	
Total ETAF x Area	48,428
Total Area	109,155
Sitewide ETAF	0.443663

Irrigation Efficiency

Drip Irrigation	0.81
Overhead Spray	0.75
Rotors	0.75

SHRUBS



Heteromeles arbutifolia / Toyon



Rhamnus californica / Coffeeberry



Westringia fruticosa / Coast Rosemary



Acca sellowiana / Pineapple Gauva



Baccharis p. 'Centenial' / Coyote Bush



Callistemon 'Little John' / Dwarf Bottle Brush



Cassia phyllodena / Silverleaf Cassia



Ligustrum j. Texanum / Texas Privet



Rhaphiolepis i. 'Springtime' / Indian Hawthorn



Rosmarinus o. 'Tuscan Blue' / Rosemary



Salvia c. 'Allen Chickering' / Allen Chickering Sage



Salvia leucantha / Mexican Sage



Muhlenbergia capillaris / Pink Muhly



Dietes bicolor / Fortnight Lily



Eremphilia g. 'Mingenew Gold' / Emu Bush



Westringia f. 'Grey Box' / Dwarf Coast Rosemary

ACCENT PLANTS



Aloe maculata / Soap Aloe



Aloe striata / Coral Aloe



Dasylirion wheeleri / Desert Spoon



Hesperaloe parviflora / Red Yucca

GROUNDCOVER



Acacia redolens 'Low Boy' / Dwarf Acacia



Baccharis p. 'Pigeon Point' / Dwarf Coyote Bush



Carissa m. 'Green Carpet' / Prostrate Natal Plum



Hemerocallis hybridus-Yellow / Yellow Day Lily



Rosa 'Flower Carpet' -Red / Red Flower Carpet Rose



Rosmarinus o. 'Huntington Carpet' / Prostrate Rosemary



Trachelospermum jasminoides / Star Jasmine

SHEET 2

Jurupa Ave and Hemlock Ave

24-026
02.20.24 09.13.24
04.02.24 09.18.24
06.25.24 11.22.24

Fontana, California



HUNTER LANDSCAPE

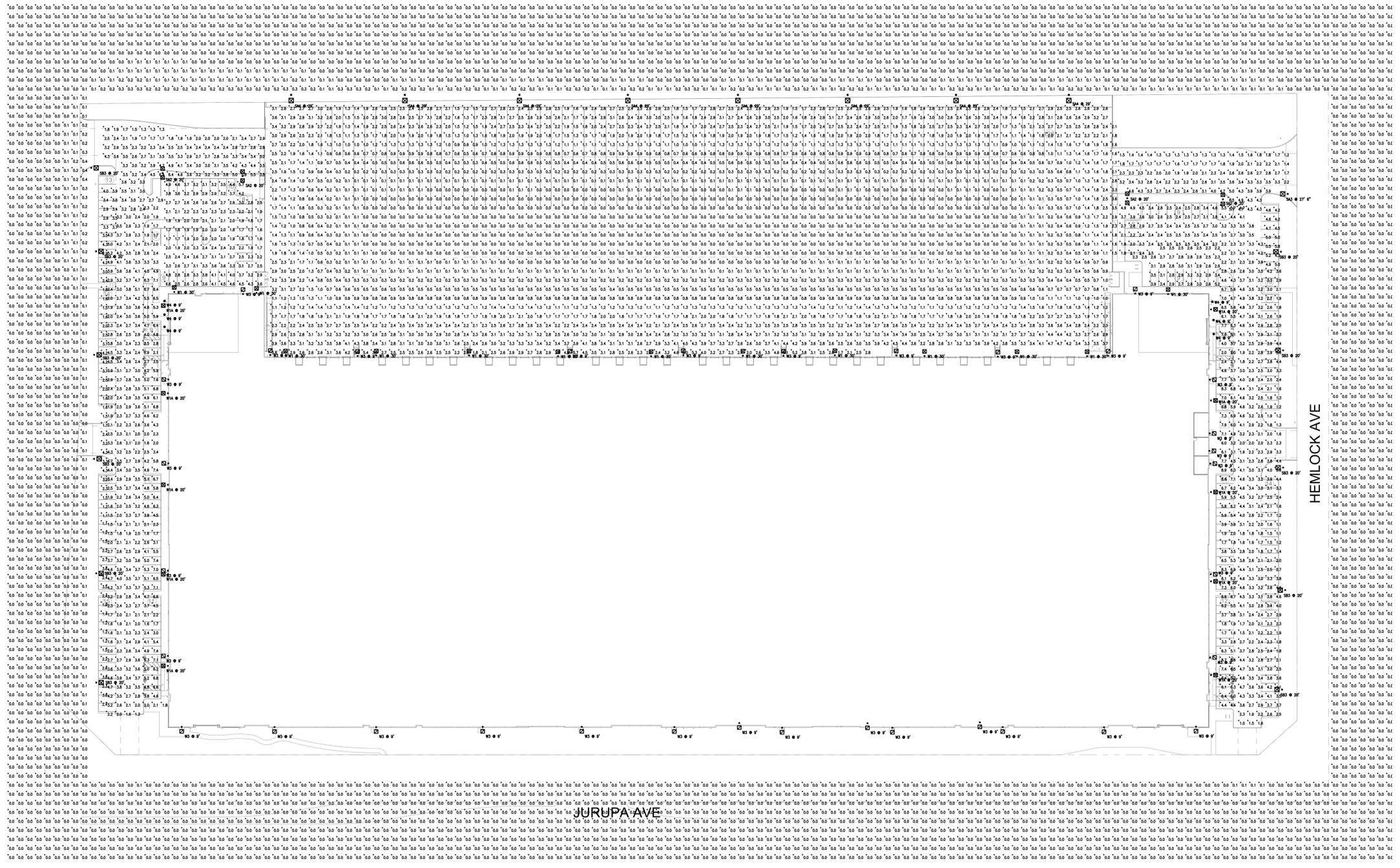
711 FEE ANA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408

MTN VIEW IND PARK 13
14970 JURUPA AVE.
FONTANA, CA

PROJECT
6TH ENTITLEMENT SUBMITTAL

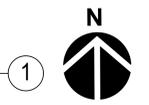
LIVE OAK AVE

HEMLOCK AVE



ELECTRICAL SITE PHOTOMETRIC PLAN

SCALE: 1"=50'-0"



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
☒	W3	34	U.S. ARCHITECTURAL LIGHTING	RZR-WM1-PLED-8W-02LED-350mA-40K-EM MMS11 WALL MT AT 8 FT AFF MMS11 BUG RATING B1 00 G3	CAST BLACK PAINTED FINNED METAL HOUSING.	20 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	20	RZR-WM1-PLED-8W-02LED-350mA-40K	151	0.9	21.4
☒	W1	13	U.S. ARCHITECTURAL LIGHTING	VL-PLED-W-80LED-700mA-40K-HS 511 BUG RATING B1 00 G3 WALL MT AT 30 FT AFF	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	RZR-PLED-W-80LED-700mA-40K-HS	223	0.9	173.6
☒	SA3	1	U.S. ARCHITECTURAL LIGHTING	VL-PLED-8W-80LED-525mA-WH-HS MMS11 POLE MT 110 G3 25 FT PLE 2.5 FT BASE	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	VL-PLED-8W-80LED-525mA-WH-HS	167	0.9	129.4
☒	W4	6	PRESCOTE	LC8SLM 6LCSL 14 1.4 EM	6 INCH LBR DOWNLIGHT 1400LM HOUSING.		1	LRRL_A02_1500LM_1.5W_M1_4000LR_CSS_W0_3000R	1641	0.9	18
☒	SA4	8	U.S. ARCHITECTURAL LIGHTING	VL-PLED-W-80LED-700mA-40K-HS BUG RATING B1 00 G3 WALL MT AT 29 FT BASE MMS11	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	RZR-PLED-W-80LED-700mA-40K-HS	223	0.9	173.6
☒	W1A	10	U.S. ARCHITECTURAL LIGHTING	VL-PLED-W-80LED-700mA-40K-HS MFS311 MM 511 BUG RATING B1 00 G3 WALL MT AT 20 FT AFF	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	RZR-PLED-W-80LED-700mA-40K-HS	223	0.9	173.6
☒	SB3	11	U.S. ARCHITECTURAL LIGHTING	VL-PLED-8W-80LED-525mA-WH-HS MFS 311MM511 POLE MT AT 17.5 FT AFF BUG RATING B1 00 G3 25 FT PLE 2.5 FT BASE	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	VL-PLED-8W-80LED-525mA-WH-HS	167	0.9	129.4
☒	SA2	4	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-VSQ-W-80LED-525mA-40K MMS11 POLE MT AT 20 FT AFF 17.5 FT PLE 2.5 IN BASE MOUNTING BS 00 G3 MFS311	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	RZR-PLED-VSQ-W-80LED-525mA-40K	232	0.9	258.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #2	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
Calc. Zone #3	+	4.8 fc	5.8 fc	4.2 fc	1.41	1.11
Calc. Zone #4	+	3.9 fc	5.2 fc	2.2 fc	2.43	1.31
Calc. Zone #5	+	2.7 fc	6.6 fc	1.6 fc	4.11	1.71
Calc. Zone #7	+	3.2 fc	4.0 fc	2.4 fc	1.71	1.33
Calc. Zone #8	+	2.7 fc	4.3 fc	1.1 fc	3.91	2.61
Calc. Zone #9	+	2.2 fc	3.8 fc	1.1 fc	3.51	2.01
Calc. Zone #9	+	2.6 fc	6.5 fc	1.2 fc	5.41	2.21
Calc. Zone #10	+	3.0 fc	6.4 fc	1.3 fc	4.91	2.31
Calc. Zone #11	+	1.6 fc	8.9 fc	0.0 fc	N/A	N/A

SOLID STATE AREA LIGHTING VALULUME SERIES-PLED SPECIFICATIONS

OPTICAL HOUSING
Heavy cast low copper aluminum (A356 alloy, ±0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance ±.002") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall supports optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .187".

ELECTRICAL HOUSING
Heavy cast low copper aluminum (A356 alloy, ±0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance ±.002") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall supports optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .187".

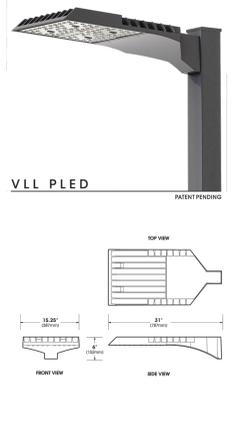


PLED OPTICS
Emitters (LEDs) are mounted on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED reflector. LED optics completely seal each individual emitter to meet an IP66 rating. The asymmetric distribution of a micro-reflector inside the reflector redirects the house side emitter output towards the street side as a house side shielding element. Reflectors are injection molded H12 acrylic. Each LED reflector is sealed to the PCB over an emitter and distribution network by an aluminum frame. Any one Panel, or group of Panels in a luminance, produce type II beam and other asymmetric distributions. Panels are field replaceable and field rotatable in 90° increments.

LED DRIVERS
Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F (-40°C). Driver(s) are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer. Heat down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the Electrical Housing to the Mounting Plate. Drivers accept an input of 120-277V, 50/60Hz or 247V-480V, 50/60Hz, 0 - 10V dimming. 0-10V dimmable driver is also available. Driver has a minimum 4000 hour life span. Driver is equipped with 20kV surge protector for field accessible installation.

LED EMITTERS
High output LEDs are utilized with drive currents ranging from 350mA to 1050mA. FCBI Minimum LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash of 140°F. Four step media blast and ion phosphate pre-treatment for protection and paint adhesion. 800°F bake for maximum hardness and durability.



SOLID STATE AREA LIGHTING RAZAR WALLMOUNT-LED SPECIFICATIONS

OPTICAL HOUSING
Heavy cast low copper aluminum (A356 alloy, ±0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance ±.002") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall supports optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .187".

ELECTRICAL HOUSING
Heavy cast low copper aluminum (A356 alloy, ±0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance ±.002") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall supports optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .187".

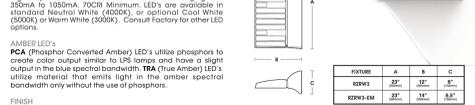
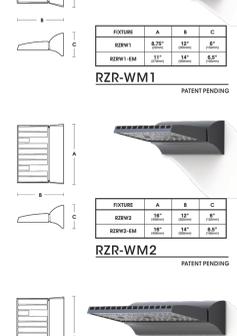


PLED OPTICAL MODULES
Emitters (LEDs) are mounted on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED reflector. LED optics completely seal each individual emitter to meet an IP66 rating. The asymmetric distribution of a micro-reflector inside the reflector redirects the house side emitter output towards the street side as a house side shielding element. Reflectors are injection molded H12 acrylic. Each LED reflector is sealed to the PCB over an emitter and distribution network by an aluminum frame. Any one Panel, or group of Panels in a luminance, produce type II beam and other asymmetric distributions as well as other specialty asymmetric distributions. Panels are field replaceable and field rotatable in 90° increments.

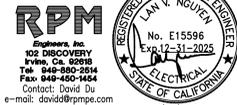
LED DRIVERS
Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F (-40°C). Driver(s) are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer. Heat down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the Electrical Housing to the Mounting Plate. Drivers accept an input of 120-277V, 50/60Hz or 247V-480V, 50/60Hz, 0-10V dimming. 0-10V dimmable driver is also available. Driver has a minimum 4000 hour life span. Driver is equipped with 20kV surge protector for field accessible installation.

LED EMITTERS
High output LEDs are utilized with drive currents ranging from 350mA to 1050mA. FCBI Minimum LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

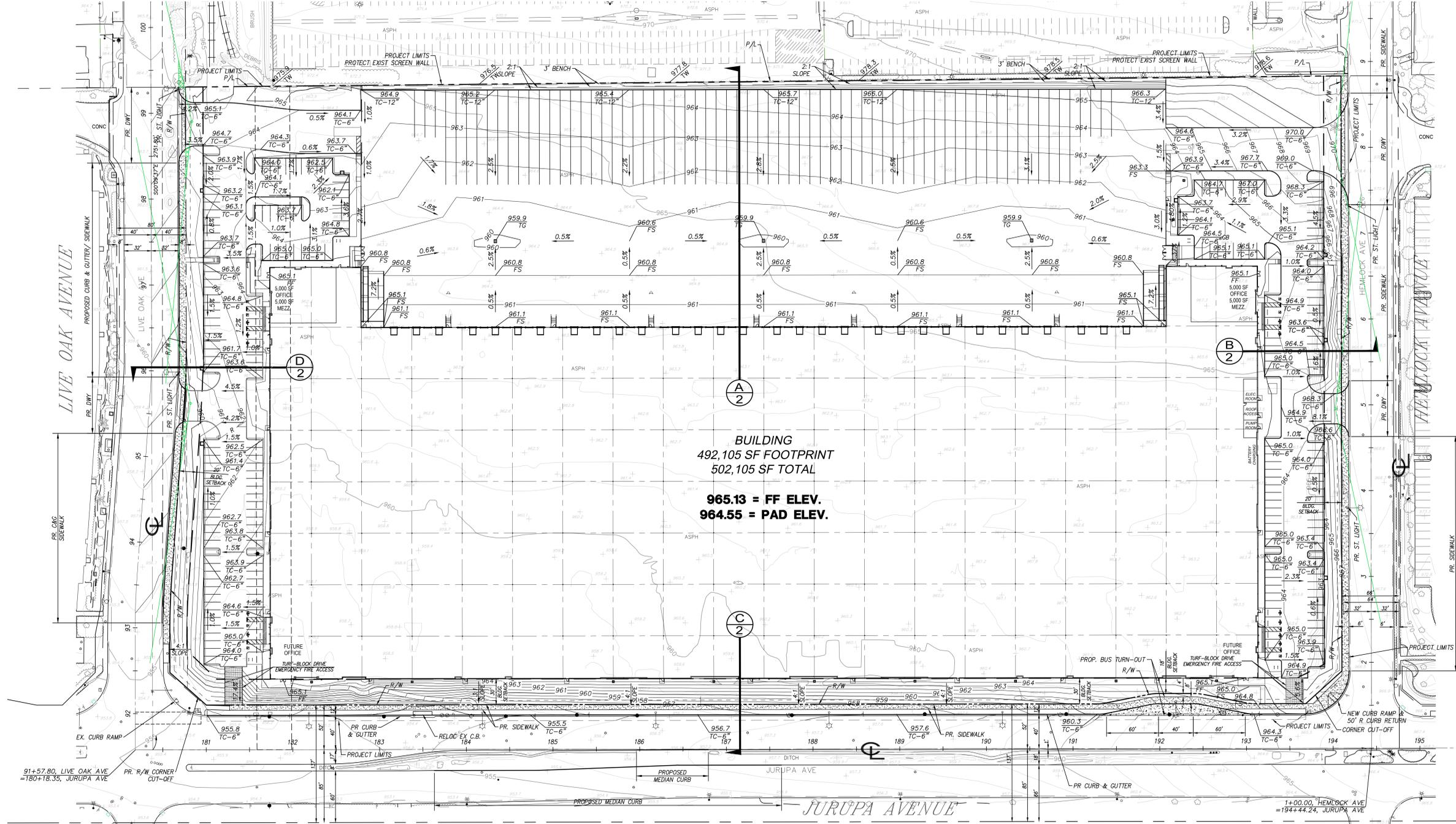
FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash of 140°F. Four step media blast and ion phosphate pre-treatment for protection and paint adhesion. 800°F bake for maximum hardness and durability.



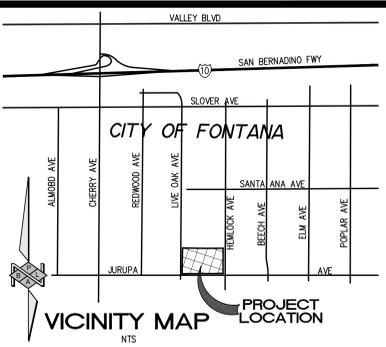
SITE PHOTOMETRIC PLAN



HERDMAN
ARCHITECTURE + DESIGN
A24-2007
03.26.2025



BUILDING
 492,105 SF FOOTPRINT
 502,105 SF TOTAL
 965.13 = FF ELEV.
 964.55 = PAD ELEV.



PRELIMINARY EARTHWORK QUANTITIES

DESCRIPTION	CUT (CY)	FILL (CY)
RAW QUANTITIES	-51,099	70,561
BLDG OVER EX (4')	-74,469	74,469
PARKING OVER EX (0')	0	0
HEAVY DUTY PAVING (8" PCC)	-6,747	0
LIGHT DUTY PAVING (5" PCC)	-1,389	0
BUILDING SLAB (7" CONC)	-10,362	0
ONSITE UTILITIES (6" BEDDING AROUND)	-1,643	0
BUILDING FOOTINGS (COLUMN & CONTINUOUS)	-1,080	0
SCREEN WALL FOOTINGS (1.5' X 6')	-101	0
SHRINKAGE 10%	0	12,557
SUBSIDANCE (0.1/25% OF SITE)	0	898
CHAMBER EXCAVATION	-3,687	0
TOTAL ADJUSTMENT	-150,577	158,484
IMPORT		7,907

LOWER SITE -0.22' TO BALANCE

LOT AREA

SQUARE FOOTAGE	GROSS	ACRES
1,077,936 SF		24.75
969,431 SF	NET	22.28

FLOOR AREA RATIO

BUILDING AREA	SITE AREA	FAR ALLOWABLE	FAR PROVIDED
492,240 SF	969,431 SF	55%	50.8%

ZONING
 JURUPA NORTH RESEARCH and DEVELOPMENT DISTRICT (JND) - SW INDUSTRIAL PARK S.P.

GLULU
 I-L (LIGHT INDUSTRIAL)

LANDSCAPING
 L/S REQUIRED = 15%
 L/S PROVIDED = 109,502 SF (23%)

INTERSECTION SIGHT DISTANCE
 LIMITED L/S USE AREAS

ONSITE IMPROVEMENT QUANTITIES

DESCRIPTION	QUANTITY
6" CURB & GUTTER	1,042 LF
6" CURB ONLY	3,645 LF
12" CURB ONLY	928 LF
8" H.D. PAVEMENT	273,237 SF
5" L.D. PAVEMENT	89,988 SF
SIDEWALK	10,051 SF
ADA ACCESS RAMPS	12 EA
TURF-BLOCK DRIVEWAY	1,500 SF

PUBLIC IMPROVEMENT QUANTITIES

DESCRIPTION	QUANTITY
6" CURB & GUTTER	1,812 LF
6" MEDIAN CURB	484 LF
4" / 14.5" H.D. PAVEMENT	22,125 SF
ADA ACCESS RAMPS	1 EA
SIDEWALK	18,391 SF
CONC DRIVEWAY APPROACH	2,519 SF
BUS TURNOUT	1 EA
RELOC EXIST HYDRANT	3 EA
RELOC EXIST CATCH BASIN	1 EA

LEGAL DESCRIPTION

PARCEL 1:
 LOT 971, ACCORDING TO MAP SHOWING SUBDIVISION LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA AS PER PLAT RECORDED IN BOOK 11, PAGE(S) 12, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF SAID LAND VACATED BY THE CITY OF FONTANA BY DEED RECORDED DECEMBER 24, 1965 IN BOOK 6539, PAGE 324, OFFICIAL RECORDS.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO THE CITY OF FONTANA, BY DEED RECORDED MAY 3, 1965 IN BOOK 6583, PAGE 363, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO THE SOUTHERN PACIFIC RAILROAD COMPANY BY DEED RECORDED JULY 16, 1894 IN BOOK 197, PAGE 342, OF DEEDS.

PARCEL 2:
 IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, LYING WITHIN SECTION 26, TOWNSHIP 1 SOUTH, RANGE 6 WEST, S.B.M., BEING THOSE PORTIONS OF LOTS 970 AND 971, OF THE SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, AS SHOWN BY MAP ON FILE IN BOOK 11 OF MAPS, AT PAGE 12, RECORDS OF SAID COUNTY AND STATE, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE CENTER LINE OF JURUPA AVENUE WHICH BEARS SOUTH 89° 47' 30" EAST, A DISTANCE OF 34.49 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 971, SAID POINT BEING ON THE EASTERN RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC RAILROAD DECLEZ SPUR, AS DESCRIBED IN DEED RECORDED MAY 17, 1888 IN BOOK 75, PAGE 71, OF DEEDS, RECORDS OF SAID COUNTY AND STATE, DESCRIBED AS FOLLOWS:

THENCE NORTH 00° 07' 30" EAST, A DISTANCE OF 772.49 FEET, TO A POINT ON THE NORTH LINE OF SAID LOT 971, SAID POINT BEARS NORTH 89° 46' 00" EAST, A DISTANCE OF 33.58 FEET FROM THE NORTHWEST CORNER OF SAID LOT 971;

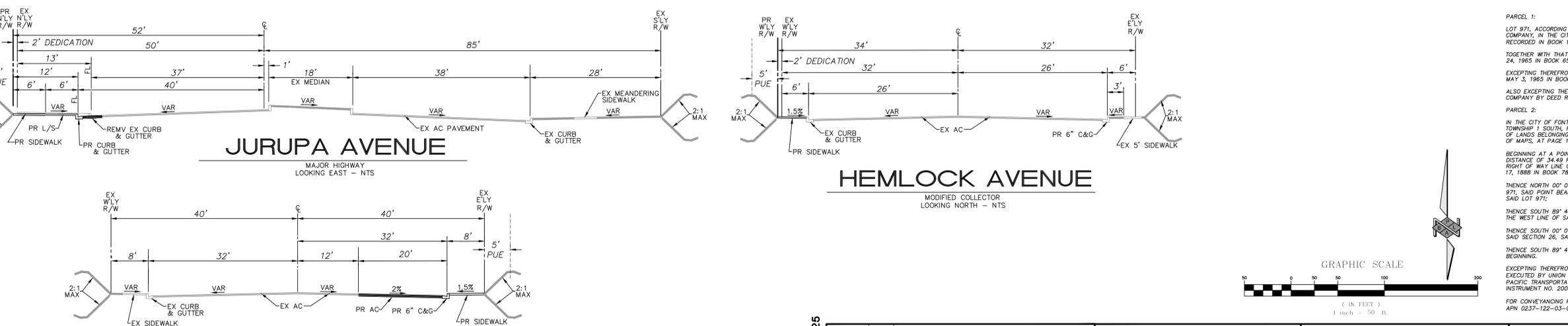
THENCE SOUTH 89° 46' WEST, ALONG THE NORTH LINES OF SAID LOTS 971 AND 970 A DISTANCE OF 100 FEET, TO THE WEST LINE OF SAID SOUTHERN PACIFIC RAILROAD DECLEZ SPUR;

THENCE SOUTH 00° 07' 30" WEST, ALONG SAID WEST LINE, A DISTANCE OF 771.64 FEET, TO THE SOUTH LINE OF SAID SECTION 26, SAID LINE BEING ON THE CENTER LINE OF SAID JURUPA AVENUE;

THENCE SOUTH 89° 47' 30" EAST, ALONG SAID CENTER LINE, A DISTANCE OF 1000.00 FEET, TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ALL OIL, GAS AND MINERAL RIGHTS AS RESERVED IN THAT CERTAIN QUILCAMP DEED EXECUTED BY UNION PACIFIC RAILROAD COMPANY, A DELAWARE CORPORATION (FORMERLY KNOWN AS SOUTHERN PACIFIC TRANSPORTATION COMPANY, A DELAWARE CORPORATION) AND RECORDED AUGUST 11, 2005 AS INSTRUMENT NO. 2005-058878, OFFICIAL RECORDS OF SAN BERNARDINO COUNTY, STATE OF CALIFORNIA.

FOR CONVEYANCING PURPOSES ONLY: APN 0237-122-07-0-000 (AFFECTS PARCEL 1)
 APN 0237-122-03-0-000 (AFFECTS PARCEL 2)

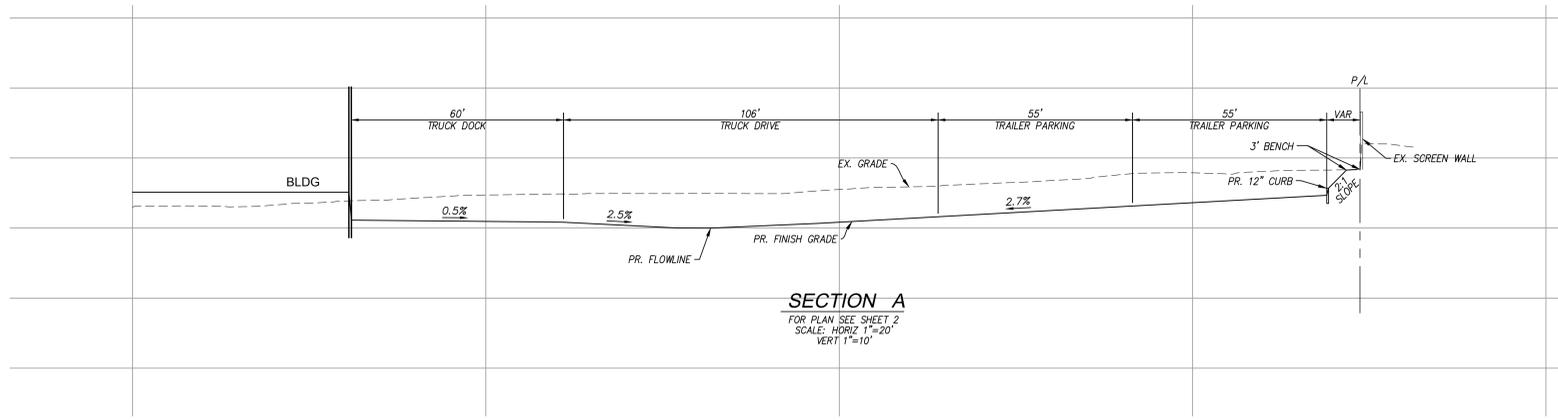


Mar 18 2025

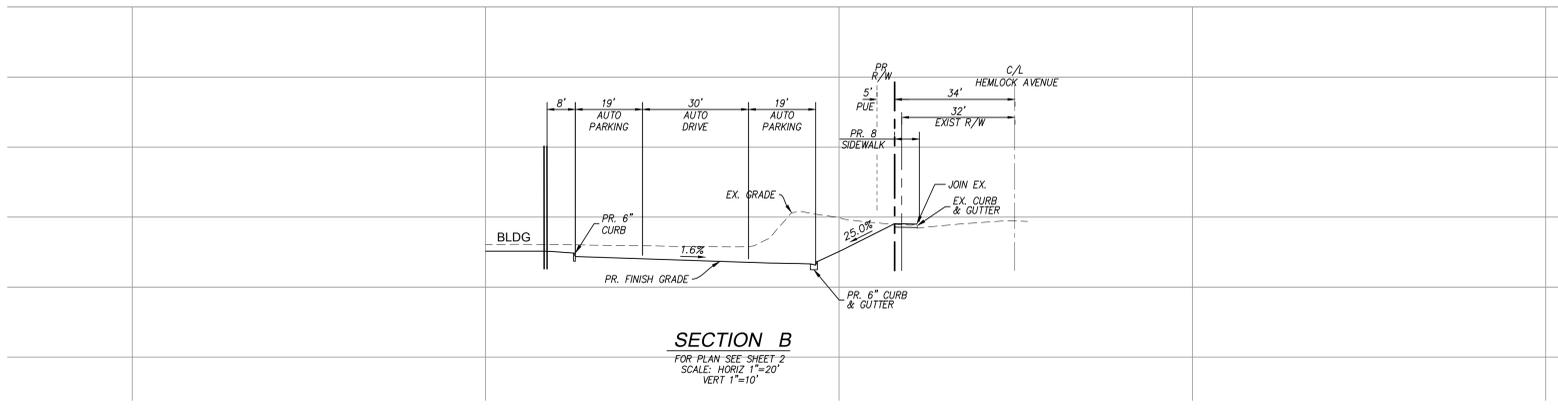
DATE	BY	REVISION	PREPARED FOR:	PREPARED BY:
			PROLOGIS 3548 CONCOURS STREET SUITE 1001 ONTARIO, CA 91765	PBLA ENGINEERING, INC. Planning • Engineering • Surveying 1809 E. DYER ROAD, SITE 301 SANTA ANA, CALIF. 92705 (888) 714-9642 • (714)389-9191 FAX

CITY OF FONTANA
CONCEPT GRADING PLAN
MOUNTAIN VIEW BLD 13
14970 JURUPA AVE
NEC JURUPA AVE & LIVE OAK ROAD

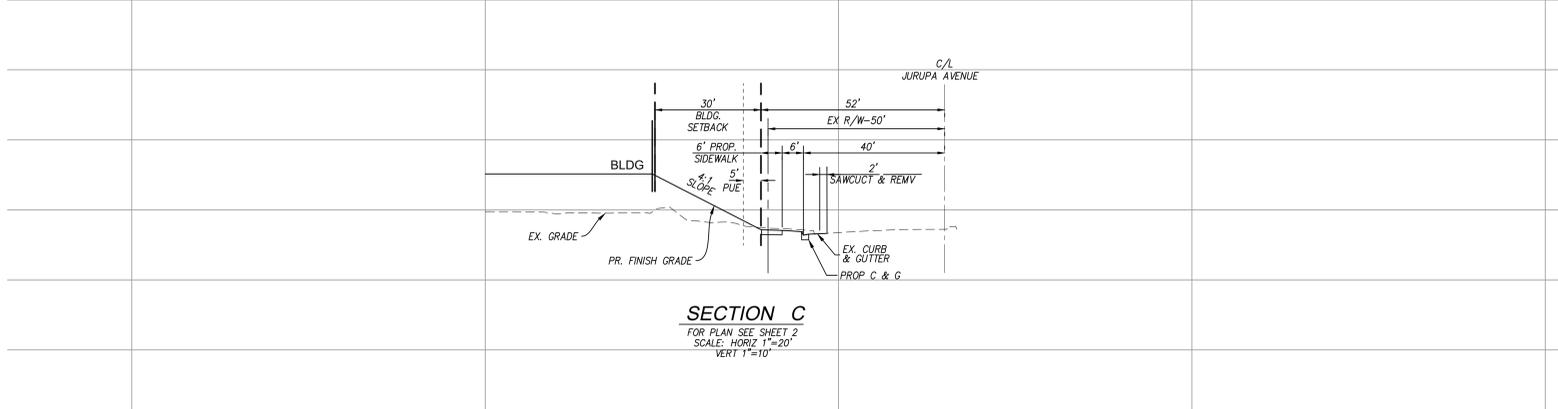
WO 152-1
 Sh. 1 of 3



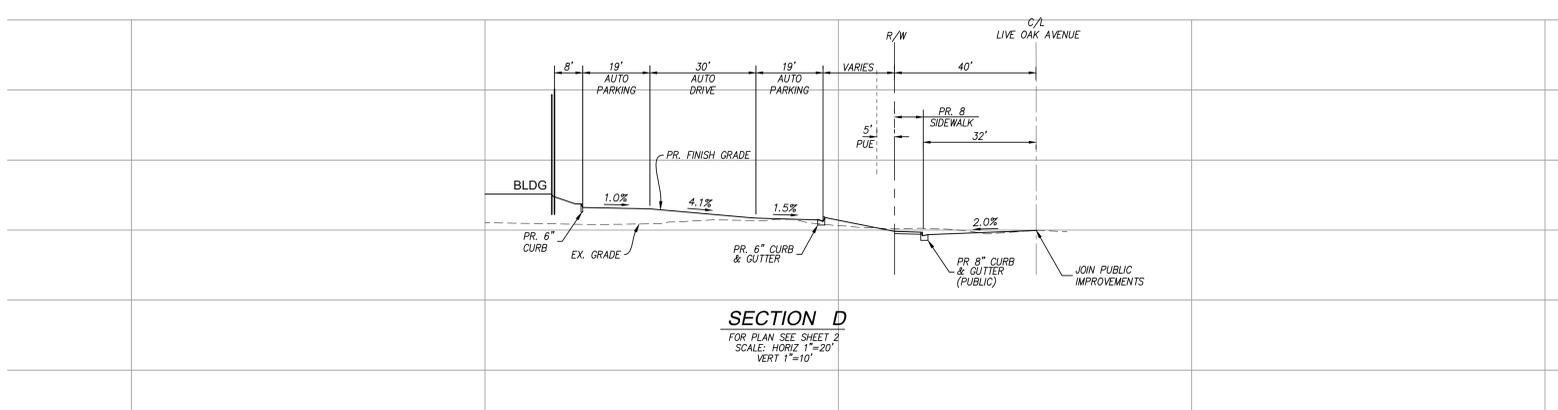
SECTION A
 FOR PLAN SEE SHEET 2
 SCALE: HORIZ 1"=20'
 VERT 1"=10'



SECTION B
 FOR PLAN SEE SHEET 2
 SCALE: HORIZ 1"=20'
 VERT 1"=10'



SECTION C
 FOR PLAN SEE SHEET 2
 SCALE: HORIZ 1"=20'
 VERT 1"=10'



SECTION D
 FOR PLAN SEE SHEET 2
 SCALE: HORIZ 1"=20'
 VERT 1"=10'

Mar 18 2025

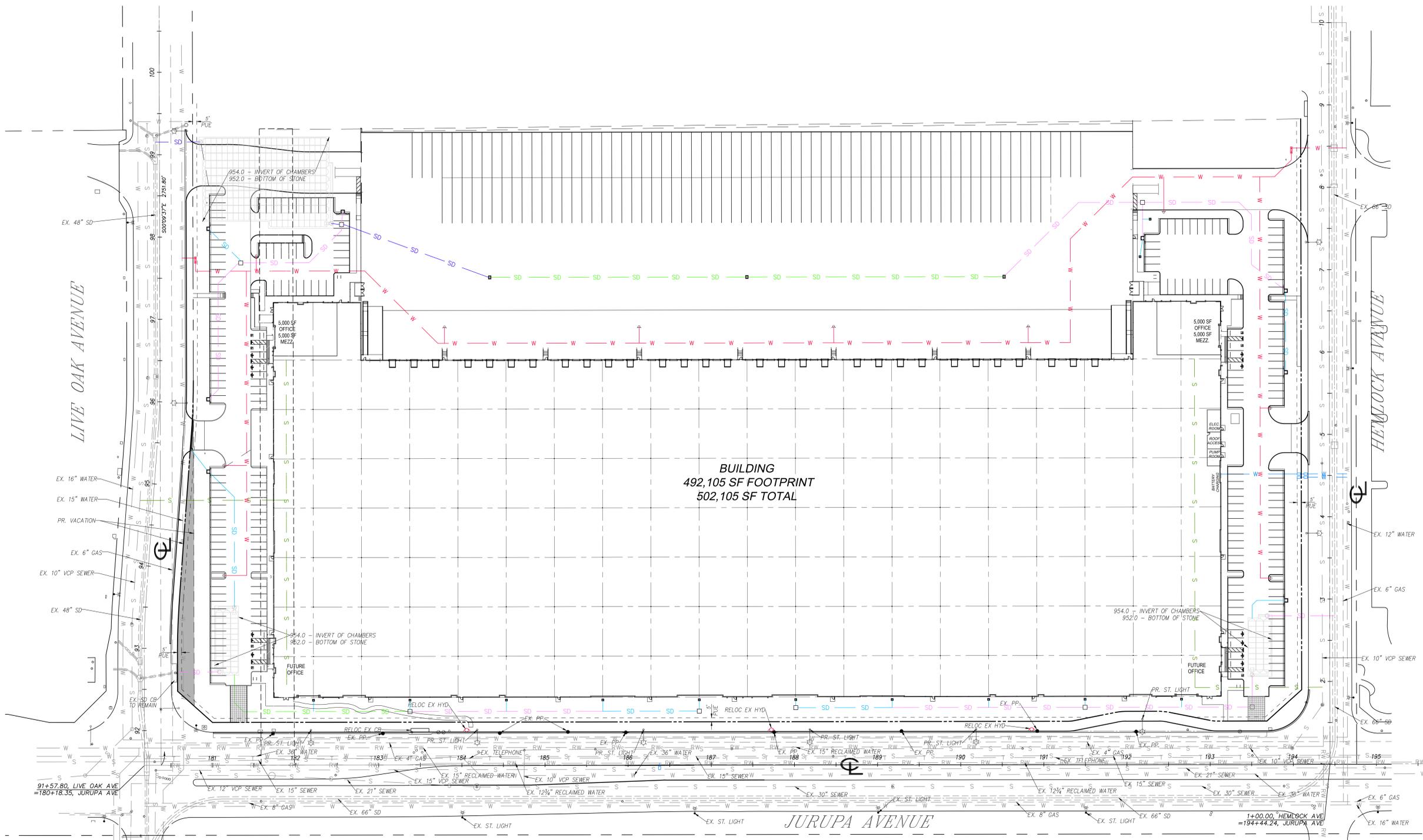
DATE	BY	REVISION

PREPARED FOR:
PROLOGIS
 3546 CONOURS STREET
 SUITE 1001
 ONTARIO, CA 91765

PREPARED BY:
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CITY OF FONTANA
**CONCEPT GRADING PLAN
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 14970 JURUPA AVE
 NEC JURUPA AVE & LIVE OAK ROAD**

WO
 152-1
 Sht. 2 of 3



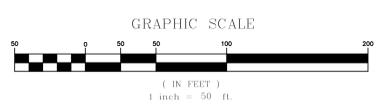
ONSITE UTILITY QUANTITIES

SD	12" STORM DRAIN	788 LF
SD	18" STORM DRAIN	1,641 LF
SD	24" STORM DRAIN	852 LF
SD	36" STORM DRAIN	299 LF
CI	CURB INLET	8 EA
MI	SD MANHOLE	13 EA
MI	SD MANHOLE	8 EA
MC	STORMTECH MC-7200 CHAMBERS	311 EA
S	6" PVC SEWER	1,123 LF
W	3" DOMESTIC WATER LATERAL	92 LF
W	2" DOMESTIC METER & BF	1 EA
W	2" IRRIGATION METER & BF	1 EA
W	2" MEDIAN IRRIGATION METER	1 EA
W	6" HYDRANT LATERAL	224 LF
W	10" FIRE MAIN	2,477 LF
W	10" DETECTOR CHECK VALVE	2 EA
W	FIRE HYDRANT	10 EA

STORM DRAIN PIPE MATERIAL = HDPE DUAL WALL
 DOMESTIC & IRRIGATION PIPE MATERIAL = SCHED 80 PVC
 FIRE SYSTEM PIPE MATERIAL = CLASS 200, C-900 PVC

OFFSITE UTILITY QUANTITIES

△	FIRE HYDRANT RELOCATION	3 EA
○	STREET LIGHT	10 EA
●	EX. POWER POLE TO BE UNDERGROUND	9 EA
□	CATCH BASIN RELOCATION	1 EA



Mar 18 2025

DATE	BY	REVISION

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 3546 CONCOURS STREET
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 ONTARIO, CA 91765

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CITY OF FONTANA
CONCEPT UTILITY PLAN
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WO
 152-1
 Sht. 3 of 3

RESOLUTION NO. PC 2026-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA ADOPTING AN ADDENDUM TO THE ENVIRONMENTAL IMPACT REPORT FOR THE SOUTHWEST INDUSTRIAL PARK SPECIFIC PLAN (SCH NO. 2009091089), AND APPROVING DESIGN REVIEW NO. 24-0013 FOR SITE AND ARCHITECTURAL REVIEW OF A NEW 492,240 SQUARE FOOT INDUSTRIAL COMMERCE CENTER BUILDING, WITH ASSOCIATED SITE IMPROVEMENTS, ON APPROXIMATELY 22.23 GROSS ACRES LOCATED AT 14970 JURUPA AVENUE (APNS: 0237-121-03 & 0237-122-07).

WHEREAS, 14790 Jurupa Avenue, also identified as Assessor Parcel Numbers (“APN”) 0237-121-03 and 0237-122-07 (“Project Site”), were annexed from San Bernardino County into the City of Fontana on June 19, 1964; and

WHEREAS, on April 14, 2024, the City of Fontana (“City”) received an application from Prologis (“Applicant”), for a Design Review (“DRP No. 24-0013”), to develop a new 492,240 square foot logistics and distribution warehouse and associated site improvements, at the Project Site (“Project”); and

WHEREAS, the Project Site has a General Plan Land Use designation of Light Industrial (I-L) and is located within the Southwest Industrial Park Specific Plan/Jurupa North Research and Development District (JND), which allows for such projects; and

WHEREAS, pursuant to the California Environmental Quality Act (Pub. Res. Code §§ 2100 et seq.) (“CEQA”), and the State CEQA guidelines (14 Cal. Code Regs. §§ 15000 et seq.), the City, acting as the lead agency under CEQA, previously determined that an Environmental Impact Report (EIR) must be prepared to evaluate and disclose all potential significant environmental impacts associated with the Southwest Industrial Park Specific Plan; and

WHEREAS, on June 12, 2012, the City certified the Final Environmental Impact Report (“FEIR”) (SCH No. 2009091089) for the Southwest Industrial Park Specific Plan. The FEIR consists of the Draft EIR, comments received during the 45-day public review and comment period on the Draft EIR, written responses to those comments, and revisions documented in an errata section. For purposes of this Resolution, the term “FEIR” refers to the Draft EIR as revised by the errata, along with all other sections comprising the Final EIR; and

WHEREAS, pursuant to CEQA, when taking subsequent discretionary actions on a project for which an EIR has been certified, the lead agency is required to review any changed circumstances to determine whether any of the circumstances under Public Resources Code section 21166 and State CEQA Guidelines Section 15162 require

additional environmental review; and

WHEREAS, pursuant to CEQA Guidelines section 15164, a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred; and

WHEREAS, the City evaluated the proposed Project in light of the standards for subsequent environmental review outlined in Public Resources Code section 21166, State CEQA Guidelines section 15162 and the City of Fontana's 2019 Local Guidelines for Implementing CEQA and concluded that the proposed Project would not result in new significant environmental effects or a substantial increase in the severity of previously identified significant effects that were previously disclosed in the FEIR and therefore, no subsequent EIR or mitigated negative declaration is required; and

WHEREAS, the proposed Project would nonetheless necessitate minor changes or additions to the FEIR, and thus, the city has prepared an Addendum to the FEIR pursuant to State CEQA Guidelines section 15164; and

WHEREAS, pursuant to State CEQA guidelines Section 15164, subdivision (c), the Addendum is not required to be circulated for public review, but can be attached to the FEIR; and

WHEREAS, the proposed vacation along Live Oak Avenue is necessary to implement the design and land division contemplated by the Project, thereby supporting the creation of industrial commercial development that align with City's goals; and

WHEREAS, Chapter 5 of the City's General Plan establishes a vision that the City promote industrial employee centers near regional transportation routes; and

WHEREAS, the City wishes to protect and preserve the quality of life throughout the City, through effective land use and planning; and

WHEREAS, the Conditions of Approval for Design Review No. 24-0013 are attached hereto as **Exhibit "A"** and incorporated herein by reference; and

WHEREAS, all notices required by statute and the Fontana Municipal Code ("FMC") have been given as required; and

WHEREAS, the owners of property within 660 feet of the Project Site were notified via public hearing notice mailer prior to the public hearing; and a notice of the public hearing was published in The Sun newspaper on January 10, 2026, and a notice of the public hearing was simultaneously displayed at City Hall and at the Project Site; and

WHEREAS, on January 20, 2026, a duly noticed public hearing on DRP No. 24-0013, was held by the Planning Commission ("Planning Commission") to consider

testimony and evidence presented by the Applicant, City staff, and other interested parties; and

WHEREAS, on January 20, 2026, the Planning Commission carefully considered all information, evidence and testimony presented at its public hearing on DRP No. 24-0013; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals: The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. As the decision-making body for the Project, the Planning Commission has reviewed and considered the Southwest Industrial Park Specific Plan FEIR and Addendum and Mitigation Monitoring and Reporting Program, any oral or written comments received, and the administrative record prior to making any decision on the Proposed Project. The Planning Commission finds that the Addendum and Southwest Industrial Park Specific Plan FEIR contain a complete and accurate reporting of all the environmental impacts associated with the Proposed Project. The Planning Commission further finds that the Addendum has been completed in compliance with the State CEQA Guidelines and Section 8.06 of the City of Fontana's 2019 Local Guidelines for Implementing CEQA.

Section 3. Findings on the Necessity for Subsequent or Supplemental Environmental Impact Report. Based on the substantial evidence set forth in the record, including but not limited to, the Southwest Industrial Park Specific Plan FEIR, the Addendum, and all related information presented to the Planning Commission, the Commission finds that pursuant to State CEQA sections 15162 and 15164 and Section 8.06 of the City of Fontana's 2019 Local Guidelines for Implementing CEQA, an Addendum to the Southwest Industrial Park Specific Plan FEIR is the appropriate document for the Project.

The Planning Commission further finds that the preparation of a subsequent or supplemental EIR is not required for the proposed Project because the Project:

A. Will not result in substantial changes that would require major revisions of the Southwest Industrial Park Specific Plan FEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

B. Will not result in substantial changes with respect to the circumstances under which the Proposed Project are developed that would require major revisions of the Southwest Industrial Park Specific Plan FEIR due to the

involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

C. Does not present new information of substantial importance that was not known and could not have known with the exercise of reasonable diligence at the time the Southwest Industrial Park Specific Plan FEIR documents were certified showing any of the following:

- (i) The Proposed Project would have one or more significant effects not discussed in the EIR;
- (ii) That significant effects previously examined would be substantially more severe than shown in the EIR;
- (iii) That mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects, but the lead agency declined to adopt such measures; and
- (iv) That mitigation measures or alternatives considerably different from those analyzed would substantially reduce one or more significant effects on the environment, but which the lead agency declined to adopt.

Section 4. Adoption of Addendum. The Planning Commission adopts the Addendum to the EIR for the Southwest Industrial Park Specific Plan (SCH No. 2009091089) and Mitigation, Monitoring, and Reporting (MMRP) that have been prepared pursuant State CEQA Guidelines Sections 15162 and 15164 along with the City of Fontana's 2019 Local Guidelines for Implementing CEQA and directs staff to file and post a Notice of Determination.

Section 5. Design Review Findings. The Planning Commission hereby makes the following findings for DR No. 24-0013 in accordance with Section 30-120 "Findings for approval" of the Fontana Zoning and Development Code:

Finding No. 1. The proposal is consistent with the General Plan, Zoning and Development Code, and specific plan.

Findings of Fact: The Project is for the development of a new logistics and distribution warehouse building including office space, of approximately 492,240 square feet, on 22.23 adjusted gross acres. Variations to the building face, varying roof lines and building's height of 42 feet 6 inches high, will make the project architecturally pleasing and be consistent with the surrounding area. The site and building design comply with the criteria contained in the design review section of the Fontana Zoning and Development Code and Southwest Industrial Park Specific Plan/Jurupa North Research and Development District (JND) regulations.

As requested, the project has high quality architecture and appropriate screening comprised of screen walls and landscaping that will make for an appropriate and desirable development.

Finding No. 2. The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desired development promoting the public health, safety, and welfare of the community.

Findings of Fact: The development complies with the City of Fontana Zoning and Development Code. The site improvements have been evaluated by the City's Fire, Building and Safety, Engineering, and Police Departments.

Finding No. 3. The proposal, in its design and appearance, is aesthetically and architecturally pleasing, resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact: The light industrial building, including office space, has been thoughtfully designed to enhance and compliment the surrounding neighborhood. The architectural relief for the warehouse building will feature an exterior color of a white, neutral grey tone color palette with dark green accents, with a varied roof line and glazed storefront windows. The materials will result in a high-quality architectural design that is both suitable and appealing for the area.

Finding No. 4. The site improvements are appropriate and will result in a safe, well-designed facility.

Findings of Fact: The development complies with the City of Fontana Zoning and Development Code. Improvements including streets, sidewalks, drainage, and grading, will provide a safe and well-designed neighborhood.

Section 6. Approvals. Based on the foregoing, the Planning Commission hereby approves Design Review No. 24-0013 subject to the Conditions of Approval, attached hereto as "**Exhibit A**" and incorporated herein by this reference.

Section 7. General Plan Consistency Finding. Based on the foregoing, the Planning Commission formally finds and determines that the location, purpose and extent of the street vacation along Live Oak Avenue as depicted in Attachment No. 2 – Project Plan Set within the preliminary grade plans, are in full conformity with the goals, policies, and objectives of the City's adopted General Plan.

Section 8. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

Section 9. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 10. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 11. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or application of this Resolution that can be given effect without the invalid provision or application.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 20th day of January, 2026.

City of Fontana

Idilio Sanchez, Chair

ATTEST:

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 20th day of January, 2026, by the following vote, to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

Joseph Armendarez, Secretary



Exhibit "A"

CITY OF FONTANA

CONDITIONS OF APPROVAL

CASE: Master Case No. 24-0037
Design Review No. 24-0013

DATE: January 20, 2026

LOCATION: 14970 Jurupa Avenue
(APNs: 0237-121-03 & 0237-122-07)

PLANNING DEPARTMENT:

1. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until both of the following have occurred:
 - A. All of the improvements, construction, alteration and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's issuance of a Certificate of Occupancy or other document evidencing the City's final inspection and acceptance of the work; and
 - B. All other Conditions of Approval imposed by this project have been fulfilled.
2. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging California Environmental Quality Act (CEQA) actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and

expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

3. This Design Review shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion of the first Building and Safety Department inspection, has commenced within this period.
4. The applicant/developer shall comply with the mitigation measures identified in the CEQA Addendum of the Southwest Industrial Park Specific Plan Final Environmental Impact Report (SCH No. 2009091089) Mitigation Monitoring and Reporting Program (MMRP) as approved by the Planning Commission.
5. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the structure until corrections are approved in writing by all appropriate staff.
6. Color combinations and color schemes for buildings approved under a design review application shall not be modified or changed without prior approval of the original approving body by a revision to the original application. Minor hue color changes may be approved by the Director of Planning. The Director of Planning may refer minor hue color changes to the original approving body for consideration under a revision to the original application.
7. Exterior lighting compatible with the design of the building shall be provided for the parking lot. The lighting shall be directed and shielded so as to illuminate only the parking area and to avoid glare impacts on adjacent properties.
8. This project will comply with all applicable provisions, regulations, and development standards of the City of Fontana Municipal Code.
9. The applicant shall meet all the requirements of Chapter No. 9, Article No. 5 (Industrial Commerce Centers Sustainability Standards).

10. A copy of the Industrial Sustainability Ordinance requirements shall be placed on the final grading plans and the final building plans.
11. The applicant shall post a publicly visible sign on the project site with the telephone number and 24-hour point of contact for dust, noise, and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have authority to commit additional assets to control dust, or respond to construction complaints after hours, on weekends and on holidays. Construction shall be limited to 7:00 am to 6:00 pm on weekdays, 8:00 am to 5:00 pm on Saturdays, and no construction on Sundays and Holidays.
12. Sidewalks shall be provided for all new developments in accordance with the city's circulation element of the General Plan.
13. The applicant shall adhere to the City standard of one foot candle minimum for all entrances, exits, pedestrian paths, parking lots, and activity areas. Reflect all light fixtures on the site plan. All areas shall be illuminated during all hours of darkness and all luminaries utilized shall be vandal-resistant fixtures. The type of lighting shall be fluorescent, white L.E.D.s or metal halide. Provide a photometric layout under separate exhibit to ensure the minimum light standard is met.
14. The applicant shall incorporate an anti-graffiti coating onto the exterior of all proposed block walls to discourage graffiti.
15. The applicant shall meet all requirements of the Trip Reduction Measures in of the Zoning Code (Section 30-962).
16. Seventeen (17) bicycle parking racks or secured bicycle lockers shall be provided.
17. All parking stalls shall be clearly marked by double striping pavement painting. Parking stall sizes shall be measured from the mid-point between the striping. No parking spaces shall be designated in a commercial/retail parking facility, except for disabled persons parking, van pool, carpool, or any other designated parking as required by law.
18. The applicant shall depict step outs in the landscaping areas as required pursuant to the Zoning and Development Code Section No. 30-671(a)(8)c, on the Site and Landscaping plans for the submittal of Planning Department landscape plan check.
19. All signs shall be reviewed under a separate Design Review Sign application.
20. All roof-mounted equipment and ground mounted equipment shall be screened from view from adjacent properties and streets to the satisfaction of the Director of Planning.
21. All landscaping shall be healthy and maintained in a reasonable manner as

determined by the Director of Planning or his/her designee.

22. The transformer shall be screened by either a screen wall or mature, dense landscaping, and not visible from the public right-of-way.
23. After the fifteen (15) day appeal period, the applicant shall remove the Notice of Filing sign(s) from the project site. The applicant may request a refund of the sign deposit; the request shall be in writing accompanied with a refund application. The request shall be submitted to the Planning Department.
24. There shall be no refrigerated uses on site beyond amount analyzed in the Addendum of the Southwest Industrial Park Specific Plan Final Environmental Impact Report (SCH No. 2009091089); unless a future tenant proposes to have such uses conducts an update of the California Environmental Quality Act (CEQA) document and any applicable studies/memorandums to amend this Condition of Approval.
25. Applicant shall pay all applicable service fees pursuant to the City of Fontana Municipal Code.
26. The applicant shall provide up-lighting on the perimeter and up-light proposed trees to the satisfaction of the Director of Planning and his/her designee.
27. All ground mechanical equipment shall be screened to the extent feasible on all sides by a decorative screen wall not less than the height of the equipment being screened in conjunction with landscaping, subject to approval of the Director of Planning. The decorative screen wall shall be located between the street and the mechanical equipment not less than three-foot. The decorative screen wall shall be well incorporated into the design of the building. The other side of the equipment shall be screened with landscaping not less than ten-gallon shrubs or approved landscaping.
28. All fire back flows (DDC/DACA) shall be painted green or an earth tone color.
29. Lighting systems shall be architecturally compatible with surrounding buildings to express the unique character of the area.
30. Historic Archaeological Resources:
 - A. Upon discovery of any tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project while evaluation takes place.

- B. Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.
- C. Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

Prior To Issuance of Grading Permit

- 31. All Conditions of Approval and Mitigation, Monitoring, and Reporting Program (MMRP) contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

- 32. Prior to issuance of a Certificate of Occupancy, the applicant shall underground all utilities, which for the purpose of this condition shall include all boxes, structures and/or other equipment located in the public rights-of-way, any public utility easement(s), and on any private property, to the satisfaction of the Director of Planning.

- 33. Development fees and Planning Department final inspection fees must be paid prior to Certificate of Occupancy.

FIRE DEPARTMENT:

- 34. *Jurisdiction:* The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.

- 35. *Fire Access Road Width:* Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the

Fire Department. All buildings shall have access provided by approved roads, alleys, and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1.

36. *Turnaround:* An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code Chapter 5 & SBCoFD Standard A-1.

37. *Fire Lanes:* The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and “No Parking, Fire Lane” signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.

38. *Water System Commercial:* All water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix BB of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet (4"x2.5"x2.5") shall be provided. All fire hydrants shall be spaced no more than three hundred (300) feet apart as measured along vehicular travel-ways. California Fire Code Chapter 5 & SBCoFD Standard W-2.

The Fire Flow for this project shall be: 4,000 GPM for a two-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 492,130 Square Foot structure.

39. *Hydrant Marking:* Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCoFD Standard W-2.

40. *Water Improvement Plan:* The applicant shall submit “Water Improvement Plans” to Fontana Fire Prevention. W.I.P. to include site plan, existing & proposed PUBLIC fire hydrant locations, building construction type, square foot details of the largest building, total square foot of ALL floors in a multifloored building, square foot size of entire site, and description of what is being constructed/occupancy type. Once approved by Fire Department, applicant will provide stamped/approved W.I.P to water purveyor for their construction needs. *ON-SITE PRIVATE FIRE WATER SUPPLY SHALL BE INSPECTED AND IN WORKING CONDITION PRIOR TO PLACING COMBUSTIBLE MATERIALS*

ON THE JOBSITE. California Fire Code Chapter 5.

41. *Combustible Protection*: Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
42. *Fire Sprinkler-NFPA #13*: An automatic fire sprinkler system complying with NFPA 13 and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The plans shall include hydraulic calculations and manufacturer specification sheets. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-1.
43. *Fire Alarm, Manual or Automatic*: A manual, automatic or manual and automatic fire alarm system complying with the California Fire Code, NFPA 72 and all applicable codes is required. A fire alarm contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9, SBCFD Standard F-5, & NFPA 72.
44. *Fire Alarm, Waterflow Monitoring*: A water flow monitoring fire alarm system complying with the California Fire Code, NFPA and all applicable codes is required for fire sprinkler systems with twenty (20) sprinkler heads or more. A fire alarm contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9, NFPA 72 & SBCoFD Standard F-5.
45. *Smoke Removal*: An automatic smoke removal system complying with the California Fire Code, NFPA and all applicable codes is required. The applicant shall submit three (3) sets of detailed smoke removal system plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9.
46. *Fire Extinguishers*: Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. California Fire Code Chapter 9.
47. *Commercial (large facility) Addressing*: Commercial and industrial developments in excess of 100,000 sq. ft. shall have the street address installed on the building with numbers that are a minimum twelve (12) inches in height and with a one and one half (1½) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated contrasting six (6) inch numbers shall be displayed at the property access entrances. California Fire Code Chapter 5 &

SBCoFD Standard B-1

48. *Key Box*: An approved Fire Department key box is required. The key box shall be provided with a tamper switch and shall be monitored by a Fire Department approved central monitoring service. California Fire Code Chapter 5 & SBCoFD Standard A-4
49. *Security Gates*: In commercial, industrial, and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. California Fire Code Chapter 5 & SBCoFD Standard A-3
50. *Material Identification Placards*: The applicant shall install, in all locations deemed appropriate by the Fire Department, approved material identification placards on the outside of all buildings and/or storage tanks that store hazardous or flammable materials. Additional placards shall be required inside the buildings when chemicals are segregated into separate areas. California Fire Code Chapter 50 & NFPA 704.
51. *High-Piled Storage*: The applicant shall submit an application for a High-Piled Storage permit for storage of over 12' in height of Class I-IV commodities and/or over 6' in height of high hazard commodities. Three (3) sets of detailed plans and a commodity analysis report shall be submitted to the Fire Department for review and approval. The applicant shall submit to the Fire Department concurrently with any racking permits to the Building and Safety division. California Fire Code Chapter 32 & SBCoFD Standard S-1.
52. *Secondary Access*: The development shall have a minimum of two points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCoFD Standard A-1
53. *San Bernardino County Fire Standards/Codes*: Items not directly called out on these Conditions of Approval, shall also adhere to currently adopted San Bernardino County Fire Standards, California Fire Code, & NFPA.

Building and Safety:

54. The applicant shall design the project to show compliance with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code

H. California Green Building Standards Code

55. The applicant shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
56. The applicant shall comply with the requirements of the South Coast Air Quality Management District (909-396-2000). SCAQMD requirements shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
57. The applicant shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
58. The applicant shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.
59. The applicant shall comply with the following grading requirements:
- A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.
 - F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.
- The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-

site structures (buildings) and all adjacent properties during a hundred (100) year storm.

- I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 1. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.); and
 2. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.); and
 3. All proposed drainage structures; and
 4. Any proposed and/or required walls or fencing.

60. The applicant is required to obtain permits for the removal and/or demolition of structures.

61. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

62. The following items (as applicable) shall be completed by the applicant and submitted to Building & Safety prior to the issuance of building permits for this project:

- A. Precise grading plans shall be approved.
- B. Rough grading completed.
- C. Compaction certification
- D. Pad elevation certification
- E. Rough grade inspection signed off by a City Building Inspector

Specific Conditions:

63. Project must comply with Article V of the Fontana Municipal Code “Industrial Commerce Centers Sustainability Standards.”

ENGINEERING DEPARTMENT:

64. The Project shall be served by the City’s sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.

65. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.

66. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

67. Project required to consolidate all lots, dedicate all required R/W, and Vacate public R/W as shown on the entitlement documentation.
68. Grading plans shall be submitted to the Engineering department. Grading plans to follow and be in compliance with the latest edition of the California Building code and City requirements.

PRIOR TO ISSUANCE OF GRADING PERMIT

69. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template. All outstanding comments regarding the preliminary WQMP must be resolved and incorporated into the Final WQMP.
70. The Applicant shall submit and gain approval of a final drainage study prepared in accordance with the County of San Bernardino Hydrology Manual and Fontana Master Plan of Drainage. All outstanding comments regarding the preliminary WQMP must be resolved and incorporated into the Final WQMP.

PRIOR TO ISSUANCE OF ANY OTHER CONSTRUCTION PERMITS

71. The Applicant shall provide a Land Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.
72. The Applicant shall record All lot line adjustments, right-of-way dedications, easements, and R/W vacations as required for the development.
73. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, Median improvements, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. For a full list of traffic requirements, refer to the Traffic Division's conditions of approval. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.
74. The Applicant shall perform a pavement quality analysis by a qualified geotechnical engineer for Live Oak, Jurupa, and Hemlock for the City to review and approve. Live Oak, Jurupa, and Hemlock along the project frontage shall be fully replaced to bring the pavement structural section into conformance with City Standards. Any remedial action less that full replacement shall be justified by the pavement analysis and shall bring the pavement condition to a 20 year pavement life.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

75. Complete all public improvements required of the project. Underground utilities required of the project. Ensure streetlights are energized and operating properly.
76. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans. The Applicant/Developer shall provide a copy of the streetlight electric bill.

77. Slurry seal roads effected by the development as directed by the inspector. Slurry seal limits may extend past the project frontage to address existing striping/pavement markings that conflicts with new striping/pavement markings, repair trenches, and other areas as determined by the inspector.
78. The Surveyor of Record shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
79. The Surveyor of Record shall set survey monuments as required by the map and corner records must be recorded with the County. The Surveyor of Record shall notify the City in writing that monuments have been set in accordance with the recorded subdivision map and he/she has been paid in full for doing so.
80. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
81. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
82. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
83. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practice transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

ENGINEERING TRAFFIC:

84. Project ingress and egress locations and restrictions shall be as follows, with additional or lesser restrictions being necessitated subject to changes in the site plan and approval of the City Engineer:
 - A. The Project may have up to two (2) ingress/egress points along Live Oak Avenue which may allow for full access (i.e., left- and right-turning inbound

and outbound) movements. The southerly project driveway along Live Oak Avenue shall be designed, constructed, and signed to prohibit regular commercial truck access.

B. The Project may have up to two (2) ingress/egress points along Hemlock Avenue which may allow for full access (i.e., left- and right-turning inbound and outbound) movements. The southerly project driveway along Hemlock Avenue shall be designed, constructed, and signed to prohibit regular commercial truck access.

C. Ingress and egress restrictions shall be reinforced with appropriate signage and/or pavement markings. The prohibition of commercial truck access at the southerly driveways on both Live Oak Avenue and Hemlock Avenue shall be visible to drivers in the public Right-of-Way.

85. Left-turn ingress and/or egress at all access locations may be restricted in the future due to traffic operational or safety concerns. Alternatives to such restrictions may be considered, subject to approval of the City Engineer.

86. All gated ingress locations which do not provide adequate space within the Project site for the design vehicle to turn around shall be designed so that the gate position as either opened or closed is visible to drivers in the public Right-of-Way. At no time shall the design and gating of Project driveways require vehicles to reverse into a travel lane in the public Right-of-Way in order to depart or turn around. This requirement may be excluded if the gate is manned at all times with personnel who may permit an errant driver to enter the site in order to turn around and depart.

87. Stopping sight distance must be shown to meet the required standards both horizontally and vertically at all ingress/egress locations including consideration for walls, landscaping, grading, and vegetation. Sight distances shall comply with current AASHTO requirements.

88. The site plan shall identify the on-site vehicular traffic flow patterns and circulation, on-site signing and striping, and any restricted, reserved, or other pre-designated parking areas.

89. The Applicant shall design and construct a raised median along Jurupa Avenue in order to close the existing median break along the Project's frontage.

90. The Applicant shall provide a striping and signing plan for all roadway improvements, subject to the approval of the City Engineer as part of the approval of the street improvement plans.

91. The Applicant shall pay the required fair share cost towards signalization of the Hemlock Avenue/Slover Avenue intersection as determined in the approved Traffic Impact Analysis. The fair share payment shall be made prior to the issuance of any occupancy permits.
92. The Applicant shall pay the applicable Development Impact Fees prior to the issuance of any occupancy permits at the established rate pursuant to Government Code Section 66007.
93. The location of bicycle parking shall be depicted on the site plan. The number of bicycle parking spaces shall be determined in compliance with the City of Fontana Zoning and Development Code. Bicycle parking shall comply with the Association of Pedestrian and Bicycle Professionals' (APBP) bicycle parking design guidance. In the event that the Fontana Zoning and Development Code and the APBP guidance differ, the Fontana Zoning and Development Code requirements shall prevail.
94. The site plan shall identify all pedestrian access ways and traffic crossings. Crossings shall be clearly marked, lighted, and identified throughout the interior of the project. Pedestrian walkways shall have sufficient pathway lighting.
95. The site plan shall identify the Americans With Disabilities Act (ADA) compliant path(s) of travel to/from the public right of way and from all ADA accessible parking spaces.

NOTICE OF DETERMINATION

TO:	x Clerk of the Board of Supervisors or County Clerk Address:	FROM:	Public Agency/Lead Agency Name: City of Fontana Address: 8353 Sierra Ave, Fontana CA 92335 Contact: Alejandro Rico Phone: (909) 350-6558
			Email: arico@fontanaca.gov
TO:	X Office of Land Use and Climate Innovation State Clearinghouse 1400 Tenth Street, Rm. 113 Sacramento, CA 95814	Lead Agency (if different from above)	
		Address:	
		Contact:	
		Phone:	

SUBJECT: Filing of Notice of Determination in compliance with Section 21108 or 21152 of the Public Resources Code.

State Clearinghouse Number (If submitted to SCH): 2009091089
Project Title: Prologis Jurupa Industrial Commerce Building; Master Case (MCN) No. 24-0037; Design Review (DRP) No. 24-0013
Project Applicant (include address, telephone number and email address): D.J. Arellano Prologis 3546 Concourse Street, #100 Ontario, CA 91764 563-376-9233 darellano@prologis.com
Specific Project Location – Identify street address and cross street or attach a map showing project site (preferably a USGS 15' or 7 ½' topographical map identified by quadrangle name): Located at 14970 Jurupa Avenue (APN's: 0237-121-03 and 0237-122-07)
General Project Location (City and/or County): City of Fontana, County: San Bernardino

Project Description: A request for the site and architectural review of a 492,240 square foot industrial commerce building, with associated off-site improvements on 22.23 acres and located on property identified as Assessor's Parcel Numbers 0237-121-03, and 0237-122-07 at address 14970 Jurupa Avenue.

Identify the person or entity undertaking the project, including any private applicant, any other person undertaking an activity that receives financial assistance from the Public Agency as part of the project, and any person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the project.

This is to advise that the (Lead Agency or Responsible Agency) has approved the above described project on **January 20, 2026** and has made the following determinations regarding the above described project:

1.	The project [<input checked="" type="checkbox"/> will <input type="checkbox"/> will not] have a significant effect on the environment.	
2.	<input checked="" type="checkbox"/>	An Environmental Impact Report was prepared and certified for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency. Pursuant to the environmental documents prepared for the Southwest Industrial Park Specific Plan Program Environmental Impact Report (SWIP PEIR) (State Clearinghouse [SCH] No. 2009091089) that was certified by the City Council on June 12, 2012. Based on CEQA Guidelines, Sections 15162 through 15164 et seq, it was determined that the previously certified Final EIR has adequately identified the impacts associated with this project and an Addendum has been prepared for this project. <u>This Addendum determined that there are no new additional impacts beyond what was anticipated in the EIR mentioned above.</u>
	<input type="checkbox"/>	A Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.
	<input type="checkbox"/>	A Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.
3.	<input checked="" type="checkbox"/>	Mitigation measures [<input checked="" type="checkbox"/> were <input type="checkbox"/> were not] made a condition of the approval of the project.
4.	<input checked="" type="checkbox"/>	A Mitigation Monitoring or Reporting Plan [<input checked="" type="checkbox"/> was <input type="checkbox"/> was not] adopted for this project.
5.	<input checked="" type="checkbox"/>	A Statement of Overriding Considerations [<input checked="" type="checkbox"/> was <input type="checkbox"/> was not] adopted for this project.
6.	<input checked="" type="checkbox"/>	Findings [<input checked="" type="checkbox"/> were <input type="checkbox"/> were not] made pursuant to the provisions of CEQA.
This is to certify that the environmental documents along with comments and responses and record of project approval, or the Addendum was approved on January 20, 2026, and is available to General Public at: 8353 Sierra Avenue, Fontana, CA 92335.		
	Custodian:	Location:

Date:	<hr/> Rina Leung Senior Planner
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Clerk's File Stamp:

Authority cited: Sections 21083, Public Resources Code.
Reference Section 21000-21174, Public Resources Code.



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case (MCN) No. 24-0037: Design Review (DRP) No. 24-0013

A request to construct an industrial commerce center building of approximately 492,240 square feet, including office space and associated improvements on an approximately 22.26-acre site.

Environmental Determination:

Pursuant to Sections 15162 and 15164 of the California Environmental Quality Act (CEQA) Guidelines and Section 8.06 of the City of Fontana's 2019 Local CEQA Guidelines an Addendum to the Southwest Industrial Park Specific Plan Program Environmental Impact Report (SWIP PEIR) (State Clearinghouse [SCH] No. 2009091089) has been prepared for this proposed project. The aforementioned EIR was adopted by the City Council on June 12, 2012 and it anticipated the development of a commerce center building and also adequately identified any potential impacts associated with this project. This Addendum determined that there are no new additional impacts beyond what was anticipated in the EIR mentioned above.

Location of Property:

14970 Jurupa Avenue
(APNs: 0237-121-03 & 0237-122-07)

Date of Hearing:

January 20, 2026

Place of Hearing:

Steelworkers' Auditorium
8437 Sierra Avenue
Fontana, CA 92335

Time of Hearing:

6:00 P.M.



Should you have any questions concerning this project, please contact Alejandro Rico, Associate Planner, at (909) 350-6558 or by email arico@fontanaca.gov.

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish date: January 9, 2026
S.B. Sun Newspaper



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0714
Agenda #: PH-B

Agenda Date: 1/20/2026
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 25-0080 and Municipal Code Amendment No. (MCA) 25-0011: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) to modify Section No. 30-467 pertaining to accessory dwelling units (ADUs) and junior accessory dwelling units (JADU) to comply with State of California law, pursuant to a statutory exemption from the California Environmental Quality Act Under Section No. 21080.17 of the Public Resources Code.

RECOMMENDATION:

Based on the information contained in the staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2026 - _____, and forward a recommendation to the City Council to:

1. Determine that the proposed ordinance is statutorily exempt from the California Environmental Quality Act ("CEQA") pursuant to California Public Resources Code section 21080.17 as CEQA does not apply to the adoption of an ordinance by a city or county implementing the provisions of Article 2 of Chapter 13 of Division 1 of Title 7 of the California Government Code, which is California's ADU law and which also regulates JADUs, as defined by section 66313; and,
2. Approve a Resolution recommending the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 25-0011 amend Chapter 30 of the Municipal Code.

APPLICANT:

City of Fontana
8353 Sierra Avenue
Fontana, CA 92335

LOCATION:

Citywide.

REQUEST:

Municipal Code Amendment No. (MCA) 25-0011: a request to amend Chapter 30 of the Fontana Municipal Code that will modify Section No. 30-467 pertaining to Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) to comply with State of California law.

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

BACKGROUND INFORMATION:

1. In 2025, the California Legislature approved, and the Governor signed into law, three new bills - SB543, AB1154, and AB462 - that further amend State ADU law.
2. On December 9, 2025, the City Council heard and approved Urgency Ordinance No. 1956, which amended Section 30-467, to take immediate effect upon adoption, to comply with recent State Laws adopted. SB543, AB1154 and AB462 will take effect on January 1, 2026, and a non-urgency adoption would take effect after that date. As a result, the urgency ordinance was necessary to avoid the nullification of the city’s current ordinance, which contains limited city-specific standards (maximum size of ADUs, some setbacks, prohibition of separate conveyance, etc.).

PROJECT DESCRIPTION:

The city initiated Municipal Code Amendment No. 25-0011 to provide updates to Chapter 30 (Zoning and Development Code), as summarized below.

ANALYSIS:

In recent years, the California Legislature has approved, and the Governor has signed into law several bills that impose new limits on local authority to regulate accessory dwelling units (ADUs) and junior accessory dwelling units (JADUs). In 2025, the California Legislature approved, and the Governor signed into law, three new bills - SB543, AB1154 and AB462- that further amend state ADU law as summarized below.

The proposed ordinance will amend Section 30-467 of the Fontana Municipal Code to comply with recent changes to State Law that impose new limits on local authority to regulate Accessory Dwelling Units (“ADUs”) and Junior Accessory Dwelling Units (“JADU’s”). In summary, the amendments will provide clear standards for regulating ADU’s and JADU’s, while limiting impacts on the surrounding community.

SB543 - Permitting Timeline and Uniform Standards

SB543 codifies existing guidance from the California Department of Housing and Community Development (HCD). The bill codifies the requirement an initial review of ADU and JAU permit applications must be conducted within 15 business days. It also clarifies that JADUs are to be treated the same as ADUs under permitting guidelines, size, safety and density standards.

AB1154 - Parking Requirements, Owner-Occupancy and Rental Rules

Parking Requirements

AB1154 prohibits the city from imposing parking standards for ADUs that are 500 square feet and smaller. This aligns the parking requirements for small ADUs with existing parking exemptions for JADUs.

Owner-Occupancy

Existing law requires that the owner of a property with a JADU must reside on the property. Further, existing law permits JADUs to share sanitation facilities with the primary dwelling. AB1154 eliminates the owner-occupancy requirement for a property containing a JADU if the JADU has separate

sanitation facilities from the main dwelling unit.

Rental Rules

Existing law prohibits ADUs from being used for short-term rental purposes. However, existing law did not explicitly extend that prohibition to JADUs. AB1154 explicitly prohibits the use of a JADU for short-term rentals and requires that the rental term be longer than 30 days.

AB462 - Certificate of Occupancy Timing

Typically, the certificate of occupancy for an ADU or JADU may not be issued prior to the certificate of occupancy for the primary dwelling unit on the same site. However, AB462 provides a limited exception in cases where there is a State-declared emergency, subject to certain conditions.

Environmental:

Under California Public Resources Code Section 21080.17, CEQA does not apply to the adoption of an ordinance by a city or county implementing the provisions of Article 2 of Chapter 13 Division 1 of Title 7 of the California Government Code, which is California's ADU law, and which also regulates JADUs as defined by Section 66313. Therefore, the adoption of the proposed ordinance is statutorily exempt from CEQA in that it implements state ADU law.

MOTION:

Approve staff's recommendation.

ATTACHMENTS:

Attachment No. 1 - Planning Commission Resolution

Attachment No. 2 - Notice of Exemption

Attachment No. 3 - Public Hearing Notice

RESOLUTION No. PC 2026 - _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA, CALIFORNIA, RECOMMENDING THAT THE FONTANA CITY COUNCIL ADOPT AN ORDINANCE APPROVING AMENDMENTS TO SECTION 30-467 OF THE FONTANA MUNICIPAL CODE PERTAINING TO ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS, PURSUANT TO A STATUTORY EXEMPTION FROM CEQA UNDER PUBLIC RESOURCES CODE § 21080.17.

WHEREAS, pursuant to Government Code section 37100, the legislative body of a city may pass ordinances not in conflict with the Constitution and laws of the State or the United States; and

WHEREAS, Government Code sections 50022.1 to 50022.10 authorize a city to codify and recodify its ordinances; and

WHEREAS, in recent years, the California Legislature has approved, and the Governor has signed into law, a number of bills that, among other things, amend various sections of the Government Code to impose new limits on local authority to regulate accessory dwelling units (“ADUs”) and junior accessory dwelling units (“JADUs”); and

WHEREAS, in 2025, the California Legislature approved, and the Governor signed into law, Senate Bill 543 (“SB 543”), Assembly Bill 1154 (“AB 1154”) and Assembly Bill 462 (“AB 462”), which further amend state ADU law;

WHEREAS, SB543, AB1154, and AB462 take effect on January 1, 2026, and for the City’s ADU ordinance to remain valid, it must be amended to reflect the requirements of SB543, AB1154, and AB462; and

WHEREAS, through Municipal Code Amendment (“MCA”) No. 25-0011, the City of Fontana (“City”) desires to restate without substantive revision, amend and recodify certain ordinances codified in the Fontana Municipal Code (“FMC”); and

WHEREAS, the General Plan includes policies and actions calling for numerous updates to the FMC; and

WHEREAS, Section 30-467. – Accessory dwelling units and junior accessory dwelling units should be amended to reflect State law; and

WHEREAS, on December 9, 2025, the City Council approved Urgency Ordinance No. 1976, which went into effect on January 1, 2026, as the city’s regulations on ADUs and JADUs would have been null and void had an urgency ordinance not been adopted, and which the proposed code amendment would replace; and

WHEREAS, on January 20, 2026, the Planning Commission carefully considered all information pertaining to the municipal code amendments, including the staff report, and all the information, evidence, and testimony presented at its public hearing on January 20, 2026; and

WHEREAS, the amendments are consistent and compatible with the General Plan and that the updates are in line with goals, policies and objectives of the City; the Housing Element policies and the Zoning and Development Code; and

WHEREAS, the amendments will be in conformity with appropriate land use practices and will establish appropriate development standards for the land use designations; and

WHEREAS, the amendments to the FMC that are attached hereto as Exhibit “A” and incorporated herein by this reference will not be detrimental to the public health, safety, and general welfare, and will not adversely affect the orderly development of property, and will better express the City’s policies, and generally promote good land use planning and regulation; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. The Planning Commission recommends that the City Council find that, under California Public Resources Code section 21080.17, the California Environmental Quality Act (“CEQA”) does not apply to the adoption of an ordinance by a city or county implementing the provisions of Article 2 of Chapter 13 of Division 1 of Title 7 of the California Government Code, which is California’s ADU law and which also regulates JADUs, as defined by section 66313. Therefore, adoption of the proposed ordinance is statutorily exempt from CEQA in that it implements state ADU law.

Section 3. Municipal Code Amendment. The Planning Commission hereby makes the following finding for MCA No. 25-0011 in accordance with Section 30-45(b) “Hearing-Planning Commission” development code amendments of the Fontana Zoning and Development Code:

Finding: **The proposal substantially promotes the goals of the City’s general plan.**

Finding of Fact: The Municipal Code Amendment permanently codifies the previously approved urgency ordinance. The Municipal Code Amendment aligns the municipal code with State of California law as it pertains to accessory dwelling units and junior accessory dwelling units. As such, the amendment will promote the General Plan goal of adequate housing to meet the needs of all residents in Fontana.

Section 4. Recommendation of Approval. Based on the foregoing, the Planning Commission hereby recommends that the City Council adopt an ordinance approving MCA No. 25-0011 to amend Chapter 30 of the City Code as indicated in Exhibit “A” which is attached hereto and incorporated herein by reference.

Section 5. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

Section 6. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 7. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 8. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect any other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 20th day of January 2026.

City of Fontana

Idilio Sanchez, Chairperson

ATTEST:

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 20th day of January 2026, by the following vote, to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

Joseph Armendarez, Secretary

“EXHIBIT A”

AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30

(*Additions shown in underline, deletions shown in ~~strikeout~~)

Sec. 30-467. Accessory dwelling units and junior accessory dwelling units.

(a) *Purpose; application.*

(1) *Purpose.* The purpose of this section is to allow and regulate accessory dwelling units (ADUs) and junior accessory dwelling units (JADUs) in compliance with Chapter 13 of Division 1 of Title 7 of the California Government Code §§ 65852.2 and 65852.22.

(2) *Application.* This section applies to all ADUs and JADUs for which a complete application is submitted on or after January 1, 2025. If a complete ADU or JADU application is submitted prior to that date, the applicant may elect in writing to proceed under the city's ADU regulations that were in effect at submittal; otherwise, this section governs. For purposes of this paragraph, a complete application includes an application that is deemed complete under state law.

(b) *Effect of conforming.* An ADU or JADU that conforms to the standards in this section will not be:

(1) Deemed to be inconsistent with the city's general plan and zoning designation for the lot on which the ADU or JADU is located.

(2) Deemed to exceed the allowable density for the lot on which the ADU or JADU is located.

(3) Considered in the application of any local ordinance, policy, or program to limit residential growth.

(4) Required to correct a nonconforming zoning condition, as defined in subsection (c)(8) below. This does not prevent the city from enforcing compliance with applicable building standards in accordance with Health and Safety Code § 17980.12.

(c) *Definitions.* As used in this section, terms are defined as follows:

(1) *Accessory dwelling unit* or *ADU* means an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. An accessory dwelling unit also includes the following:

a. An efficiency unit, as defined by California Health and Safety Code § 17958.1; and

b. A manufactured home, as defined by California Health and Safety Code § 18007.

(2) *Accessory structure* means a structure that is accessory and incidental to a dwelling located on the same lot.

(3) Reserved.

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- (4) *Complete independent living facilities* means permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family or multi-family dwelling is or will be situated.
 - (5) *Efficiency kitchen* means a kitchen that includes all of the following:
 - a. A cooking facility with appliances.
 - b. A food preparation counter and storage cabinets that are of a reasonable size in relation to the size of the JADU.
 - (6) *Junior accessory dwelling unit* or *JADU* means a residential unit that satisfies all of the following:
 - a. It is no more than 500 square feet of interior livable space in size.
 - b. It is contained entirely within an existing or proposed single-family structure. An enclosed use within the residence, such as an attached garage, is considered to be a part of and contained within the single-family structure.
 - c. It includes its own separate sanitation facilities or shares sanitation facilities with the existing or proposed single-family structure.
 - d. If the unit does not include its own separate bathroom, then it contains an interior entrance to the main living area of the existing or proposed single-family structure in addition to an exterior entrance that is separate from the main entrance to the primary dwelling.
 - e. It includes an efficiency kitchen, as defined in subsection (c)(5) above.
 - (7) *Livable space* means a space in a dwelling intended for human habitation, including living, sleeping, eating, cooking, or sanitation.
 - (8) *Living area* means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.
 - (9) *Nonconforming zoning condition* means a physical improvement on a property that does not conform with current zoning standards.
 - (10) *Passageway* means a pathway that is unobstructed clear to the sky and extends from a street to one entrance of the ADU or JADU.
 - (11) *Proposed dwelling* means a dwelling that is the subject of a permit application and that meets the requirements for permitting.
 - (12) *Public transit* means a location, including, but not limited to, a bus stop or train station, where the public may access buses, trains, subways, and other forms of transportation that charge set fares, run on fixed routes, and are available to the public.
 - (13) *Tandem parking* means that two or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.
 - ~~(14) *Total floor area* means the total floor area of the ADU or JADU, inclusive of all habitable and nonhabitable areas of the structure, including, but not limited to stairways, hallways, basements, attics, garages, storage areas, restrooms.~~
- (d) *Approvals*. The following approvals apply to ADUs and JADUs under this section:

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~~(1) *Building permit only* If an ADU or JADU complies with each of the general requirements in subsection (e) below, it is allowed with only a building permit in the following scenarios:-~~

~~a. *Converted on lot with single-family.* One ADU as described in this subsection (d)(1)(a) and one JADU on a lot with a proposed or existing single-family dwelling on it, where the ADU or JADU:-~~

- ~~1. Is either: within the space of a proposed single-family dwelling; within the existing space of an existing single-family dwelling; or (in the case of an ADU only) within the existing space of an accessory structure, plus up to 150 additional square feet if the expansion is limited to accommodating ingress and egress; and~~
- ~~2. Has exterior access that is independent of that for the single-family dwelling; and~~
- ~~3. Has side and rear setbacks sufficient for fire and safety, as dictated by applicable building and fire codes.-~~
- ~~4. The JADU complies with the requirements of Government Code §§ 66333 through 66339.-~~

~~b. *Limited detached on lot with single-family.* One detached, new-construction ADU on a lot with a proposed or existing single-family dwelling (in addition to any JADU that might otherwise be established on the lot under subsection (d)(1)(a) above), if the detached ADU satisfies each of the following limitations:~~

- ~~1. The side- and rear-yard setbacks are at least four feet.-~~
- ~~2. The total floor area is 800 square feet or smaller.-~~
- ~~3. The peak height above grade does not exceed the applicable height limit in subsection (e)(2) below.-~~

~~c. *Converted on lot with multi-family.* One or more ADUs within portions of existing multi-family dwelling structures that are not used as livable space, including, but not limited to storage rooms, boiler rooms, passageways, attics, basements, or garages, if each converted ADU complies with state building standards for dwellings. Under this subsection (d)(1)(c), at least one converted ADU is allowed within an existing multi-family dwelling, up to a quantity equal to 25 percent of the existing multi-family dwelling units.-~~

~~d. *Limited detached on lot with multi-family.* No more than two detached ADUs on a lot that a proposed multi-family dwellings, or up to eight detached ADUs on a lot with existing multi-family dwellings, if each detached ADU satisfies all of the following:-~~

- ~~1. The side- and rear-yard setbacks are at least four feet. If the existing multi-family dwelling has a rear or side yard setback of less than four feet, the city will not require any modification to the multi-family dwelling as a condition of approving the ADU.-~~
- ~~2. The peak height above grade does not exceed the applicable height limit provided in subsection (e)(2) below.-~~

~~3. If the lot has existing multi-family dwellings, the quantity of detached ADUs does not exceed the number of primary dwelling units on the lot.~~

~~(1)(2) ADU permit. Ministerial ADU and Building Permits Required. Every ADU and JADU requires an ADU permit and a building permit. The city will review and approve permit applications in accordance with subsection (d)(3) below.~~

~~a. Except as allowed under subsection (d)(1) above, no ADU may be created without a building permit and an ADU permit in compliance with the standards set forth in subsections (e) and (f) below.~~

~~b. The city may charge a fee to reimburse it for costs incurred in processing ADU permits, including the costs of adopting or amending the city's ADU ordinance. The ADU permit processing fee is determined by the director of planning and approved by the city council by resolution.~~

(2) Processing Fee. The city may charge a fee to reimburse it for costs incurred in processing ADU permits, including the costs of adopting or amending the city's ADU ordinance. The ADU permit processing fee is determined by the Director of Planning and approved by the City Council by resolution.

(3) Process and timing.

a. No discretion or hearing. An ADU permit is considered and approved ministerially, without discretionary review or a hearing.

b. Completeness.

(i) Determination in 15 days. The city will determine whether an application to create or serve an ADU or JADU is complete and will provide written notice of the determination to the applicant within 15 business days after the city receives the application submittal.

(ii) Incomplete items. If the city's determination under subsection 0 above is that the application is incomplete, the city's notice must list the incomplete items and describe how the application can be made complete.

(iii) Cure. After receiving a notice that the application is incomplete, the applicant may cure and address the items that were deemed by the city to be incomplete.

(iv) Subsequent submittals. If the applicant submits additional information to address incomplete items, within 15 business days of the subsequent submittal the city will determine in writing whether the additional information remedies all the incomplete items that the city identified in its original notice. The city may not require the application to include an item that was not included in the original notice.

(v) Deemed complete. If the city does not make a timely determination as required by this subsection (b), the application or resubmitted application is deemed complete for the purposes of subsection (d) (3)(c) below.

(vi) Appeal of incompleteness. An applicant may appeal the city's determination that the application is incomplete by submitting a written appeal to the city clerk. The planning commission will review the written

appeal and affirm or reverse the completeness determination and provide a final written determination to the applicant within 60 business days after receipt of the appeal.

- ~~b- c.~~ Deadline to approve or deny ministerial approvals. The city must approve or deny an application to create an ADU or JADU within 60 days from the date that the city receives a completed application. If the city has not approved or denied the completed application within 60 days, the application is deemed approved unless either:
 - 1. The applicant requests a delay, in which case the 60-day time period is tolled for the period of the requested delay, or
 - 2. When an application to create an ADU or JADU is submitted with a permit application to create a new single-family or multi-family dwelling on the lot, the city may delay acting on the permit application for the ADU or JADU until the city acts on the permit application to create the new single-family or multi-family dwelling, but the application to create the ADU or JADU will still be considered ministerially without discretionary review or a hearing.
- ~~e- d.~~ Denial. If the city denies an application to create an ADU or JADU, the city must provide the applicant with comments that include, among other things, a list of all the defective or deficient items and a description of how the application may be remedied by the applicant. Notice of the denial and corresponding comments must be provided to the applicant within the 60-day time period established by subsection (d)(3)(c) above.
- ~~d.~~ A demolition permit for a detached garage that is to be replaced with an ADU is reviewed with the application for the ADU and issued at the same time.
- Appeal of denial. An applicant may appeal the city's denial of the application by submitting a written appeal to the city clerk. The planning commission will review the written appeal and affirm or reverse the denial and provide a final written determination to the applicant within 60 business days after receipt of the appeal.
- A demolition permit for a detached garage that is to be replaced with an ADU is reviewed with the application for the ADU and issued at the same time.

(e)

(1) Class 1: Statutorily Regulated. Class 1 ADUs and JADUs are approved under Government Code section 66323. If an ADU or JADU complies with each of the general requirements in subsection (f) below, it is allowed in each of the scenarios provided in this subsection (e)(1). An ADU and JADU approved under subsection (e)(1)(a) may be combined with an ADU approved under subsection (e)(1)(b), and ADUs approved under subsection (e)(1)(c) may be combined with ADUs approved under subsection (e)(1)(d).

- Converted on Lot with Single-Family: One ADU as described in this subsection 0 and one JADU on a lot with a proposed or existing single-family dwelling on it, where the ADU or JADU:
 - (i) Is either: within the space of a proposed single-family dwelling; within the existing space of an existing single-family dwelling; or (in the case of an ADU only) within the existing space of an accessory structure, plus up to 150

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additional square feet if the expansion is limited to accommodating ingress and egress; and

- (ii) Has exterior access that is independent of that for the single-family dwelling; and
 - (iii) Has side and rear setbacks sufficient for fire and safety, as dictated by applicable building and fire codes.
 - (iv) The JADU complies with the requirements of Government Code sections 66333 through 66339.
- b. Limited Detached on Lot with Single-Family: One detached, new-construction ADU on a lot with a proposed or existing single-family dwelling, if the detached ADU satisfies each of the following limitations:
- (i) The side- and rear-yard setbacks are at least four feet.
 - (2) The total floor area is 800 square feet of livable space or smaller.
 - (v) The peak height above grade does not exceed the applicable height limit in subsection (f)(2) below.
- c. *Converted on Lot with Multifamily*: One or more ADUs within portions of existing multifamily dwelling structures that are not used as livable space, including but not limited to storage rooms, boiler rooms, passageways, attics, basements, or garages, if each converted ADU complies with state building standards for dwellings. Under this subsection 0, at least one converted ADU is allowed within an existing multifamily dwelling, up to a quantity equal to 25 percent of the existing multifamily dwelling units.
- d. *Limited Detached on Lot with Multifamily*: No more than two detached ADUs on a lot with a proposed multifamily dwelling, or up to eight detached ADUs on a lot with an existing multifamily dwelling, if each detached ADU satisfies all of the following:
- (i) The side- and rear-yard setbacks are at least four feet. If the existing multifamily dwelling has a rear or side yard setback of less than four feet, the city will not require any modification to the multifamily dwelling as a condition of approving the ADU.
 - (ii) The peak height above grade does not exceed the applicable height limit provided in subsection (f)(2) below.
 - (iii) If the lot has an existing multifamily dwelling, the quantity of detached ADUs does not exceed the number of primary dwelling units on the lot.

(2)*Class 2: Locally Regulated*. Class 2 ADUs are approved under Government Code sections 66314–66322. Except for Class 1 ADUs approved under subsection (e)(1) above, all ADUs are subject to the standards set forth in subsections (f) and (g) below.

~~(e)~~(f) *General ADU and JADU requirements*. The following requirements apply to all ADUs and JADUs that are approved under subsection (d)(1) or (d)(2) above:

- (1) *Zoning*.

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- a. ~~A Class 1 ADU approved under subsection (e)(1) An ADU or JADU subject only to a building permit under subsection (d)(1) above~~ may be created on a lot in a residential or mixed-use zone.
 - b. ~~A Class 2 ADU approved under subsection (e)(2) above An ADU or JADU subject to an ADU permit under subsection (d)(2) above~~ may be created on a lot that is zoned to allow single-family dwelling residential use or multi-family dwelling residential use.
 - c. In accordance with Government Code § 66333(a), a JADU may only be created on a lot zoned for single-family residences.
- (2) *Height.*
- a. Except as otherwise provided by subsections (e)(2)(b) and (e)(2)(c) below, a detached ADU created on a lot with an existing or proposed single-family or multi-family dwelling unit may not exceed 16 feet in height.
 - b. A detached ADU may be up to 18 feet in height if it is created on a lot with an existing or proposed single-family or multi-family dwelling unit that is located within one-half mile walking distance of a major transit stop or a high quality transit corridor, as those terms are defined in Public Resources Code § 21155, and the ADU may be up to two additional feet in height (for a maximum of 20 feet) if necessary to accommodate a roof pitch on the ADU that is aligned with the roof pitch of the primary dwelling unit.
 - c. A detached ADU created on a lot with an existing or proposed multi-family dwelling that has more than one story above grade may not exceed 18 feet in height.
 - d. An ADU that is attached to the primary dwelling may not exceed 25 feet in height or the height limitation imposed by the underlying zone that applies to the primary dwelling, whichever is lower. Notwithstanding the foregoing, ADUs subject to this subsection (e)(2)(d) may not exceed two stories.
 - e. For purposes of this subsection (e)(2), height is measured from existing legal grade to the peak of the structure.
- (3) *Fire sprinklers.*
- a. Fire sprinklers are required in an ADU if sprinklers are required in the primary residence.
 - b. The construction of an ADU does not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.
- (4) *Rental term.* No ADU or JADU may be rented for a term that is shorter than 30 days. This prohibition applies regardless of when the ADU or JADU was created.
- (5) *No separate conveyance.* An ADU or JADU may be rented but, except as otherwise provided in Government Code § 66341, no ADU or JADU may be sold or otherwise conveyed separately from the lot and the primary dwelling (in the case of a single-family lot) or from the lot and all of the dwellings (in the case of a multi-family lot).
- (6) *Septic system.* If the ADU or JADU will connect to an onsite wastewater-treatment system, include with the application a percolation test completed within the last five years or, if the percolation test has been recertified, within the last ten years.

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(7) *Owner occupancy.*

- a. ADUs. ADUs created under this section on or after January 1, 2020, are not subject to an owner occupancy requirement.
- b. JADUs. As required by state law, all JADUs are subject to an owner-occupancy requirement when sanitation facilities are shared with the primary dwelling on the site. JADUs with independent sanitation facilities are not subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property. In either the primary dwelling or JADU, as the person's legal domicile and permanent residence. However, the owner-occupancy requirement in this subsection (e)(7)(B) does not apply if the property is entirely owned by another governmental agency, land trust, or housing organization.

(8) *Deed restriction.* Prior to issuance of a building permit for ~~an ADU or a~~ JADU, a deed restriction must be recorded against the title of the property in the county recorder's office and a copy filed with the planning department. The deed restriction must run with the land and bind all future owners. The form of the deed restriction will be provided by the city and must provide that:

- a. Except as otherwise provided in Government Code § 66341, the ~~ADU or~~ JADU may not be sold separately from the primary dwelling.
- b. The ~~ADU or~~ JADU is restricted to the approved size and to other attributes allowed by this section.
- c. The deed restriction runs with the land and may be enforced against future property owners.
- d. The deed restriction may be removed if the owner eliminates the ~~ADU or~~ JADU, as evidenced by, for example, removal of the kitchen facilities. To remove the deed restriction, an owner may make a written request of the director, providing evidence that the ~~ADU or~~ JADU has in fact been eliminated. The director may then determine whether the evidence supports the claim that the ~~ADU or~~ JADU has been eliminated. Appeal may be taken from the director's determination consistent with other provisions of this Code. If the ~~ADU or~~ JADU is not entirely physically removed but is only eliminated by virtue of having a necessary component of ~~an ADU or a~~ JADU removed, the remaining structure and improvements must otherwise comply with applicable provisions of this Code.
- e. The deed restriction is enforceable by the ~~d~~Director or his or her designee for the benefit of the city. Failure of the property owner to comply with the deed restriction may result in legal action against the property owner, and the city is authorized to obtain any remedy available to it at law or equity, including, but not limited to, obtaining an injunction enjoining the use of the ~~ADU or~~ JADU in violation of the recorded restrictions or abatement of the illegal unit.

(9) Reserved.

(10) *Building and sSafety.*

- a. *Must comply with building code.* Subject to subsection (e)(10)(b) below, all ADUs and JADUs must comply with all local building code requirements.

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- b. *No change of occupancy.* Construction of an ADU does not constitute a Group R occupancy change under the local building code, as described in California Building Code § 310, unless the building official or code compliance department makes a written finding based on substantial evidence in the record that the construction of the ADU could have a specific, adverse impact on public health and safety. Nothing in this subsection (e)(10)(b) prevents the city from changing the occupancy code of a space that was uninhabitable space or that was only permitted for nonresidential use and was subsequently converted for residential use in accordance with this section.

(11) *Certificate of Occupancy Timing.*

- a. *Generally.* No certificate of occupancy for an ADU or JADU may be issued before the certificate of occupancy is issued for the primary dwelling unit.
- b. *Limited Exception for State-declared Emergencies.* Notwithstanding subsection (f)(10)(A) above, a certificate of occupancy for an ADU may be issued before a certificate of occupancy for the primary dwelling if each of the following requirements are met:
 - (i) The county is subject to a proclamation of a state of emergency made by the California Governor on or after February 1, 2025.
 - (ii) The primary dwelling was substantially damaged or destroyed by an event referenced in the Governor's state of emergency proclamation.
 - (iii) The ADU has been issued construction permits and has passed all required inspections.
 - (iv) The ADU is not attached to the primary dwelling.

- (f) *Specific ADU requirements.* The following requirements apply only to ADUs that require an ADU permit under subsection (d)(2) above.

(1) *Maximum size.*

- a. The maximum size of a detached or attached ADU subject to this subsection (f) is 1,200 square feet.
- b. An attached ADU that is created on a lot with an existing primary dwelling is further limited to 50 percent of the floor area of the existing primary dwelling.
- c. Application of other development standards in this subsection (f), such as lot coverage, might further limit the size of the ADU, but no application of the percent-based size limit in subsection (f)(1)(b) above or of an FAR, front setback, lot coverage limit, or open-space requirement may require the ADU to be less than 800 square feet.

(2) *Setbacks.*

- a. An ADU that is subject to this subsection (f) must conform to an 18-foot front-yard setback, subject to subsection (f)(1)(c) above.
- b. An ADU that is subject to this subsection (f) must conform to four-foot side- and rear-yard setbacks.

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- c. No setback is required for an ADU that is subject to this subsection (f) if the ADU is constructed in the same location and to the same dimensions as a legal existing structure.
- (3) *Lot coverage.* No ADU subject to this subsection (f) may cause the total lot coverage of the lot to exceed 50 percent, subject to subsection (f)(1)(c) above.
 - (4) *Passageway.* No passageway, as defined by subsection (c)(9) above, is required for an ADU.
 - (5) *Parking.*
 - a. *Generally.* One off-street parking space is required for each ADU. The parking space may be provided in setback areas or as tandem parking, as defined by subsection (c)(12) above.
 - b. *Exceptions.* No parking under subsection (f)(4)(a) is required in the following situations:
 - 1. The ADU is located within one-half mile walking distance of public transit, as defined in subsection (c)(11) above.
 - 2. The ADU is located within an architecturally and historically significant historic district.
 - 3. The ADU is part of the proposed or existing primary residence or an accessory structure under subsection (d)(1)(a) above.
 - 4. When on-street parking permits are required but not offered to the occupant of the ADU.
 - 5. When there is an established car share vehicle stop located within one block of the ADU.
 - 6. When the permit application to create an ADU is submitted with an application to create a new single-family or new multi-family dwelling on the same lot, provided that the ADU or the lot satisfies any other criteria listed in subsections (f)(4)(b)(1) through (5) above.
 - c. *No replacement.* When a garage, carport, covered parking structure, or uncovered parking space is demolished in conjunction with the construction of an ADU or converted to an ADU, those off-street parking spaces are not required to be replaced.
 - (6) *Architectural requirements.*
 - a. The materials and colors of the exterior walls, roof, and windows and doors must match the appearance and architectural design of those of the primary dwelling.
 - b. The roof slope must match that of the dominant roof slope of the primary dwelling. The dominant roof slope is the slope shared by the largest portion of the roof.
 - c. The exterior lighting must be limited to down-lights or as otherwise required by the building or fire code.
 - d. The ADU must have an independent exterior entrance, apart from that of the primary dwelling.

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- e. The interior horizontal dimensions of an ADU must be at least ten feet wide in every direction, with a minimum interior wall height of seven feet.
 - f. Windows and doors of the ADU may not have a direct line of sight to an adjoining residential property. Fencing, landscaping, or privacy glass may be used to provide screening and prevent a direct line of sight.
 - g. All windows and doors in an ADU are less than 30 feet from a property line that is not a public right-of-way line must either be (for windows) clerestory with the bottom of the glass at least six feet above the finished floor, or (for windows and for doors) utilize frosted or obscure glass.
- ~~(7) *Landscape requirements.* Evergreen landscape screening must be planted and maintained between the ADU, and adjacent parcels as follows:~~
- ~~a. At least one 15-gallon size plant shall be provided for every five linear feet of exterior wall. Alternatively, at least one 24-inch box size plant shall be provided for every ten linear feet of exterior wall.~~
 - ~~b. Plant specimens must be at least six feet tall when installed. As an alternative, a solid fence of at least six feet in height may be installed.~~
 - ~~c. All landscaping must be drought tolerant.~~
- ~~(8)(7) *Historical protections.* An ADU that is on or within 600 feet of real property that is listed in the California Register of Historic Resources must be located so as to not be visible from any public right-of-way.~~
- ~~(9)(8) *Allowed Stories.* No ADU subject to this subsection (f) may have more than one story, except that an ADU that is attached to the primary dwelling may have the stories allowed under subparagraph (e)(2)(D) of this section.~~
- (g) *Fees.* The following requirements apply to all ADUs that are approved under subsections (d)(1) or (d)(2) above.
- (1) *Impact fees.*
 - a. No impact fee is required for an ADU that is less than 750 square feet in size. For purposes of this subsection (g)(1), "impact fee" means a "fee" under the Mitigation Fee Act (Government Code § 66000(b)) and a fee under the Quimby Act (Government Code § 66477). "Impact fee" here does not include any connection fee or capacity charge for water or sewer service.
 - b. Any impact fee that is required for an ADU that is 750 square feet or larger in size must be charged proportionately in relation to the square footage of the primary dwelling unit. (E.g., the floor area of the ADU, divided by the floor area of the primary dwelling, times the typical fee amount charged for a new dwelling.)
 - (2) *Utility fees.*
 - a. If an ADU is constructed with a new single-family home, a separate utility connection directly between the ADU and the utility and payment of the normal connection fee and capacity charge for a new dwelling are required.
 - b. Except as described in subsection (g)(2)(a), converted ADUs on a single-family lot that are created under subsection (d)(1)(a) above are not required to have

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a new or separate utility connection directly between the ADU and the utility. Nor is a connection fee or capacity charge required.

- c. Except as described in subsection (g)(2)(a), all ADUs that are not covered by subsection (g)(2)(b) require a new, separate utility connection directly between the ADU and the utility for any utility that is provided by the city. All utilities that are not provided by the city are subject to the connection and fee requirements of the utility provider.
 1. The connection is subject to a connection fee or capacity charge that is proportionate to the burden created by the ADU based on either the floor area or the number of drainage-fixture units (DFU) values, as defined by the Uniform Plumbing Code, upon the water or sewer system.
 2. The portion of the fee or charge that is charged by the city may not exceed the reasonable cost of providing this service.
- (h) *Nonconforming zoning code conditions, building code violations, and unpermitted structures.*
 - (1) *Generally.* The city will not deny an ADU or JADU application due to a nonconforming zoning condition, building code violation, or unpermitted structure on the lot that does not present a threat to the public health and safety and that is not affected by the construction of the ADU or JADU.
 - (2) *Unpermitted ADUs and JADUs constructed before 2020.*
 - a. *Permit to legalize.* As required by state law, the city may not deny a permit to legalize an existing, but unpermitted ADU or JADU that was constructed before January 1, 2020, if denial is based on either of the following grounds:
 1. The ADU or JADU violates applicable building standards, or
 2. The ADU or JADU does not comply with the state ADU or JADU law or this ADU ordinance (Section 30-467).
 - b. *Exceptions.*
 1. Notwithstanding subsection (h)(2)(a) above, the city may deny a permit to legalize an existing, but unpermitted ADU or JADU that was constructed before January 1, 2020, if the city makes a finding that correcting a violation is necessary to comply with the standards specified in Health and Safety Code § 17920.3.
 2. Subsection (h)(2)(a) above does not apply to a building that is deemed to be substandard in accordance with California Health and Safety Code § 17920.3.

(Ord. No. 1830, § 8(Exh. A), 6-9-20; Ord. No. 1910, § 3(Exh. A), 12-13-22; Ord. No. 1951, § 4(Exh. A), 5-28-24; Ord. No. 1959, § 3(Exh. A), 12-12-24)

NOTICE OF EXEMPTION

<p>TO: Office of Land Use and Climate Innovation <input checked="" type="checkbox"/> State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p>	<p>FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6568</p>
<p><input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:</p>	

<p>1. Project Title:</p>	<p>Master Case No. 25-0080, Municipal Code Amendment No. 25-0011</p>
<p>2. Project Applicant (include address, telephone number and email address):</p>	<p>City of Fontana, Planning Department, 8353 Sierra Avenue, Fontana, CA 92335, Cecily Session-Goins, Associate Planner, (909) 350-6723, csgoins@fontanaca.gov</p>
<p>3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):</p>	<p>Citywide</p>
<p>4. (a) Project Location – City: Fontana</p>	<p>(b) Project Location – County: San Bernardino</p>
<p>5. Description of nature, purpose, and beneficiaries of Project:</p>	<p>The project is Municipal Code Amendment No. 25-0011 - Fontana Municipal Code amendment to Chapter 30 (Zoning and Development Code) pertaining to accessory dwelling units and junior accessory dwelling units.</p>
<p>6. Name of Public Agency approving project:</p>	<p>City of Fontana</p>
<p>7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement</p>	<p>City of Fontana 8353 Sierra Avenue Fontana, CA 92335 (909) 350-6718</p>

of use from the Public Agency as part of the activity:	
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input checked="" type="checkbox"/> Statutory Exemption. State Code section number:	This Ordinance is not a project pursuant to Section 15060(c), 15061(B)(3) (the common-sense exemption) and 15378 of the State of California Environmental Quality Act Guidelines, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	This project is a citywide amendment to Chapter 30 of the Zoning and Development Code regarding accessory dwelling units and junior accessory dwelling units.

10. Lead Agency Contact Person: Telephone:	Cecily Session-Goins, Associate Planner 909-350-6723
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: January 20, 2026	

Date:

Signature

Name: Rina Leung

Title: Senior Planner

Signed by Lead Agency

Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

NOTICE OF PUBLIC HEARING

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

**MASTER CASE NUMBER (MCN) NO. 25-0080;
MUNICIPAL CODE AMENDMENT (MCA) NO. 25-0011**

A request to amend Fontana Municipal Code Chapter 30, Section 30-467 regarding Accessory Dwelling Units and Junior Accessory Dwelling Units, to comply with recent changes in State Law.

Environmental Determination: The proposed ordinance is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to the proposed ordinance is statutorily exempt from the California Environmental Quality Act ("CEQA") pursuant to California Public Resources Code section 21080.17 as CEQA does not apply to the adoption of an ordinance by a city or county implementing the provisions of Article 2 of Chapter 13 of Division 1 of Title 7 of the California Government Code, which is California's ADU law and which also regulates JADUs, as defined by section 66313.

Project Location: Citywide

Date of Hearing: January 20, 2026

Place of Hearing: Steelworkers' Auditorium, 8437 Sierra Avenue, Fontana, CA 92335

Time of Hearing: 6:00 p.m.

Should you have any questions concerning this project, please contact Cecily Session-Goins, Associate Planner, at (909) 350-6723 or by email at cgoins@fontanaca.gov.

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION AT THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE ENGINEER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

AVISO DE AUDIENCIA PÚBLICA

En cumplimiento con la Sección No. 202 de la Acta de Americanos con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en la implementación de esta, la agenda de esta audiencia estará disponible en formatos alternativos apropiados para las personas con una discapacidad. Si necesita asistencia especial para participar en esta audiencia, comuníquese con el Departamento de la Secretaria Municipal llamando al (909) 350 7602. La notificación deberá realizarse 48 horas antes de la audiencia para permitir que la Ciudad haga arreglos razonables para garantizar la accesibilidad a esta audiencia.

SE HA PROGRAMADO UNA AUDIENCIA PÚBLICA ANTE LA COMISION DE PLANIFICACION DE LA CIUDAD DE FONTANA PARA LO SIGUIENTE:

MCN No. 25-0080; MCA No. 25-0011

Una enmienda al Código Municipal de Fontana Capítulo 30, Sección 30-467 relativa a las unidades de vivienda accessorias (ADU) y unidades de vivienda accessorias junior (JADU) para que cumpla con los recientes cambios en la legislación estatal.

Determinacion Ambiental: La ordenanza propuesta está categóricamente exenta de la Ley de Calidad Ambiental de California ("CEQA") y también está exenta por disposición legal conforme a la sección 21080.17 del Código de Recursos Públicos de California, ya que CEQA no se aplica a la adopción de una ordenanza por parte de una ciudad o condado que implemente las disposiciones del Artículo 2 del Capítulo 13 de la División 1 del Título 7 del Código de Gobierno de California, que corresponde a la ley de California sobre Unidades de Vivienda Accesorias (ADU) y que también regula las Unidades de Vivienda Accesorias Junior (JADU), según se definen en la sección 66313.

Ubicación de la Propiedad : En toda la ciudad

Fecha de Audiencia: 20 de enero del 2026

Lugar de Audiencia: Steelworkers' Auditorium, 8437 Sierra Avenue, Fontana, CA 92335

Hora de Audiencia: 6:00 p.m.

Si tiene alguna pregunta sobre este proyecto, comuníquese al (909) 350-6728 o por correo electrónico al planning@fontanaca.gov.

Cualquier persona o grupo interesado en aportar información lo puede hacer mediante una carta o correo electrónico dirigido a la Comisión de Planificación al planning@fontanaca.gov. La solicitud y la documentación Ambiental esta disponible para inspección en las Oficinas de Ayuntamiento de la Ciudad de Fontana.

Si usted contradice ante el tribunal cualquier acción tomada con respecto a un tema de la Audiencia Pública, usted puede estar limitado a plantear solamente aquellas cuestiones que usted o alguien más planteó en la Audiencia Pública mencionada en este aviso o por correspondencia escrita a la Ciudad de Fontana antes de la fecha de la Audiencia establecida en este aviso.



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0753
Agenda #: NB-A

Agenda Date: 1/20/2026
Category: New Business

New Business - Item A: Election of Planning Commission Officers: Chair, Vice Chair, Secretary



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0766
Agenda #: DC-A

Agenda Date: 1/20/2026
Category: Director Comments

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO: Planning Commission
FROM: Patty Nevins, Director of Planning PN
RE: Agenda for Upcoming City Council Items
DATE: January 20, 2026

The items listed below are for agenda forecast purposes and are subject to change.

CITY COUNCIL JANUARY 27, 2026 **PLANNER** **PLACEMENT**

Meeting cancelled.

CITY COUNCIL FEBRUARY 10, 2026 **PLANNER** **PLACEMENT**

1. Appeal No. 25-0002; (MCN#23-0101; CUP#24-0022; DRP#23-0024;
 VAR#23-0003; TPM#23-0015)
 163 Multi-Family Units with 41 Dwelling Units and 5 Retail Units
 8011 Sultana Ave. Salvador Quintanilla Public Hearing

 (Item Continued from October 28, 2025 and December 9, 2025)

2. MCN#25-0080; MCA# 25-0011
 Amendments to Municipal Code Ch. 30
 Accessory Dwelling Units Ordinance
 Citywide Cecily Session-Goins Public Hearing

3. MCN#25-0078; MCA#25-0010
 Amendment to Municipal Code Ch. 30
 Emergency Shelter Overlay
 Citywide Cecily Session-Goins Public Hearing



MEMORANDUM

TO: Planning Commission
FROM: Patty Nevins, Director of Planning PN
RE: Agenda for Upcoming Planning Commission Items
DATE: January 20, 2026

The items listed below are for agenda forecast purposes and are subject to change.

<u>PLANNING COMMISSION FEBRUARY 3, 2026</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN#25-0037; TPM#25-0012 (TPM No. 21013); DRP#25-0010 408 Apartment Units – Planning Area 4 of the Ventana Specific Plan South of Duncan Canyon Road and west of John Previti Avenue	Alexia Barberena	Public Hearing