



TRACT NO. 20686 APN 0246-121-71 & 0246-121-72

Laurel Avenue

FONTANA, CALIFORNIA

SHEET INDEX

CS COVER SHEET

CIVIL ENGINEER:

1 of 2 Conceptual Grading Plan

2 of 2 Conceptual Grading Plan

Tentative Tract Map 20686

Sewer Study

LANDSCAPE:

PM-1 Preliminary Landscape Plan

PM-2 Material Photos

ARCHITECTURE:

CS-0 to DD-3.1 Preliminary Submittal

Plans -see sheet index

OWNER

NH LAUREL LLC
500 Newport Center Drive, Ste 570
PH 949.344.2705
Contact Bryan Avilla
Email bavilla@newbridgehomes.com

CIVIL ENGINEER

ALLARD ENGINEERING
16866 Seville Avenue
Fontana, CA 92335
PH 909.356.1815
Contact Reynold Allard
Email reynoldallard@allardeng.com

LANDSCAPE ARCHITECT

WILLIAMS EXTERIOR DESIGN
1488 Bloomfield
Sebastool, CA 92620
PH 949.237.8060
Contact Jesse Williams
Email williams-exterior-design.com

ARCHITECT/PLANNER

BUCILLA GROUP ARCHITECTURE INC.
1601 Dove Street, Suite 187
Newport Beach, CA 92660
PH (949) 851-9080
Contact Greg Bucilla / Rowena Brual
Email greg@bg-architecture.com

ARCHITECT:

**BUCILLA
GROUP
ARCHITECTURE**

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
1601 Dove Street, Suite 187, Newport Beach, Ca 92660
TEL 949.851.9080 info@bg-architecture.com
<https://www.bg-architecture.com>

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

NO.	DATE	DESCRIPTION
	08/27/24	Prelim. Planning Submittal
	01/21/25	Planning Re-Submittal

PERMIT NO:
BD SUBM. DATE:
PLOT DATE: 08/27/24 DD PRELIM.
PLOT DATE:

Project Number :

BGA No. 22012

Sheet Title :

Sheet No. :

CS

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS

01.21.2025

ASSESSOR'S PARCEL NO:

0246-121-71 & 0246-121-72

LEGAL DESCRIPTION

IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA BEING A SUBDIVISION OF A PORTION OF LOT 448 SEMI-TROPIC LAND AND WATER COMPANY, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 12 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA

DEVELOPER:

NH LAUREL, LLC
500 NEWPORT CENTER DR. #570
NEWPORT BEACH, CA 92660
(949)344-2701

ENGINEER:

ALLARD ENGINEERING
16866 SEVILLE AVENUE
FONTANA, CALIFORNIA 92335
PHONE: (909) 356-1815

UTILITIES:

WATER:
FONTANA WATER COMPANY
15966 ARROW ROUTE
FONTANA, CA 92335
(909) 822-2201

SOLID WASTE:
BURRTEC
9820 CHERRY AVENUE
FONTANA, CA 92335
(909) 987-3717

GAS:
SOUTHERN CALIFORNIA GAS CO.
7000 INDIANA AVENUE
RIVERSIDE, CA 92506
(800) 427-2200

ELECTRIC:
SOUTHERN CALIFORNIA EDISON CO.
ROSEMEAD, CA 91770
(800) 655-4555

CABLE/TELEPHONE:
SPECTRUM
6461 PATS RANCH ROAD
JURUPA VALLEY, CA 91752
(888) 406-7063

CABLE/TELEPHONE:
AT&T
8052 LIMONITE AVENUE #101
RIVERSIDE, CA 92509
(951) 360-2142

CABLE/TELEPHONE:
FRONTIER COMMUNICATIONS
PO BOX 740407
CINCINNATI, OH 45274-0407
(877) 744-7083

SEWER:
CITY OF FONTANA-SEWER SERVICE
8353 SIERRA AVENUE
FONTANA, CA 92335
(909) 350-7670

RAW EARTHWORKS:

CUT: CY
FILL: 1,800 CY
AREA OF DISTURBANCE: 43,243 SF

AREA SUMMARY:

ADJUSTED GROSS: 1.03 AC

BASIS OF BEARINGS:

THE BEARINGS ARE BASED ON THE CENTERLINE OF VALENCIA AVENUE, HAVING A BEARING OF NORTH 89°59'45" EAST PER TRACT NO. 6022, M.B. 76/45.

BENCHMARK:

EASEMENT NOTES:

- (A) AN EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSES PER INSTRUMENT RECORDED APRIL 28, 1960 IN BOOK 5124, PAGE 4 OF OFFICIAL RECORDS.
- (B) AN EASEMENT FOR AERIAL AND/OR UNDERGROUND ELECTRIC OF COMMUNICATION STRUCTUREX, AND INCIDENTAL PURPOSES, IN INSTRUMENT RECORDED SEPTEMBER 1, 1960 IN BOOK 5227 PAGE 516 OF OFFICIAL RECORDS.
- (C) PROPOSED EASEMENT FOR ROADWAY AND UTILITY PURPOSES.
- (D) PROPOSED SEWER EASEMENT IN FAVOR OF HOA.

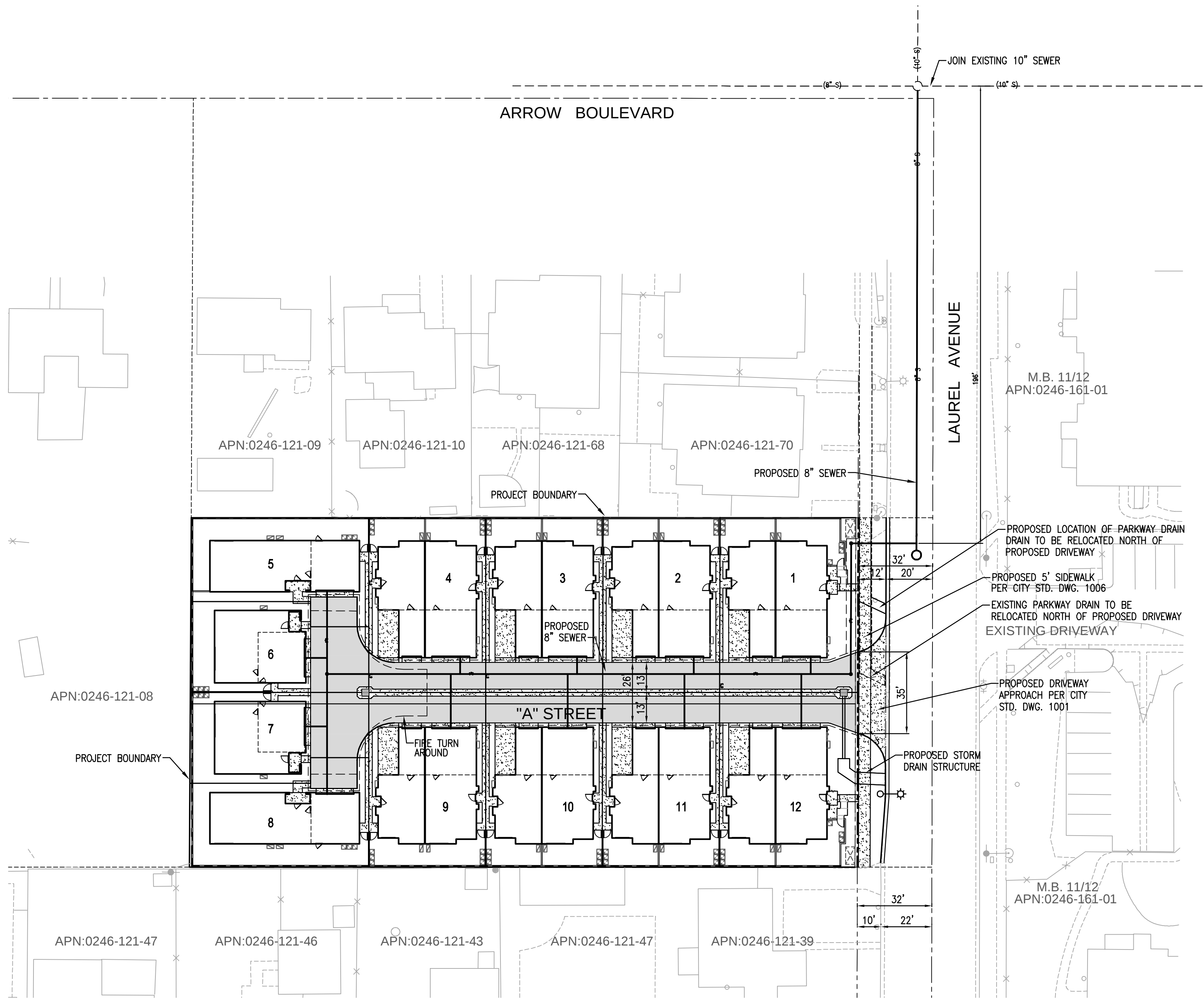
NOTES:

1. TOPOGRAPHY SHOWN WAS COMPILED FROM AERIAL PHOTOGRAPHY DATED _____ AND ASSOCIATED DIGITAL DATA PREPARED BY INLAND AERIAL SURVEYS, INC.
2. HOMEOWNER'S ASSOCIATION TO MAINTAIN WATER QUALITY MANAGEMENT PLAN SYSTEMS & OPEN SPACE AREAS.

UNDERGROUNDING NOTE:

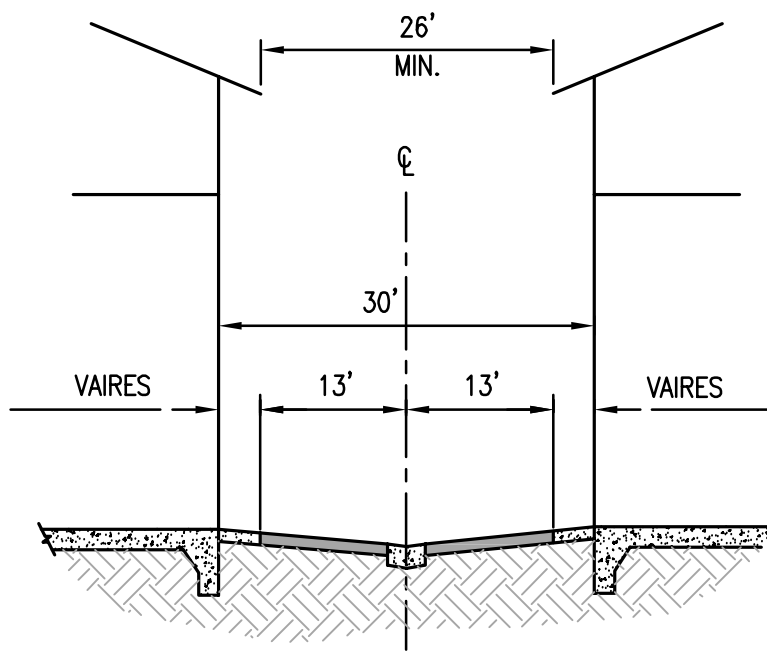
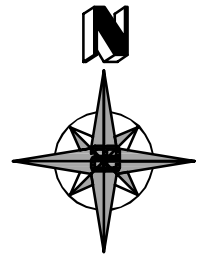
THIS PROJECT WILL MEET UNDERGROUNDING REQUIREMENTS BY RELOCATING EXISTING OVERHEAD UTILITY LINES ADJOINING THE PROJECT SITE AND ANY NECESSARY ADJACENT FACILITIES UNDERGROUND, AS DETERMINED BY THE UTILITY COMPANY.

CITY OF FONTANA
CONCEPTUAL GRADING PLAN

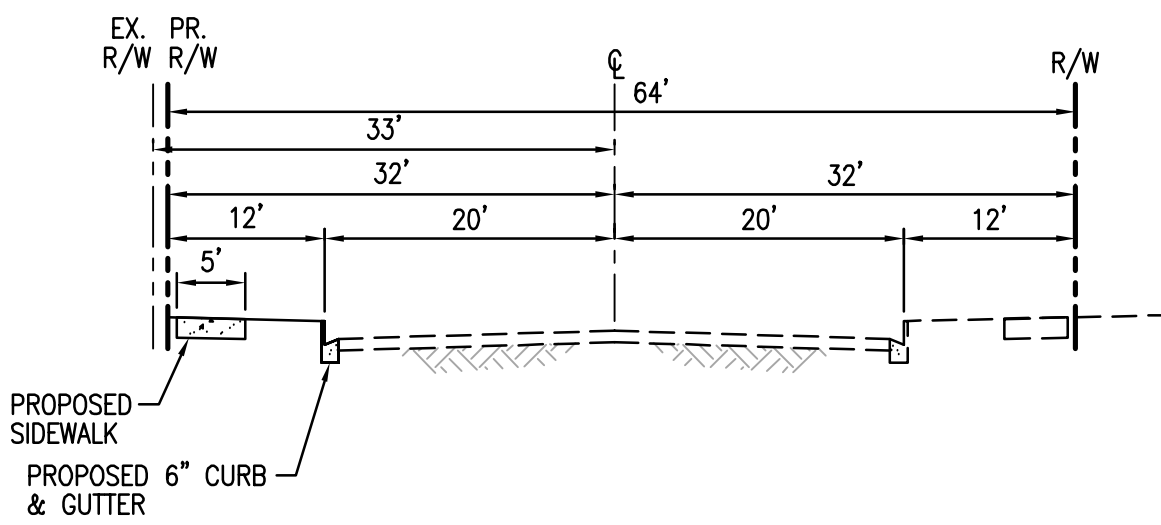


INDEX MAP

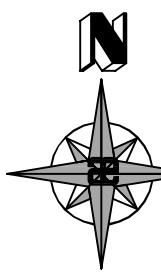
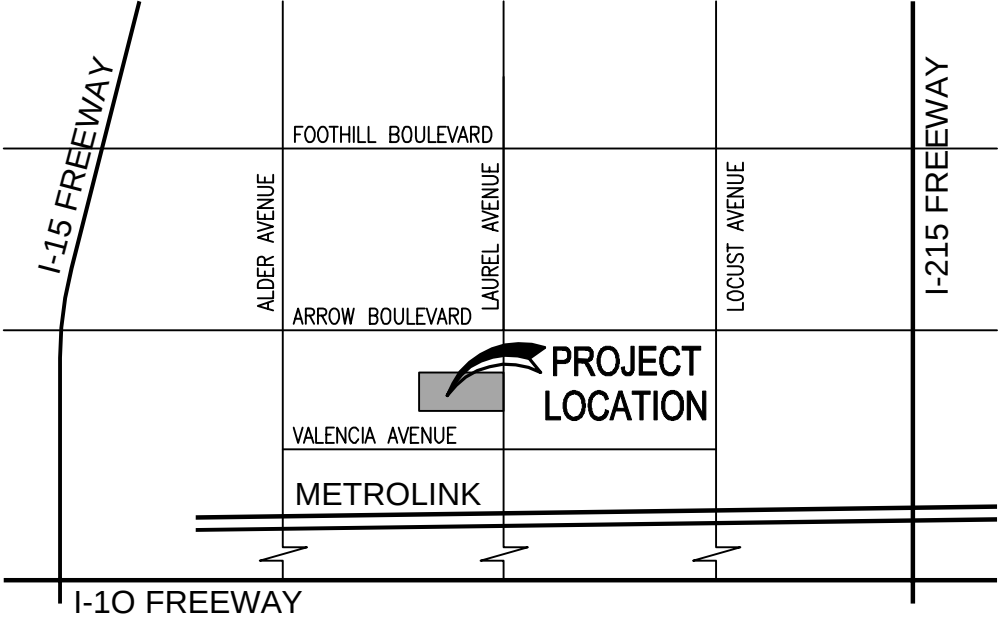
SCALE 1"=30'



PRIVATE DRIVE ISLE
NTS



LAUREL AVENUE
LOCAL STREET
NTS



VICINITY MAP
NTS

LEGEND:

- 10 LOT NUMBER
1221.5 PAD ELEVATION
1% DRAINAGE FLOW
495 EXISTING CONTOURS
PROPOSED R/W
EASEMENT
SEWER LINE
WATER LINE
SD STORM DRAIN
RETAINING WALL
PROPOSED SLOPE (2:1 MIN)
PROPOSED CATCH BASIN
EASEMENTS AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 12 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, DATE OF SURVEY: MARCH, 2020

ABBREVIATIONS:

- APN ASSESSOR'S PARCEL NUMBER
CL CENTERLINE
FG CONCRETE
FL FLOW LINE
FS FINISHED SURFACE
LS LANDSCAPE
MAX MAXIMUM
MIN MINIMUM
NO. NUMBER
NTS NOT TO SCALE

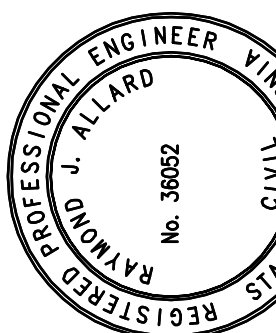
SHEET INDEX:

- SHEET 1 TITLE SHEET
SHEET 2 CONCEPTUAL GRADING PLAN

SHEET INDEX:

SHEET 1

Prepared For:
NH LAUREL, LLC
500 NEWPORT CENTER DR. #570
NEWPORT BEACH, CA 92660
PHONE (949) 344-2701



Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16866 Seville Avenue
Fontana, California 92335
Phone (909) 356-1815
Raymond J. Allard
Raymond J. Allard, P.E. 3952 Date 10/24/24

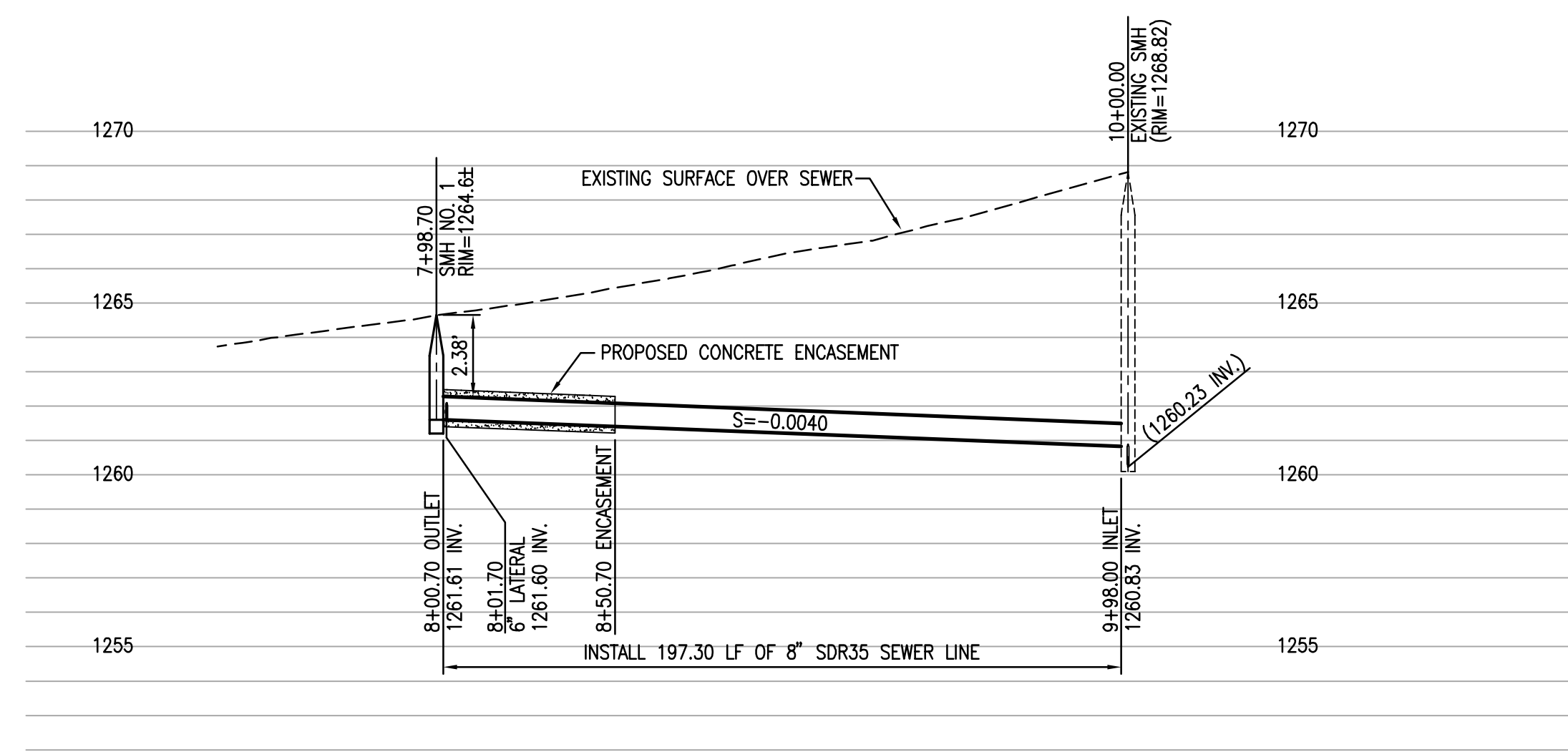
DATE	January, 2025
SCALE	PER PLAN
DRAWN	AE
CHECKED	R.E.A.

CONCEPTUAL GRADING PLAN

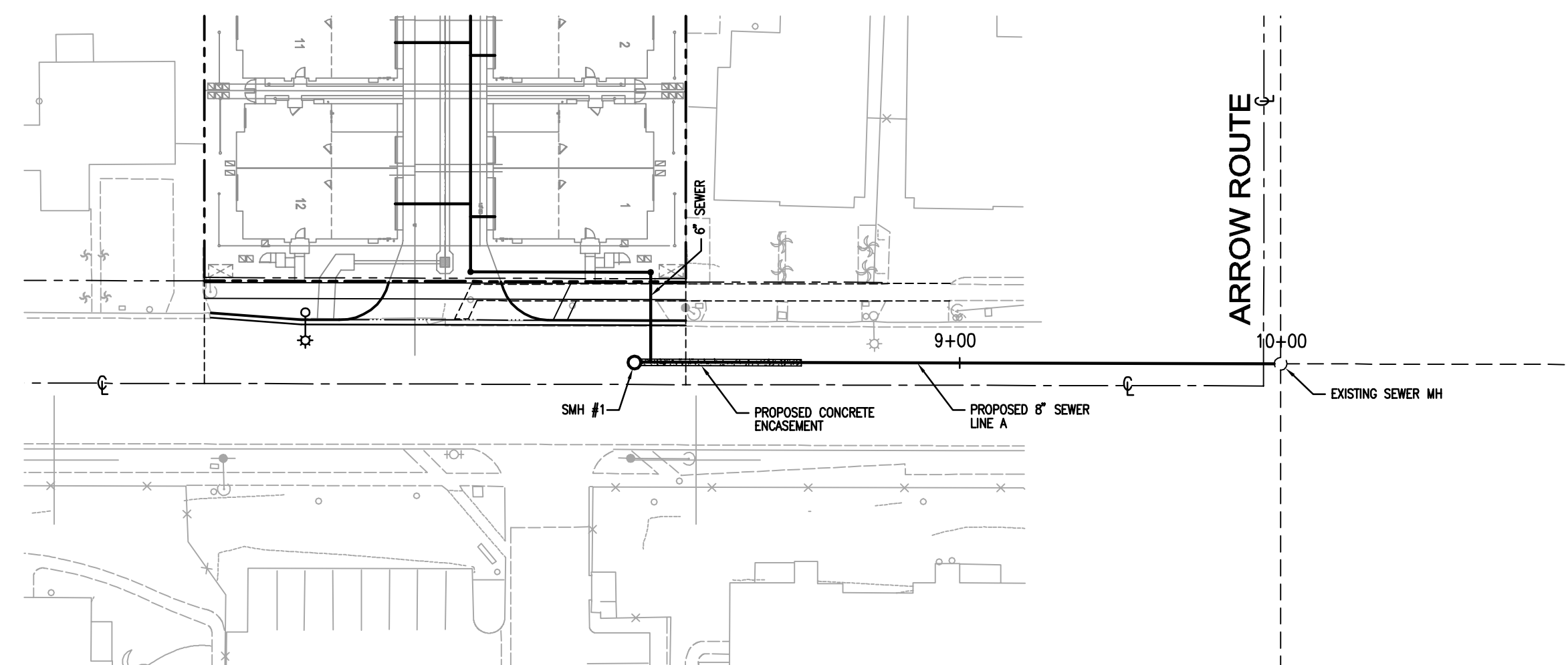
TRACT NO. 20686
LAUREL AVENUE

MCN24-0047

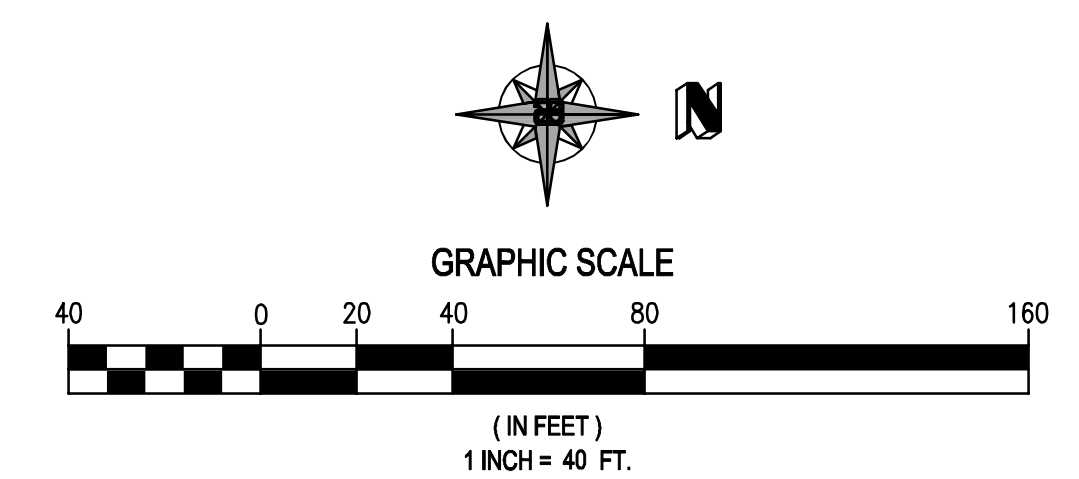
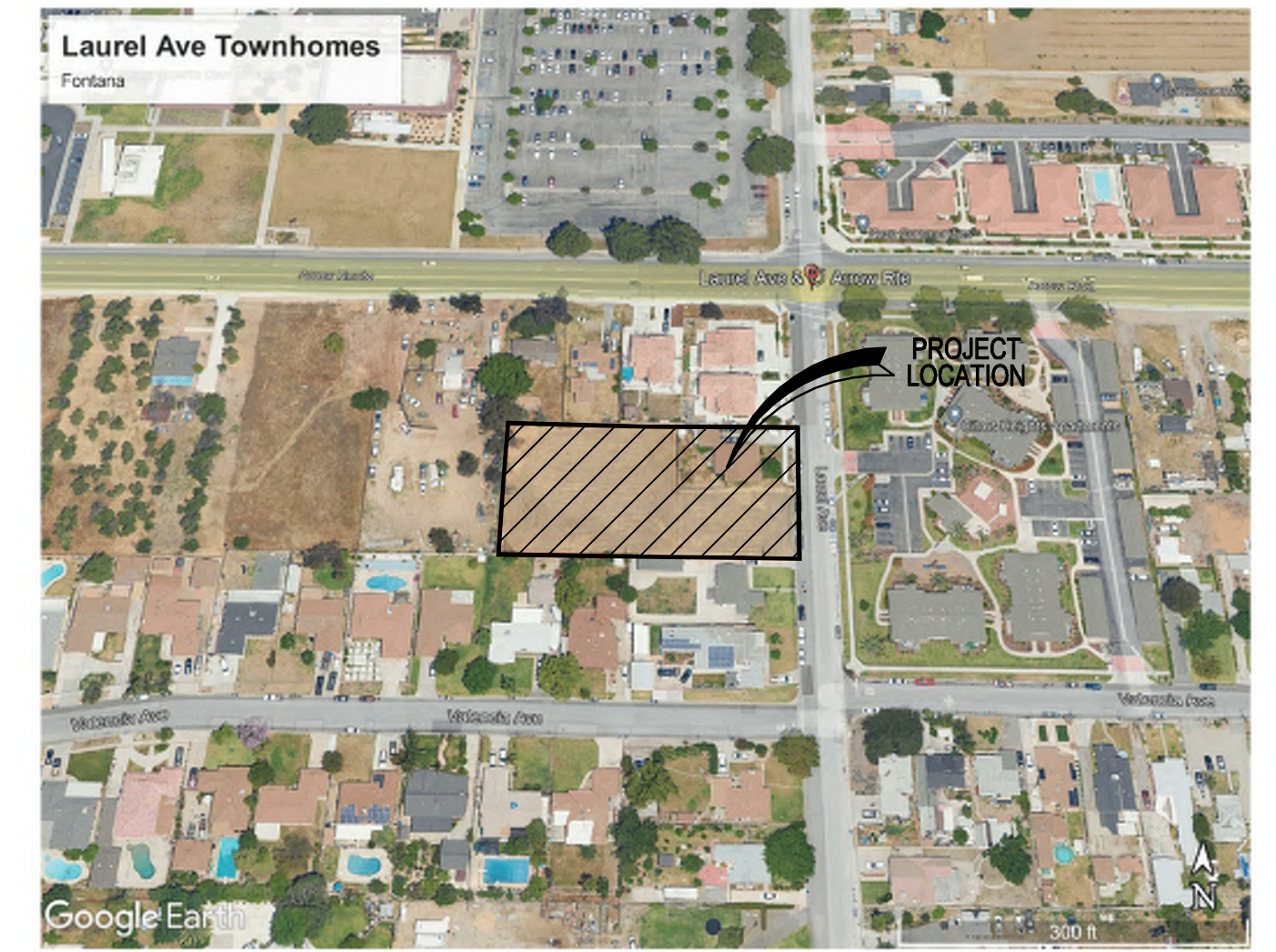
SHEET TITLE	PROJECT
SHEET NO.	1 OF 2



LINE A



LAUREL AVENUE



CITY OF FONTANA
TENTATIVE TRACT MAP NO. 20686

OWNERS:

LAUREL INVESTORS, LLC
9410 SIERRA AVE.
FONTANA, CA 92335
(949) 344-2701

NH LAUREL, LLC
500 NEWPORT CENTER DR. #570
NEWPORT BEACH, CA 92660
(949) 344-2701

DEVELOPER:

NH LAUREL, LLC
500 NEWPORT CENTER DR. #570
NEWPORT BEACH, CA 92660
(949) 344-2701

UTILITIES:

WATER:
FONTANA WATER COMPANY 15966
ARROW ROUTE
FONTANA, CA 92335
(909) 822-2201

GAS:
SOUTHERN CALIFORNIA GAS CO.
7000 INDIANA AVENUE
RIVERSIDE, CA 92506
(800) 427-2200

CABLE/TELEPHONE:

SPECTRUM
6461 PATS RANCH ROAD
JURUPA VALLEY, CA 91752
(888) 406-7063

CABLE/TELEPHONE:
FRONTIER COMMUNICATIONS
PO BOX 749407 CINCINNATI, OH
45274-0407
(877) 744-7083

SEWER:
CITY OF FONTANA-SEWER SERVICE
8353 SIERRA AVE FONTANA, CA 92335
(909) 350-7670

ENGINEER:

ALLARD ENGINEERING
16866 SEVILLE AVENUE
FONTANA, CALIFORNIA 92335
PHONE (909) 356-1815

SOLID WASTE:
BURRTEC
9820 CHERRY AVENUE
FONTANA, CA 92335
(909) 987-3717

ELECTRIC:
SOUTHERN CALIFORNIA EDISON CO.
ROSEMEAD, CA 91770
(800) 655-4555

CABLE/TELEPHONE:

AT&T
8052 LIMONITE AVENUE #101
RIVERSIDE, CA 92509
(951) 360-1412

BENCHMARK:

BASIS OF BEARINGS:

THE BEARINGS ARE BASED ON THE CENTERLINE OF VALENCIA AVENUE, HAVING A BEARING OF NORTH 89°59'45" EAST PER TRACT NO. 6022, M.B. 76/45.

EASEMENTS:

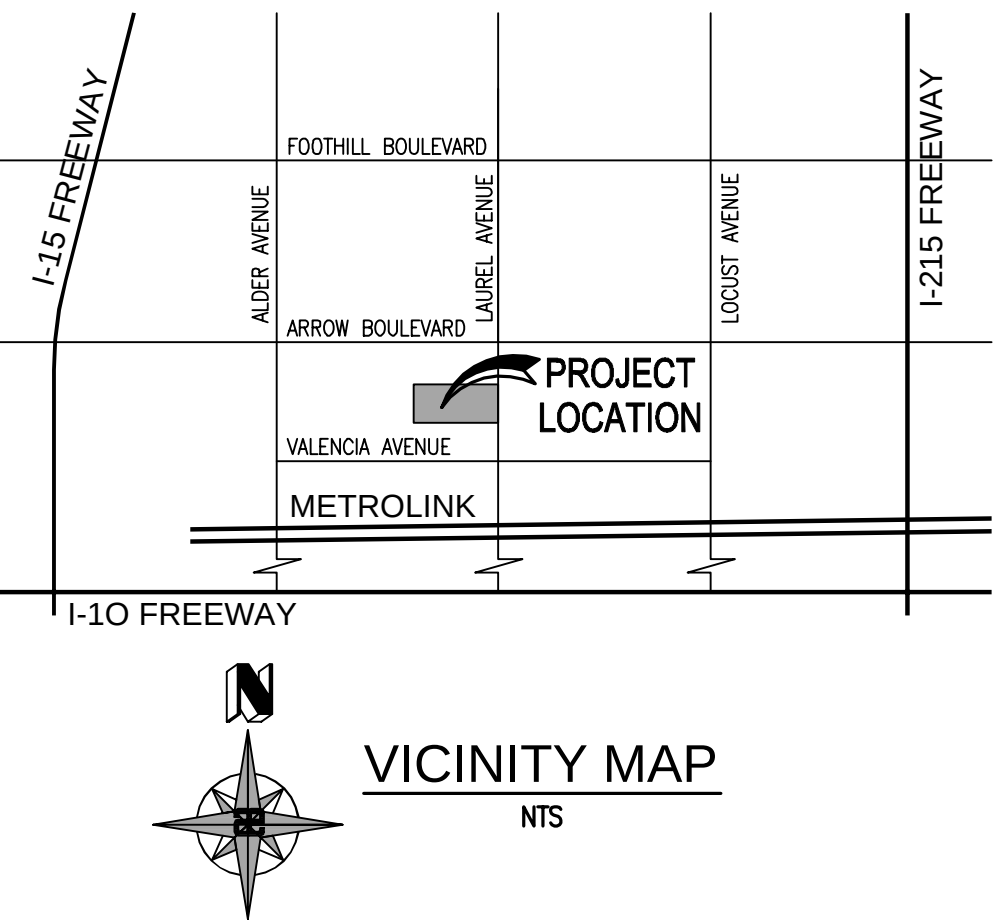
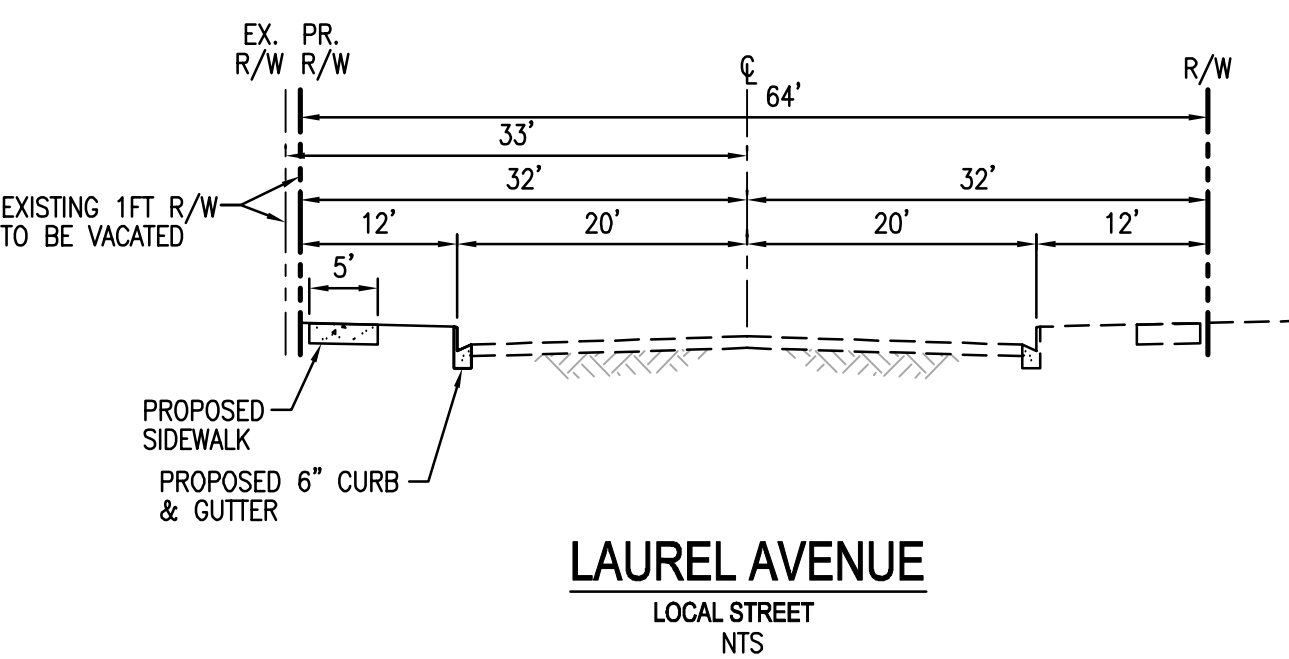
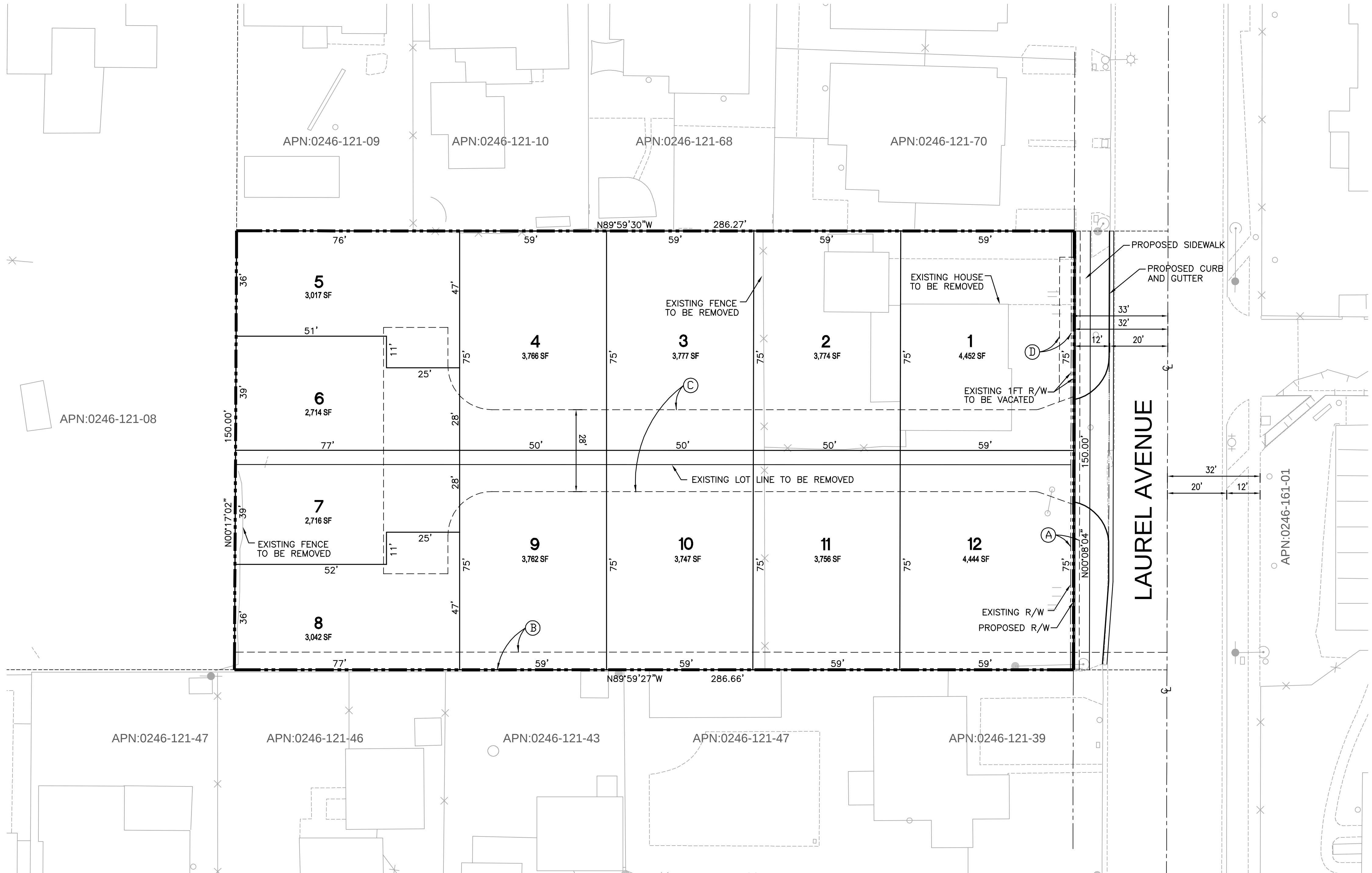
- (A) AN EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSES PER INSTRUMENT RECORDED APRIL 28, 1960 IN BOOK 5124, PAGE 4 OF OFFICIAL RECORDS.
- (B) AN EASEMENT FOR AERIAL AND/OR UNDERGROUND ELECTRIC OF COMMUNICATION STRUCTURE, AND INCIDENTAL PURPOSES, IN INSTRUMENT RECORDED SEPTEMBER 1, 1960 IN BOOK 5227 PAGE 516 OF OFFICIAL RECORDS.
- (C) PROPOSED EASEMENT FOR ROADWAY AND UTILITY PURPOSES.
- (D) PROPOSED EASEMENT FOR SEWER PURPOSES IN FAVOR OF HOA.

AREA SUMMARY:

ADJUSTED GROSS: 1.03 ACRES

LEGEND:

- 10 LOT NUMBER
- PROPOSED R/W
- EASEMENT
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- (A) EASEMENTS AS SHOWN BY MAP ON,



LEGAL DESCRIPTION

PARCELS 1 AND 2 OF PARCEL MAP NO. 18193, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, RECORDED AUGUST 17, 2022, AS SHOWN BY MAP ON FILE IN BOOK 259, PAGE 45 THROUGH 46 OF PARCEL MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

ASSESSOR'S PARCEL NO:

0245-121-71 & 0245-121-72

EXISTING ZONING:

MEDIUM DENSITY RESIDENTIAL (R-2)

EXISTING LAND USE:

RESIDENTIAL

ADJACENT LAND USE:

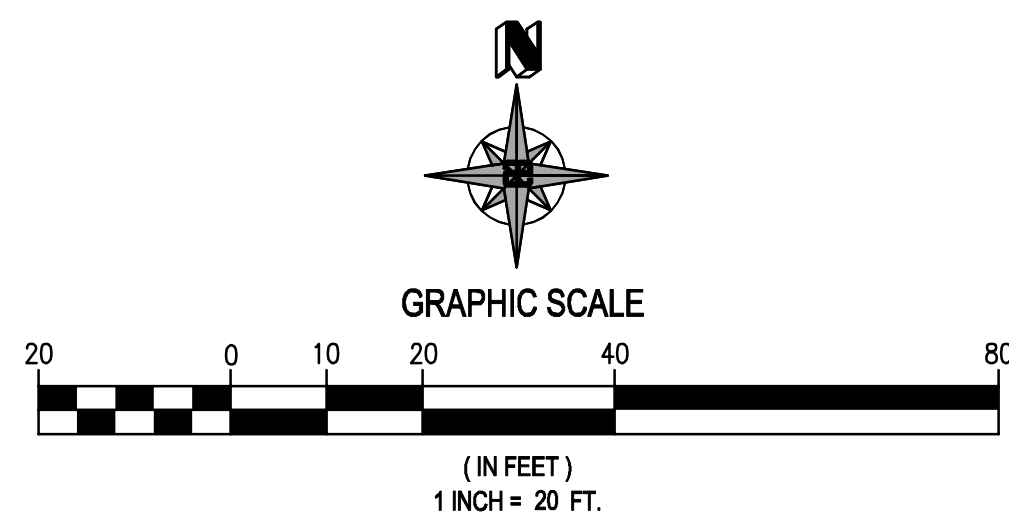
NORTH MEDIUM DENSITY RESIDENTIAL
SOUTH MEDIUM HIGH DENSITY RESIDENTIAL
EAST MEDIUM DENSITY RESIDENTIAL
WEST MEDIUM HIGH DENSITY RESIDENTIAL

PROPOSED LAND USE:

RESIDENTIAL

SCHOOL DISTRICT:

FONTANA UNIFIED SCHOOL DISTRICT
9680 CITRUS AVENUE,
FONTANA, CA 92335
(909) 357-7600



CITY OF FONTANA
TENTATIVE TRACT MAP NO. 20686

Prepared For:

NH LAUREL, LLC
500 NEWPORT CENTER DR. #570
NEWPORT BEACH, CA 92660
PHONE (949) 344-2701

Prepared By:

ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16866 Seville Avenue
Fontana, California 92335
Phone (909) 356-1815

Raymond J. Allard
Raymond J. Allard, R.C.E. 36052

10/21/24
Date

MCN24-0047



PLANT IMAGES



OLEA EUROPAEA 'SWAN HILL'
(MULTI)



ARBUTUS 'MARINA'



GINKGO BILOBA 'FAIRMONT'



CUPRESSUS 'TINY TOWER'



ACACIA PODALYRIIFOLIA



OLEA 'LITTLE OLLIE'



WESTRINGIA 'BLUE GEM'



ALOE STRIATA



AGAVE 'BLUE FLAME'



LAVANDULA 'MUNSTEAD'



PODOCARPUS 'ICEE BLUE'



ROSMARINUS 'TUSCAN BLUE'



RHAMNUS CALIFORNICA 'EVE CASE'



WESTRINGIA 'LOW HORIZON'



ACHILLEA MILLEFOLIUM



ELAEAGNUS PUNGENS



PENNISETUM SPATHIOLETUM



SENECIO MANDRALISCAE



PITTOSPORUM 'CREAM DE MINT'



HELIANTHEMUM 'THE BRIDE'



FEIJOA SELLOWIANA



VITEX TRIFOLIA 'PURPUREA'



CLYTOSTOMA CALLISTEGIOIDES



HARDENBERGIA 'HAPPY WANDERER'



AGROSTIS PALLENS

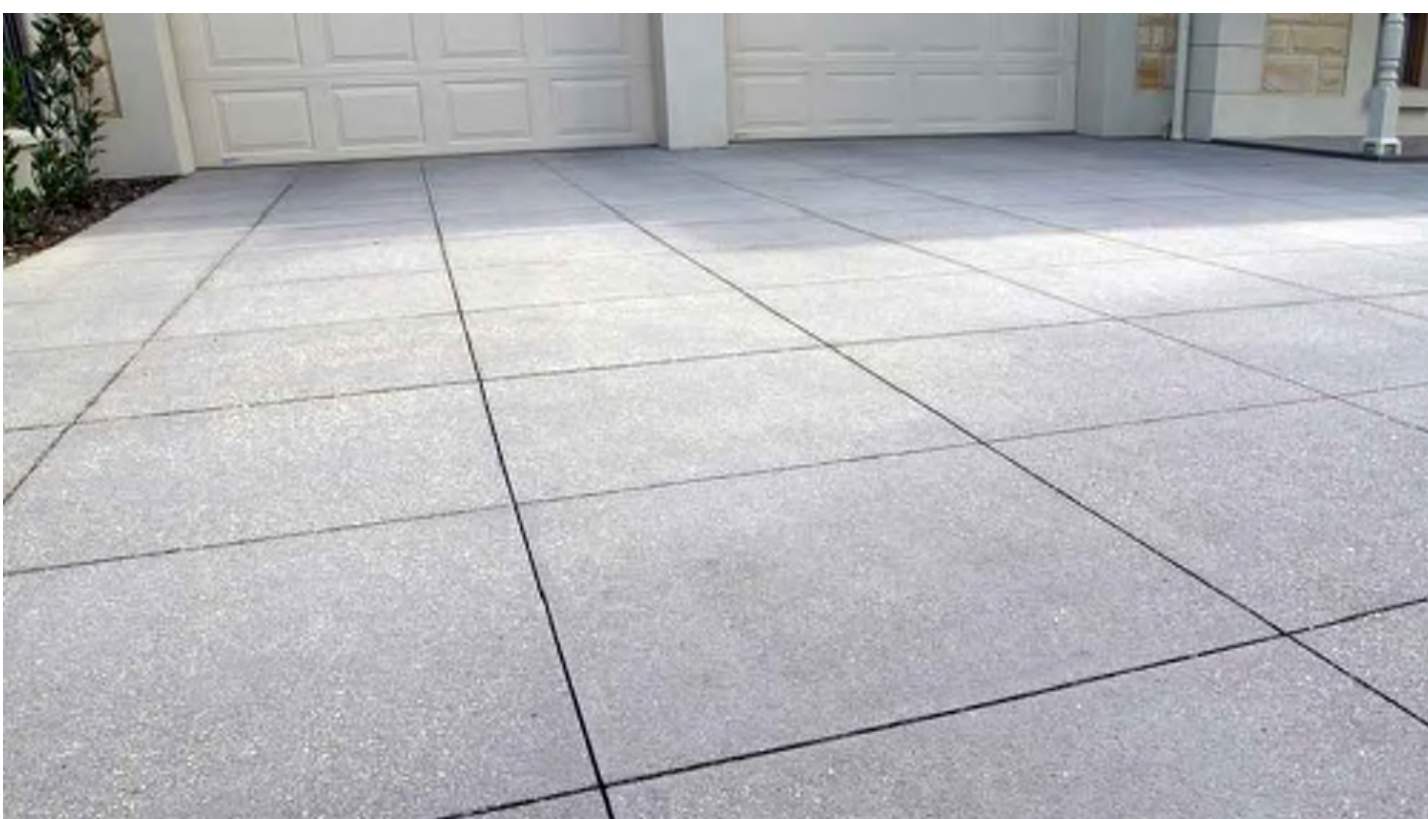


GEIJERA PARVIFOLIA

HARDSCAPE FINISHES



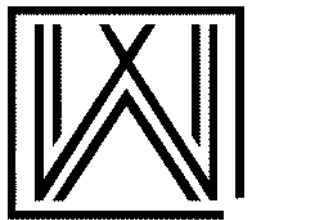
GRAY CONCRETE



SAWCUT SCORING



GRAY PAVERS



WILLIAMS
EXTERIOR DESIGN

williams-exterior-design.com

707-827-6069

MATERIAL PHOTOS

THIS PLAN DOES NOT COMMUNICATE
CONSTRUCTION METHODS OR MATERIALS AND
THEREFORE SHALL NOT BE USED FOR
CONSTRUCTION OR RECONSTRUCTION AS A
CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.
DESIGNER'S FIELD OBSERVATIONS AND SMALL
ACTUAL FIELD CONDITIONS
THIS IS A CONCEPT PLAN AND NOT FOR
CONSTRUCTION.

PROJECT
TITLE

RESIDENCES

LAUREL AVE.
FONTANA, CA

DESCRIPTION

NO. DATE

SHEET

**MATERIAL
PHOTOS
PM-2**

DATE 01.16.2025

Laurel Avenue

FONTANA, CALIFORNIA

INDEX

ARCHITECTURAL

COVER SHEET	
CS-0	Aerial View
CS-1.0	View from Laurel Avenue
CS-2.0	Drive Aisle View
CS-3.0	Interior Court View
SP-1.0	Site Development Plan
DD - 1.0	P1 & Casita - Floor Plan
DD - 1.1	P1 & Casita - Wrap Elevations
DD - 2.0	Plan 2 - Floor Plan
DD - 2.1	Plan 2 - Wrap Elevations
DD - 3.0	Plan 3 - Floor Plan
DD - 3.1	Plan 3 - Wrap Elevations

ARCHITECT:

BUCILLA
GROUP
ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
11 Dove Street, Suite 187, Newport Beach, Ca 92660
Tel. 949.851.9080 info@bg-architecture.com
www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



TEST TO ARCHITECTURAL ONLY

project :

LAUREL AVENUE
Fontana, CA

owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

Project Number :

BGA No. 22012

Sheet Title :

COVER SHEET

Sheet No. :

CS-0

2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS

ARCHITECT:

**BUCILLA
GROUP
ARCHITECTURE**

CHITECTURE PLANNING INTERIOR DESIGN
TORIC PRESERVATION LEED VALUE ENGINEERING
1 Dove Street, Suite 187, Newport Beach, Ca 92660
949. 851. 9080 info@bg-architecture.com
s://www.bg-architecture.com

BUCELLA GROUP ARCHITECTURE, INC. hereby expressly reserves all common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCELLA GROUP ARCHITECTURE, INC.



TEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

owner:

LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

Project Number :

BGA No. 22012

Sheet Title :

CONCEPTUAL IMAGES

Sheet No. :

CS-1

2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS

ARCHITECT:

**BUCILLA
GROUP
ARCHITECTURE**

ARCHITECTURE PLANNING INTERIOR DESIGN
 HISTORIC PRESERVATION LEED VALUE ENGINEERING
 1 Dove Street, Suite 187, Newport Beach, Ca 92660
 949.851.9080 info@bg-architecture.com
 www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



TEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

owner:

NH LAUREL LLC
 500 Newport Center Drive,
 Ste 570 Newport Beach, Ca

[illegible]

PERMIT NO:

D SUBM. DATE:

LOT DATE: 08/27/24 DD PRELIM.

LOT DATE:

Project Number :

BGA No. 22012

Sheet Title :

CONCEPTUAL IMAGES

Sheet No. :

CS-2

CONCEPTUAL IMAGE

Drive Aisle View

BUCILLA
GROUP
ARCHITECTURE

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



Project :

LAUREL AVENUE
Fontana, CA

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

BGA No. 22012

CONCEPTUAL IMAGES

CS-3

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS



CONCEPTUAL IMAGE

Interior Court View

ARCHITECT:

INCORPORATED
BUCILLA
GROUP
ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
1601 Dove Street, Suite 187, Newport Beach, Ca 92660
TEL 949.851.9080 info@bg-architecture.com
<https://www.bg-architecture.com>

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

PERMIT NO:

BD SUBM. DATE:

PLOT DATE: 08/27/24 DD PRELIM.

PLOT DATE:

Project Number :

BGA No. 22012

Sheet Title :

CONCEPTUAL IMAGES

Sheet No. :

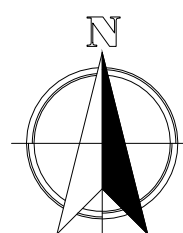
CS-4

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS



SITE DEVELOPMENT PLAN

SCALE 3/32" = 1'-0"

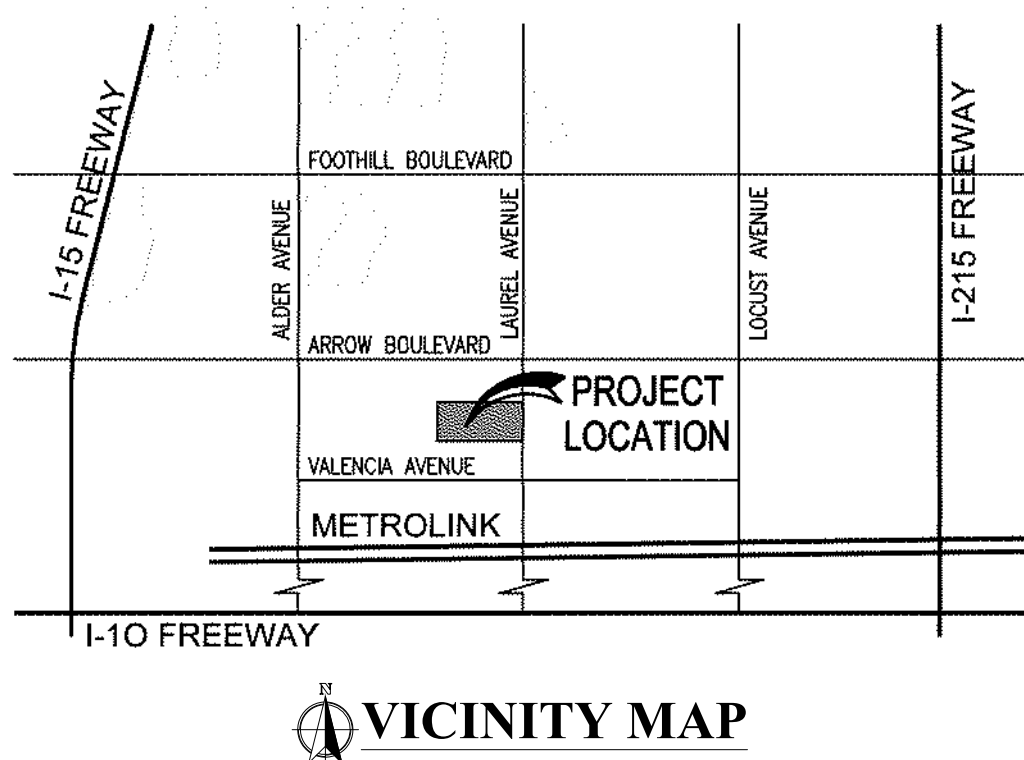


SITE DATA

Acres	1.03
Units	12 UNITS
DU/AC	12

PARKING

Garage 2@12	=	24
Garage 1@ 8	=	8
Open Parking	=	8
Guest on street	=	4
Total		44 (3.6/unit)



ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
1601 Dove Street, Suite 167, Newport Beach, Ca 92660
TEL 949.851.9080 info@bg-architecture.com
https://www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

NO.	DATE	DESCRIPTION
	08/27/24	Prelim. Planning Submittal
	01/21/25	Planning Re-Submittal

PERMIT NO:

BD SUBM. DATE:

PLOT DATE: 08/27/24 DD PRELIM.

PLOT DATE:

Project Number :

BGA No. 22012

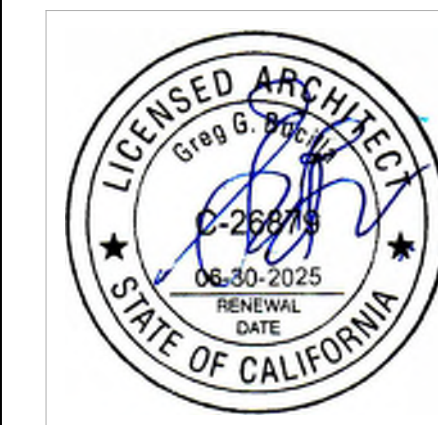
Sheet Title :

SITE DEV. PLAN

Sheet No. :

SP - 1.0

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

Project Number :

BGA No. 22012

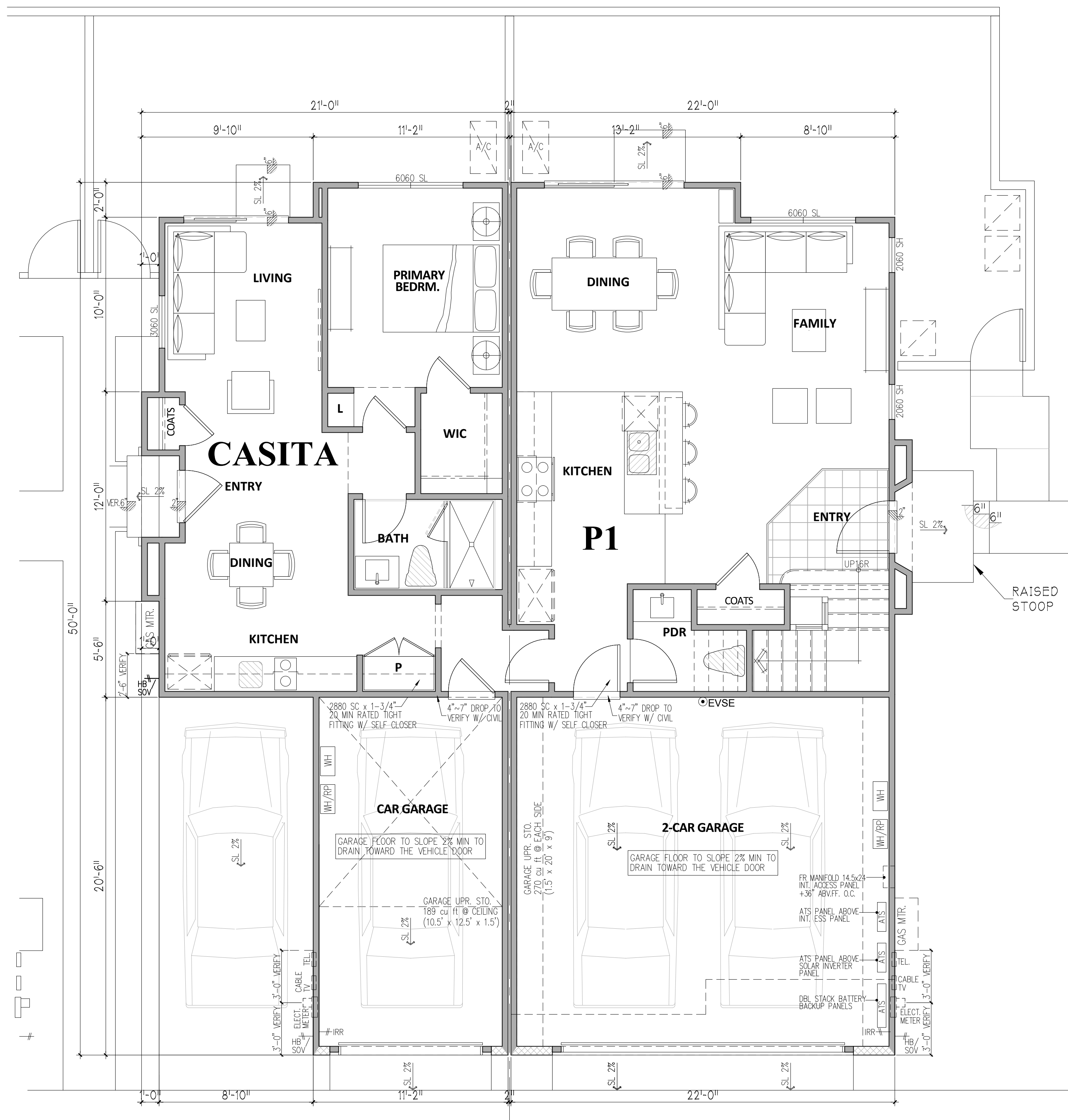
Sheet Title :

P1 & CASITA FLOOR PLAN

Sheet No. :

DD-1.0

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS



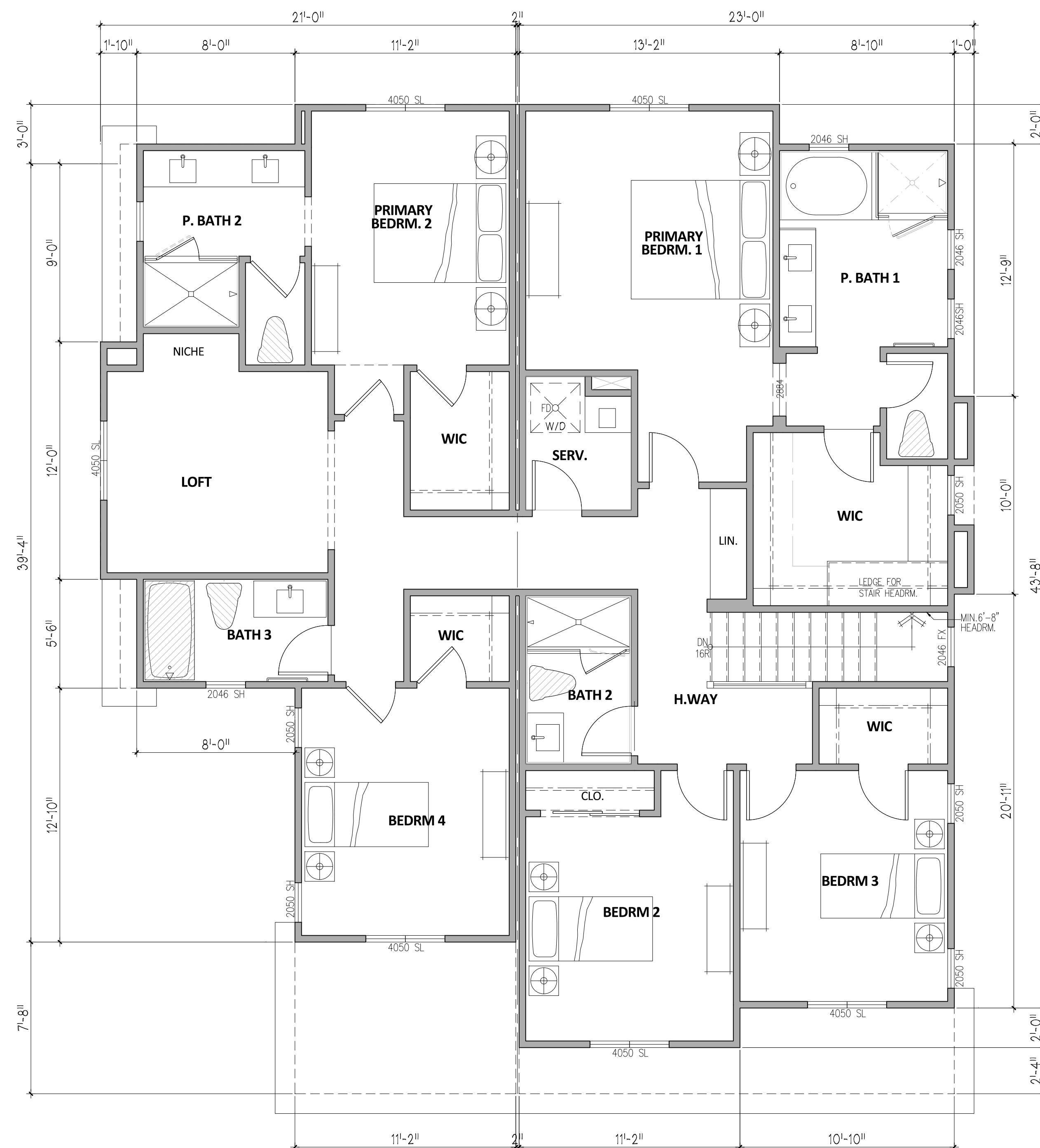
FIRST FLOOR

1F .	620 SF
CASITA .	583 SF

P1 & CASITA FLOOR PLAN

SCALE 1/4" = 1'-0"

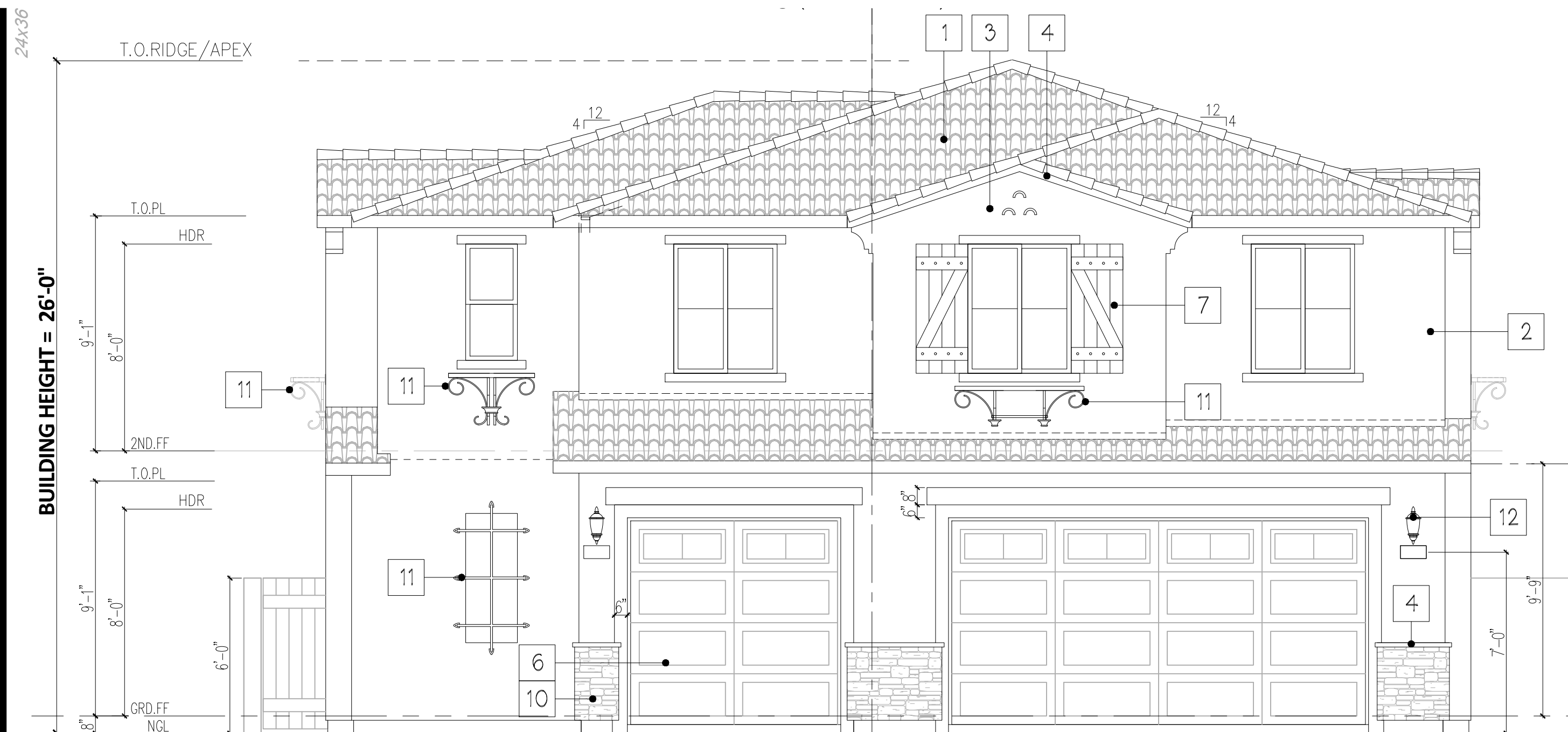
P1 = 2322 SF
CASITA = 574 SF



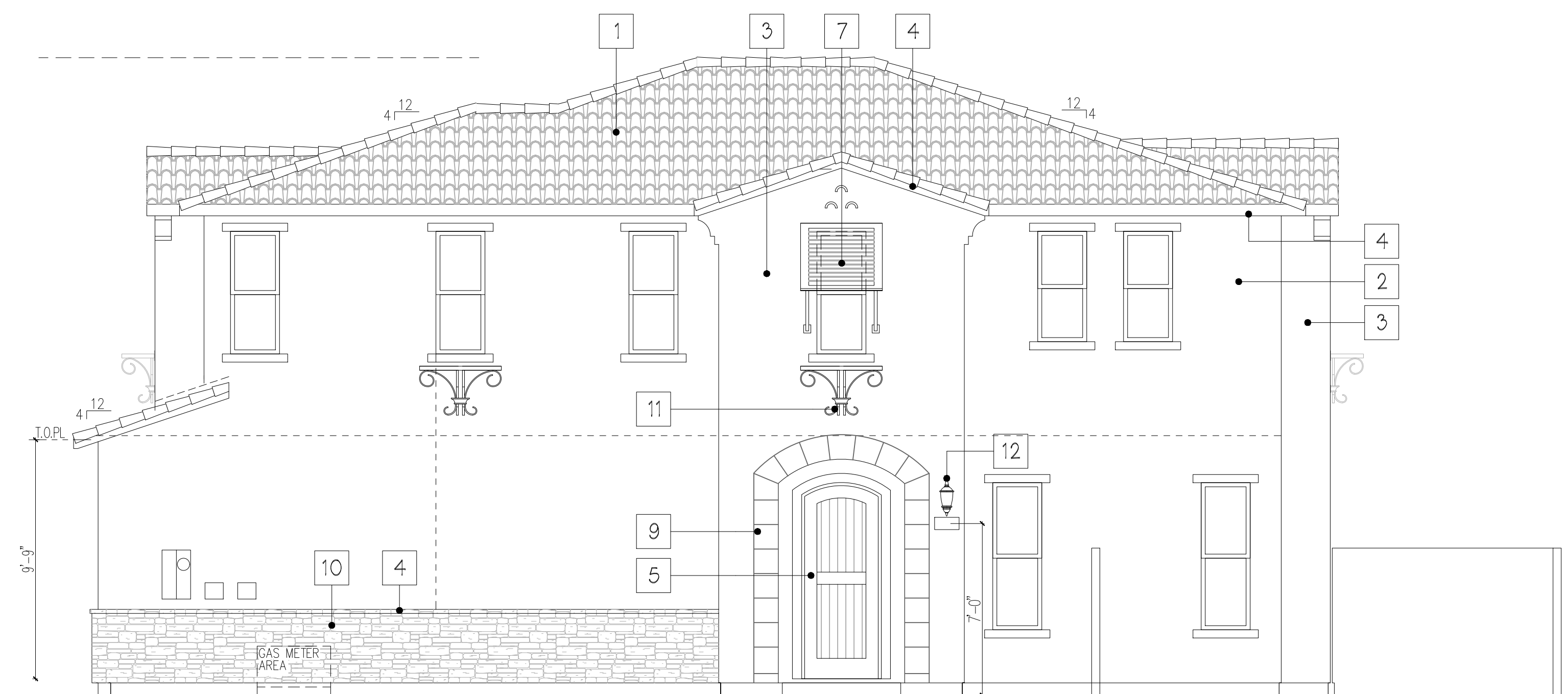
SECOND FLOOR

2F - 1702 SF

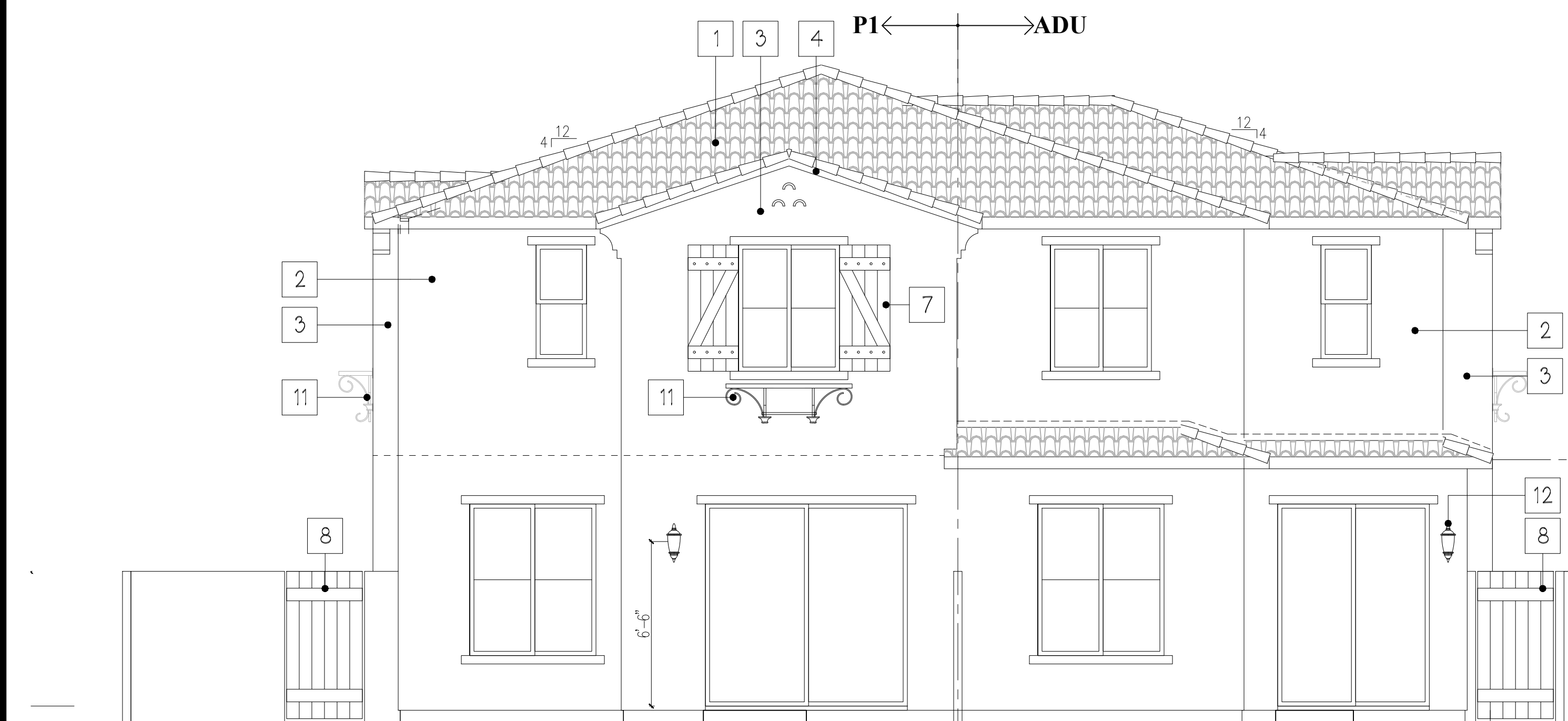
24x36



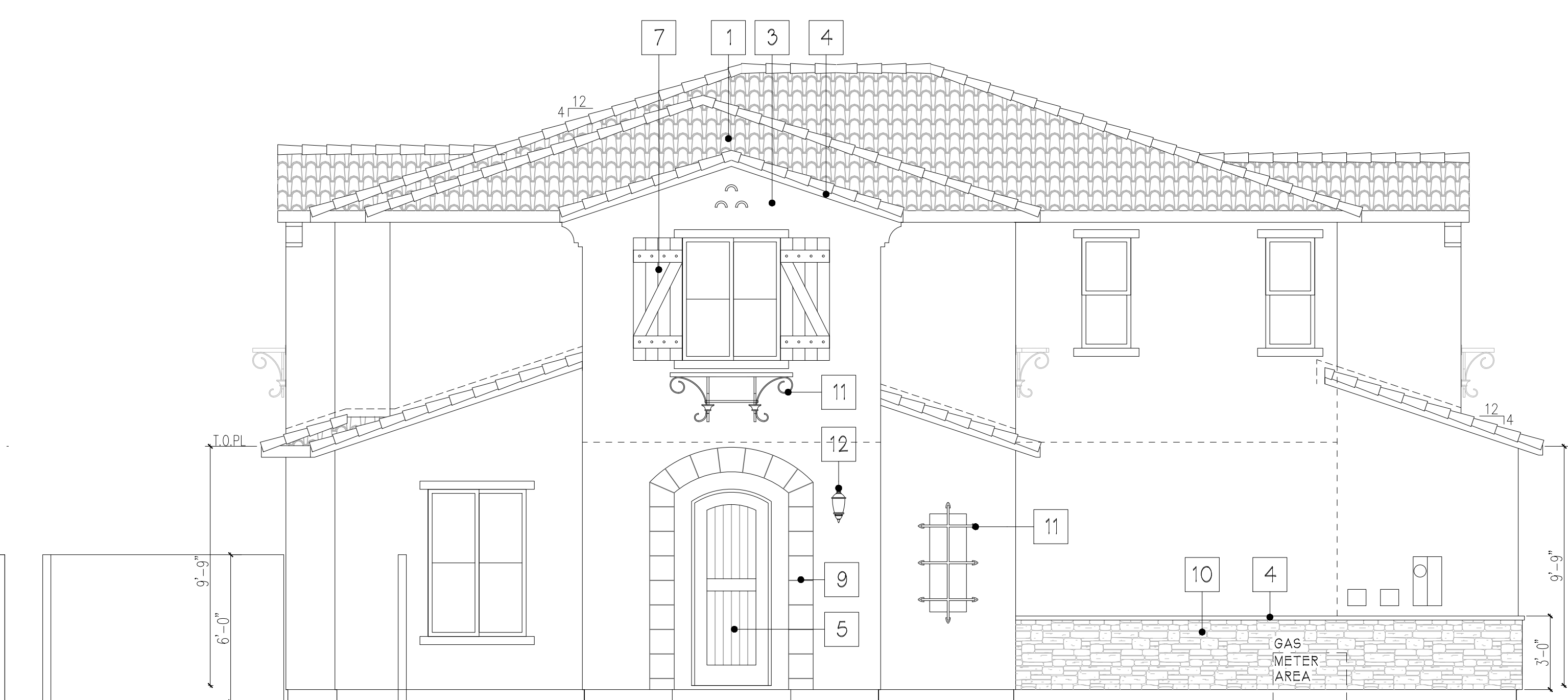
ELEVATION (D)



CASITA FRONT ELEV. (B)



ELEVATION (C)



P1 FRONT ELEV. (A)

Spanish Colonial

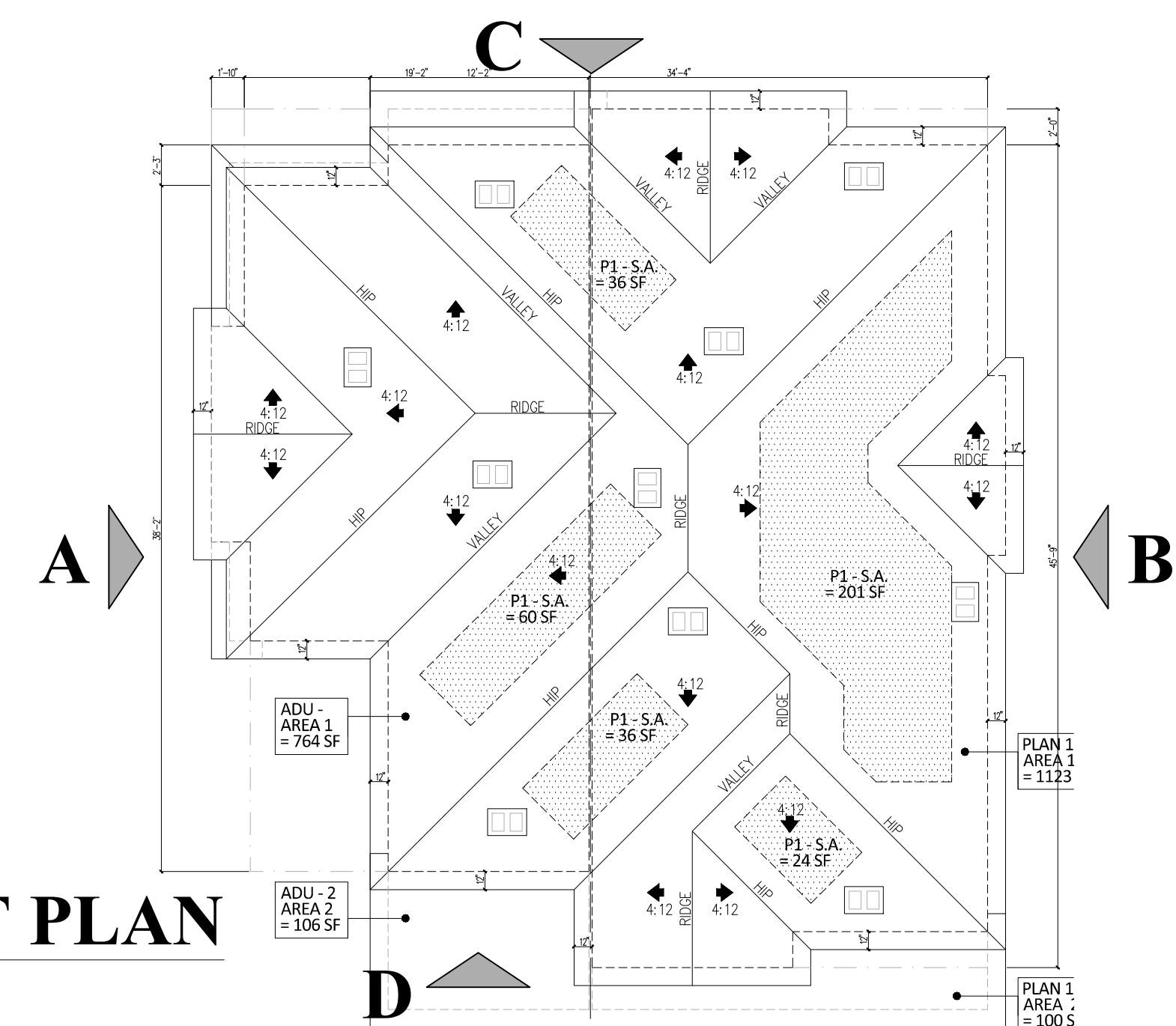
Design Element

- | | |
|----|--------------------------------|
| 1 | Roof |
| 2 | Primary Stucco |
| 3 | Accent Stucco |
| 4 | Fascia Bd & Trim |
| 5 | Front Door |
| 6 | Garage Door |
| 7 | Shutter |
| 8 | Gate |
| 9 | Tile Surround (8x8 Decorative) |
| 10 | Stone Accent |
| 11 | WI Accent |
| 12 | Ext Light |

P1 & CASITA ELEVATIONS

SCALE 1/4" = 1'-0"

ROOF PLAN



ARCHITECT:

BUCILLA
GROUP
ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
1601 Dove Street, Suite 187, Newport Beach, Ca 92660
TEL. 949.851.9080 info@bga-architecture.com
https://www.bga-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

NO.	DATE	DESCRIPTION
08/27/24	Prelim.	Planning Submittal
01/21/25	Planning	Re-Submittal

PERMIT NO:	
BD SUBM. DATE:	
PLOT DATE:	08/27/24 DD PRELIM.
PLOT DATE:	

Project Number :

BGA No. 22012

Sheet Title :

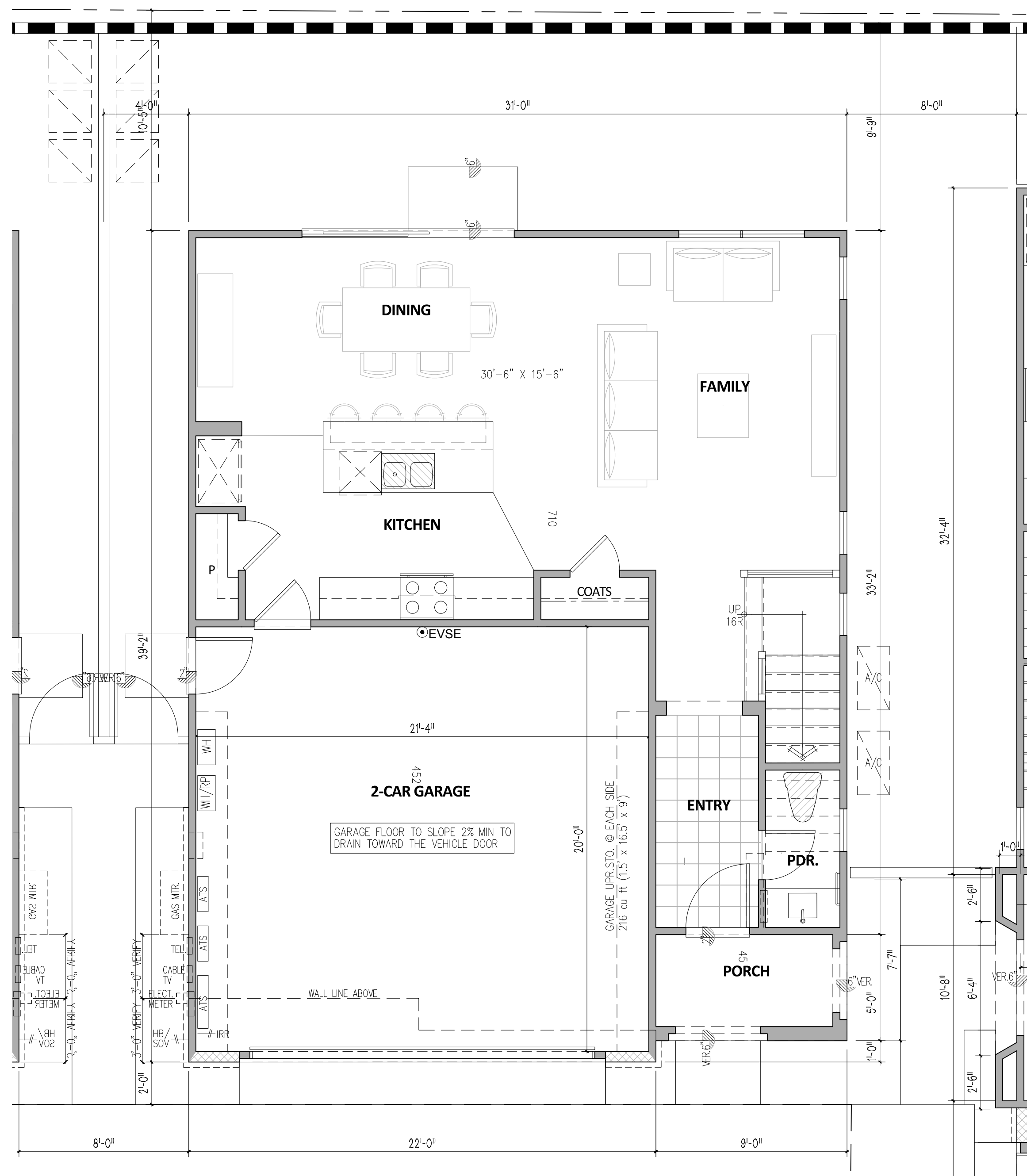
P1 & CASITA
ELEVATIONS

Sheet No. :

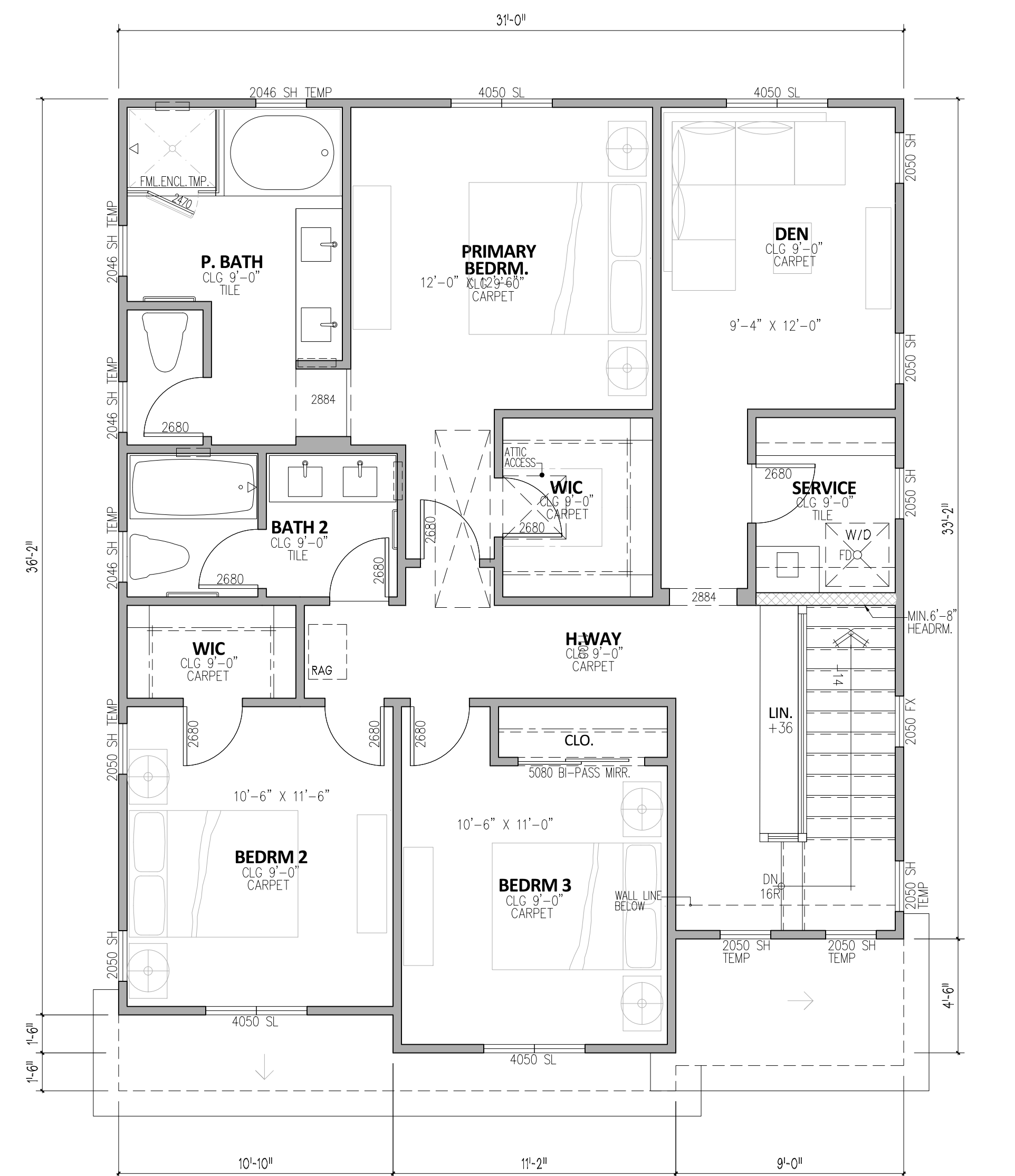
DD-1.1

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS

08.27.2025



FIRST FLOOR
700 SF



SECOND FLOOR
1100 SF

P2 FLOOR PLAN (1800 SF)

SCALE 1/4" = 1'-0"



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

Project Number

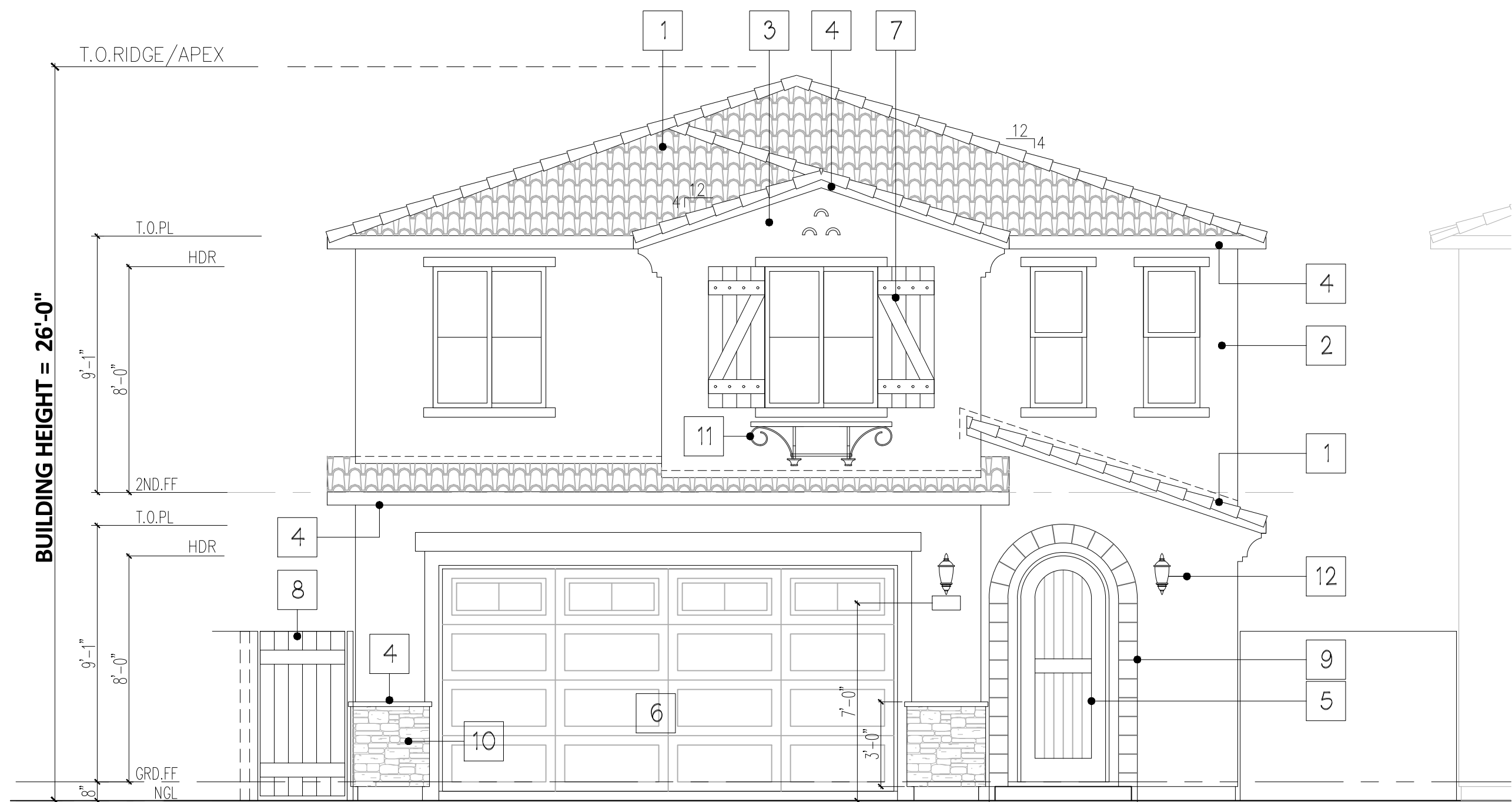
BGA No. 22012

Sheet Title :

P2 FLOOR PLAN

Sheet No. :

DD-2.0



FRONT ELEV.



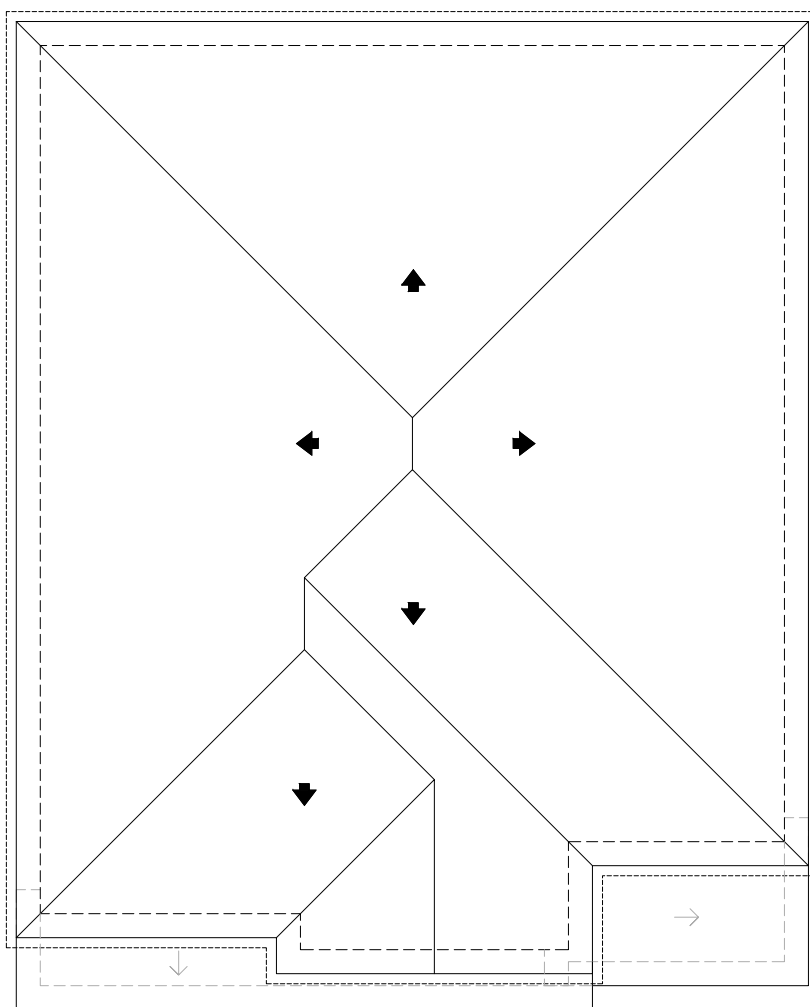
REAR ELEV.



LEFT SIDE ELEV.



RIGHT SIDE ELEV.



ROOF PLAN

Spanish Colonial

Design Element

- 1 Roof
- 2 Primary Stucco
- 3 AccentStucco
- 4 Fascia Bd & Trim
- 5 Front Door
- 6 Garage Door
- 7 Shutter / Gate
- 8 Front Door
- 9 Garage Door
- 10 Stone Accent
- 11 WI Accent
- 12 Ext Light
- 13 WI Accent

P2 ELEVATIONS

SCALE 1/4" = 1'-0"

ARCHITECT:

BUCILLA
GROUP
ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
1601 Dove Street, Suite 167, Newport Beach, Ca 92660
TEL. 949.851.9080 info@bgp-architecture.com
https://www.bgp-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves its common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



ATTEST TO ARCHITECTURAL ONLY

Project :

LAUREL AVENUE
Fontana, CA

Owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

NO.	DATE	DESCRIPTION
08/27/24	Prelim.	Planning Submittal
01/21/25	Planning	Re-Submittal

PERMIT NO:	
BD SUBM. DATE:	
PLOT DATE:	08/27/24 DD PRELIM.
PLOT DATE:	

Project Number :

BGA No. 22012

Sheet Title :

P2
ELEVATIONS

Sheet No. :

DD-2.1

© 2025, BUCILLA GROUP ARCHITECTURE INC.
DO NOT SCALE THE DRAWINGS

01.27.2022



SCALE 1/4" = 1'-0"

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.

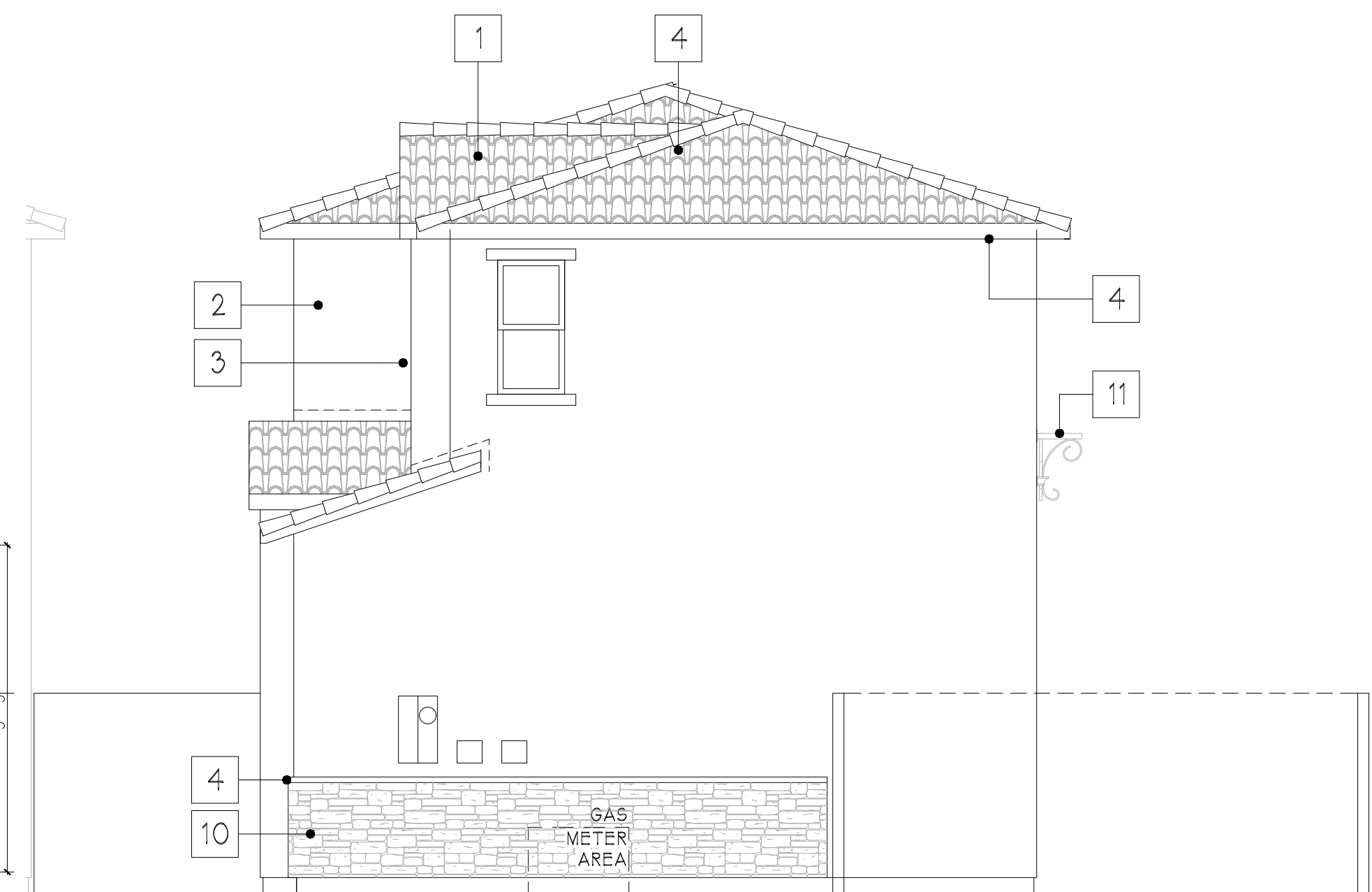


NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

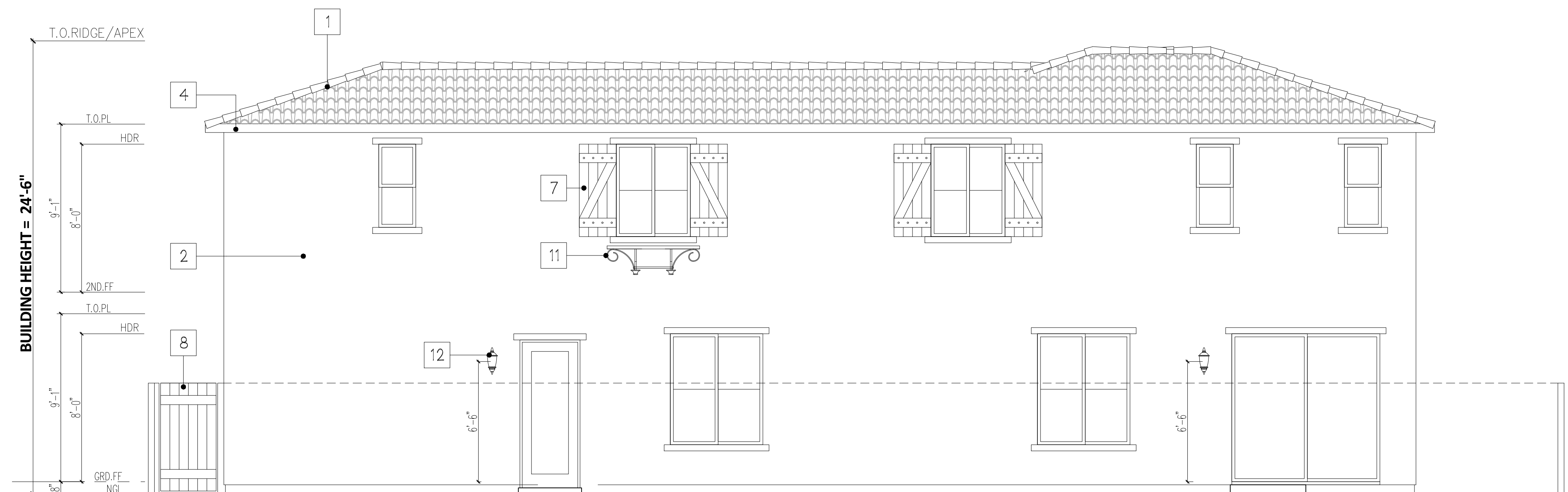
DD-3.0



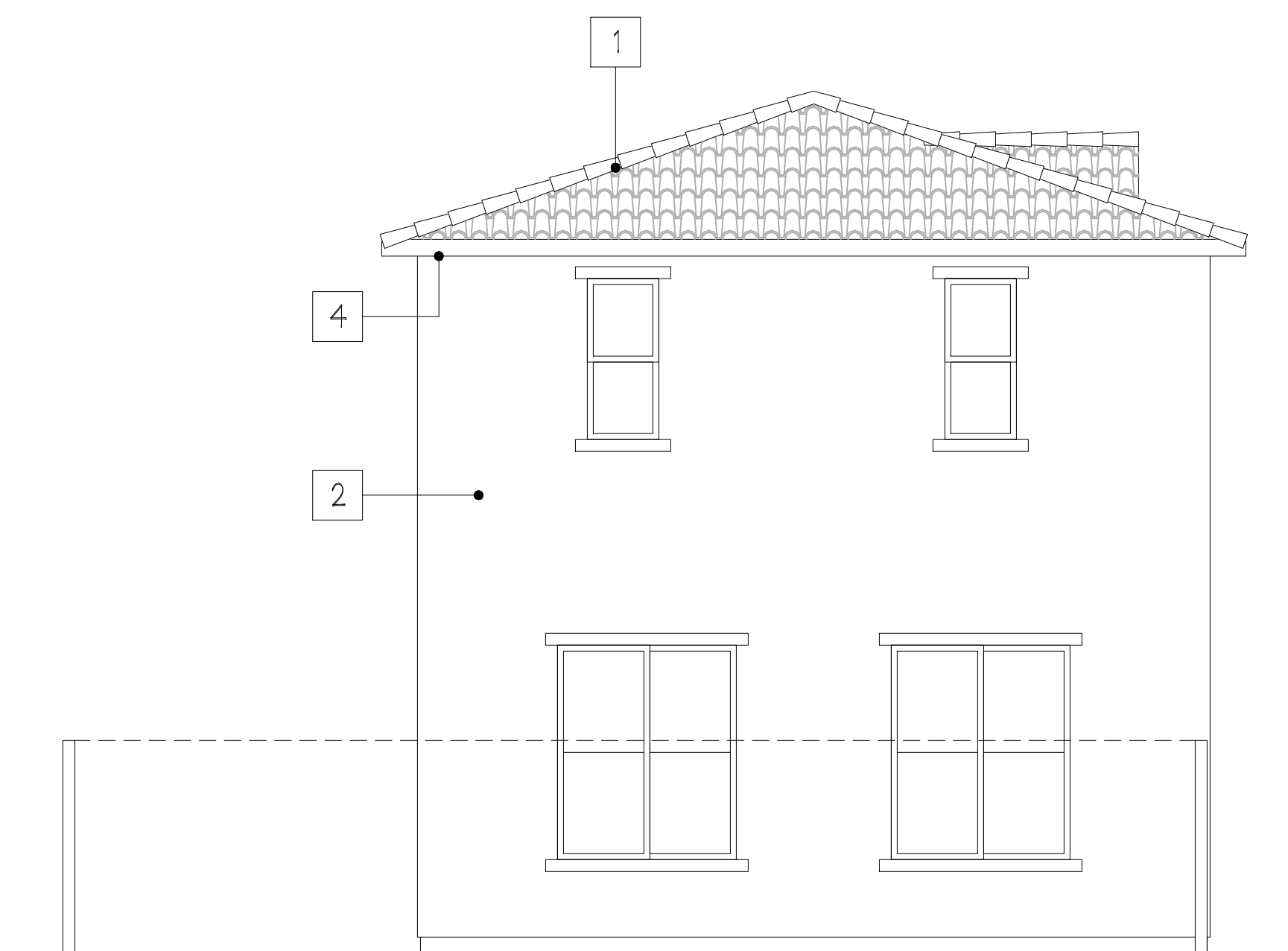
FRONT ELEV.



RIGHT SIDE ELEV.



REAR ELEV.



LEFT SIDE ELEV.

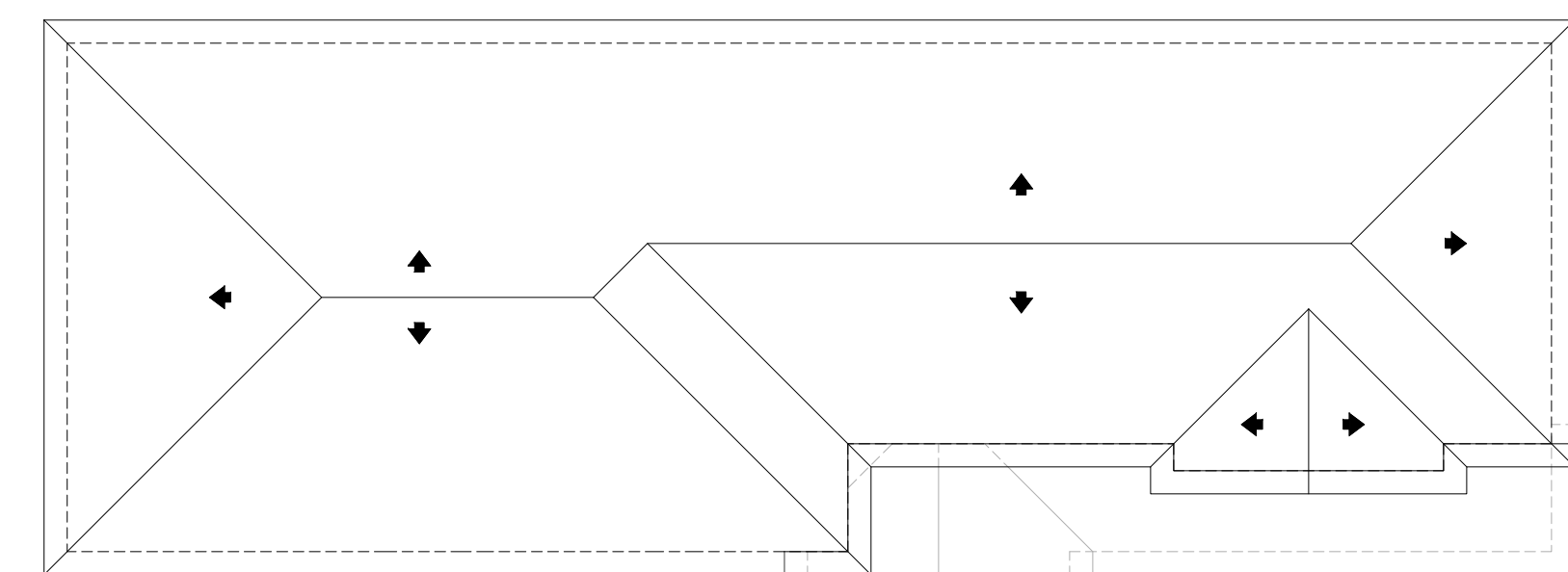
Spanish Colonial

Design Element

- | | |
|----|--------------------------------|
| 1 | Roof |
| 2 | Primary Stucco |
| 3 | Accent Stucco |
| 4 | Fascia Bd & Trim |
| 5 | Front Door |
| 6 | Garage Door |
| 7 | Shutter |
| 8 | Gate |
| 9 | Tile Surround (8x8 Decorative) |
| 10 | Stone Accent |
| 11 | WI Accent |
| 12 | Ext Light |

P3 ELEVATIONS

SCALE 1/4" = 1'-0"



ROOF PLAN

ARCHITECT:

BUCILLA
GROUP
ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING
11 Dove Street, Suite 187, Newport Beach, Ca 92660
Tel. 949. 851. 9080 info@bg-architecture.com
www.bg-architecture.com

BUCILLA GROUP ARCHITECTURE, INC. hereby expressly reserves common law copyright and other property rights in these plans. These plans are not to be copied, reproduced or changed in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of BUCILLA GROUP ARCHITECTURE, INC.



TEST TO ARCHITECTURAL ONLY

project :

LAUREL AVENUE
Fontana, CA

owner:

NH LAUREL LLC
500 Newport Center Drive,
Ste 570 Newport Beach, Ca

[illegible]

Project Number :

BGA No. 22012

Sheet Title :

P3 ELEVATIONS

Sheet No. :

DD-3.1