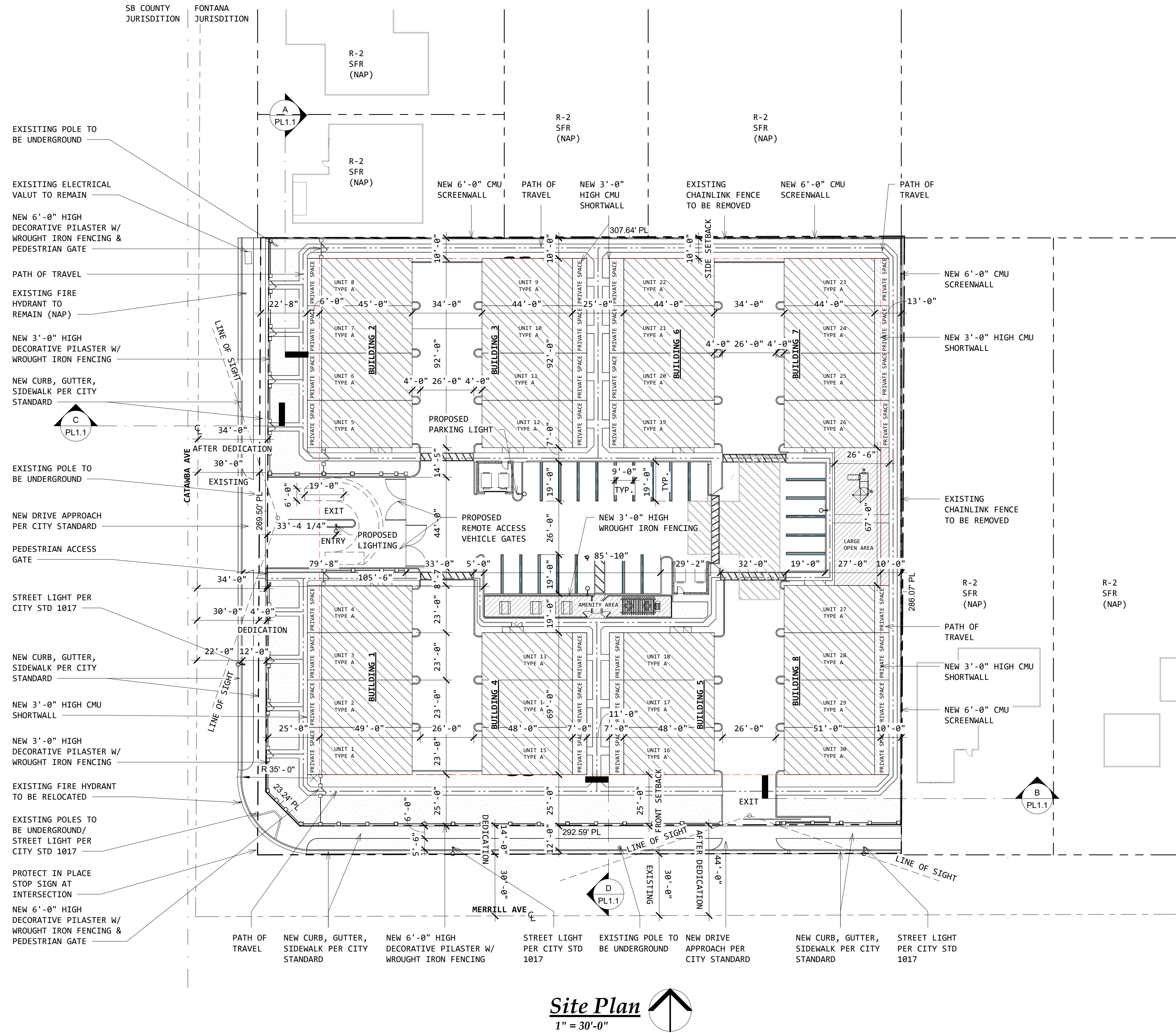


Proposed 30 Apartment Townhomes For:
SA Golden Investments Inc.
15918 Merrill Ave, Fontana, CA 92335



Site Plan
1" = 30'-0"

Sequence of Drawings - DR	
Number	Description
PL1	Cover Sheet
PL1.1	Site Facilities
PL2	Floor plan - Unit A - Typ.
PL3	Floor plan - Fourplex - Typ.
PL4	Floor plan - Triplex - Typ.
PL5	Elevations - Fourplex - Typ.
PL6	Elevations - Triplex - Typ.

AREA SCHEDULE TYPE A	
FIRST FLOOR AREA	518 SQ. FT.
SECOND FLOOR AREA	830 SQ. FT.
TOTAL CONDITIONED AREA	1,348 SQ. FT.
2-CAR GARAGE BALCONY	481 SQ. FT.
TOTAL NON-CONDITIONED AREA	584 SQ. FT.

BUILDING FOOTPRINT	
BUILDING 1-3 & 6-8:	4 UNITS EACH 3,996 SQ. FT. EACH
BUILDING 4 & 5:	3 UNITS EACH 2,997 SQ. FT. EACH

Project Info

APPLICANT:	SA GOLDEN INVESTMENTS, INC. SABER AWAD saberawad3346@gmail.com (909) 519-3346
PROJECT ADDRESS:	15918 MERRILL AVE, FONTANA CA 92335
ARCHITECT:	SA ARCHITECTS & ENGINEERS, INC.
CONTACT:	AHMAD AWAD ahmadawad@saae.us (909) 685-5092
APN:	0233-052-13
ZONING:	R-2, MEDIUM DENSITY RESIDENTIAL
OCCUPANCY:	GROUP R-2 / U
CONSTRUCTION:	TYPE V-B
PROJECT DESCRIPTION:	PROPOSED EXERCISE OF THE 'NO NET LOSS' PROGRAM TO HAVE 30 APARTMENT TOWNHOMES WITH COMMON AMENITIES OF TRELIS WITH SEATING AND BBQ AND TOT LOT
LOT SIZE:	93,654 SQ FT (2.15 ACRES)
MAXIMUM DENSITY:	12 UNITS/ACRE (2.15 ACRES X 12 UNITS)
NO NET LOSS PROGRAM:	31 UNITS MAXIMUM (28.8 UNITS x 120% = 30.96 UNITS) (20% ALLOWANCE INCREASE)
MAXIMUM HEIGHT:	55 FEET
PROPOSED BUILDING HEIGHT:	27 FEET
PROPOSED UNIT COUNT:	30 UNITS
LOT COVERAGE:	30,360 SQ. FT. (BUILDING FOOTPRINT) (32.4% < 50% MAX)
NET LOT SIZE:	63,294 SQ. FT (100%)
REQUIRED PRIVATE OPEN SPACES	
GROUND FLOOR PRIVATE OPEN SPACE PER UNIT:	150 SQ. FT. PER UNIT
UPPER FLOOR PRIVATE OPEN SPACE PER UNIT:	100 SQ. FT. PER UNIT
TOTAL REQUIRED PRIVATE OPEN SPACES:	7,500 SQ. FT. (250 SQ. FT. PER UNIT)
PROVIDED PRIVATE OPEN SPACES	
GROUND FLOOR PRIVATE OPEN SPACE PER UNIT:	174 SQ. FT. PER UNIT (PORCHES)
UPPER FLOOR PRIVATE OPEN SPACE PER UNIT:	103 SQ. FT. PER UNIT (BALCONIES)
TOTAL PROVIDED PRIVATE OPEN SPACES:	8,310 SQ. FT. (277 SQ. FT. PER UNIT)
REQUIRED COMMON OPEN SPACE:	22,152 SQ. FT. (35% MIN.)
PROVIDED COMMON OPEN SPACE:	22,751 SQ. FT. (36%)
REQUIRED PRIVATE STORAGE SPACE PER UNIT:	125 CU. FT. (MIN.)
PROVIDED PRIVATE STORAGE SPACE PER UNIT:	240 CU. FT. (3' X 20' X 2' [x2])
HARDSCAPE AREA:	35,713 SQ. FT. (56.5%)
TOTAL LANDSCAPE AREA:	27,581 SQ. FT. (43.5%)
[40% MINIMUM LANDSCAPE AREA INCLUDES PRIVATE & COMMON] (% AND SQ. FT. FOR ENTIRE SITE)	
PARKING SUMMARY:	
REQUIRED GARAGE SPACES:	60 GARAGE SPACES (30 UNITS X 2 SPACES)
PROVIDED GARAGE SPACES:	60 GARAGE SPACES
REQUIRED OPEN SPACES:	15 OPEN SPACE PARKING (0.5 SPACES X 30 UNITS)
PROVIDED OPEN SPACES:	15 OPEN SPACE PARKING
TOTAL REQUIRED TENANT PARKING:	75 REQUIRED TENANT PARKING (GARAGE SPACES + OPEN SPACES)
TOTAL PROVIDED TENANT SPACES:	75 PROVIDED TENANT PARKING
REQUIRED GUEST PARKING:	10 GUEST SPACES 1 SPACE / 3 UNITS 30 UNITS / 3 UNITS
PROVIDED GUEST PARKING:	10 GUEST SPACES
TOTAL REQUIRED PARKING:	85 TOTAL REQUIRED PARKING (FOR ENTIRE PROJECT)
TOTAL PROVIDED PARKING:	85 TOTAL PROVIDED PARKING (INCLUDES 2 ADA PARKING PER CBC)
AMENITIES PROVIDED:	LARGE OPEN SPACES, 1 TOT LOT AND 1 TRELIS WITH CONCRETE SEATING, 2 NATURAL GAS BARBEQUES TOTAL TO BE PLACED NEAR TRELIS
UNIT TYPES:	
TYPE A	1,348 SQ. FT.
NOTE: 1. ALL EXTERIOR LIGHTING SHALL BE ORIENTATED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFRINGE ONTO ADJOINING PROPERTIES. 2. BARBEQUES SHALL BE SUPPLIED BY NATURAL GAS. 3. THIS IS A GATED PROJECT WITH NO CALL BOX	

ARCHITECTS
+ ENGINEERS
SA



Proposed 30 Apartment
Townhomes For:
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15918 Merrill Ave,
Fontana, CA 92335

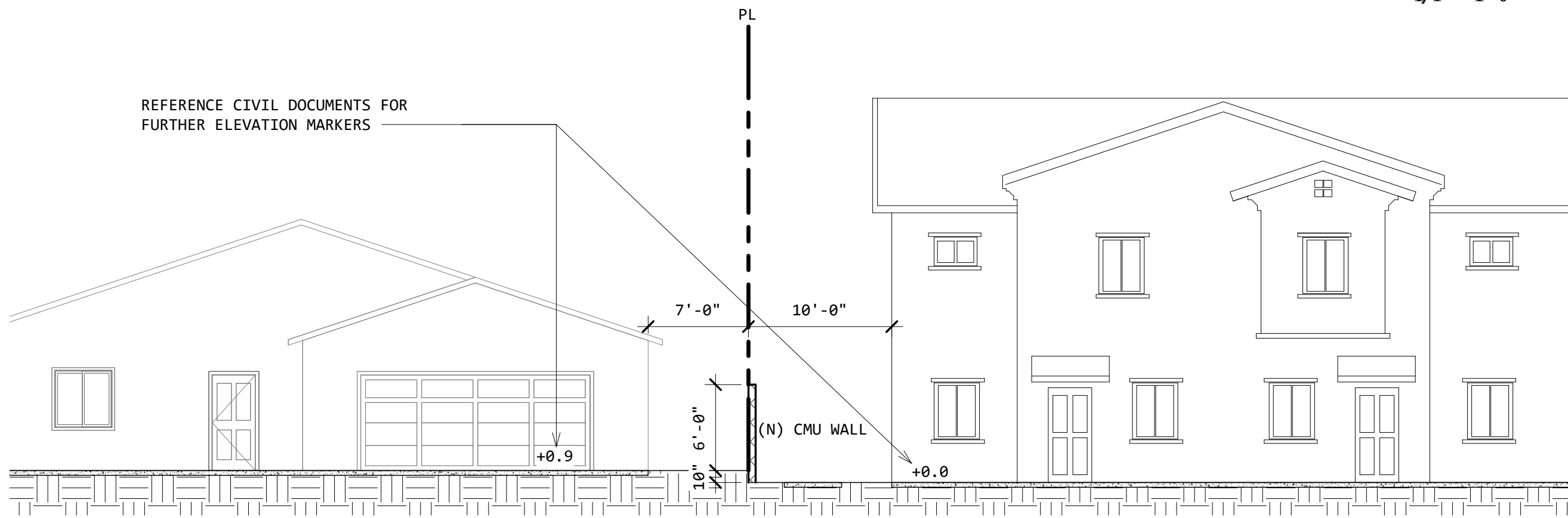
25 July 2025

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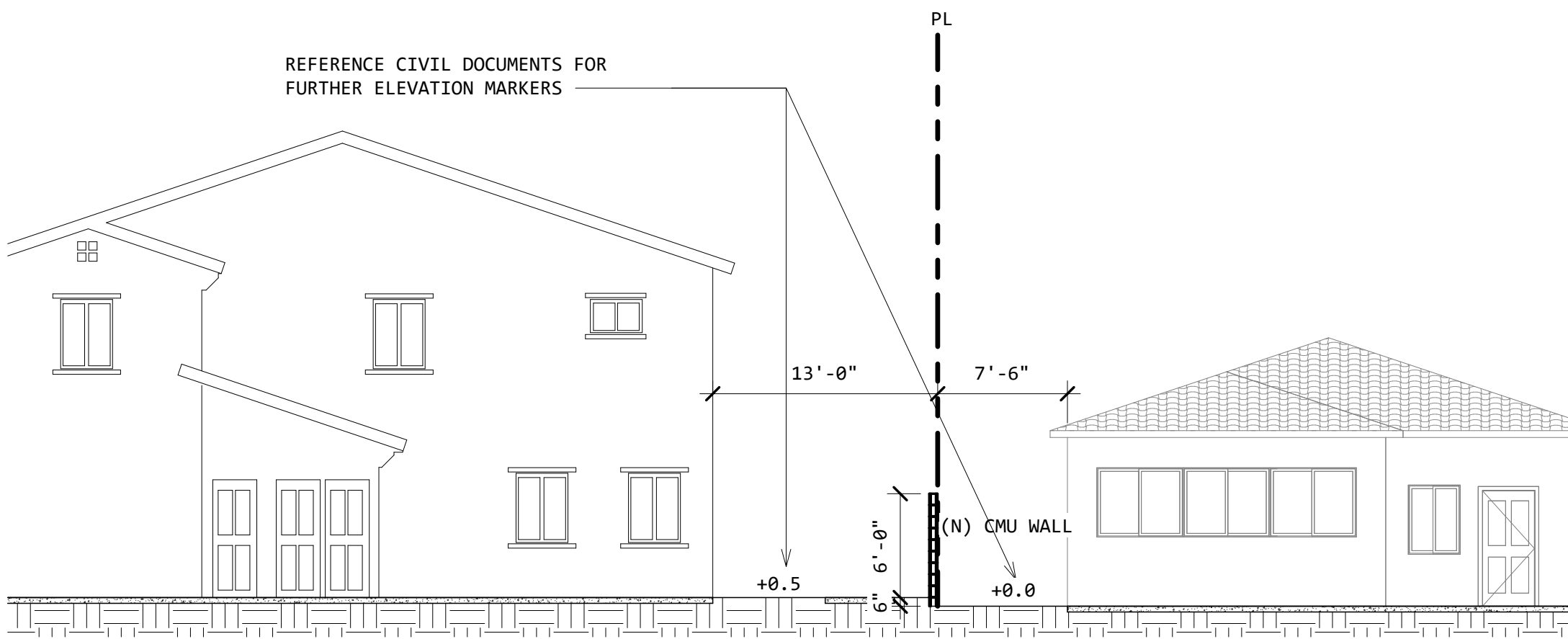
Cover Sheet

PL1

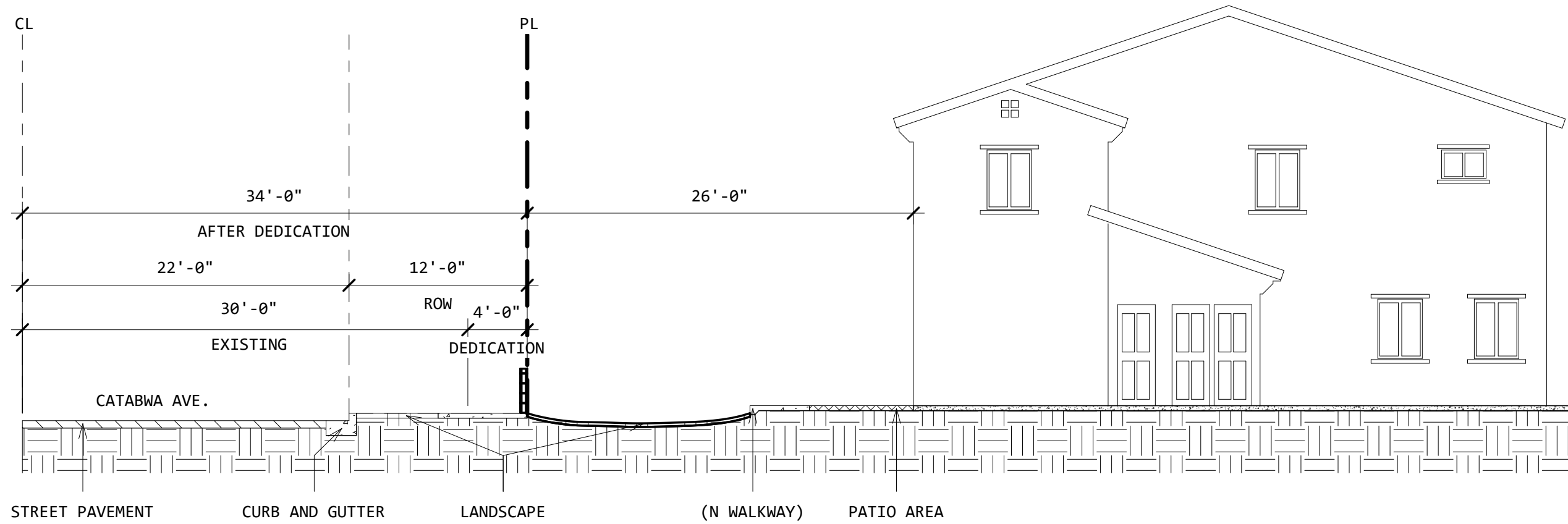
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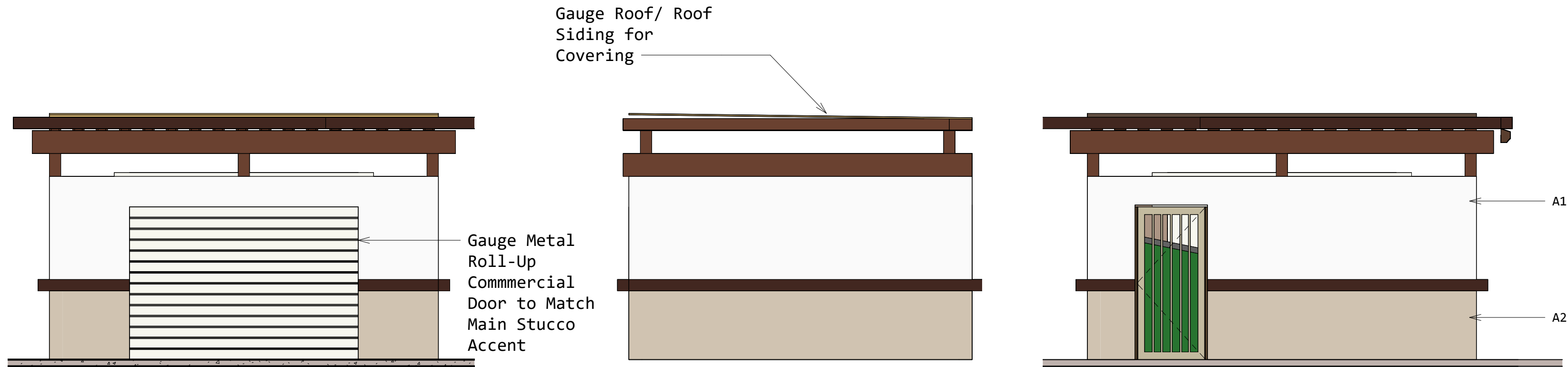
Section A - North
1/8" = 1'-0"



Section B - East
1/8" = 1'-0"



Section C - East
1/8" = 1'-0"



Trash Encl. (Front)
1/4" = 1'-0"

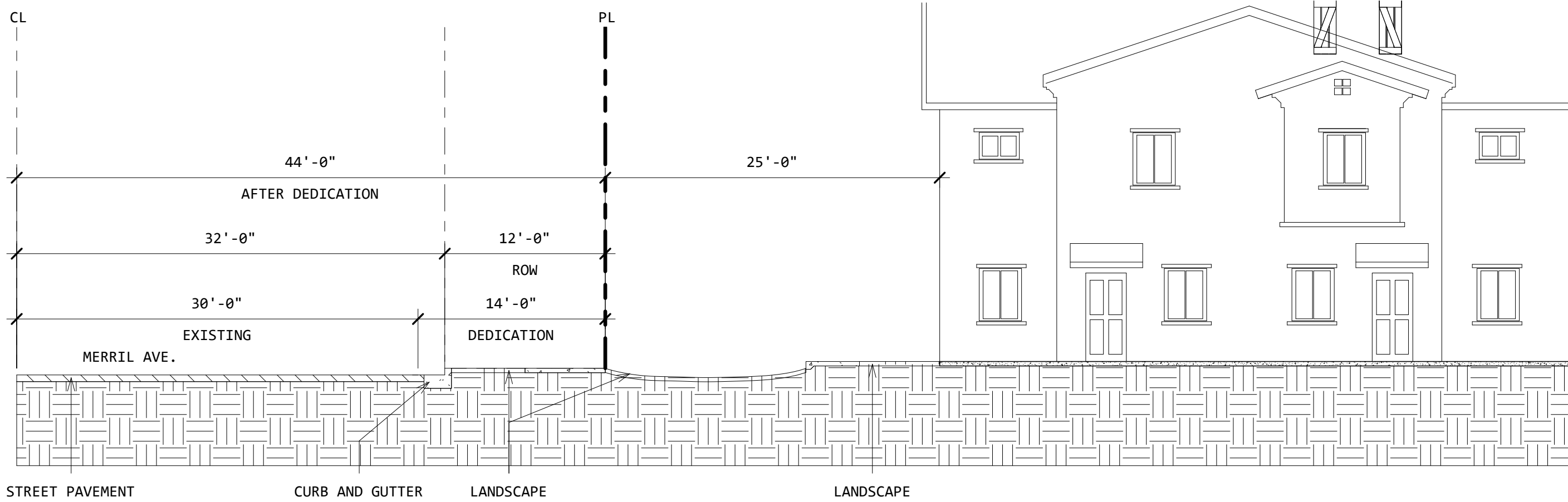
Trash Encl. (Rear)
1/4" = 1'-0"

Trash Encl. (Side)
1/4" = 1'-0"

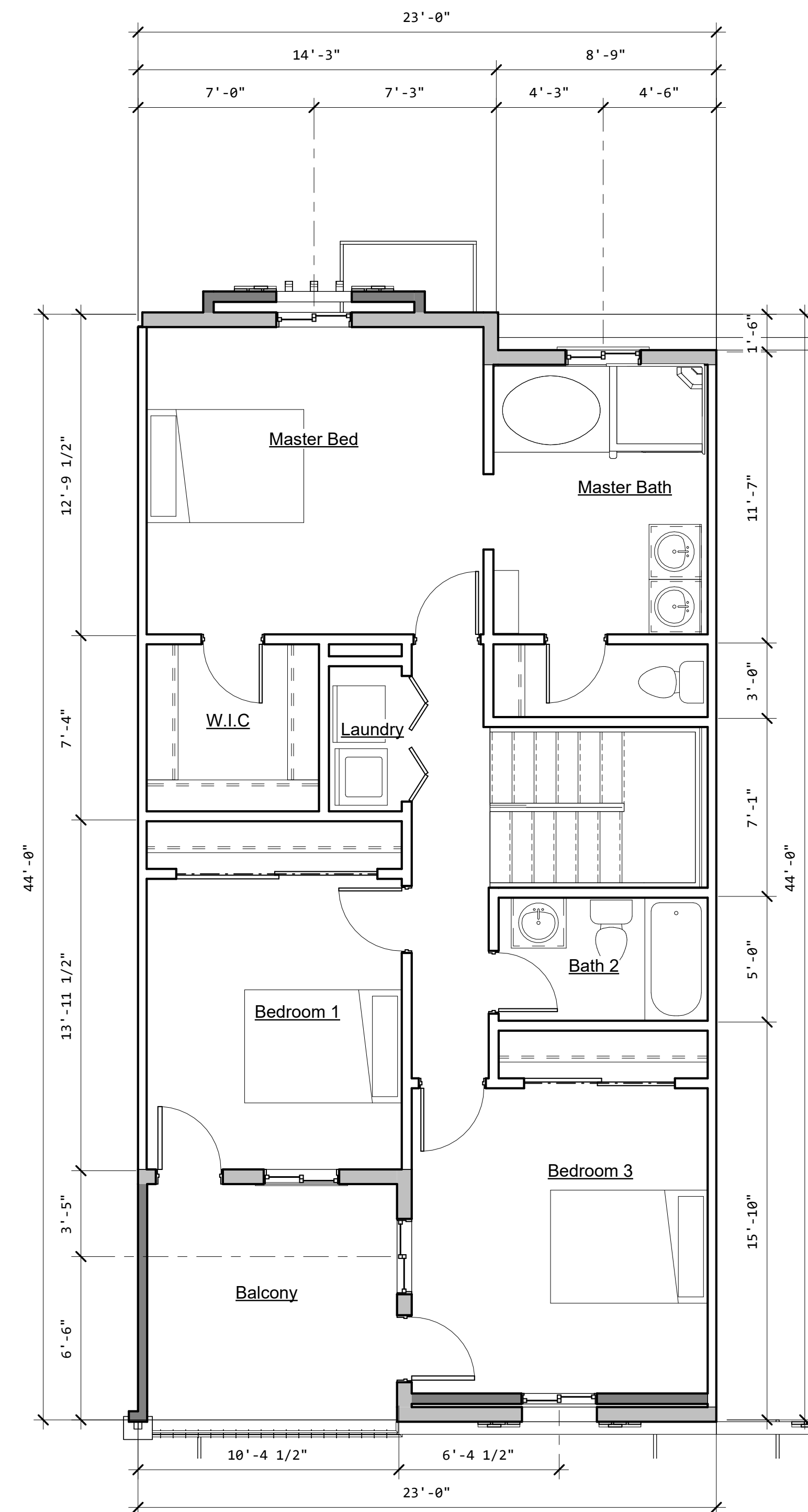
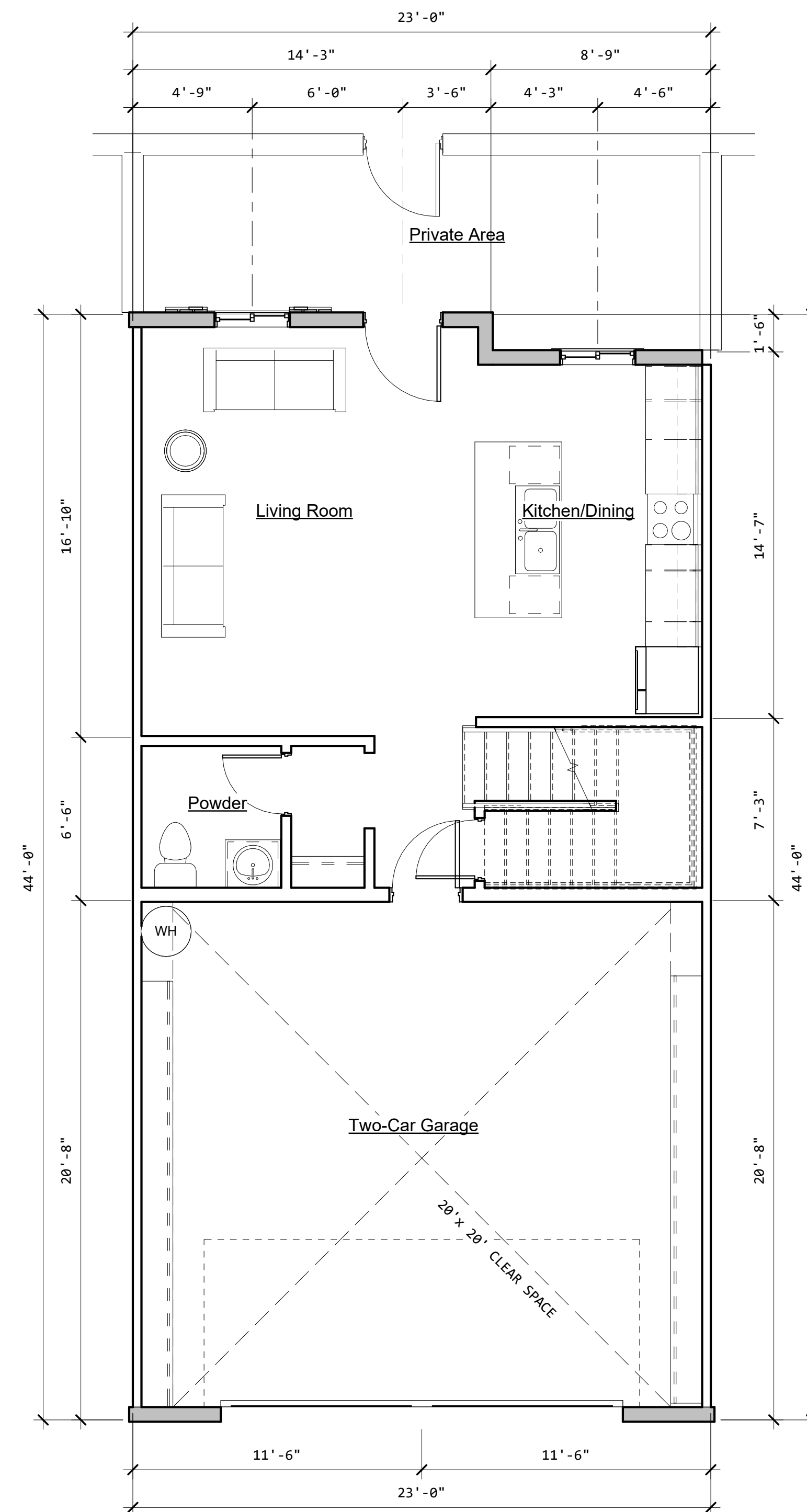
NOTE:
1. THE ENCLOSURE DOOR GATE SHALL BE DESIGNED WITH A METAL LATTICE COVER WITH VIEW OBSCURING SLATS OR OTHER OPAQUE MATERIAL.
2. STRUCUTRE OF TRASH ENCLOSURE SHALL BE CONCRETE MMASONRY BLOCKS WITH STUCCO LAYER TO MATCH COLOR OF BUILDINGS



Street Lights - Reference Plan



Section D - South
1/8" = 1'-0"



1st Floor- Typ Unit A
1/4" = 1'-0"

2nd Floor- Typ Unit A
1/4" = 1'-0"

24-0032



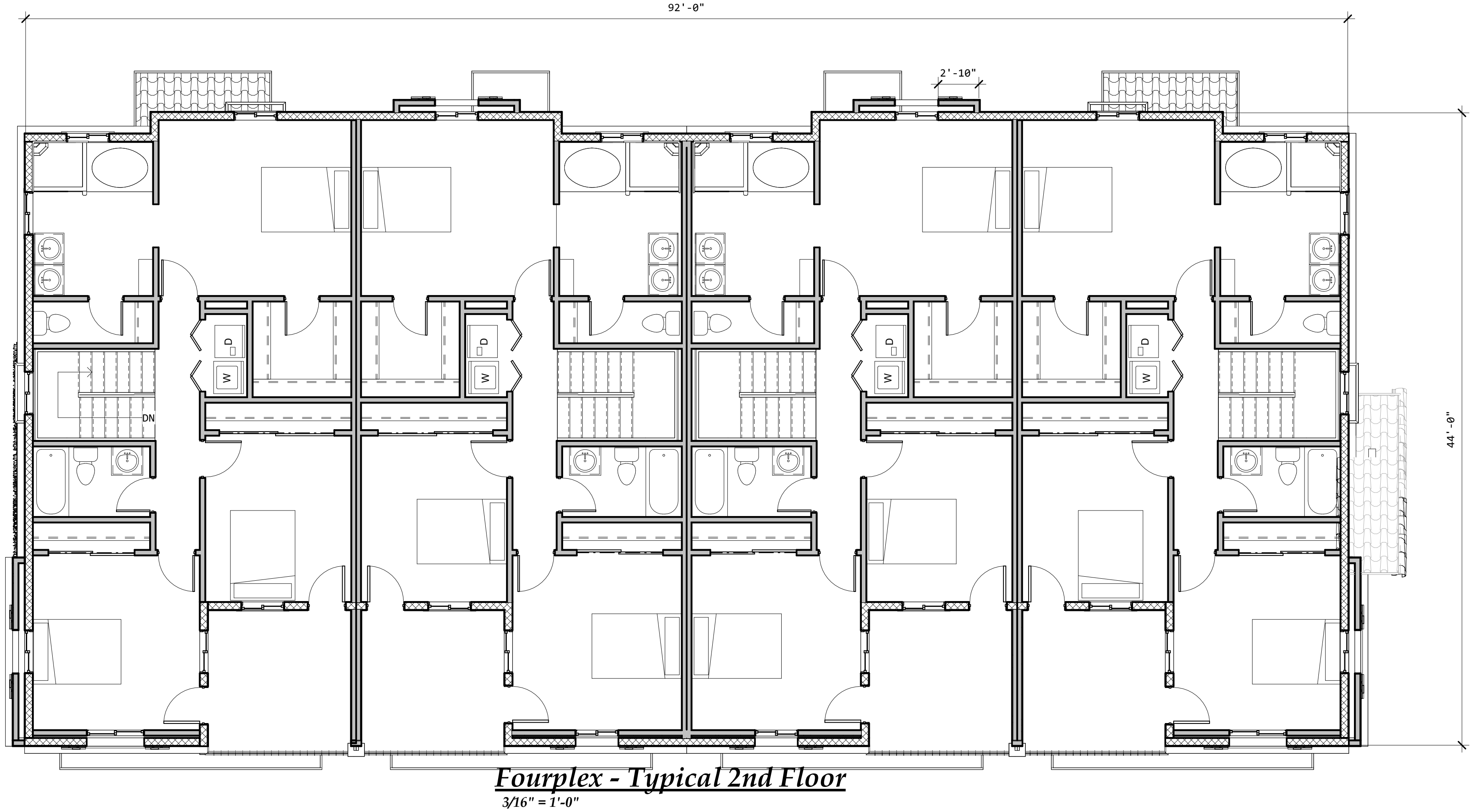
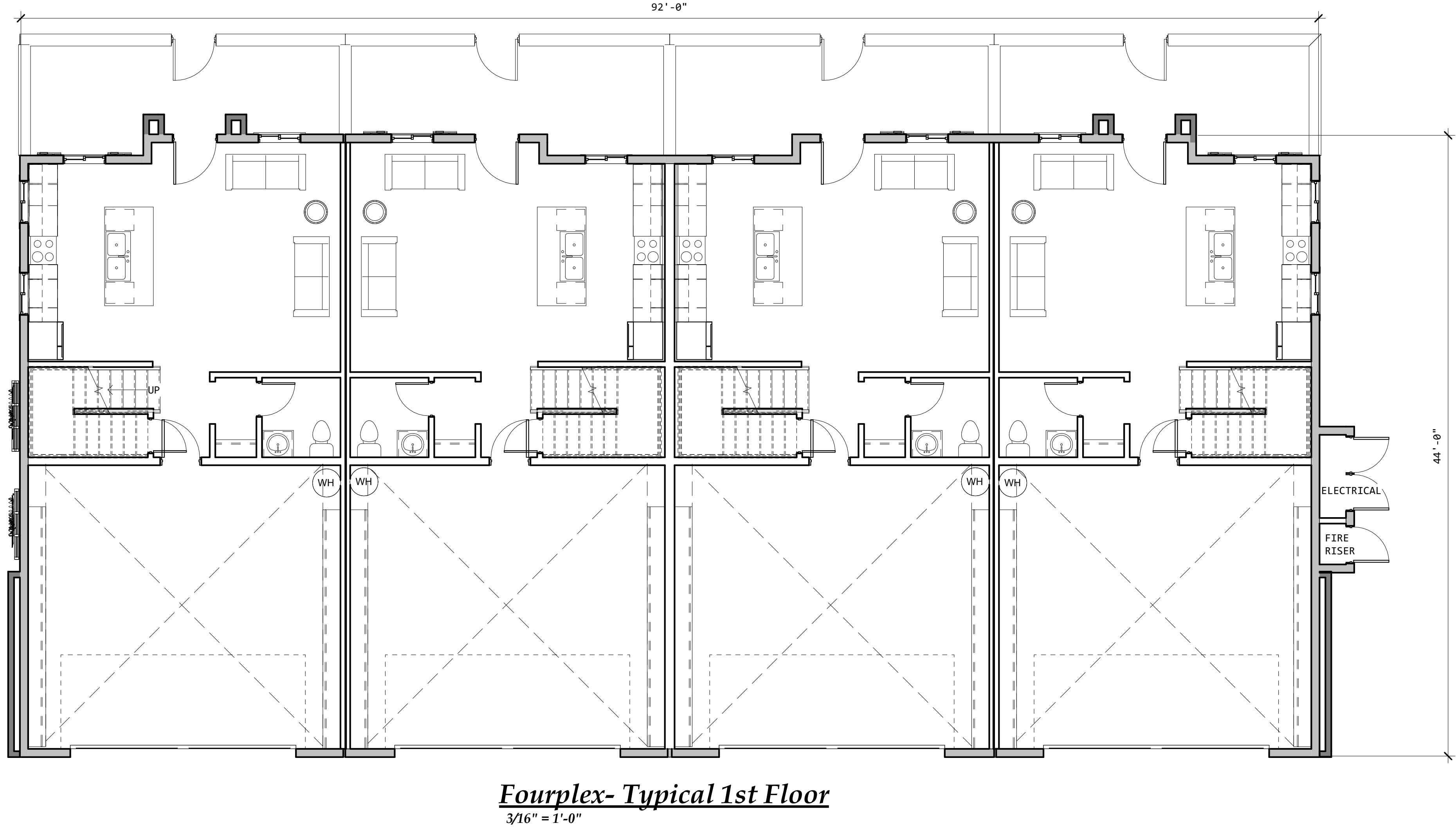
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15918 Merrill Ave,
Fontana, CA 92335

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**Floor plan -
Unit A - Typ.**

PL2



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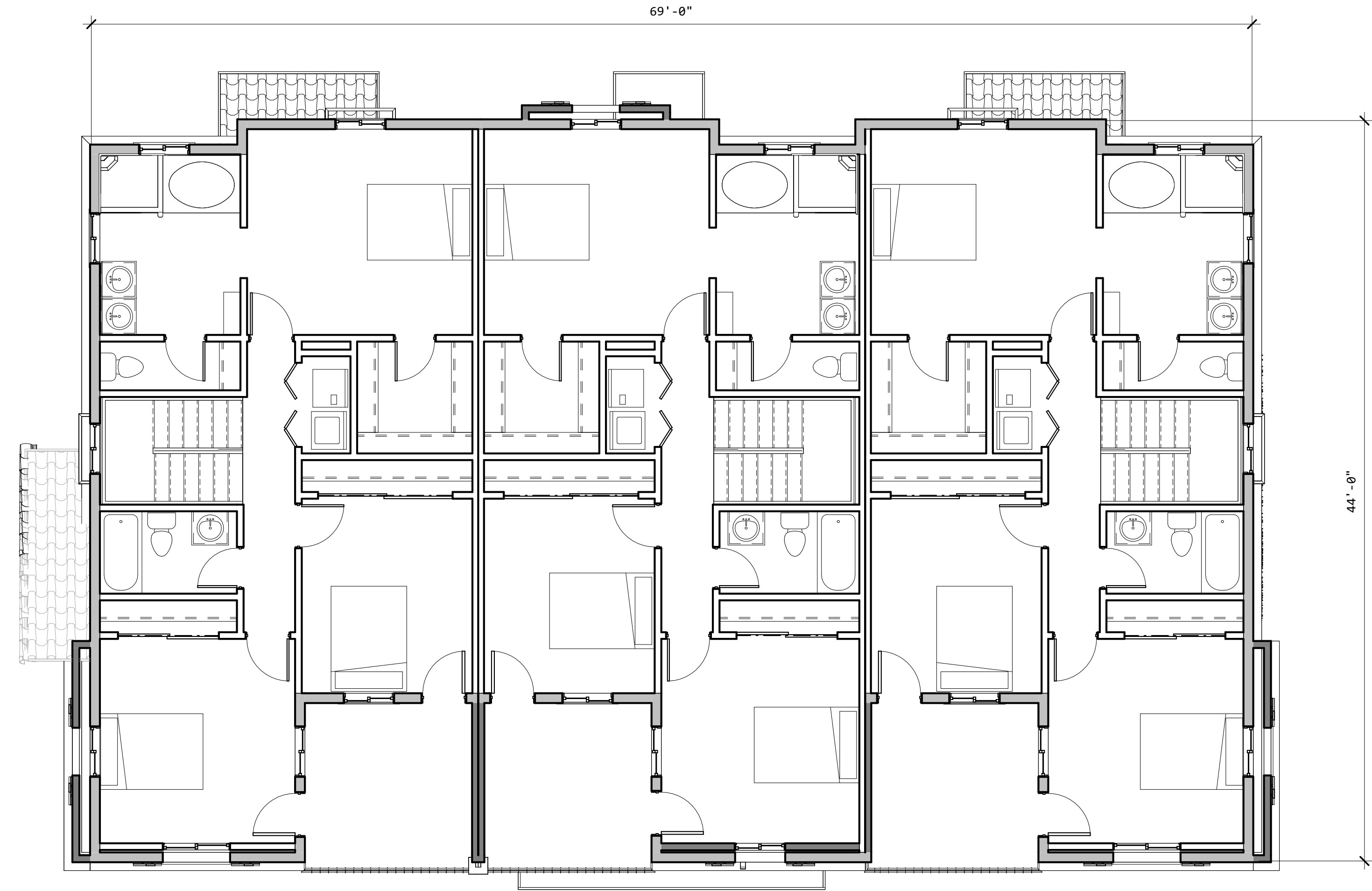
Floor plan -
Fourplex -
Typ.

Proposed 30 Apartment
Townhomes For:
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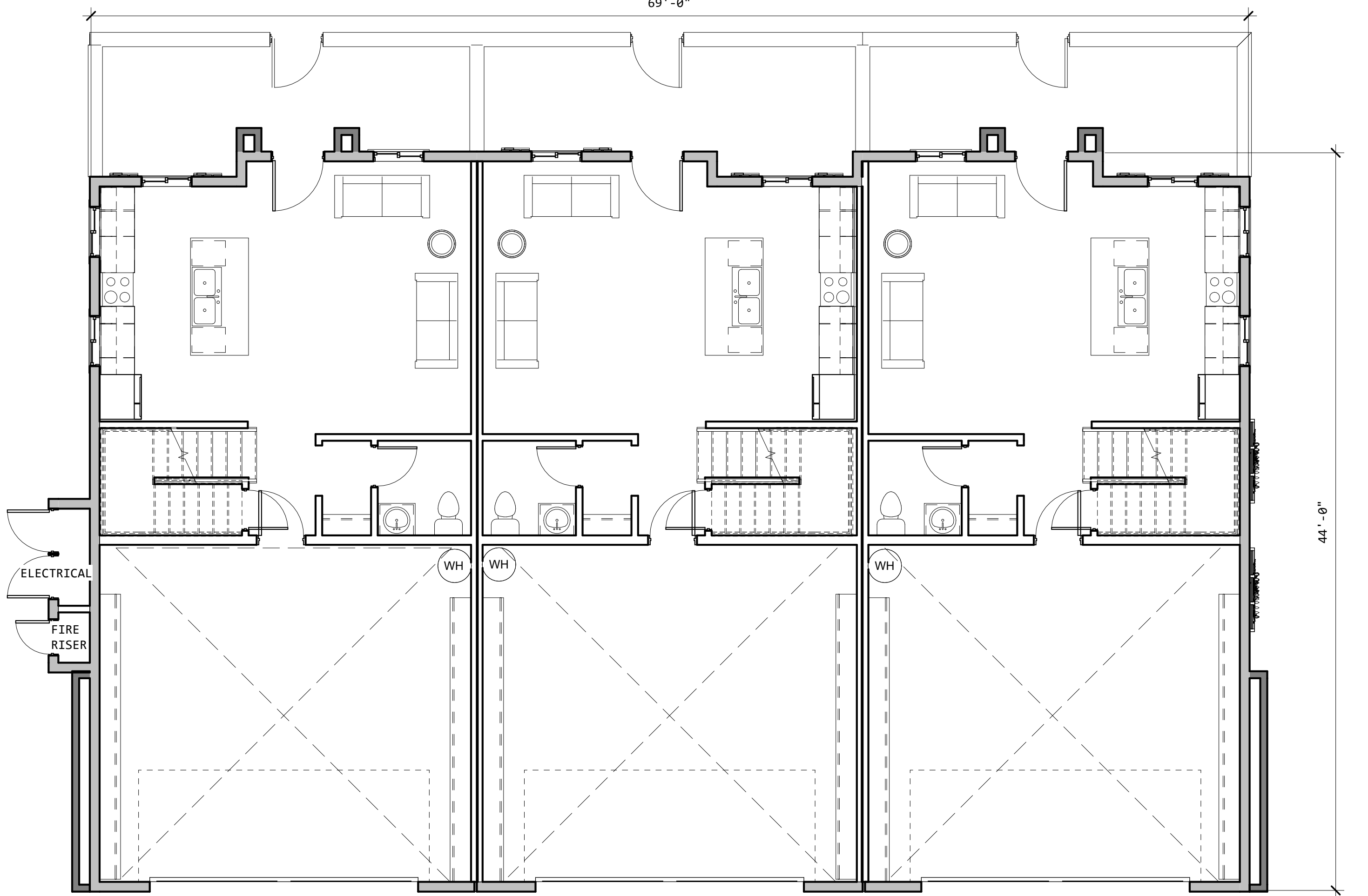


24-0032

**SA ARCHITECTS
+ ENGINEERS**



Triplex - Typical 2nd Floor
3/16" = 1'-0"



Triplex - Typical 1st Floor
3/16" = 1'-0"

SA ARCHITECTS
+ ENGINEERS



24-0032

SA ARCHITECTS & ENGINEERS, INC.
15918 MERRILL AVE.
FONTANA, CA 92335

Proposed 30 Apartment
Townhomes For:
**SA Golden
Investments Inc.**
15918 Merrill Ave,
Fontana, CA 92335

25 July 2025

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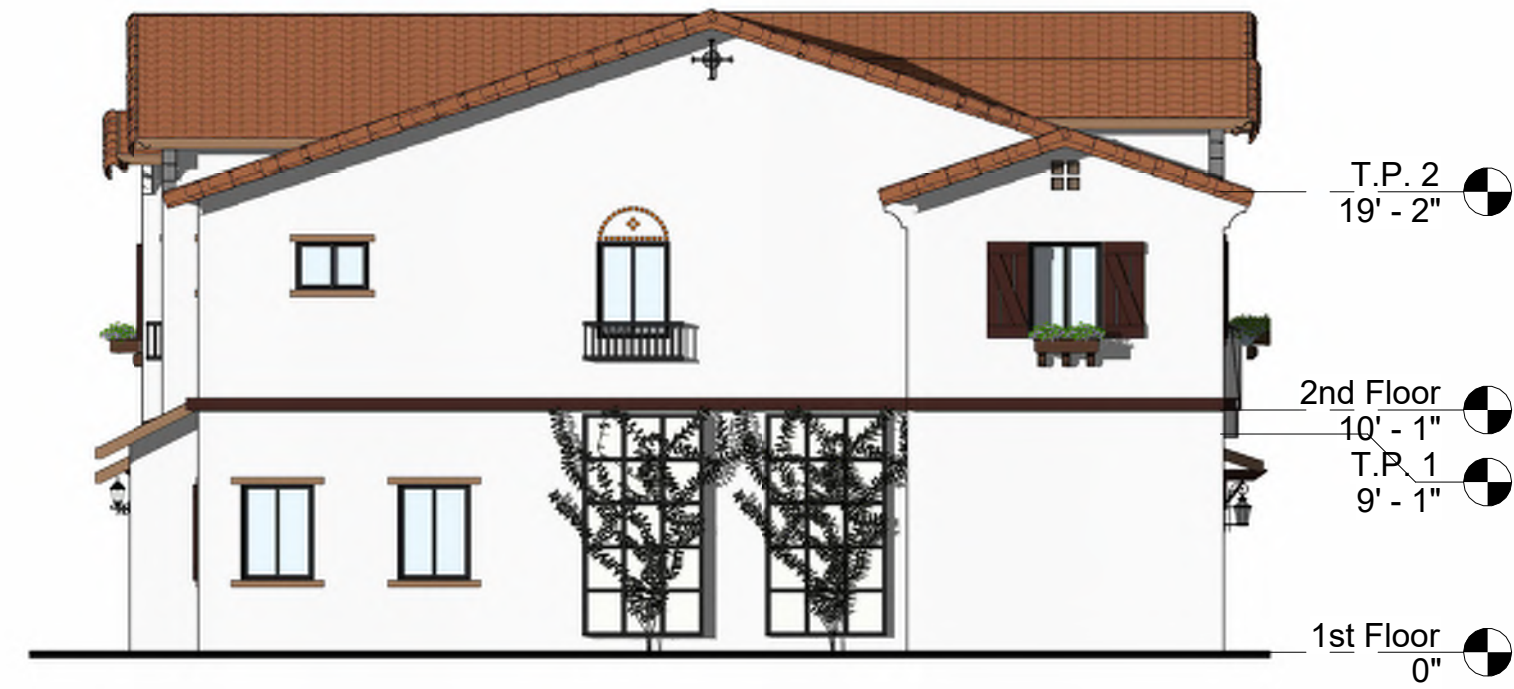
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Floor plan -
Triplex -
Typ.

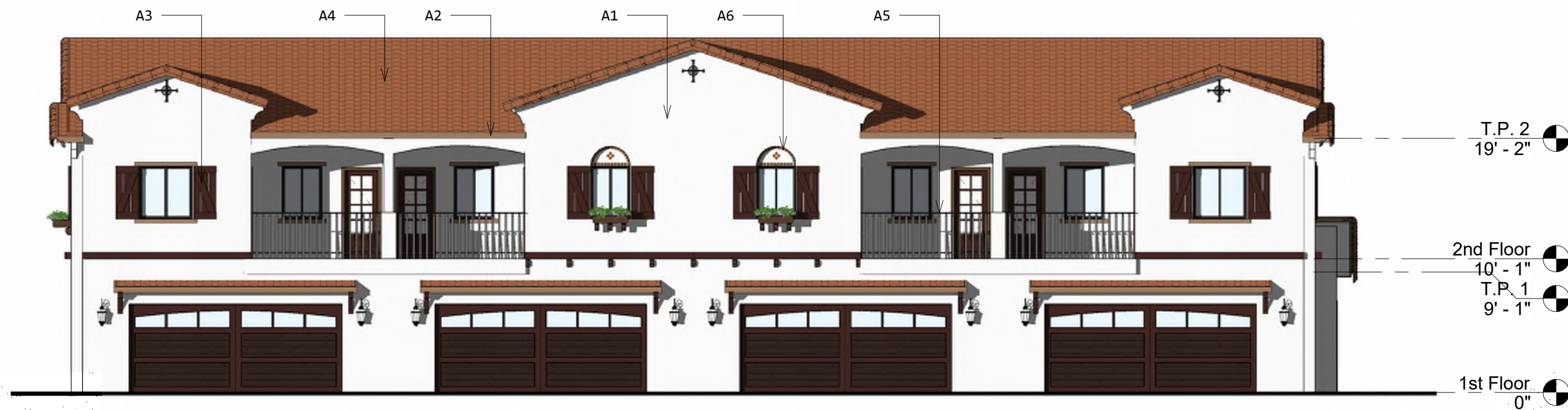
PL4



East Elevation
1/8" = 1'-0"



North Elevation
1/8" = 1'-0"



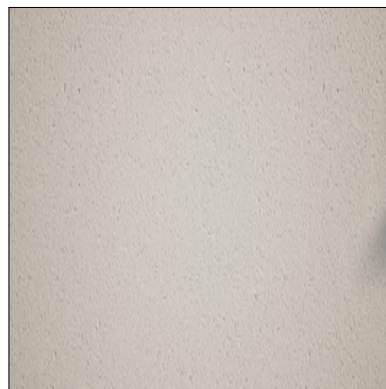
West Elevation
1/8" = 1'-0"



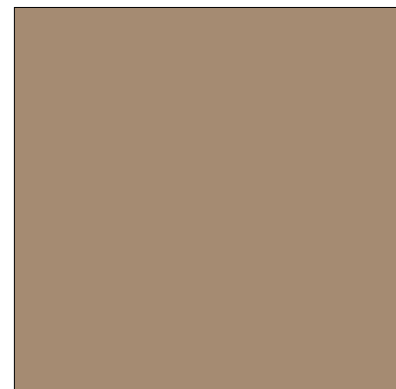
South Elevation
1/8" = 1'-0"

Material Legend				
Mark	Material	Manufacturer	Material Color	Product #
A1	STUCCO COLOR	DUNN EDWARDS	"CHALKY"	DEC793
A2	FASCIA/TRIM	DUNN EDWARDS	"SANDAL"	DEC715
A3	SHUTTER, ENTRY, TRIM & GARAGE	DUNN EDWARDS	"DEEP BROWN"	DE6077
A4	ROOFING TILES	EAGLE	"MALIBU"	TERRACOTTA
A5	WROUGHT IRON RAILING	DUNN EDWARDS	"DARK ENGINE"	DE6350
A6	SPANISH TILE	MINERAL TILES	"CATALONIA"	PORCELAIN

Material Legend



A1



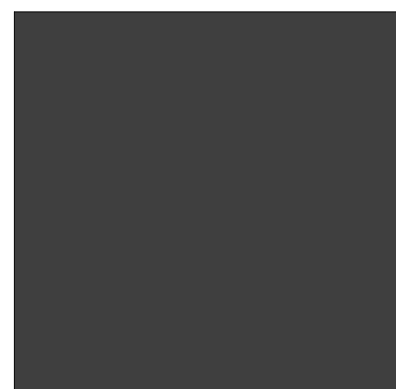
A2



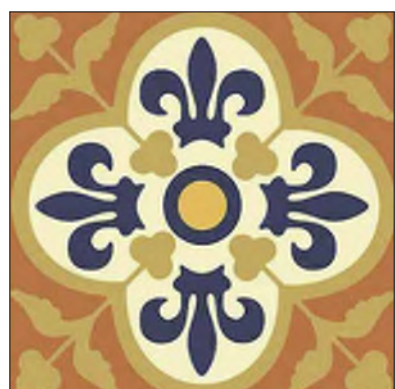
A3



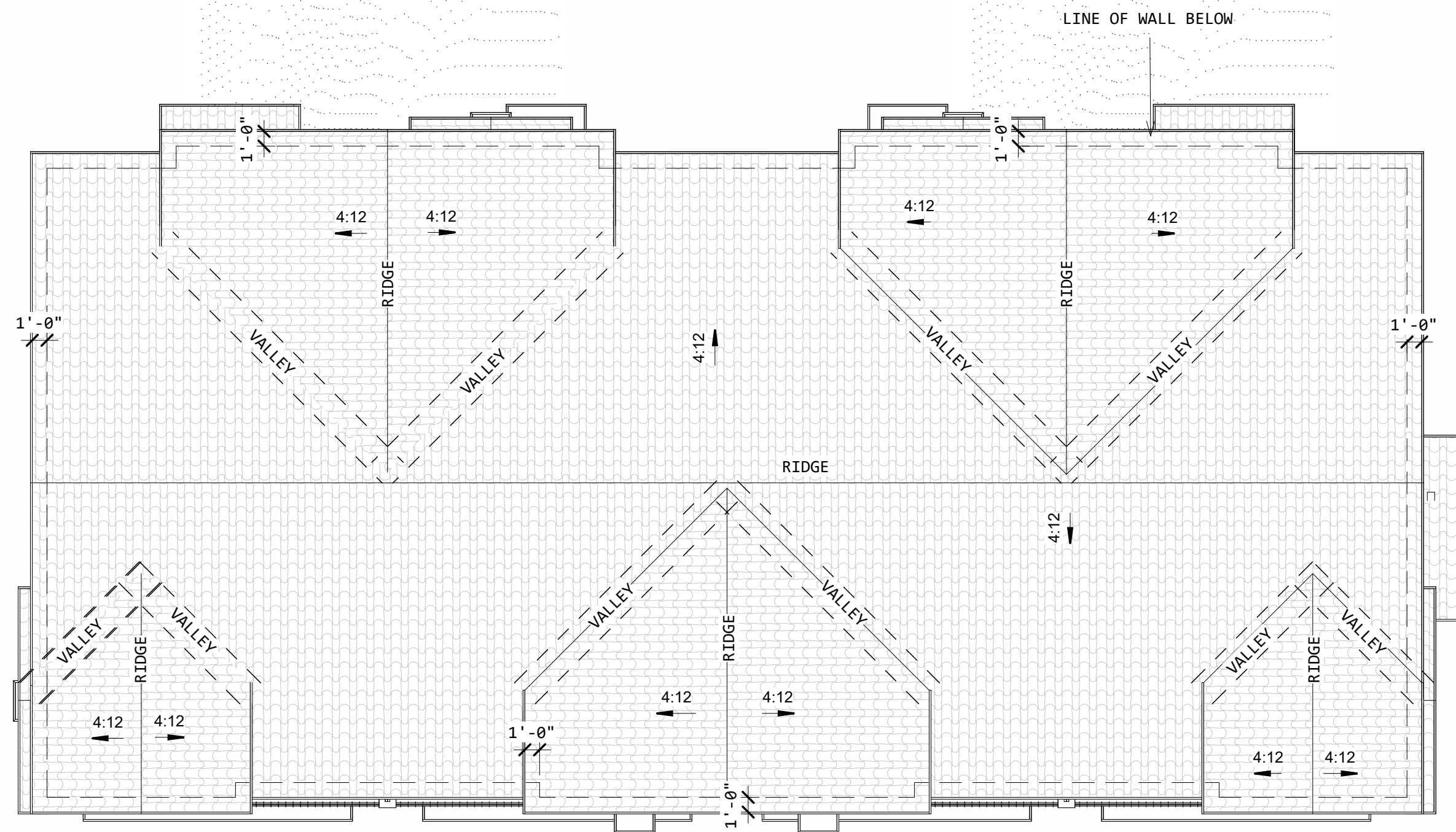
A4



A5



A6



Fourplex - Typical Roof Plan
1/8" = 1'-0"

24-0032



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Elevations -
Fourplex -
Typ.

PL5



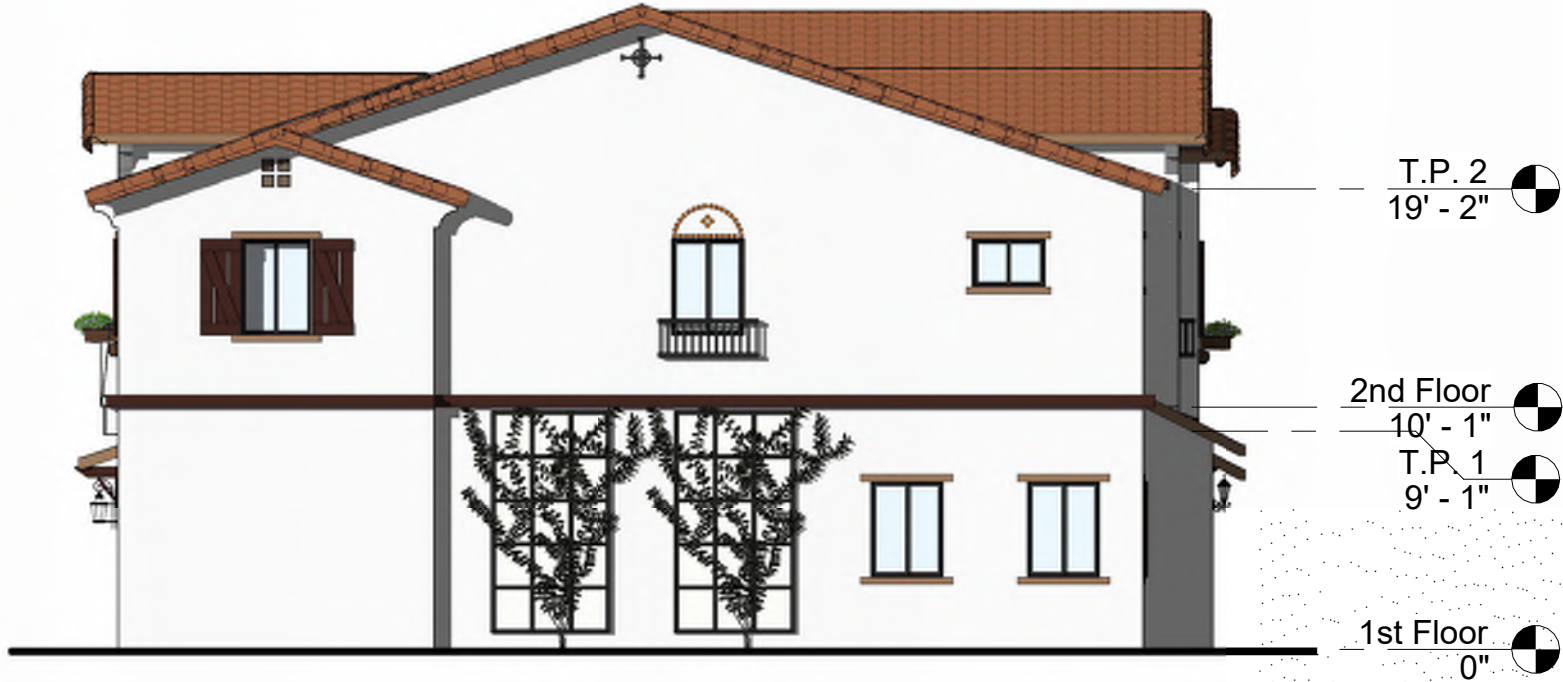
East Elevation
1/8" = 1'-0"



North Elevation
1/8" = 1'-0"



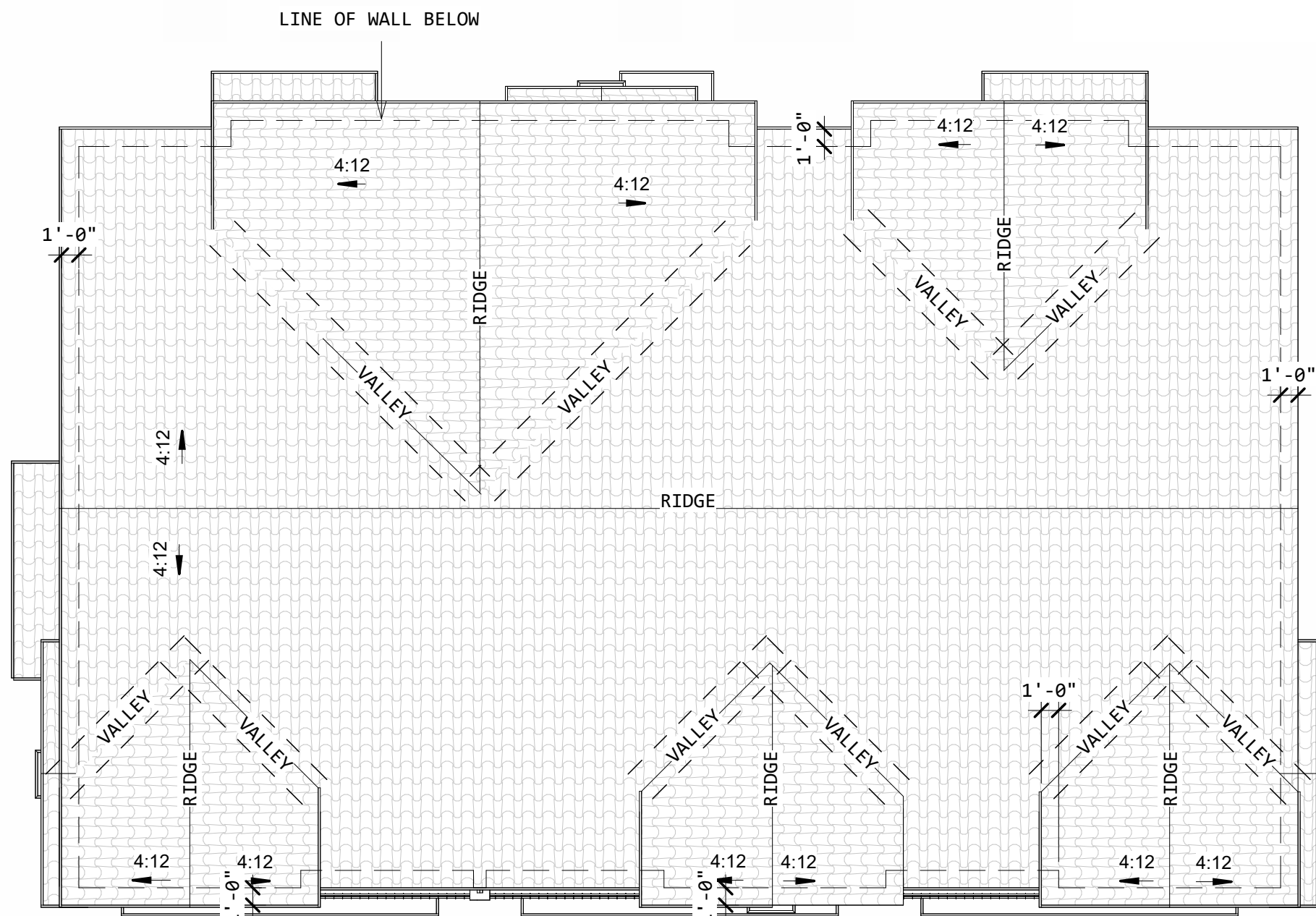
West Elevation
1/8" = 1'-0"



South Elevation
1/8" = 1'-0"

Material Legend				
Mark	Material	Manufacturer	Material Color	Product #
A1	STUCCO COLOR	DUNN EDWARDS	"CHALKY"	DEC793
A2	FASCIA/TRIM	DUNN EDWARDS	"SANDAL"	DEC715
A3	SHUTTER, ENTRY, TRIM & GARAGE	DUNN EDWARDS	"DEEP BROWN"	DE6077
A4	ROOFING TILES	EAGLE	"MALIBU"	TERRACOTTA
A5	WROUGHT IRON RAILING	DUNN EDWARDS	"DARK ENGINE"	DE6350
A6	SPANISH TILE	MINERAL TILES	"CATALONIA"	PORCELAIN

Material Legend



Triplex - Typical Roof Plan
1/8" = 1'-0"



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Townhomes For:
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25 July 2025

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Elevations -
Triplex -
Typ.

ALL GRADING SHALL CONFORM TO THE LATEST CALIFORNIA BUILDING CODE (CBC) CHAPTERS 17, 18, APPENDIX-J AND ALL APPLICABLE SECTIONS. A GRADING PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON THE SITE.

ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER REGULATORY AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED IN THIS PLAN.

ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. A SEPARATE CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS MAY BE REQUIRED FOR ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY.

APPROVAL OF THESE PLANS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE EFFECTIVE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED. THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ONSITE OR OFFSITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT STRUCTURES, SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFFSITE DRAINAGE FACILITIES OR OTHER ITEMS RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ONSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE APPROVED BUILDING PERMIT PLANS. OFFSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.

MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL) AND MAXIMUM VERTICAL HEIGHT = 30 FEET, UNLESS AN APPROVED GEOTECHNICAL REPORT CAN JUSTIFY A STEEPER AND TALLER SLOPE.

NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

FILL SLOPES SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION, OR AS RECOMMENDED ON THE APPROVED GEOTECHNICAL REPORT.

IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.

UNLESS OTHERWISE RECOMMENDED IN AN APPROVED GEOTECHNICAL REPORT, ALL EXCAVATION SHALL BE AT LEAST 24 INCHES MINIMUM BELOW THE BOTTOM OF FOOTING OR TO COMPETENT NATIVE SOIL OR BEDROCK MATERIALS, WHICHEVER IS DEEPER, AS APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER OR GEOLOGIST.

EARTHWORK VOLUMES:
CUT 738.14(CY), FILL 1,997.49 (CY), TOTAL DISTURBED AREA (87,736.29 SF).
EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND SAN BERNARDINO COUNTY IS NOT RESPONSIBLE FOR THEIR ACCURACY. A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.

ANY ONSITE RETAINING WALLS SHOWN ON THE GRADING PLANS THAT ARE OVER 4' IN HEIGHT, MEASURED FROM TOP OF WALL TO BOTTOM OF FOOTING, ARE FOR REFERENCE ONLY. RETAINING WALLS OVER 4' IN HEIGHT ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL RETAINING WALLS OVER 4' IN HEIGHT.

ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THE PROJECT MUST BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).

FOR SITES WITH PROTECTED SPECIES OR TREES, THE PROPOSED GRADING MAY BE SUBJECT TO A SEPARATE PERMIT.

ADEQUATE FIRE ACCESS AROUND BUILDINGS (INCLUDING GARAGES) SHOULD BE PROVIDED AS APPROVED BY COUNTY FIRE.

EXISTING DRAINAGE COURSES SHALL NOT BE OBSTRUCTED, ALTERED, OR DIVERTED WITHOUT PRIOR APPROVAL FROM THE COUNTY OF SAN BERNARDINO, LAND DEVELOPMENT DIVISION. A STREAMBED ALTERATION AGREEMENT MAY ALSO BE REQUIRED FROM THE CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE.

DRAINAGE EASEMENTS SHALL NOT BE OBSTRUCTED, ALTERED OR DIVERTED WITHOUT PRIOR APPROVAL OF THE COUNTY OF SAN BERNARDINO, LAND DEVELOPMENT DIVISION.

SETBACKS AND BUILDING LOCATIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND MUST BE REVIEWED AND APPROVED UNDER A SEPARATE BUILDING PERMIT.

SEWER AND SEWAGE IMPROVEMENTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND MUST BE REVIEWED AND APPROVED UNDER A SEPARATE BUILDING PERMIT.

ON PROJECTS DISTURBING ONE ACRE OR MORE, THE FOLLOWING NOTE MUST BE ADDED: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMITNO. CASO000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE PERMITTEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY COUNTY.

IN CONJUNCTION WITH THE CALIFORNIA GENERAL PERMIT FOR PROPOSED DISTURBANCE OVER ONE ACRE, AN ACTIVE WASTEWATER DISCHARGE ID # (WDD) MUST BE INCLUDED ON THE FINAL GRADING PLAN.

FOR ENGINEERED GRADING, A FINAL GRADING CERTIFICATION WILL BE COLLECTED BY THE BUILDING INSPECTOR AT THE FINAL BUILDING INSPECTION OR PRIOR A GRADING FINAL STATUS ON THE PERMIT. THE FINAL GRADING CERTIFICATION IS TO BE COMPLETED BY THE ENGINEER OF RECORD ON THE APPROVED GRADING PLANS.

ALL FLOOD ZONE REQUIREMENTS MUST BE REFLECTED OR ACCOUNTED FOR IN THE GRADING ELEVATIONS OR CONSTRUCTION NOTES MUST BE INCLUDED IN THE PLANS TO ENSURE COMPLIANCE WITH ALL APPLICABLE FIRST FLOOR ELEVATION REQUIREMENTS PER FEMA AND SAN BERNARDINO COUNTY DEVELOPMENT CODE GUIDELINES.

PROPOSED STARTING DATE: AUGUST 2025.

PROPOSED COMPLETION DATE: FEBRUARY 2026.

SEE ARCHITECTURAL PLAN FOR EXACT BUILDING DIMENSIONS.

EARTH QUANTITIES SHOWN HERE ARE FOR ESTIMATING PLAN CHECK FEES ONLY. GRADING CONTRACTOR IS RESPONSIBLE TO PERFORM THEIR OWN CALCULATIONS FOR EARTH VOLUME WITH THE SOIL'S ENGINEER'S RECOMMENDATION.

CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO OBTAIN OFFSITE/ENCROACHMENT PERMIT FOR ANY WORK WITHIN THE RIGHT OF WAY. E.G., SIDEWALK REPLACEMENT NEW RESIDENTIAL DRIVEWAY REPLACEMENT FOR ADA COMPLIANCE AND REMOVAL OF TREES WITHIN PUBLIC RIGHT OF WAY/PARKWAY DRAINS.

ALL IMPORTED SOIL SHALL BE CERTIFIED BY THE ENGINEER OF RECORD THAT IT DOES NOT CONTAIN DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL, ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES, IS NOT EXPANSIVE AND WILL BE TESTED TO ACHIEVE THE DESIRED SOIL BEARING CAPACITY

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE DRAWINGS.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING AND COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THE REQUIREMENTS OF THE CONTRACT, AND NOT BE LIMITED TO NORMING WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY OF SAN BERNARDINO, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, REPAIRS, AND COSTS OF ATTORNEY'S PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES, AS THE ENGINEER IN RESPONSIBLE CHARGE OF THE DESIGN OF THESE IMPROVEMENTS, I ASSUME FULL RESPONSIBLE CHARGE FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE COUNTY OF SAN BERNARDINO IS REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THE PLANS COMPLY WITH CITY PROCEDURES, APPLICABLE POLICIES AND ORDINANCES. MY PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT, THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS. AS AN ENGINEER OF RECORD (E.O.R.), I AGREE TO INDEMNIFY AND HOLD THE COUNTY OF SAN BERNARDINO, THE COMMUNITY REDEVELOPMENT AGENCY OF THE COUNTY OF SAN BERNARDINO (RDA), SAN BERNARDINO COMMUNITY SERVICES DISTRICT (CSD), ITS OFFICERS, AGENTS, AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY OF CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM THE NEGLIGENT ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF RECORD, ANY EMPLOYEES, AGENTS OR CONSULTANTS.

CERTIFY THAT I WILL BE RESPONSIBLE FOR THIS GRADING IN ACCORDANCE WITH SECTION 7014(C) OF THE BUILDING CODE TO INCLUDE INCORPORATING ALL RECOMMENDATIONS OF THE SOILS ENGINEER, REPORT AND BE RESPONSIBLE FOR PROFESSIONAL INSPECTION AND APPROVAL OF GRADING. THIS SHALL INCLUDE BEING REQUIRED TO INSPECT AND PROVIDE TO THE ESTABLISHMENT OF ONE GRADE AND DRAINAGE DEVELOPMENT AREA. I WILL ALSO BE RESPONSIBLE FOR THE PREPARATION OF REVISED PLANS AND THE SUBMISSION OF 'AS GRADED' GRADING PLANS UPON THE COMPLETION OF THE WORK.

08/05/2025
JESS C. SOTTO R.C.E. No. C 83381 EXP. 03/31/27

[illegible]

SCALE: 1"=30'

THE LAND REFERRED TO IN THIS REPORT IS
SITUATED IN THE CITY OF FONTANA, COUNTY OF SAN
BERNARDINO, STATE OF CALIFORNIA, AND IS
DESCRIBED AS FOLLOWS:

LOT 3, BLOCK 3, MERRILL AVENUE SUBDIVISION NO. 1, TRACT NO. 2103, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 31 OF MAPS, PAGES 1 AND 2, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 0233-052-13-0-000

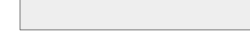
BASIS OF BEARING IS THE CENTERLINE OF MERRILL
AVE, N59°51'30"E PER PARCEL MAP No.10560
P.M.B. 120/91.

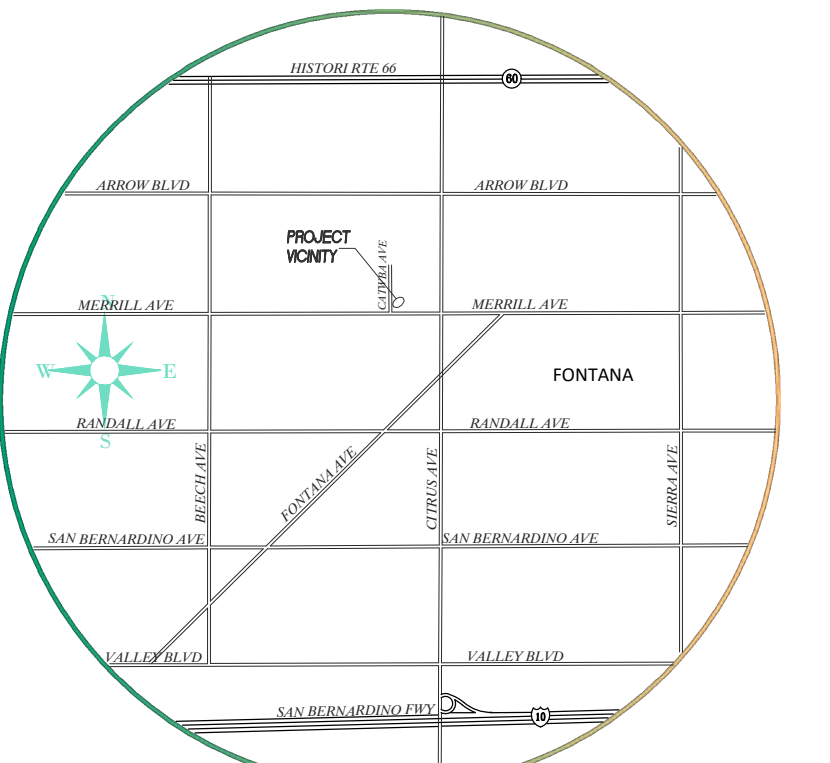
THE SURVEY WAS PERFORMED BY SERVITOP
ENGINEERING IN OCTOBER 2024. USING C MERRILL
AVE, THE BASIS OF BEARING N89°51'30"E PER PARCEL
MAP No.10560 P.M.B 120/91.

CUT QUANTITIES _____ 738.14 [CYD]
FILL QUANTITIES _____ 1,997.49 [CYD]
IMPORT _____ 1,259.35 [CYD]

LOT AREA: 95,832.20 SF
DISTURBED: 87,736.29 SF
IMPERVIOUS: 65,475.22 SF

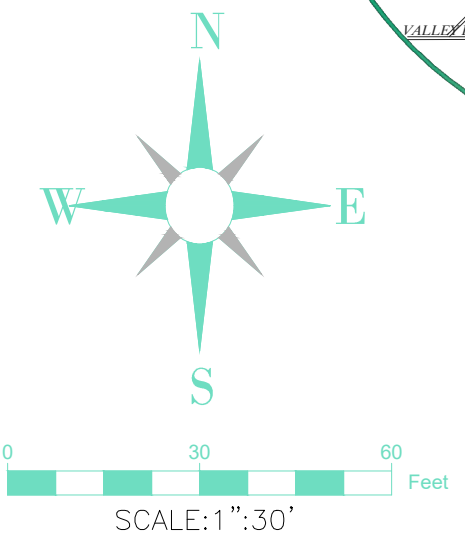
LEGEND

	PROPERTY LINE		EXISTING WATER METER
	CENTER LINE		EXISTING POWER POLE
	EXISTING CONTOUR		EXISTING WIRE GUY
	EXISTING CONTOUR		EXISTING MANHOLE
	EARTH SWALE		EXISTING WATER VALVE
	PVC PIPE SCH 40		EXISTING TRANSIT SIGN
	EXISTING EOP		EXISTING HYDRANT
	EXIST. CHAINLINK FENCE		EXISTING ASPHALT
	PROPOSED SEWER LINE		PROPOSED PCC CONCRETE
	EXISTING WALL FENCE		PROPOSED ASPHALT



VICINITY MAP

SEC.12. T.1S., R.6W.
N.T.S.



OREGON TRAIL CORPORATION
4022 KATELLA AVE SRE 104,
LOS ALAMITOS, CA 90720
PH: (714) 721-7788
Email: info@songnsons.com

5918 MERRILL AVE
MONTANA, CA 92335
A.P.N.: 0233-052-13

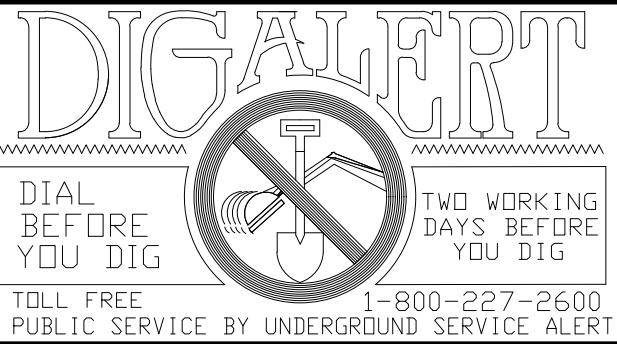
NAME BECHMARK: 536
ELEV: 1222.41 Feet

SERVITOP ENGINEERING.
1420 E COOLEY DRIVE, SUITE 102
COLTON, CA 92324
TEL: (909) 733-6482
EMAIL: info@servitopcorp.com

SHEET INDEX:	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PRECISE GRADING PLAN
3-4	SECTIONS AND DETAILS
5	EROSION CONTROL PLAN

CLCENTER LINE
 FF.....FINISH FLOOR ELEVATION
 FG.....FINISH GRADE
 FL.....FLOW LINE ELEVATION
 NG.....NATURAL GROUND
 PLPROPERTY LINE
 WMWATER METER

	PROPERTY LINE		EXISTING WATER METER
	CENTER LINE		EXISTING POWER POLE
	EXISTING CONTOUR		EXISTING WIRE GUY
	EXISTING CONTOUR		EXISTING MANHOLE
	EARTH SWALE		EXISTING WATER VALVE
	PVC PIPE SCH 40		EXISTING TRANSIT SIGN
	EXISTING EOP		EXISTING HYDRANT
	EXIST. CHAINLINK FENCE		EXISTING ASPHALT
	PROPOSED SEWER LINE		PROPOSED PCC CONCRETE
	EXISTING WALL FENCE		PROPOSED ASPHALT



JESS C. SOTTO	R.C.E.	No. 83381	EXP.	03/31/27
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CITY OF FONTANA

APPROVED BY

DATE: _____

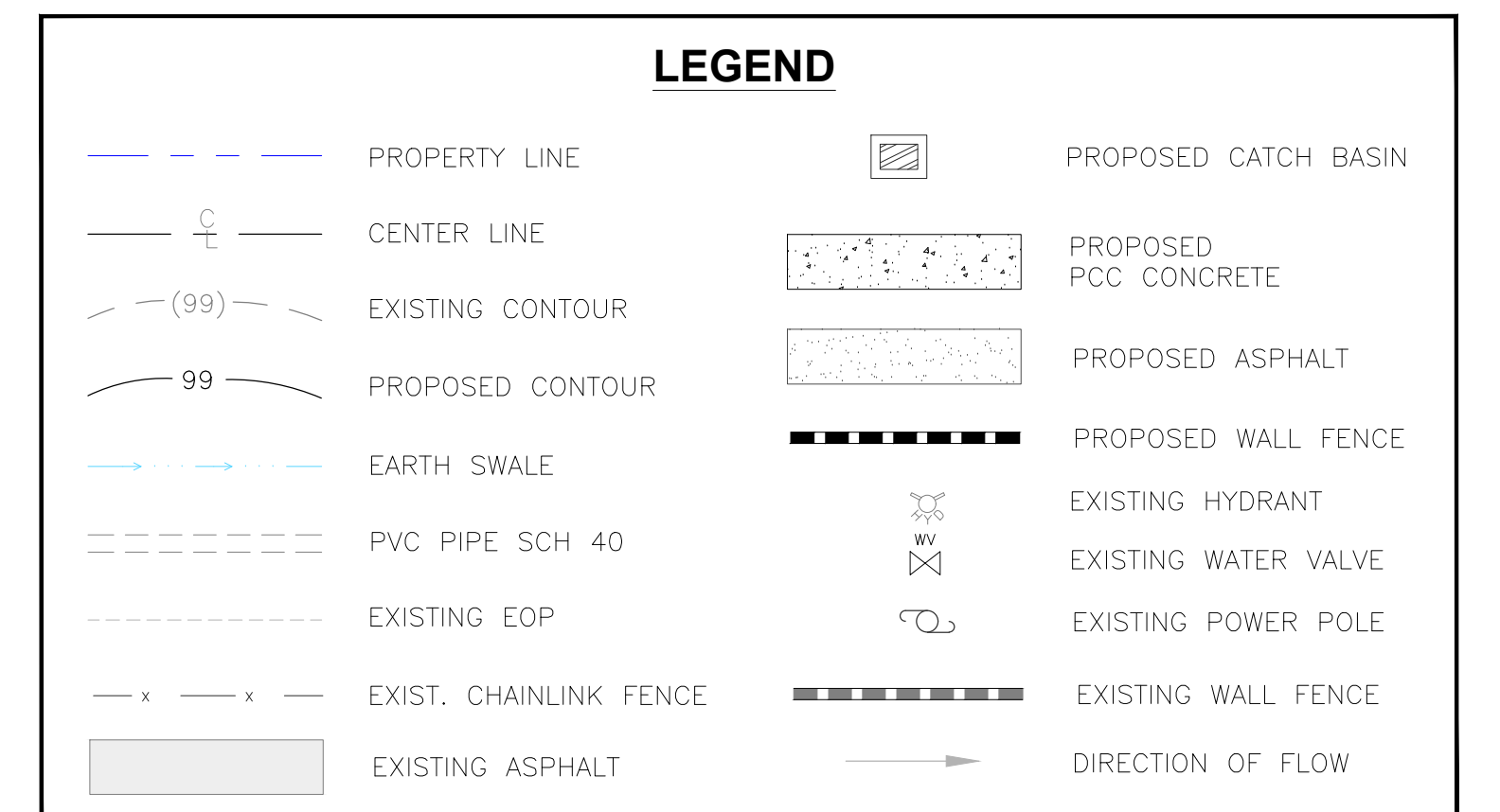
MARK	REVISION
DESIGNED BY: D.V	DRAWN BY: D.V CHECK BY: J.S

TITLE SHEET
CITY OF FONTANA
15918 MERRILL AVE, CA 92335
A.P.N.: 0233-052-13

SHEET 1 OF 5

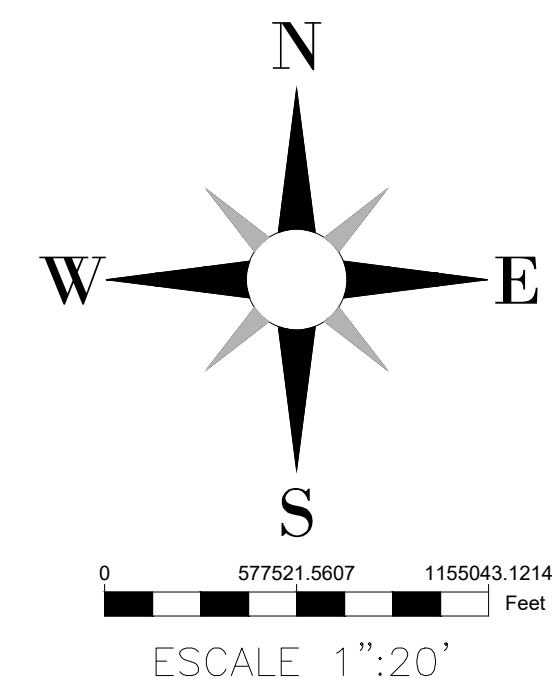
CONSTRUCTION NOTES		QTY
①	CONSTRUCT BUILDING PER ARCHITECTURAL PLAN.	8 EA
②	CONSTRUCT DRIVEWAY ACCESS 4" THICK ASPHALT OVER 90% COMPACTED NATIVE.	27,49.40 SF
③	CONSTRUCT 4" THICK CONCRETE WALKWAY ENTRANCE PER ARCHITECTURAL PLAN.	6,899.39 SF
④	CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLAN & SEPARATE PERMIT.	2 EA
⑤	CONSTRUCT 6" ONLY CURB PER CITY STD. 1000	1,178.11 LF
⑥	CONSTRUCT CONCRETE GUTTER (W=3.0'), SEE DETAIL ON SHEET 3.	760.00 LF
⑦	CONSTRUCT 24"x24" CONCRETE CATCH BASIN, SEE DETAIL ON SHEET 3.	1 EA
⑧	INSTALL CATCH BASIN NDS 9" SERIES WITH SQUARE GRATE MODEL OR SIMILAR (NO TRAFFIC)	61 EA
⑨	INSTALL SCH 40, 4"ø PVC PIPE. UNDERGROUND %0.5 MINIMUM	1,590.40 LF
⑩	INSTALL SCH 40, 6"ø PVC PIPE. UNDERGROUND %0.5 MINIMUM	175.05 LF
⑪	CONSTRUCT DOWNSPOUT, PER WQMP REPORT.	62 EA
⑫	CONSTRUCT RETAINING WALL	148.00 LF
⑬	INSTALL ADS STORMTECH MC-7200 CHAMBER SYSTEM, PER WQMP REPORT.	42 EA
⑭	CONSTRUCT UNDER SIDEWALK DRAIN.	1 EA
⑮	CONSTRUCT 8" CURB & GUTTER PER CITY STD. 1000, PER SEPARATE PLAN AND PERMIT.	549.22 LF
⑯	CONSTRUCT SIDEWALK PER CITY STD. 1006, PER SEPARATE PLAN AND PERMIT.	3,023.54 LF
⑰	CONSTRUCT DRIVEWAY APPROACH PER CITY STD. 1001, PER SEPARATE PLAN AND PERMIT.	2 EA
⑱	CONSTRUCT CURB RETURN ACCESS RAMP PER CITY STD. 1003, PER SEPARATE PLAN AND PERMIT.	1 EA
⑲	CONSTRUCT CROSS GUTTER & SPANDREL PER CITY STD. 1013, PER SEPARATE PLAN AND PERMIT.	1 EA
⑳	CONSTRUCT 4.5" MIN. A.C.PAVEMENT OVER 12" MIN. OF 95% COMPACTED NATIVE SUBGRADE.	534.87 SF
㉑	EXISTING CURB & GUTTER TO BE REMOVED.	264.00 LF
㉒	EXISTING FIRE HYDRANT TO BE RELOCATED.	1 EA
㉓	EXISTING POWER POLE TO BE RELOCATED.	3 EA
㉔	CONSTRUCT SEWER MANHOLE PER CITY STD. , PER SEPARATE PLAN AND PERMIT.	1 EA
㉕	CONSTRUCT 8" VCP SEWER MAIN LINE, PER CITY STD. , PER SEPARATE PLAN AND PERMIT.	413.00 LF
㉖	OPEN WALL INLET.	1 EA
㉗	PROPOSED CHANNEL.	120.00 LF
㉘	CONSTRUCT 6.5" MIN. A.C.PAVEMENT OVER 12" MIN. OF 95% COMPACTED NATIVE SUBGRADE.	590.85 SF
㉙	SAWCUT AND REMOVE AC PAVEMENT & REPLACE WITH FULL DEPTH AC, PER OFFSITE PLAN.	575.87 SF
㉚	GRIND AND OVERLAY 0.1' DEPTH, PER SEPARATE PLAN.	2,899.44 SF

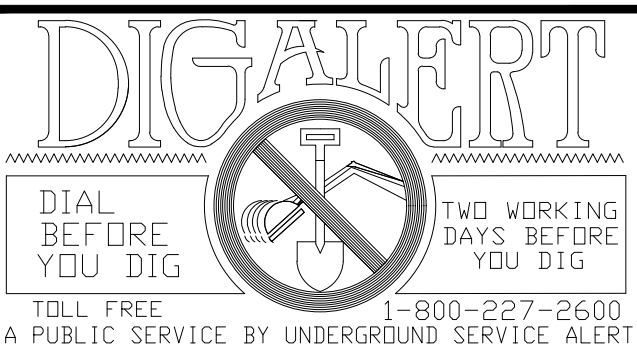
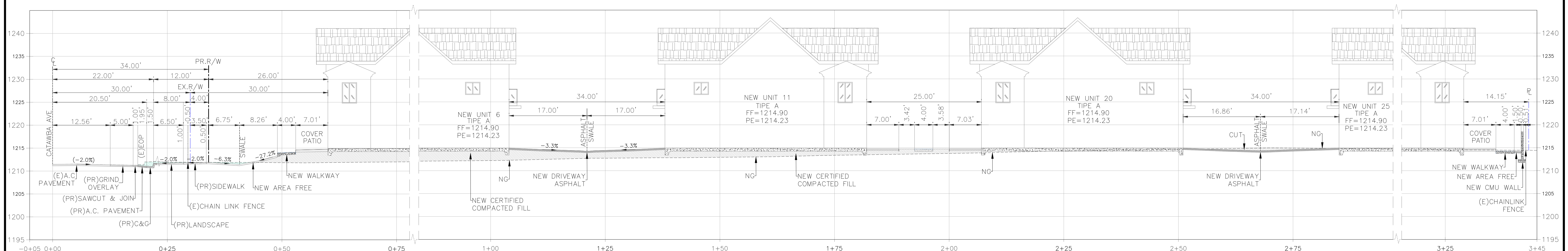
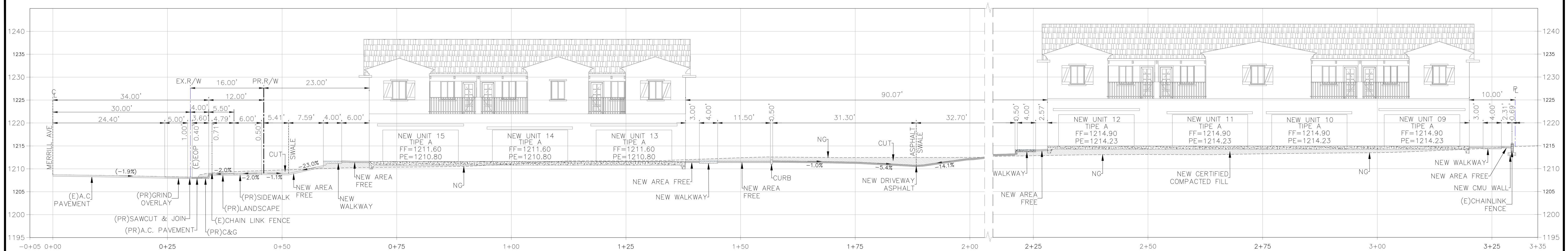
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ABBREVIATION

℄	CENTER LINE
FF.....	FINISH FLOOR ELEVATION
FG.....	FINISH GRADE
FL.....	FLOW LINE ELEVATION
HP.....	HIGH POINT ELEVATION
INV.....	INVERT ELEVATIONS
MAX.....	MAXIMUM
MIN.....	MINIMUM
NG.....	NATURAL GROUND
PE.....	PAD ELEVATION
P.....	PROPERTY LINE
TCH.....	TOP OF CHANNEL
TG.....	TOP OF GRATE ELEVATION
S/W.....	SIDEWALK
P/A.....	PLANTER AREA
LS.....	LANDSCAPE AREA
AC.....	ASPHALT CONCRETE
C/B.....	CATCH BASIN
CBW.....	CONC. BLOCK WALL
CONC.....	CONCRETE
DS.....	DOWNSPOUT





Jess C. Sotio

JESS C. SOTTO R.C.E. No. 83381

DATE: 08/05/2025
EXP. 03/31/27



MARK	REVISION	DATE
DESIGNED BY: D.V.	DRAWN BY: D.V.	CHECK BY: J.S.

CITY OF FONTANA

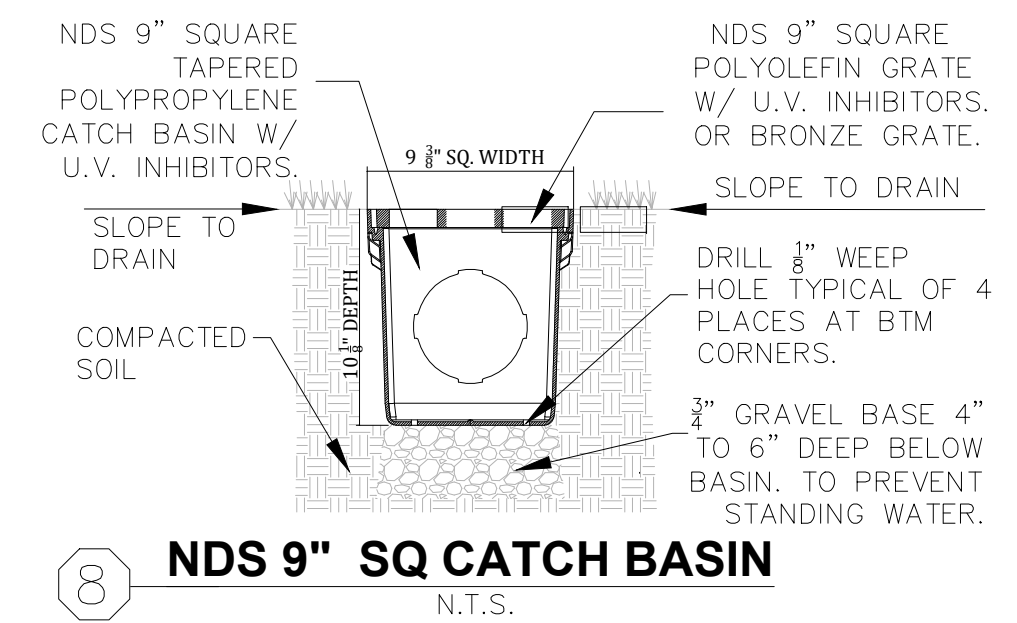
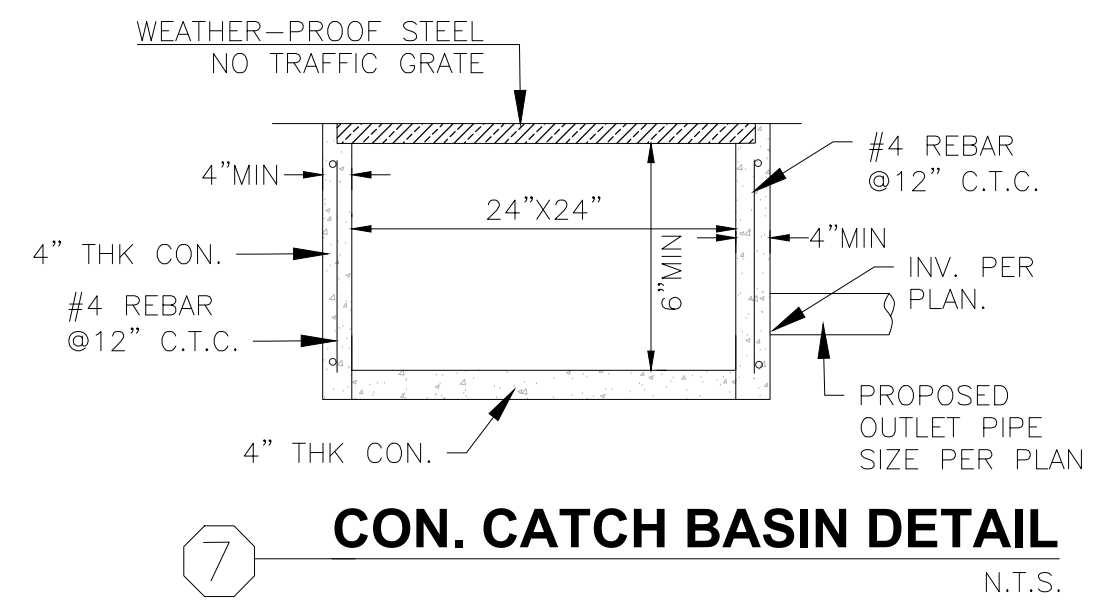
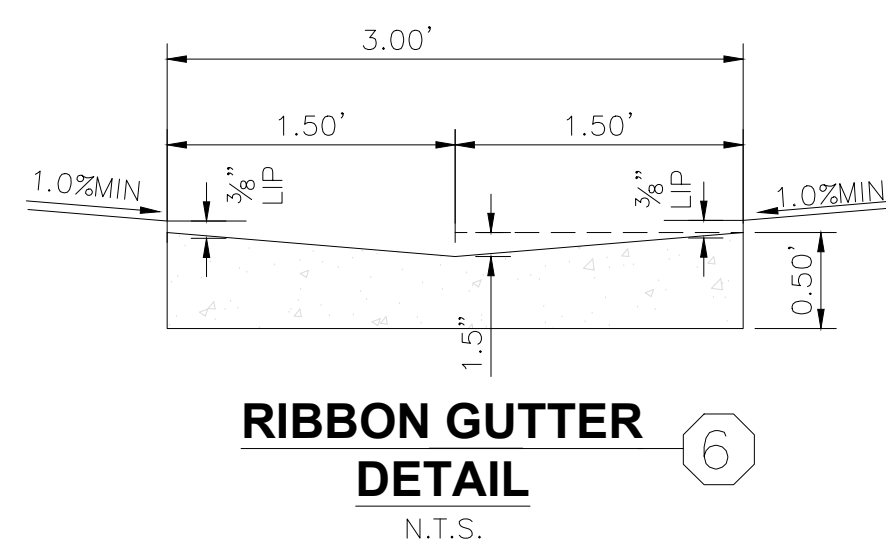
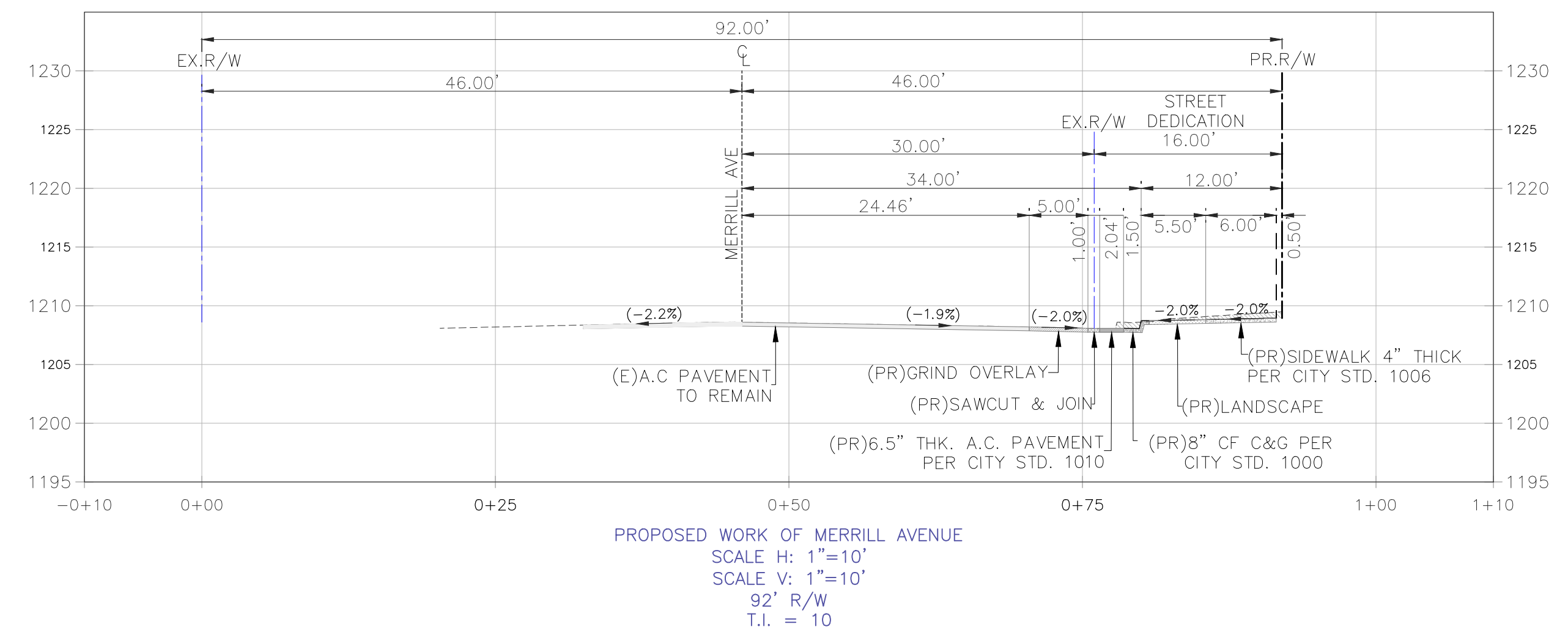
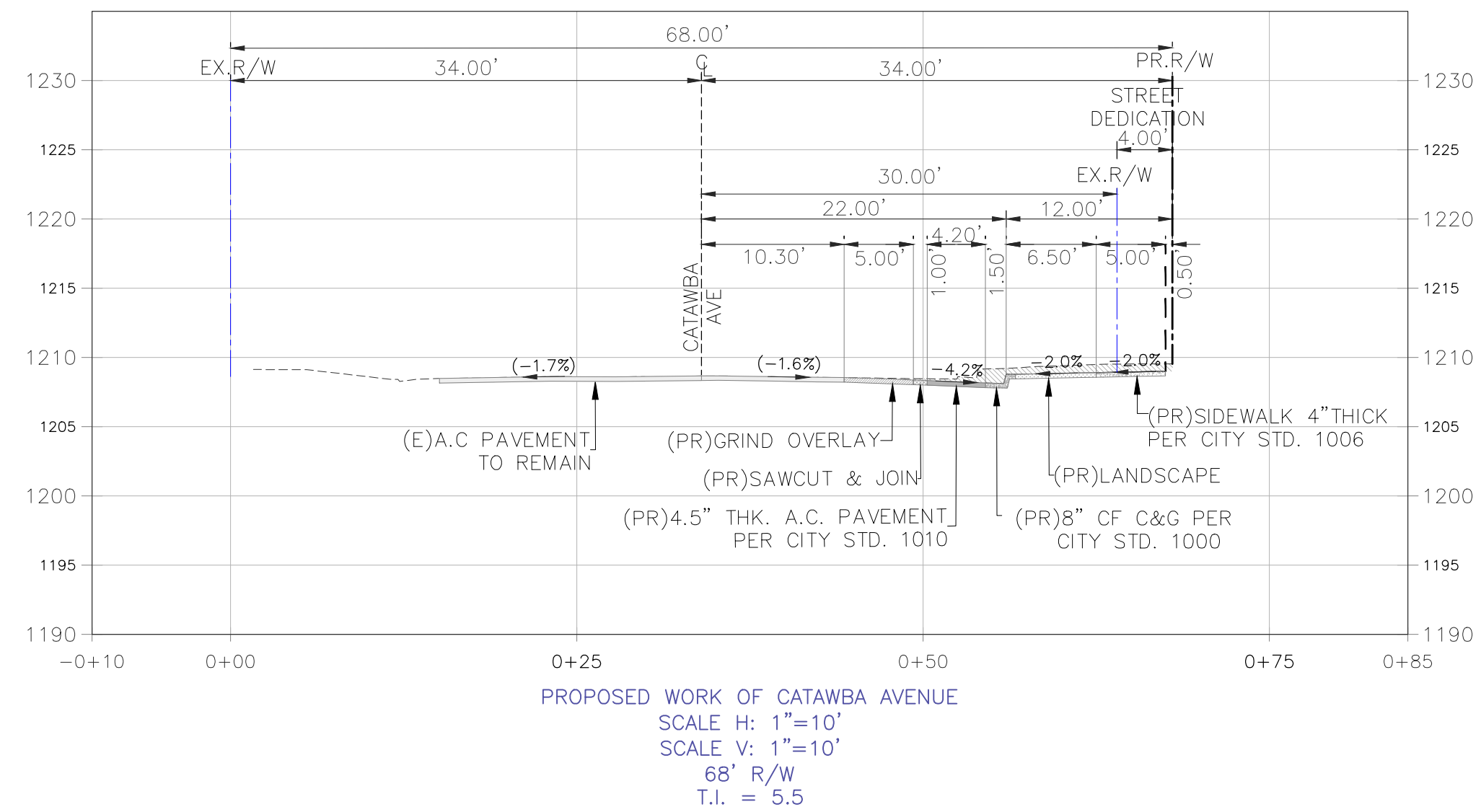
APPROVED BY
CITY ENGINEER

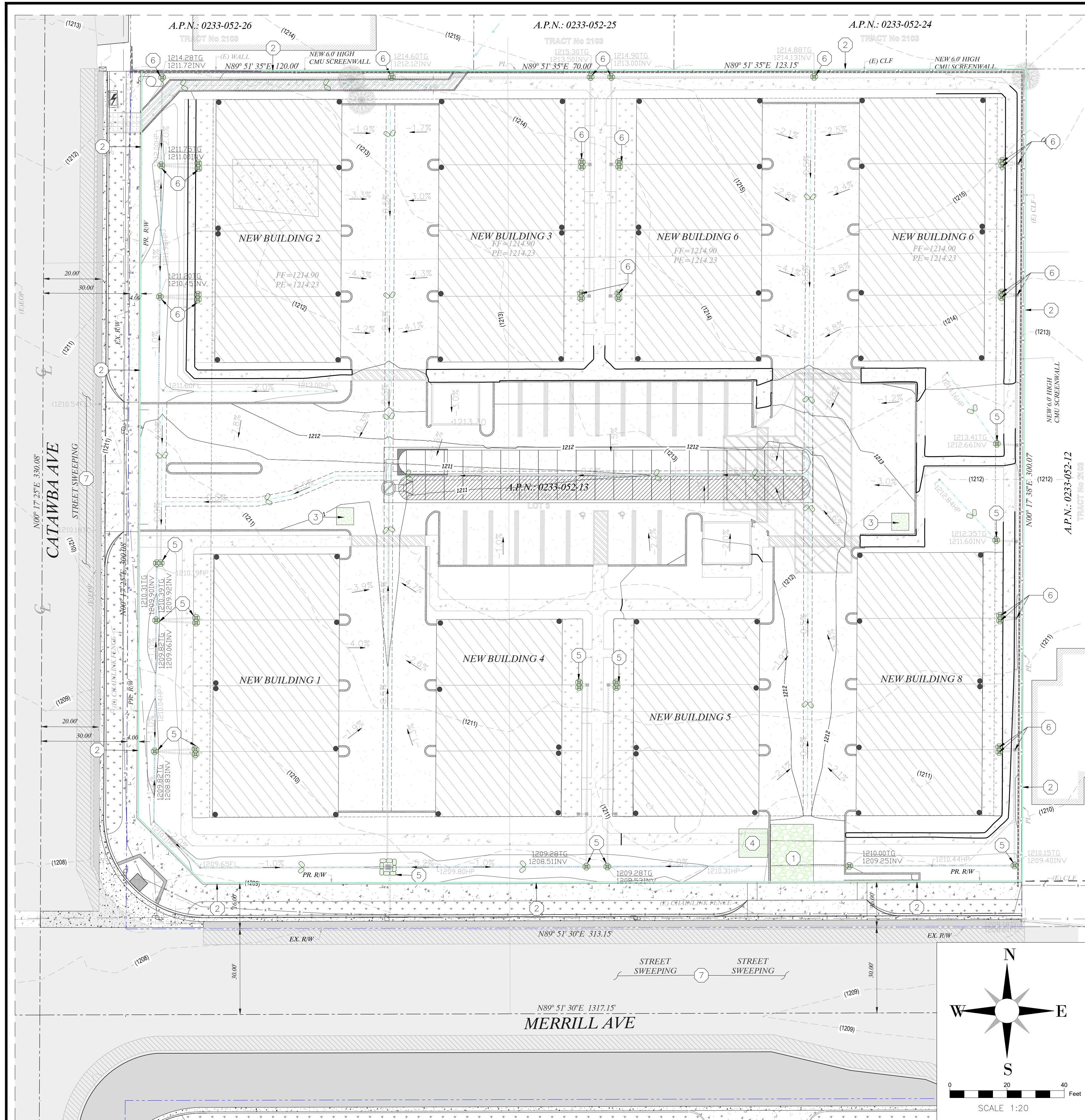
DATE:

SECTIONS
CITY OF FONTANA
15918 MERRILL AVE, CA 92335
A.P.N.: 0233-052-13

SHEET 3 OF 5

SECTIONS AND DETAILS
CITY OF FONTANA
15918 MERRILL AVE, CA 92335
A.P.N.: 0233-052-13





LEGEND

- INDICATES DIRECTION OF FLOW
- CONCRETE WASHOUT PIT
- 3"-6" CRUSHED AGGREGATE ROCK CONSTRUCTION ENTRANCE
- SILT FENCE
- GRAVEL BAGS

CONSTRUCTION NOTES DESCRIPTION	QTY
1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL IN THIS SHEET.	1 EA
2. INSTALL SILT FENCE PER DETAIL IN THIS SHEET.	1130.92 LF
3. SANITARY FACILITIES LOCATION.	2 EA
4. INSTALL CONCRETE WASHOUT PER DETAIL IN THIS SHEET.	1 EA
5. INSTALL GRAVEL BAG PER DETAIL IN THIS SHEET.	210 EA
6. INSTALL STORM DRAIN INLET PROTECTION (SE-10).	61 EA
7. STREET SWEEPING AND VACUUMING PER CASQA SE-7.	2 EA

CONCRETE WASHOUT AND SIGN DETAIL WM-8

PLAN NOT TO SCALE TYPE "ABOVE GRADE" WITH STRAW BALES

SECTION B-B NOT TO SCALE

STAPLE DETAIL

NOTE: 1. ACTUAL LAYOUT DETERMINED IN FIELD. 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITH 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

BLACK LETTERS 6" HEIGHT

PLYWOOD 48"x24" PAINTED WHITE

CONCRETE WASHOUT

0.5" LAG SCREWS

WOOD POST 3"x3"x8'

WOOD OR METAL STAKES (2 PER BALE)

STRAW BALE

BINDING WIRE

10 MIL PLASTIC LINING

STAPLES (2 PER BALE)

10' MIN

STAKE (TYP)

10' MIL PLASTIC LINING

SECTION A-A

COARSE AGGREGATE 3' MINUS

HARD SURFACE

NATIVE

FILTER FABRIC

6" MIN

6" MINIMUM THICK 3" MINUS COARSE AGGREGATE

FILTER FABRIC

20' MIN

SECTION A-A

GRAVEL BAGS OVERLAP ONTO CURB

NOTE: FOR DETAILS REFER CALTRANS STORMWATER BEST MANAGEMENT PRACTICES REFERENCE GUIDE.

CAP BETWEEN BAGS ACTS AS SPILLWAY

STABILIZED CONSTRUCTION ENTRANCE/EXIT

DETAIL N.T.S.

1. SET POSTS AND EXCAVATE A 4 BY 4 IN (10 BY 10 CM) TRENCH UPSLOPE FROM AND ALONG THE LINE OF POSTS.

2. STAPLE WIRE FENCING TO THE POSTS.

3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND IT INTO THE TRENCH.

EXCAVATED SOIL.

EROSION CONTROL NOTES:

- IN CASE OF EMERGENCY, CALL (OREGON TRAIL CORPORATION,) AT (909) 733-6487.
- POLLUTION AND EROSION PREVENTION MEASURES, ALSO KNOWN AS BEST MANAGEMENT PRACTICES (BMPs), MUST BE INSTALLED PRIOR TO GRADING. THESE MEASURES, INCLUDING THE PREVENTION OF SEDIMENTATION OR FLOOD DAMAGE, TO OFFSITE PROPERTY SHALL BE ADEQUATE WHETHER OR NOT AN EROSION CONTROL PERMIT IS REQUIRED.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- EROSION CONTROL DEVICES SHALL BE FUNCTIONING AT ALL TIMES. IN CASE OF FAILURE, RAPID CONSTRUCTION OF EMERGENCY DEVICES SHALL BE IMPLEMENTED.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MUST BE CONTAINED ONSITE. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO ENSURE ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY PER PLAN. PROPER PRECAUTION SHALL BE CONSIDERED WHEN 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- ALL STORM WATER CAPTURE DEVICES SHALL BE PROTECTED AT ALL TIMES.

DIGALERT

DIAL BEFORE YOU DIG

TWO WORKING DAYS BEFORE YOU DIG

TOLL FREE 1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

FONTANA CALIFORNIA

SERVITOP

ENGINEERING

1420 E COOLEY DR, OFFICE 102

COLTON, CA 92324

Phone: (909) 733-6487

EMAIL: info@servitopcorp.com

JESS C. SOTTO R.C.E. No. 83381

DATE: 08/05/2025

EXP. 03/31/27

REGISTERED PROFESSIONAL ENGINEER

JESS C. SOTTO

No. 83381

Exp. 03-31-27

CIVIL

STATE OF CALIFORNIA

MARK/REVISION

DESIGNED BY: D.V. DRAWN BY: D.V. CHECK BY: J.S.

APPROVED BY

CITY ENGINEER

DATE:

CITY OF FONTANA

EROSION CONTROL PLAN

CITY OF FONTANA

15918 MERRILL AVE, CA 92335

A.P.N.: 0233-052-13

SHEET 5 OF 5