

FONTANA WALNUT

Planned Unit Development (PUD)

TTM No. 20712

MCN 24-0060

Developed by:



10621 Civic Center Drive
Rancho Cucamonga, CA 91730
(909) 481-1150

Prepared by:



ALLARD ENGINEERING

Civil Engineering - Land Surveying - Land Planning

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Fontana, CA 92335
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PROJECT DESCRIPTION

The project is proposed to be a gated community with ingress and egress off Knox Avenue and Walnut Street. The entries will open up to the recreational and common areas located throughout the project. Proposed amenities include a recreational center with a pool, spa, BBQ's and lounging areas. Then there are large open grass areas, shaded sitting areas, tot lots & paseo with playground equipment.

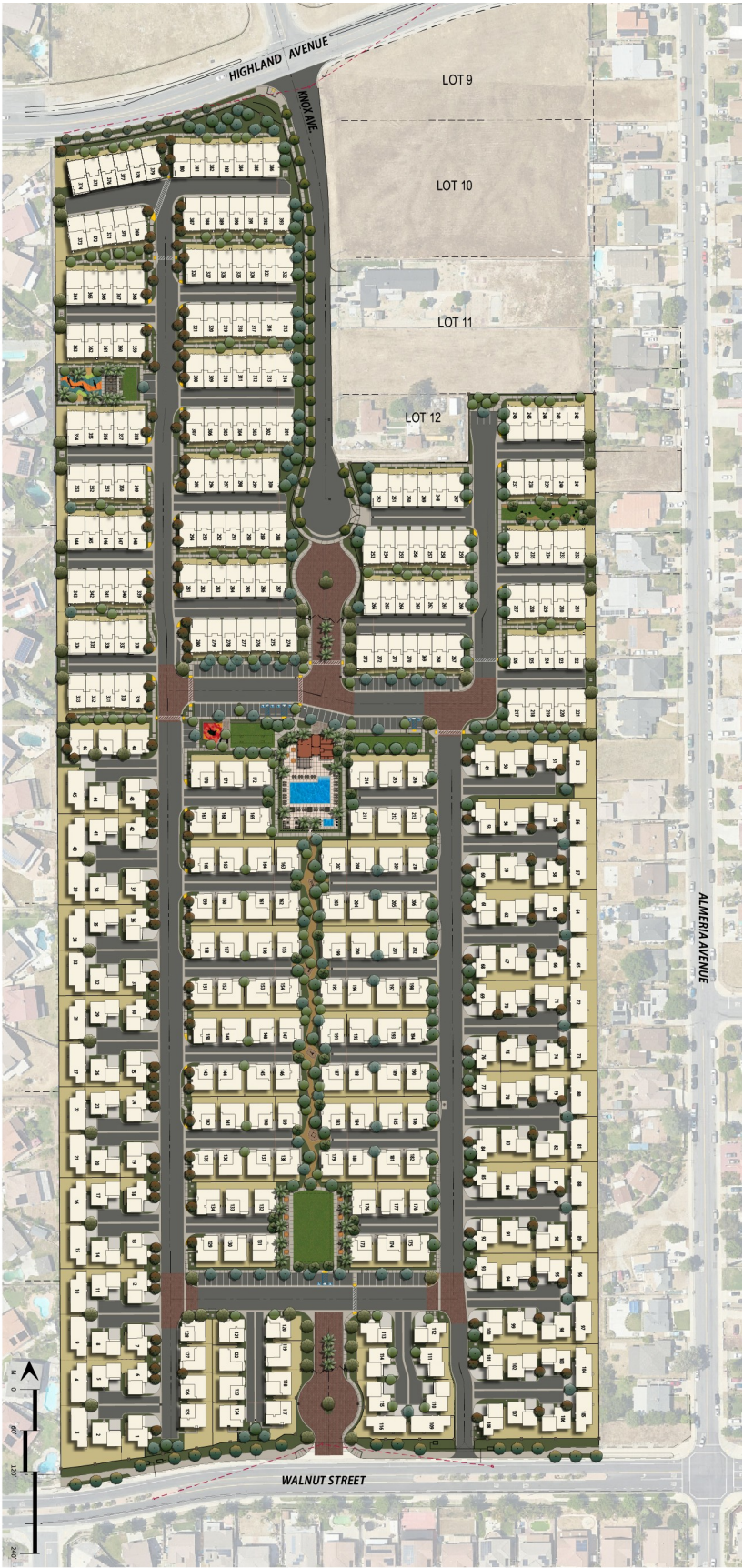
A variety of homes types are proposed. It will feature a combination of two-story cluster homes, two-story motor court, and two-story townhomes. The unit mix will be 103 detached cluster units in 6 and 8 pack configurations with sizing from 1,700 to 1,900 SF. Then 113 detached motor court units clustered in 6 and 8 packs with sizing from 1,600 to 1,900 SF. Lastly, 177 attached townhome units arranged in 5, 6, and 7 packs; sizing will range from 1,400 to 1,900 SF.

The site is designed with walkability in mind. This is seen in the sidewalks around the perimeter streets and the paseo running down the spine that provides front door access to the cluster units. Building placement and style allows for variation in design in the community as a whole and entices community connection as well as private spaces.

IMPLEMENTATION

The proposed project is located on approximately 30 gross acres, located north of Walnut Street and south of Highland Avenue in the City of Fontana. The property is currently designated R-MFMH in the City's General Plan and zoned R-4 (24.1-39 du/ac). The proposed project will downzone to R-3 and amend the General Plan land use to R-MF (Multi Family Residential) and apply for a Major PUD.

DEVELOPMENT PLAN



UNIT MIX

Project will be composed of three product type that will offer a more traditional style single family residential home with private driveway and back yards to a more modern style attached townhome that are alley loaded. Unit mix is seen below:

TOWNHOMES

<u>Plan</u>	<u>Type</u>	<u>SF</u>	<u>Number on Site</u>
1	2Br/ 2.5 Ba	1,393	= 45
2	3 Br/ 2.5 Ba	1,432	= 72
3	4 Br/ 2.5 Ba	1,855	= 60
		TOTAL	= 177

DETACHED CLUSTER

<u>Plan</u>	<u>Type</u>	<u>SF</u>	<u>Number on Site</u>
1	3Br/ 2.5 Ba	1,690	= 28
2	3 Br/ 2.5 Ba	1,779	= 47
3	4 Br/ 3 Ba	1,936	= 28
		TOTAL	= 103

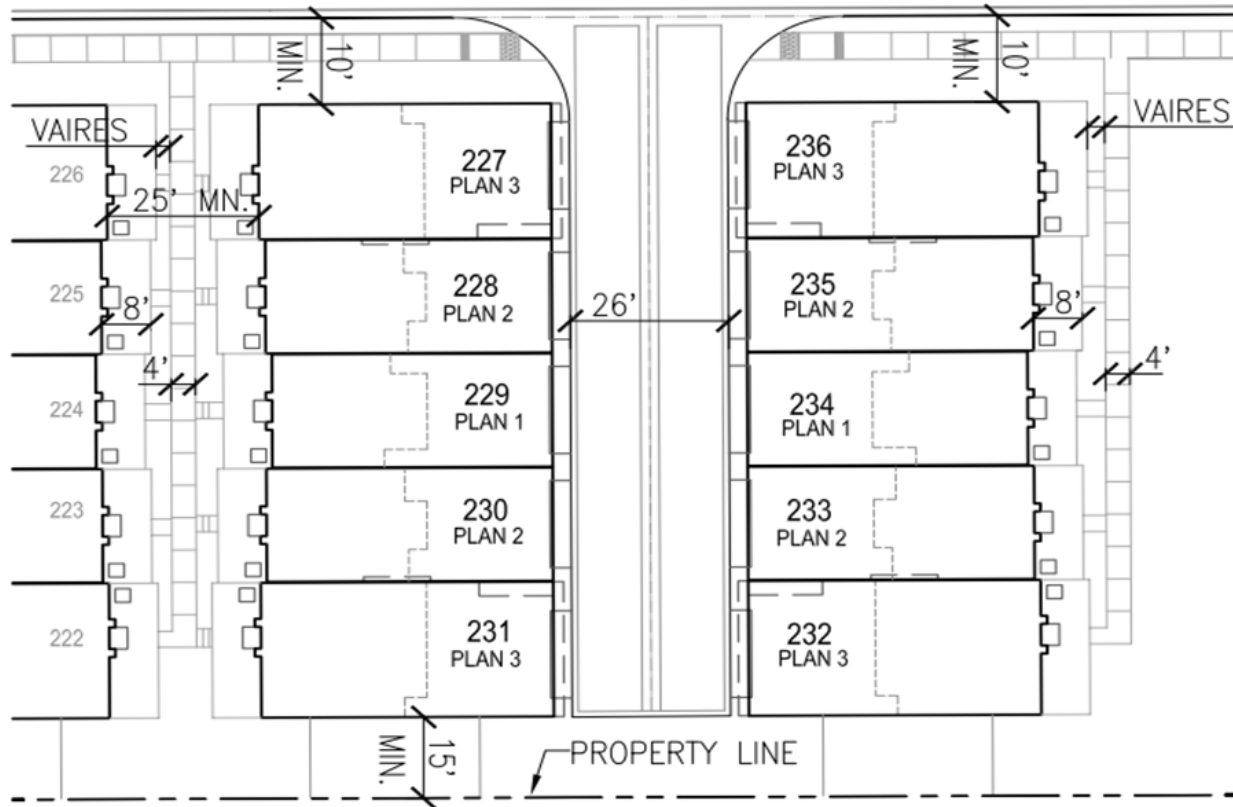
MOTOR COURT

<u>Plan</u>	<u>Type</u>	<u>SF</u>	<u>Number on Site</u>
1	3Br/ 2.5 Ba	1,688	= 32
2	4 Br/ 2.5 Ba	1,893	= 49
3	4 Br/ 3 Ba	1,960	= 32
		TOTAL	= 113

GRAND TOTAL = 393

DEVELOPMENT STANDARDS

LOT TYPICALS – TOWNHOUSE COURT – PLOTTING SETBACKS



TYPICAL TOWNHOUSE COURT

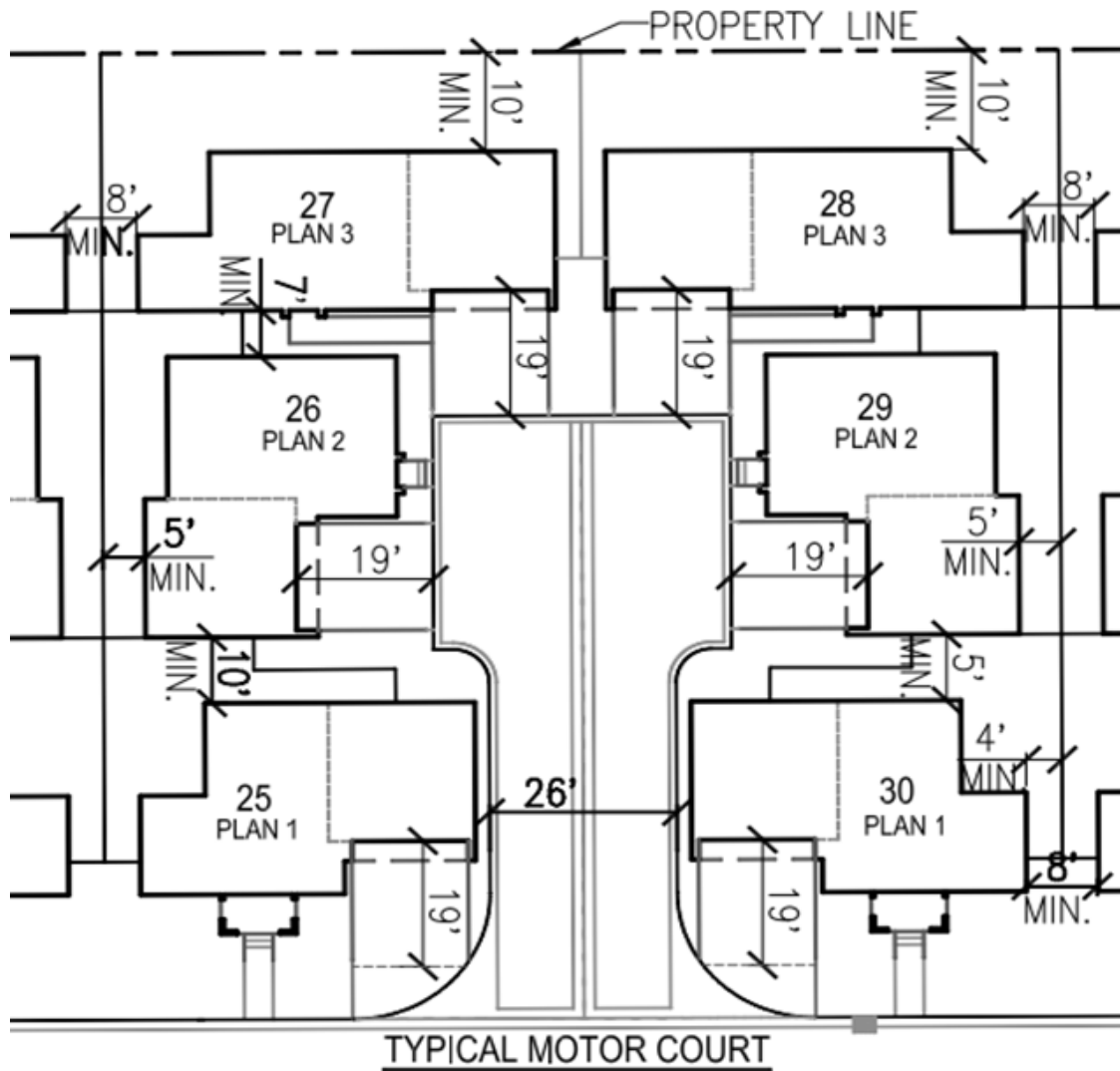
Building (Living Area) Setback	Building to Public R/W South Highland Avenue		20' Minimum
	Building to Public R/W Knox Avenue		7.5' Minimum
	Building to East & West Property Line		15' Minimum
Building (Living Area) Side Setback	From Property Line	To Building	10' Minimum
	From Parkway curb (Private)	To Building	10' Minimum
Building to Building Setback	Front to Front (living area)	To Front (living area)	25' Minimum
	Front to Front (porch area)	To Front (porch area)	9' Minimum

Notes:

1. Pop-Outs allowed to encroach 2'
2. All setbacks will be measured from main structure not overhang or open patios
3. All garages will have a roll-up doors

DEVELOPMENT STANDARDS

LOT TYPICALS – MOTOR COURT – PLOTTING SETBACKS



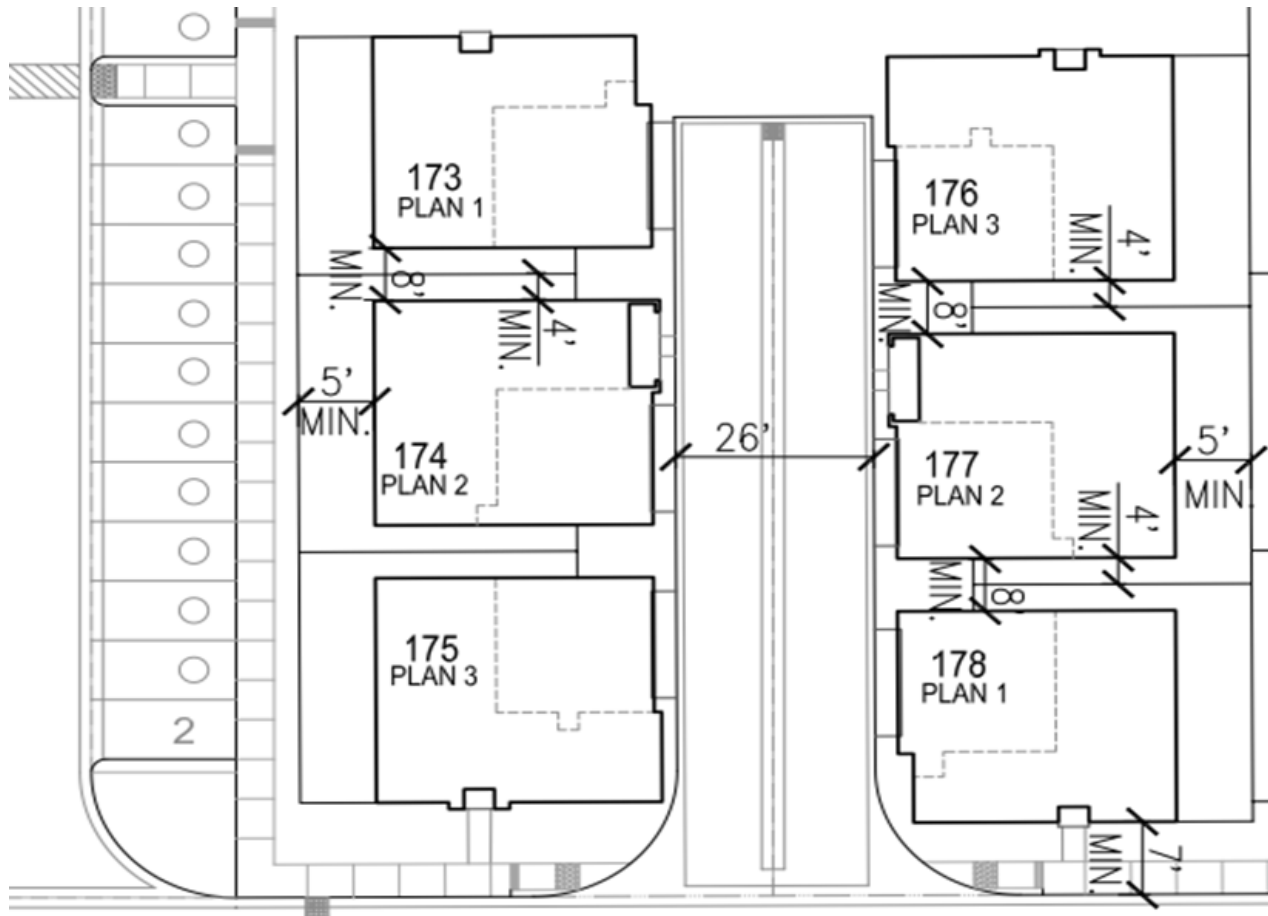
Rear Setback	From center of Wall	To Building	5' Minimum
Side Setback	From center of Wall	To Building	4' Minimum
Rear Setback	From PL Wall	To Building	10' Minimum
	From Walnut Avenue R/W	To Building	20' Minimum
Side Setback	From Walnut Avenue R/W	To Building	15' Minimum
Garage Door Setback	From edge of Fireline	To Garage Door	19' Minimum
Garage Side Setback	From curb face	To Building	2' Minimum

Notes:

1. Pop-Outs allowed to encroach 2'
2. All setbacks will be measured from main structure not overhang or open patios
3. All garages will have a roll-up doors
4. Majority of Rear Setbacks to PL Wall are 15' Minimum

DEVELOPMENT STANDARDS

LOT TYPICALS – DETACHED CLUSTER – PLOTTING SETBACKS



TYPICAL DETACHED CLUSTER

Front Garage Door Setback	From edge of Pavement (Fireline)	To Garage Door	3' Minimum
Front Porch Setback	From edge of Pavement (Fireline)	To Porch	2' Minimum
Rear Setback	From center of Wall	To Building	5' Minimum
Side Setback	From center of Wall	To Building	4' Minimum
Corner Building Setback	From front curb face	To Building	7' Minimum
Building Setback	From Building to Public R/W Walnut Avenue	To Building	10' Minimum

Notes:

1. Pop-Outs allowed to encroach 2'
2. All setbacks will be measured from main structure not overhang or open patios
3. All garages will have a roll-up doors

PATIOS

Patios are allowed for the detached cluster and motor court units. However setbacks will need to be followed to ensure a cohesive neighborhood. Setback standards for the patios will be a minimum of 5ft from the rear and side property line of the detached cluster and motor court units.

Patios will not be allowed on the townhome units or in the front private courtyards. No additional structures will be allowed in these locations.

OPEN SPACE

Open space is seen as a combination of public and private throughout the community. Public open space is seen in the recreational center with a pool and spa, turf areas, tot lots, and walking paths located throughout the community. Private open space is seen as the front yard, side yards and rear yards maximized to give the most available space to the residents.

PUBLIC OPEN SPACE

SPACE PROVIDED

REC CENTER AREA	19,000 SF.
PASEO AREA	13,100 SF.
PARK #1	6,100 SF.
PARK #2	3,300 SF.
PARK #3	13,700 SF.
PARK #4	10,200 SF.

TOTAL = 65,400 SF. MINIMUM

PRIVATE OPEN SPACE

SPACE PROVIDED

TOWN HOUSES	177 UNITS X 160 SF.= 28,320 SF. MINIMUM
MOTOR COURTS	113 UNITS X 325 SF.= 36,725 SF. MINIMUM
DETACHED CLUSTERS	103 UNITS X 350 SF.= 36,050 SF. MINIMUM

TOTAL = 101,095 SF. MINIMUM

PARKING

Parking is proposed as a combination of street parking located at the north and south ends of the project and full driveways for the motor court units.

DETACHED CLUSTER PARKING REQUIREMENT – 103 TOTAL UNITS

RESIDENCE PARKING

REQUIRED

2 PER UNIT = 206

PROVIDED GARAGE

2 PER UNIT = 206

GUEST PARKING

REQUIRED

1/2 PER UNIT = 52

PROVIDED

TOTAL = 53

MOTOR COURT PARKING REQUIREMENT – 113 TOTAL UNITS

RESIDENCE PARKING

REQUIRED

2 PER UNIT = 226

PROVIDED GARAGE

2 PER UNIT = 226

GUEST PARKING

REQUIRED

1/2 PER UNIT = 57

PROVIDED

TOTAL = 113 IN OPEN DRIVEWAY

TOWNHOUSE PARKING REQUIREMENT – 177 TOTAL UNITS

RESIDENCE PARKING

REQUIRED

2 PER UNIT = 354

PROVIDED GARAGE

2 PER UNIT = 354

GUEST PARKING

REQUIRED

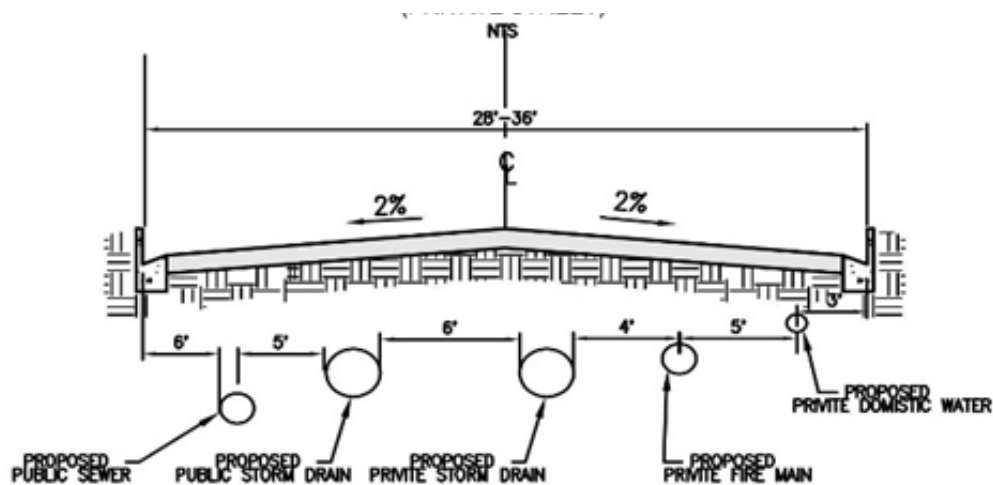
1/3 PER 3 UNITS = 59

PROVIDED

TOTAL = 60

CIRCULATION

Project access will be taken from Walnut St to the south and Knox Ave to the north through a community gate located on either side of the community. The gates leads into back bone private streets allowing for access into the alley ways or courtyards of each residence.



NOTE: WHEN PUBLIC UTILITIES ARE PRESENT
THE ROAD BED NEEDS TO BE 36" CURB FACE TO CURB FACE.

LOOP ROAD
(PRIVATE STREET)
N.T.S.

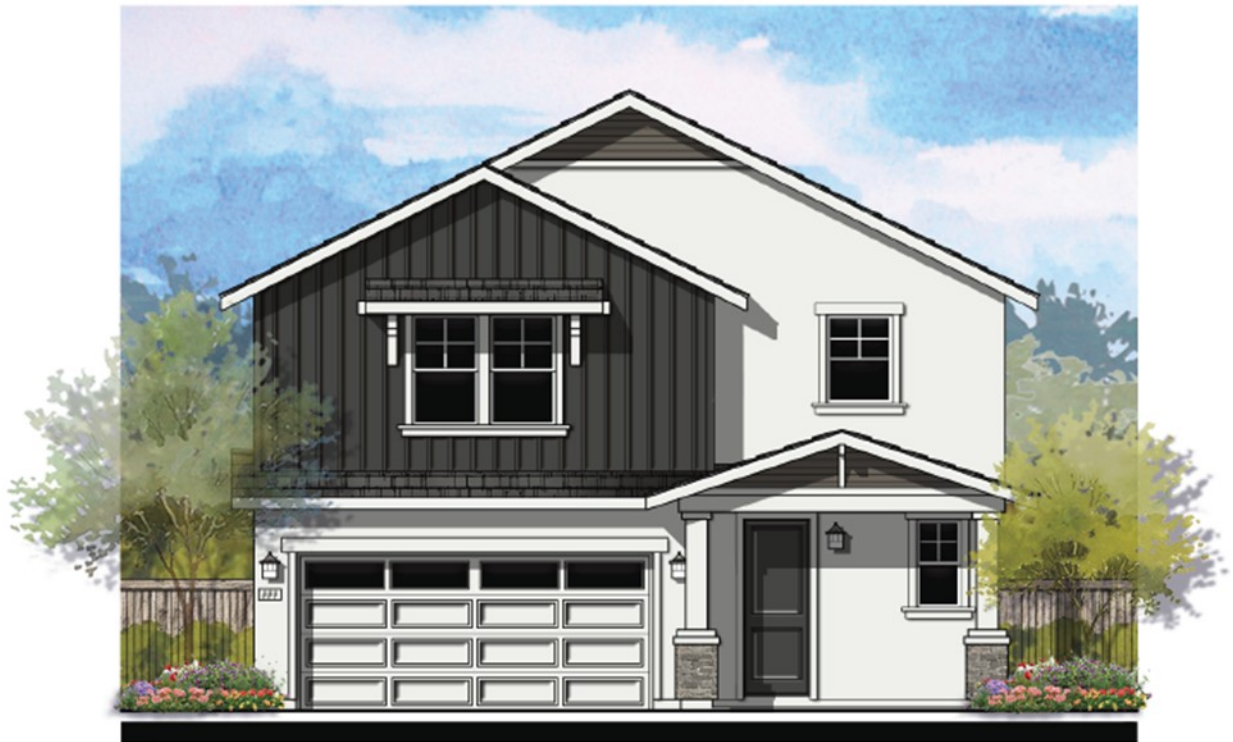
ARCHITECTURE

The community of Fontana Walnut offers a variety of architecture and elevation styles. The home types include Townhomes, Cluster Homes, and Motor court Homes and the amenity includes a Recreational Building. The elevation styles will be Spanish, Cottage, and Farmhouse.

The Townhome buildings are located at the northerly edge of the site. Pedestrian access is either along the street or paseos. The buildings range from 5 plex's to 7 plex's. There are planned to be 177 Townhomes. Each home is 2 stories and has a 2-car garage which is accessed from the alley. The plan square footages of the townhomes range from 1,393 to 1,855 SF and 2 to 4 bedrooms. Each Townhome Building is articulated in a Spanish Style and there are 2 color schemes used throughout the community.



The Cluster Homes are primarily located in the center of the site and orient to either the street or the common paseo. There are planned to be 103 Cluster Homes. The typical cluster module is composed of 8 single family detached homes which are 2 stories. Each home has a 2-car garage which is accessed from the alley. The floor plan square footages range from 1,690 to 1,936 SF and 3 to 4 bedrooms. The cluster homes are articulated in a Spanish, Cottage, and Farmhouse Styles and there are 3 color schemes for each of those styles.



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C - FARMHOUSE

The Motor Court Homes wrap the east, south, and west edges of the site. The typical motor court module is composed of 8 single family detached homes. There are planned to be 113 Motor Court Homes. Each of the homes is 2 stories and has a 2-car garage which is accessed from the alley. The floor plan square footages range from 1,688 to 1,960 SF and 3 to 4 bedrooms. The Motor Court Homes are articulated in a Spanish, Cottage, and Farmhouse Styles which includes 3 color schemes for each of those styles.



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Refer to landscape drawings for wall, tree, and shrub locations

B - COTTAGE

The Recreational Building is located at the heart of the site adjacent to the pool area. Programmatic elements include an entry breezeway, kitchen, gathering space, men's and women's restrooms and a storage area. The Recreation building is articulated in a timeless Spanish style.



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Refer to landscape drawings for wall, tree, and shrub locations



REAR

LANDSCAPE

The proposed development is designed to foster an inviting and engaging outdoor environment, seamlessly integrating recreation, leisure, and community gathering spaces. At the heart of the community, a thoughtfully designed recreation building serves as a central hub, featuring a resort-style pool, spa, private cabanas, firepits, and outdoor dining areas equipped with BBQ grills and lounge seating, creating an ideal setting for relaxation and social interaction.

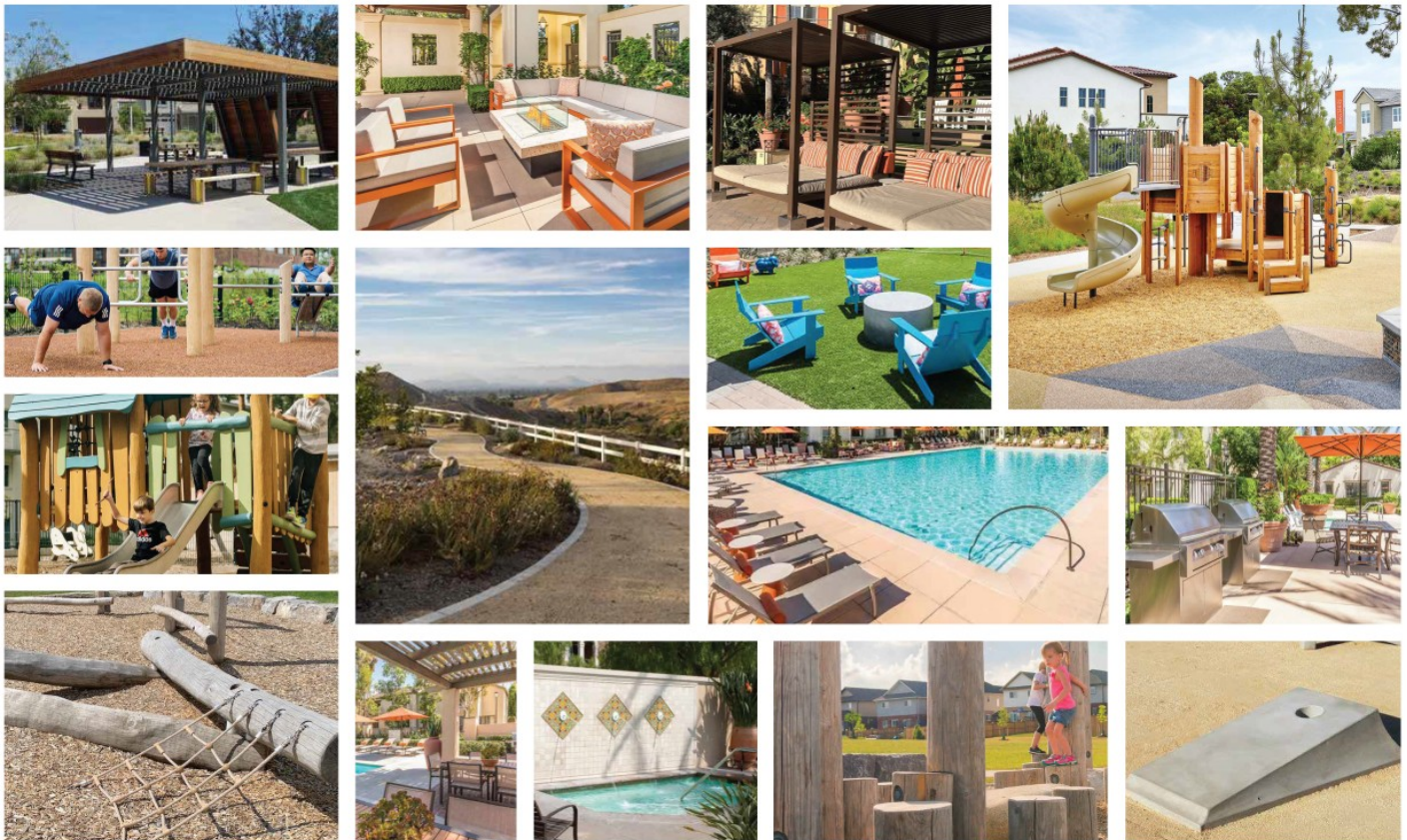
Beyond the recreation center, a diverse range of open space areas enhances the community's outdoor experience. These include tot lots and picnic areas tailored for families, casual seating and dining spaces, and a network of trails with integrated exercise equipment to encourage outdoor fitness. Open lawn areas provide versatile spaces for pets, recreational activities, and friendly gatherings, accommodating games such as cornhole, bocce ball, and informal soccer or football matches.

The landscape design and site furnishings reflect a modern Spanish aesthetic, harmonizing with the architectural character of the development. Carefully selected plant species and high-quality materials contribute to a cohesive and timeless design, reinforcing a strong sense of place and community identity. Through this comprehensive approach, the development offers a dynamic and welcoming outdoor experience, promoting active lifestyles and social engagement for residents and visitors alike.



AMENITIES

This will be a Planned Unit Development with numerous amenities spread throughout the community that will be open to all the residents. The community entrance on the north will open up to the recreational building that has spaces for community gatherings, celebration, BBQs, swimming and lounging. Adjacent to this are large open green spaces that allow for flexible use for cornhole, bocce ball and more. Furthermore there are two tot lots located within the community and seating and BBQs adjacent. On the southern end of the community is a larger green open space with minimum dimensions of 50' by 100'. Through the back bone of the community is a green paseo with decomposed granite trail with scattered exercise equipment to connect the two main amenities. Community is designed to be walkable with these amenities as well as the extensive sidewalks that run through it.



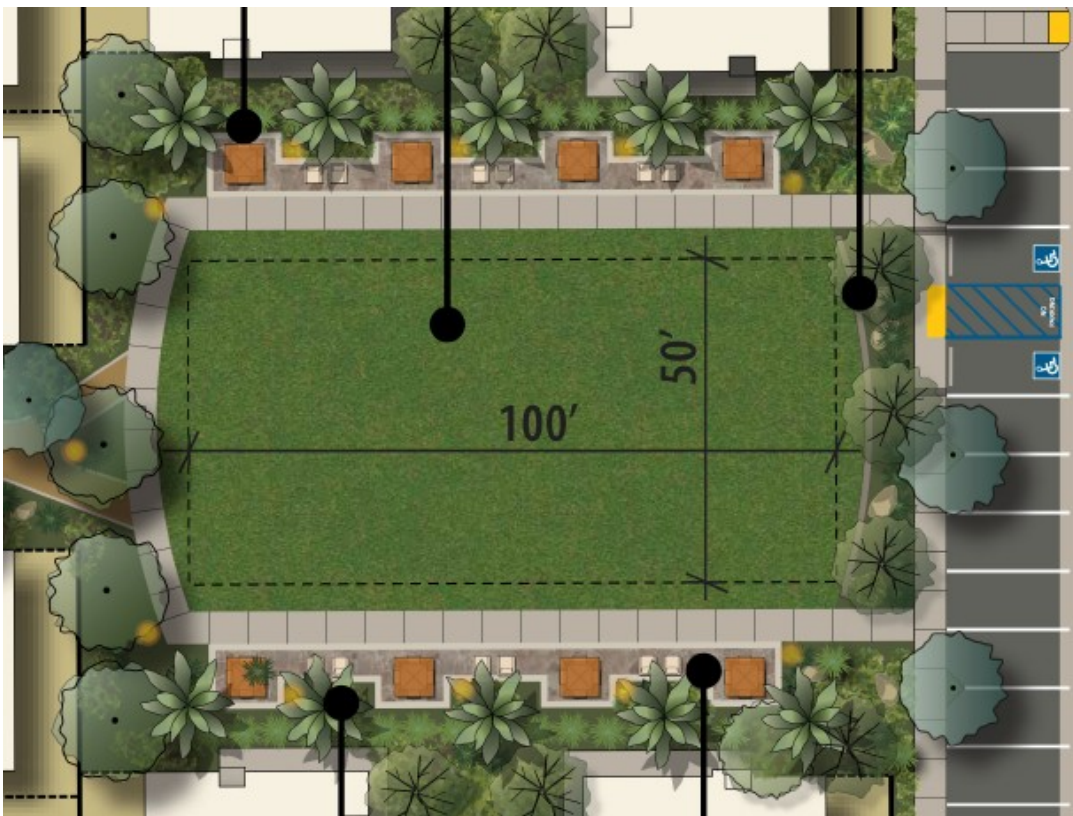
Sample illustrations of the amenities

AMENITIES

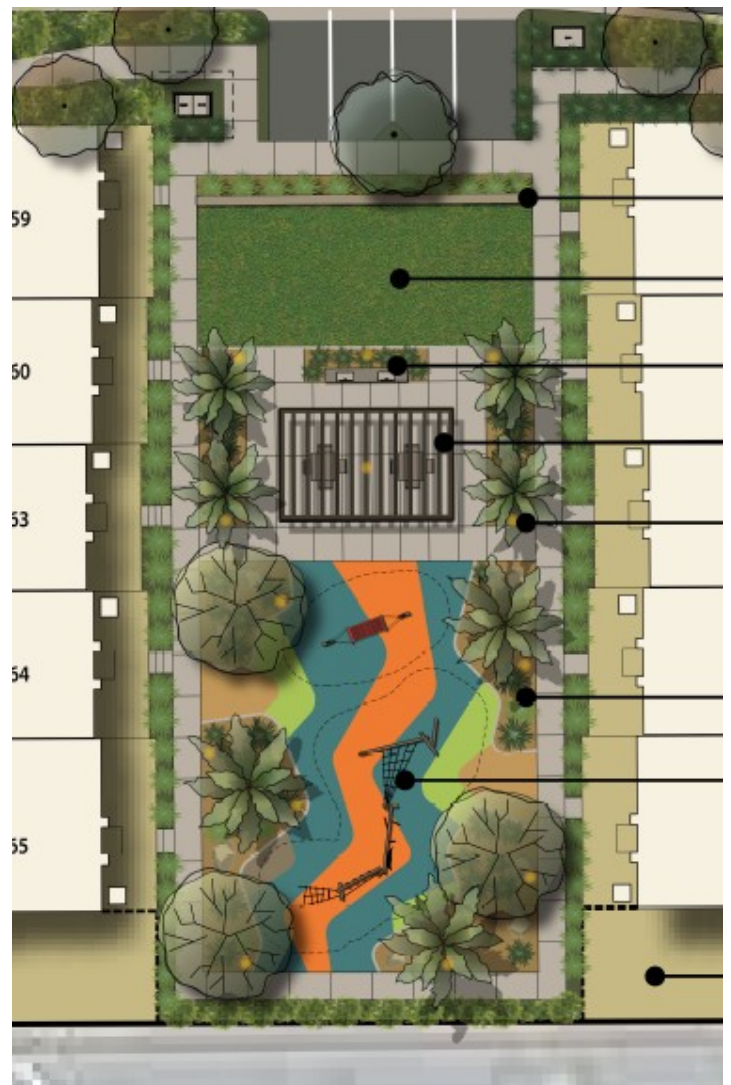
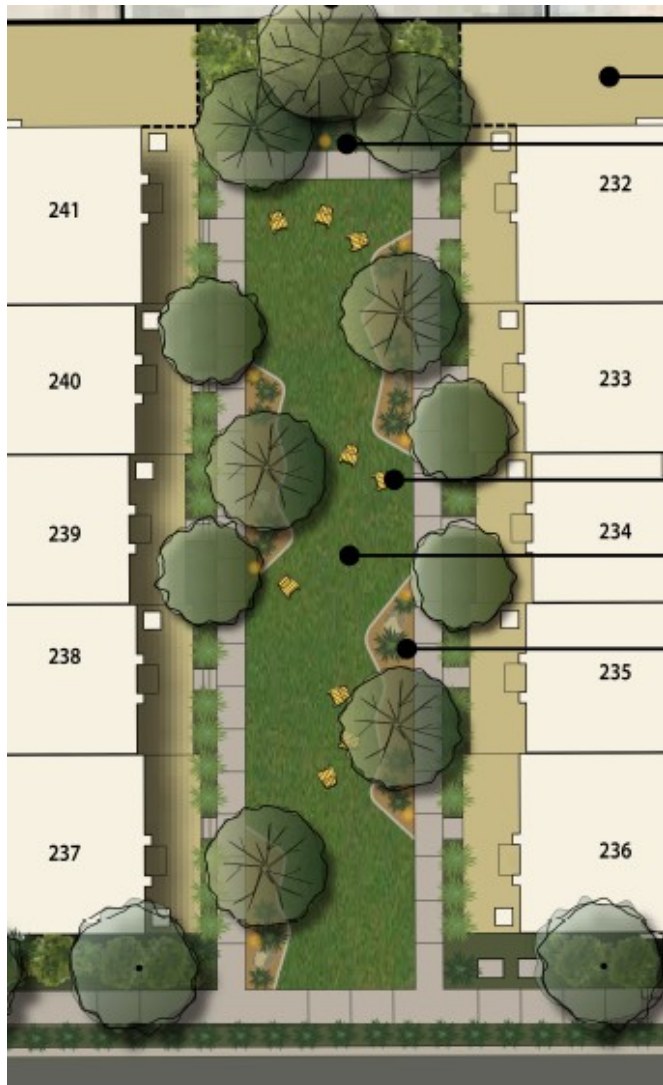


Above: Recreational building with fire pit, lounge seating, pool and spa.

Below: Large Open green space for multiple activities and sports.



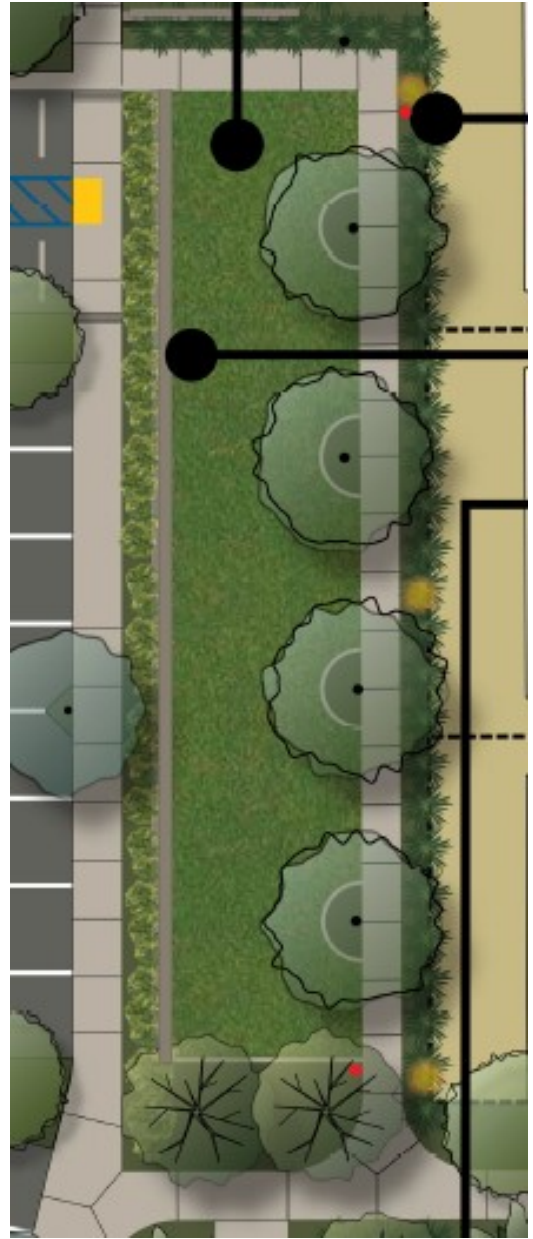
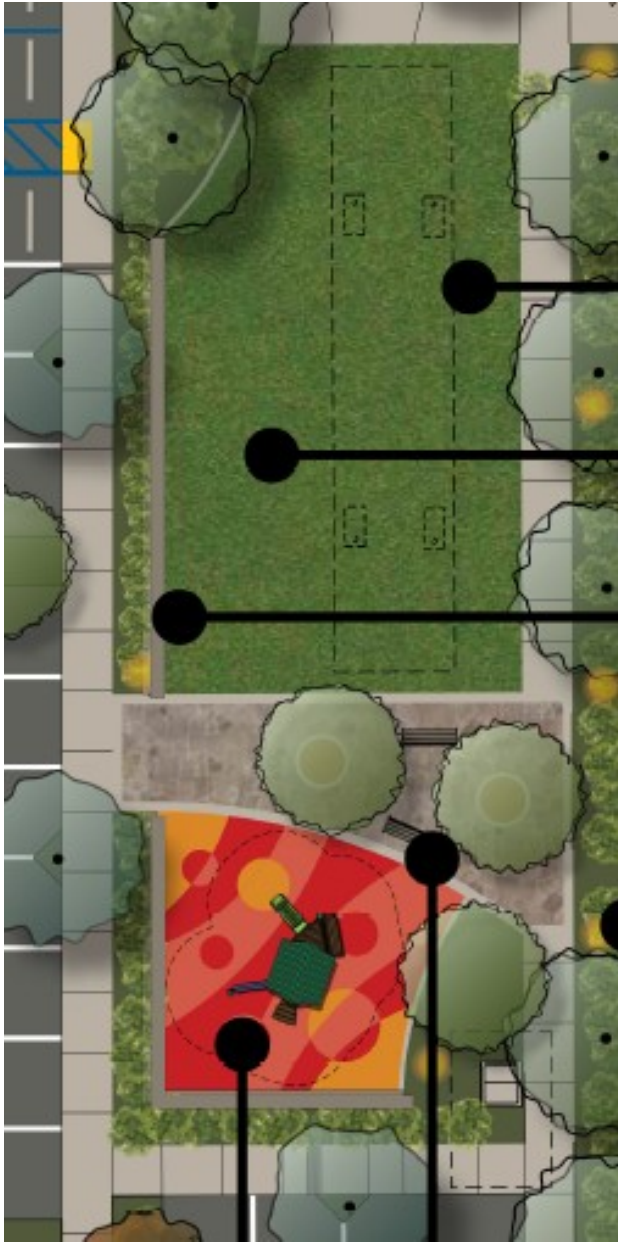
AMENITIES



Left: Passive Park with lawn seating and open space.

Right: Tot lot with a covered picnic area, BBQ's and grass.

AMENITIES



Left: Tot lot with seating and a large open green space for games like corn hole or Bocce Ball.

Right: Open green space with dog waste station and a low wall.

CONCEPTUAL MONUMENTATION



Walnut Avenue



South Highland Avenue

WALL AND FENCE PLAN

Project will have 6' high block CMU walls on the perimeter and incorporate vinyl fencing in the interior to separate units.



MAINTENANCE PLAN

