

SHEET INDEX:

COVER SHEET

01	MASTER SITE PLAN
02	TRASH ENCLOSURE - PLAN, ELEVATIONS & SECTIONS
03	FLEX BUILDING - FLOOR PLAN
04	FLEX BUILDING - COLOR ELEVATIONS
05	FLEX BUILDING - 3D RENDERING
06	STORAGE BUILDING (3 LEVELS) - GROUND LEVEL FLOOR PLAN
07	STORAGE BUILDING (3 LEVELS) - TYPICAL LEVEL 2 &3
08	STORAGE BUILDING - COLOR ELEVATIONS
09	STORAGE BUILDING - COLOR ELEVATIONS
10	STORAGE BUILDING - 3D RENDERING
11	SITE SECTIONS
12	COLOR AND MATERIAL BOARD
A-1	OFFICE BUILDING FIRST FLOOR PLAN
A-2	OFFICE BUILDING SECOND FLOOR PLAN
A-3.1	OFFICE BUILDING LOW ROOF PLAN
A-3.2	OFFICE BUILDING HIGH ROOF PLAN
A-4.1	OFFICE BUILDING EXTERIOR ELEVATIONS
A-4.2	OFFICE BUILDING EXTERIOR ELEVATIONS
A-5.1	OFFICE BUILDING SECTIONS
A-5.2	OFFICE BUILDING WALL SECTIONS
A-6.1	OFFICE BUILDING COLORED ELEVATIONS
A-6.2	OFFICE BUILDING COLORED ELEVATIONS
A-7	OFFICE BUILDING RENDERINGS
H-1	HELISTOP FLIGHT PATH ARRANGEMENT
H-2	HELISTOP FLIGHT PATH ARRANGEMENT
L1	CONCEPTUAL LANDSCAPE PLAN SITE PLAN
L2	ENLARGEMENT PLAN - FLEX BUILDING
L3	ENLARGEMENT PLAN - OFFICE BUILDING
L4	ENLARGEMENT PLAN - STORAGE
L5	FENCE AND WALL PLAN
L6	CONCEPTUAL LIGHTING SPECIFICATIONS
L7	CONCEPTUAL LIGHTING PLAN - FLEX BUILDING
L8	CONCEPTUAL LIGHTING PLAN - OFFICE BUILDING
L9	CONCEPTUAL LIGHTING PLAN - STORAGE BUILDING
C1	PRELIMINARY GRADING PLAN
C2	PRELIMINARY GRADING PLAN
C3	SECTIONS
C4	UTILITIES PLAN
C5	TENTATIVE PARCEL MAP
C6	PHASING PLAN

DEVELOPER / OWNER:

THE PREVITI GROUP
 2151 E. CONVENTION CENTER WAY, SUITE 114
 ONTARIO, CA 91764
 STRATOS GEORGOPOULOS
 SGeorgopoulos@ThePrevitiGroup.com
 (909) 354-8013

ARCHITECT:

AO ARCHITECTS
 144 N ORANGE ST.
 ORANGE, CA 92866
 SAMMY SALUDO
 sammys@aoarchitects.com
 (714) 639-9860

OFFICE HQ BUILDING:

BONALDO ENGINEERING
 10700 JERSEY BLVD., STE. 700
 RANCHO CUCAMONGA, CA 91730
 SERGE BONALDO
 sergeb@bonaldoeng.com
 (909) 944-9992

CIVIL:

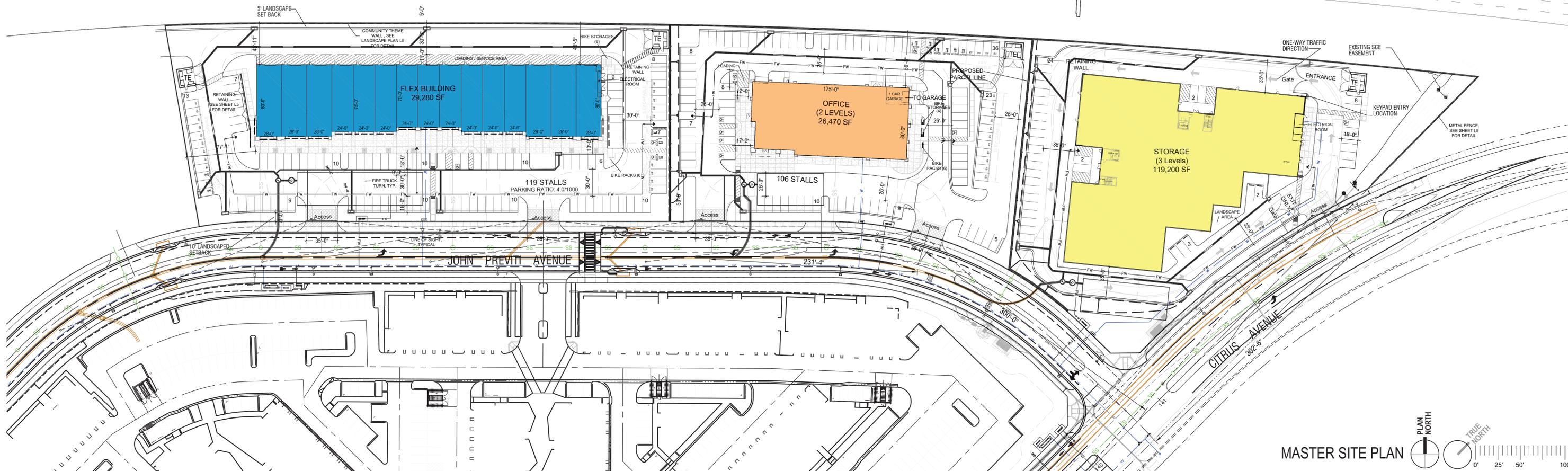
FUSCOE ENGINEERING, INC.
 15535 SAND CANYON, SUITE 100
 IRVINE, CA 92618
 LUIS FIGUEROA
 LFiguroa@fuscoe.com
 (909) 581-0676

LANDSCAPE:

SITESCAPES
 3190 B-2 AIRPORT LOOP DRIVE
 COSTA MESA, CA 92626
 SCOTT SHOUP
 sshoup@sitescapes.net
 (949) 644-9370

FWY 15

EXISTING SIGN BILLBOARD



FLEX BUILDING

29,280 SF

PARKING REQUIRED:

RETAIL 50% = 14,640 SF	
1ST 5,000 SF @ 1/175 SF	29 STALLS
2ND 5,000 SF @ 1/200 SF	25 STALLS
GREATER THAN 10,000 SF @ 1/225 SF	21 STALLS
TOTAL REQUIRED FOR RETAIL	75 STALLS

SERVICE RETAIL (BEAUTY/BARBER SHOP, SHOE REPAIR, CLEANERS, LAUNDROMAT, ETC)	
6,500 SF @ 1/225 SF	29 STALLS

MACHINE SHOPS, ETC	
7,500 SF @ 1/500 SF	15 STALLS

TOTAL PARKING REQUIRED	119 STALLS
-------------------------------	-------------------

PARKING PROVIDED	
STANDARD SPACE (9'-0" x 18'-0"):	114 STALLS
ACCESSIBLE SPACES (4) + VAN SPACES (1) PROVIDED	5 STALLS
TOTAL VEHICLE PARKING SPACES :	119 STALLS

EV CAPABLE SPACES & EV WITH "EVCS" INSTALLED REQUIRED & PROVIDED:	
(@20% OF TOTAL 119 STALLS = 24 SPACES)	

EV CAPABLE :	18 STALLS
--------------	-----------

EV SPACES WITH "EVCS" INSTALLED (25% OF 25)	
STANDARD SPACE WITH "EVCS"	3 STALLS
VAN ACCESSIBLE SPACE WITH "EVCS"	1 STALLS
STANDARD ACCESSIBLE WITH "EVCS"	1 STALLS
AMBULATORY WITH "EVCS"	1 STALLS
TOTAL EV (CAPABLE & EVCS)	6 STALLS

BIKE PARKING	
SHORT TERM REQUIRED (@5% OF 119):	6
SHORT TERM PROVIDED:	6
LONG TERM REQUIRED (ASSUME ±100 EMPLOYEES @5%):	5
LONG TERM BIKE-LOCKER PROVIDED (2 BIKES / STORAGE):	6

OFFICE

PARKING REQUIRED	
OFFICE BUILDING (26,470 SF) @ 1 SPACE PER 250 SF OF GROSS FLOOR AREA	106 STALLS

PARKING PROVIDED	
STANDARD SPACE (9'-0" x 18'-0"):	101 STALLS
ACCESSIBLE SPACES (4) + VAN SPACES (1) PROVIDED	5 STALLS
TOTAL VEHICLE PARKING SPACES :	106 STALLS

EV CAPABLE SPACES & EV WITH "EVCS" INSTALLED REQUIRED & PROVIDED:	
(@20% OF TOTAL 106 STALLS = 21 SPACES)	

EV CAPABLE :	15 STALLS
--------------	-----------

EV SPACES WITH "EVCS" INSTALLED (25% OF 25)	
STANDARD SPACE WITH "EVCS"	3 STALLS
VAN ACCESSIBLE SPACE WITH "EVCS"	1 STALLS
STANDARD ACCESSIBLE WITH "EVCS"	1 STALLS
AMBULATORY WITH "EVCS"	1 STALLS
TOTAL EV (CAPABLE & EVCS)	6 STALLS

BIKE PARKING	
SHORT TERM REQUIRED (@5% OF 106):	6
SHORT TERM PROVIDED:	6

LONG TERM REQUIRED (ASSUME ±50 EMPLOYEES @5%):	3
LONG TERM BIKE-LOCKER PROVIDED (2 BIKES / STORAGE):	4

SELF-STORAGE

PARKING REQUIRED	
SELF-STORAGE BUILDING (119,200 SF) @ 5 SPACES FOR OFFICE, PLUS 1 SPACE FOR EACH 25 STORAGE UNITS THAT ARE NOT PROVIDED WITH DIRECT VEHICULAR ACCESS. (ASSUMED ±900 TOTAL UNITS)	41 STALLS

PARKING PROVIDED	
STANDARD SPACE (9'-0" x 18'-0"):	39 STALLS
ACCESSIBLE VAN SPACES (1) PROVIDED	2 STALLS
TOTAL VEHICLE PARKING SPACES :	41 STALLS

NOTE:
EVCS: ELECTRIC VEHICLE CHARGING STATIONS

Future EV CAPABLE Parking stalls are included in the Overall count of "CLEAN AIR, VAN POOL, EV CAPABLE" spaces.
The Future EV CAPABLE SPACES & CLEAN AIR / VAN POOL are marked as "EV CAPABLE" spaces per CGBSC.
The EV SPACES with the ELECTRIC CHARGING STATIONS EQUIPMENT installed are marked as "EVCS"
5.106.5.3.4 "FUTURE CHARGING SPACES QUALIFY AS DESIGNATED".
Parking described in Section 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES.
2022 CALIFORNIA BUILDING CODE,
Table 11B-228.3.2.1 Electric Vehicle Charging Station for Public use and Common use.

MASTER SITE PLAN

Project Summary PA-2

Total Site Area: ±2.22 AC

FLEX
Site Area ±2.75 AC
Flex 1 Building 29,280 sf

Parking Provided 119 stalls
Parking Ratio 4.1 /1000

OFFICE
Site Area ±2.0 AC
Office Building (2 Levels) 26,470 sf

Parking Provided 106 stalls
Parking Ratio 4 /1000

STORAGE
Site Area ±2.47 AC
Storage (3 Levels) 119,200 sf

Parking Provided 41 stalls

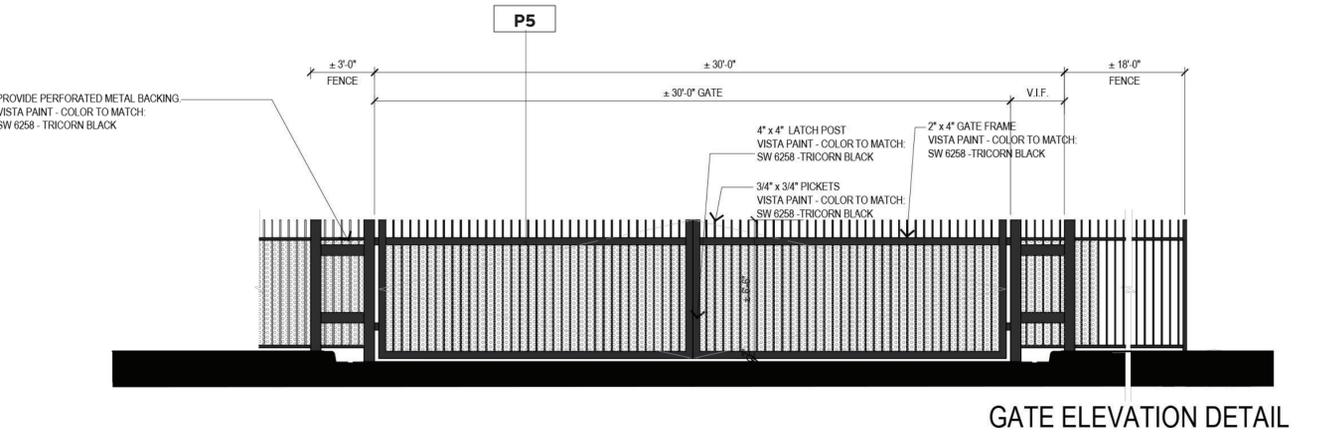
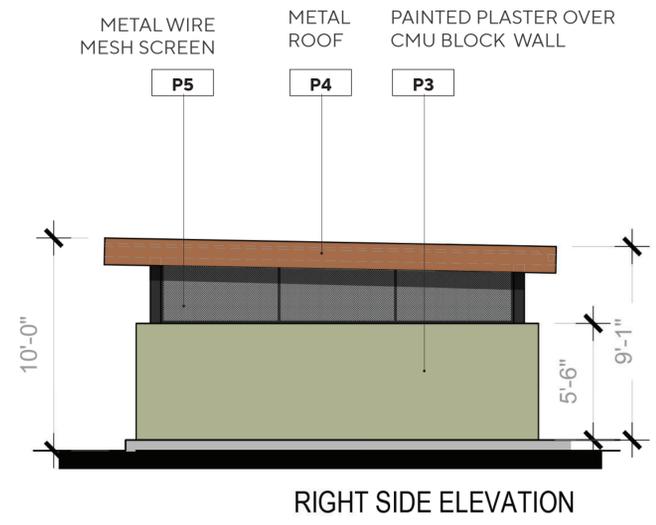
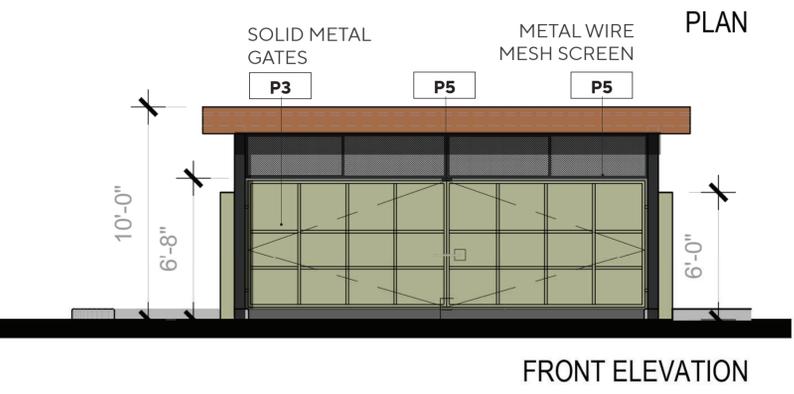
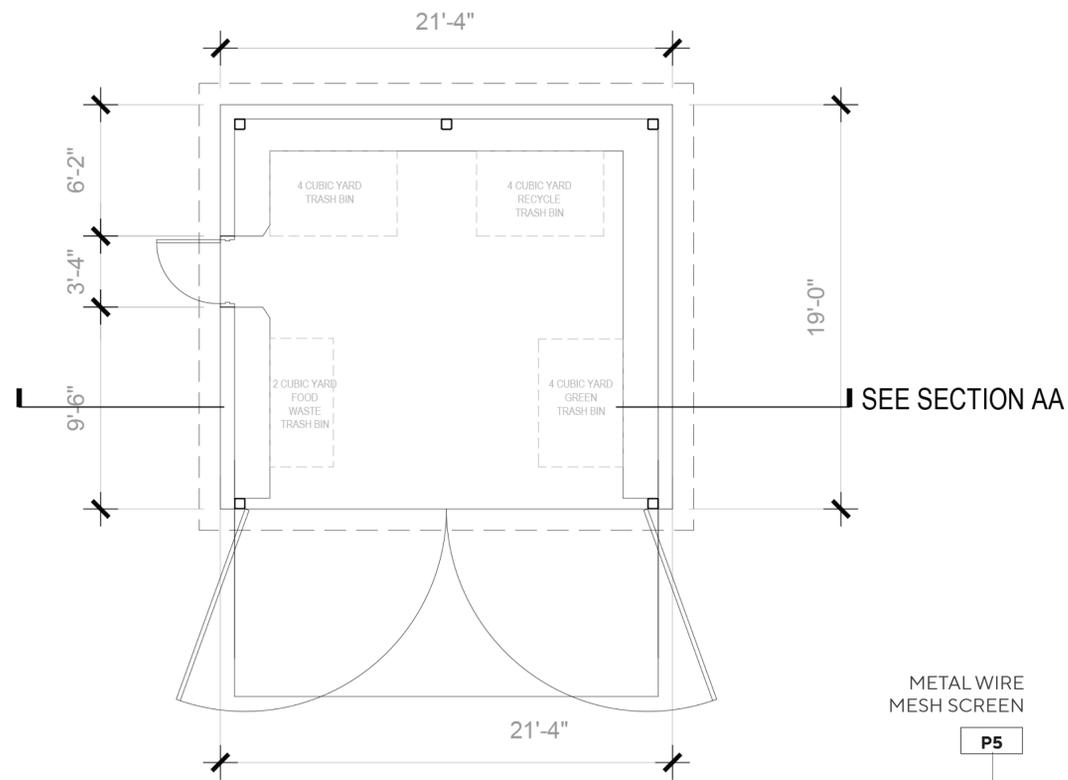


VENTANA PA-2
CITRUS AVE, FONTANA, CA

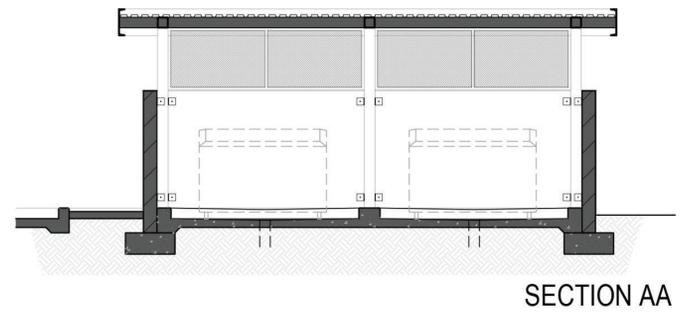
MASTER SITE PLAN

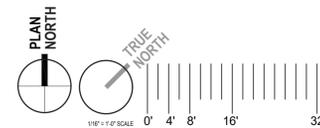
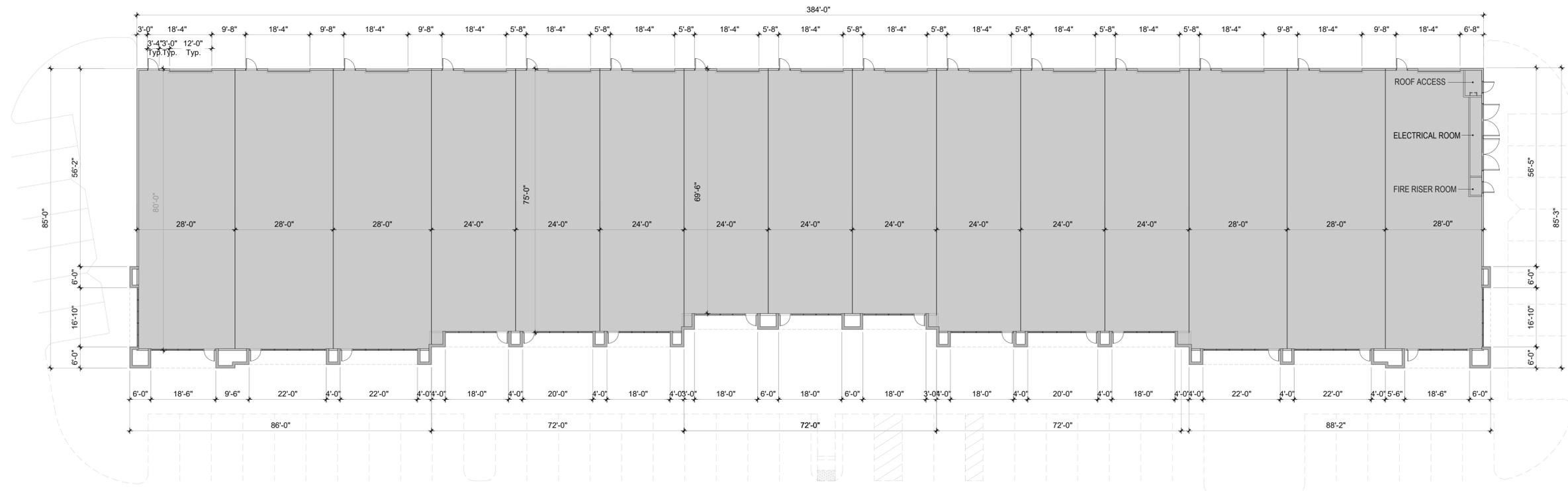


01



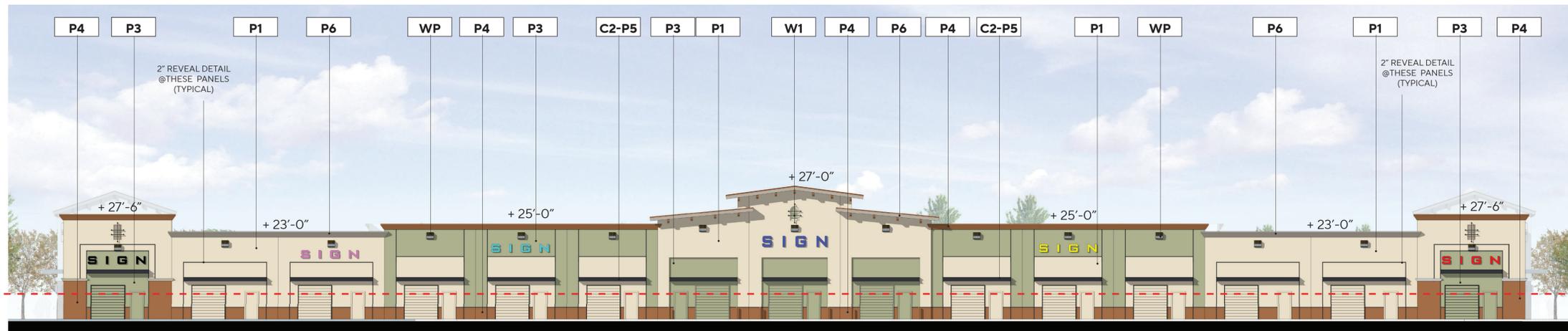
NOTE: GATES AND MAN DOORS WILL HAVE LOCKS AND ONLY ACCESSIBLE TO TENANTS



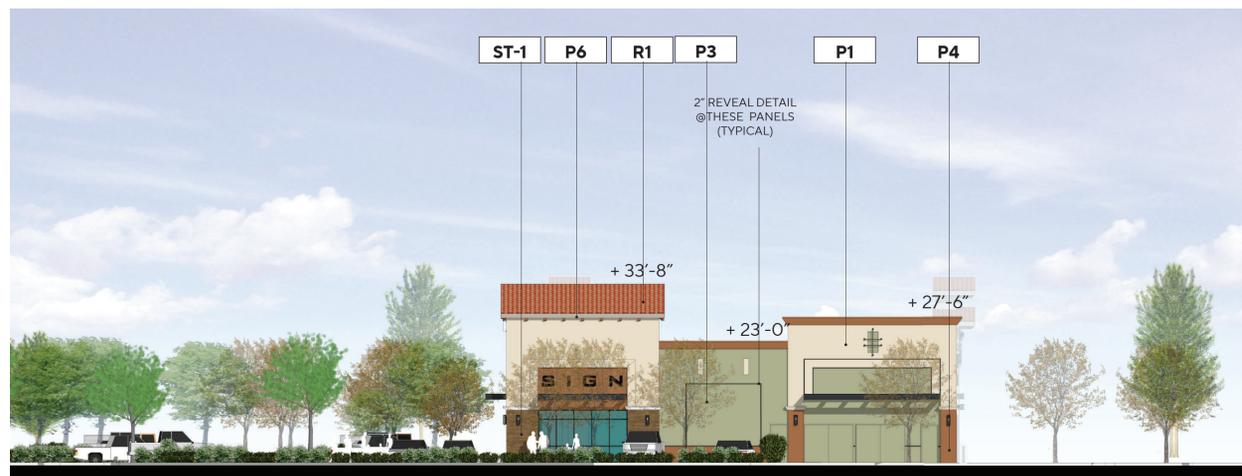




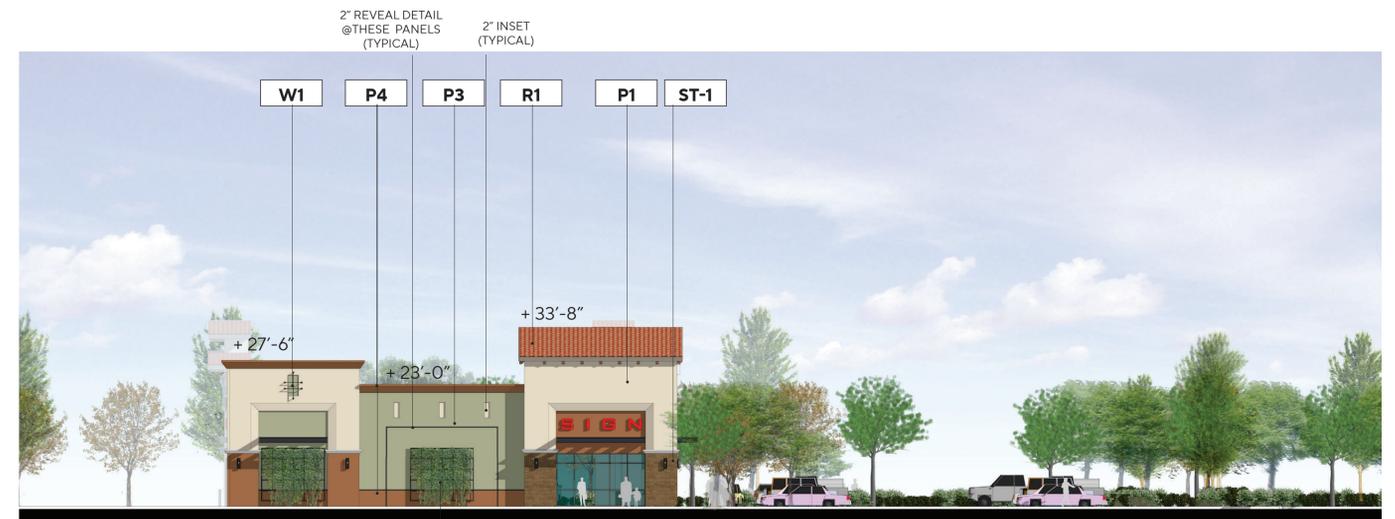
SOUTH ELEVATION



NORTH ELEVATION

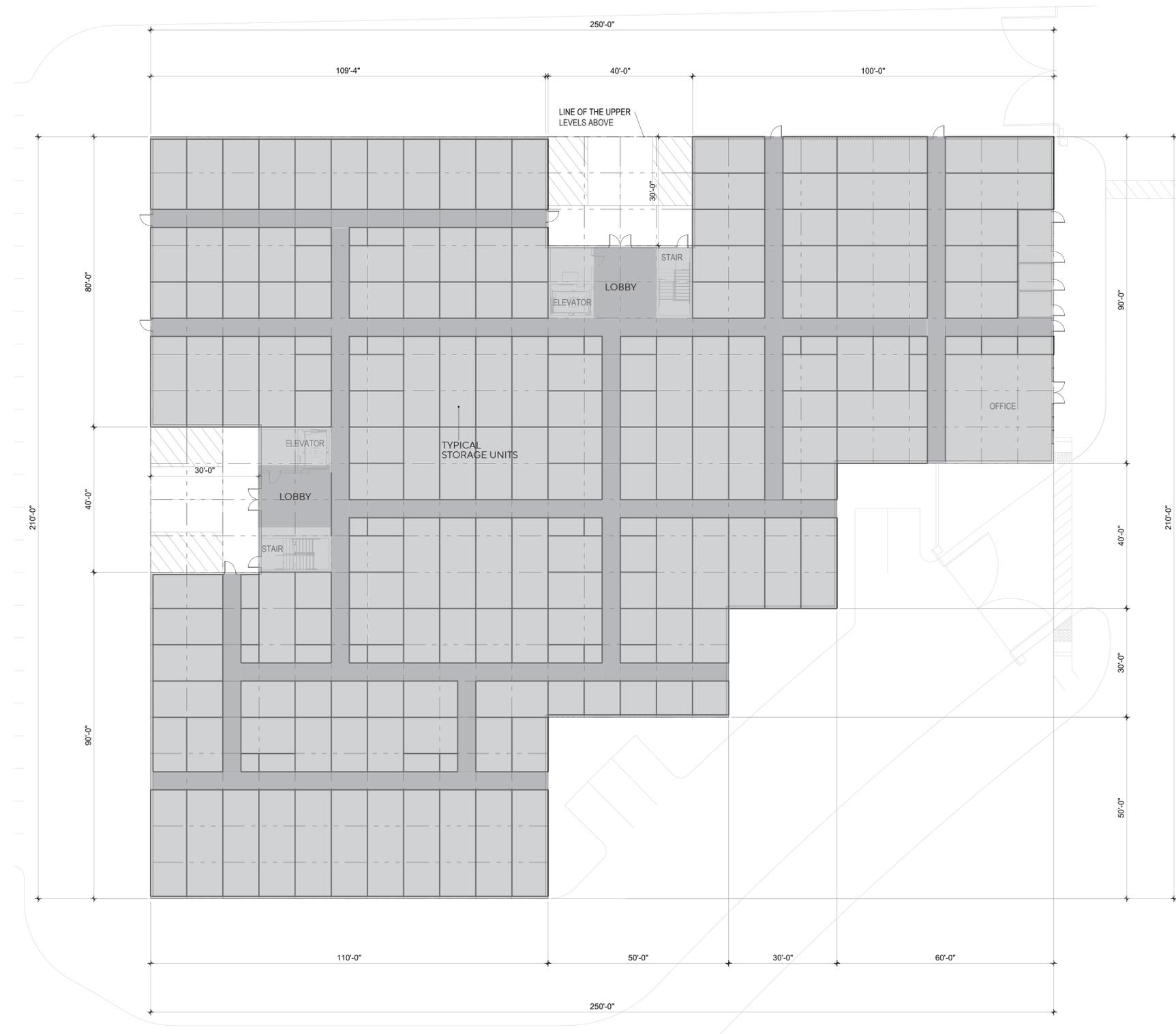


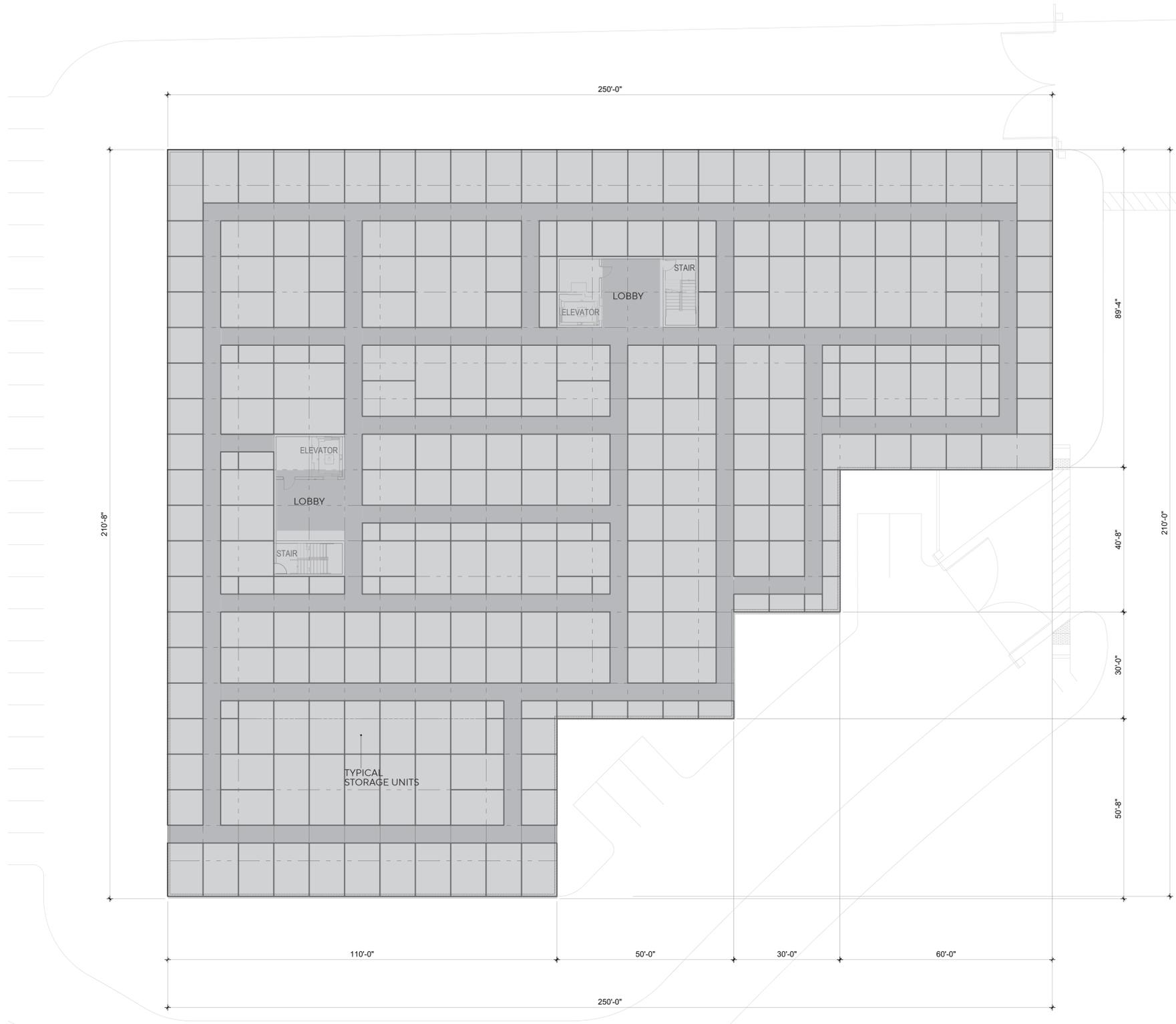
EAST ELEVATION



WEST ELEVATION









P6 METAL CANOPY
 METAL DOOR, TYPICAL, COLOR TO MATCH ADJACENT SURFACE

EAST ELEVATION



METAL DOOR, TYPICAL, COLOR TO MATCH ADJACENT SURFACE

WEST ELEVATION





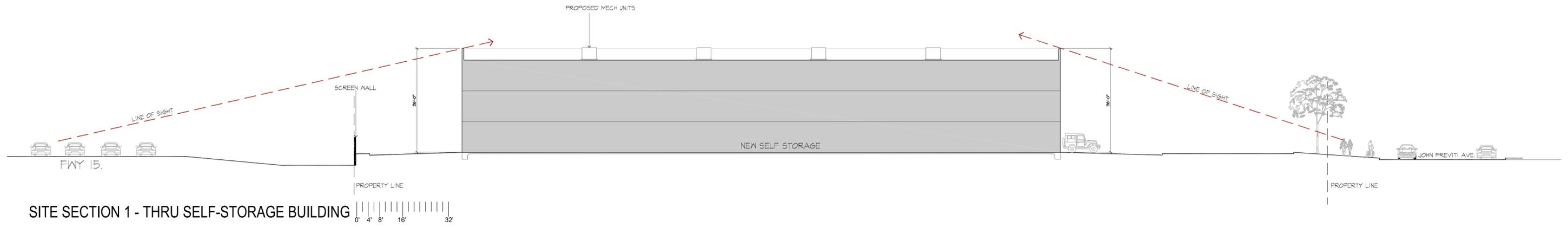
SOUTH ELEVATION



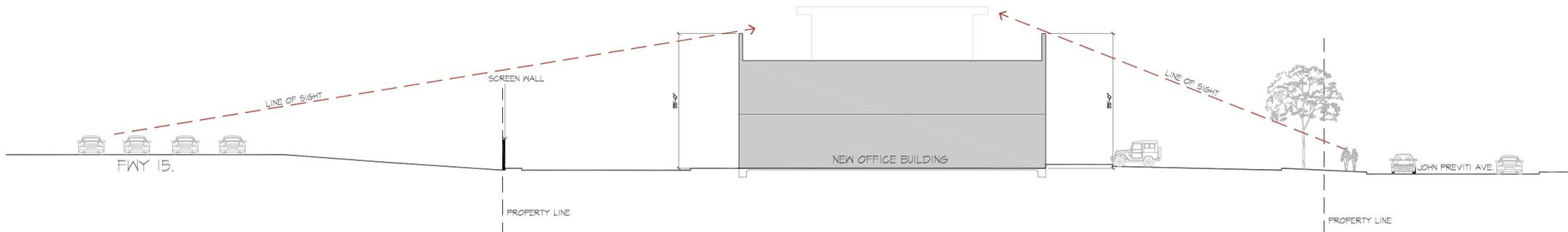
NORTH ELEVATION



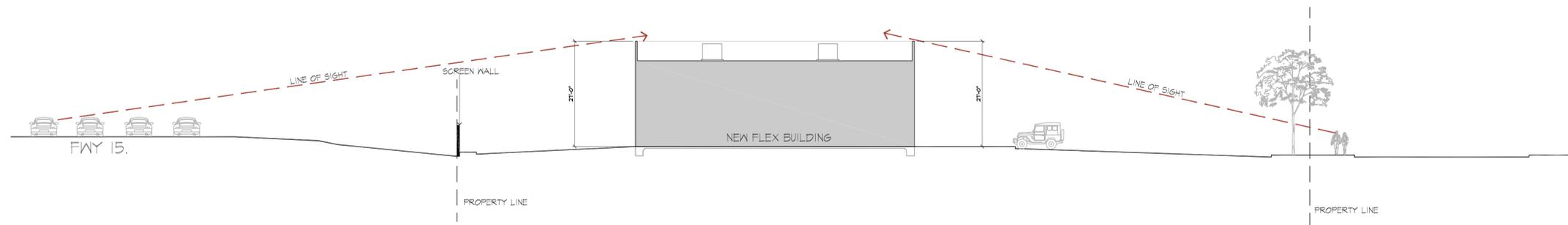




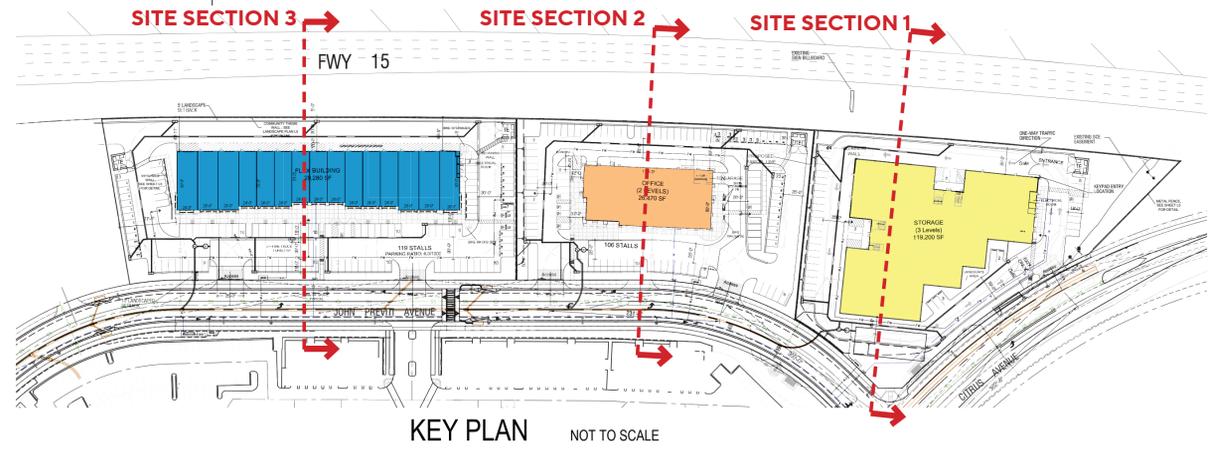
SITE SECTION 1 - THRU SELF-STORAGE BUILDING



SITE SECTION 2 - THRU OFFICE BUILDING



SITE SECTION 3 - THRU FLEX BUILDING



KEY PLAN NOT TO SCALE

CMU BLOCKS / STONE VENEER



CMU-1

ORCO, DECORATIVE CMU BLOCK SPLIT FACE - VARIEGATED COLORS - TUSCANY WITH STONEGATE MORTAR AT LEVEL 1 AND PAINTED PLASTER FINISH AT 2ND & 3RD LEVELS. PAINTED WITH VISTA PAINT, COLOR TO MATCH: SW 7012 - CREAMY (BY SHERWIN WILLIAMS)



CMU-2

ORCO, 2" PRECISION CAP PRECISION - PORTOLA SPRING MW



ST-1

FACE BRICK BEAVER BLEND - 73 DART-TEX BY BELDEN BRICK

STUCCO / PAINT FINISHES



P1

VISTA PAINT TO MATCH: SW 7012 - CREAMY BY SHERWIN WILLIAMS



P2

VISTA PAINT TO MATCH: SW 6133 - MUSLIN BY SHERWIN WILLIAMS



P3

VISTA PAINT TO MATCH: SW 0013 - MAJORLICA GREEN BY SHERWIN WILLIAMS



P4

VISTA PAINT TO MATCH: SW 7710 - BRANDY WINE BY SHERWIN WILLIAMS



P5

VISTA PAINT TO MATCH: SW 6258 - TRICORN BLACK BY SHERWIN WILLIAMS



P6

VISTA PAINT TO MATCH: SW 0023 - PEWTER TANKARD BY SHERWIN WILLIAMS



P7

VISTA PAINT TO MATCH: SW 6173 - COCOON BY SHERWIN WILLIAMS

ROOF TILE



R1

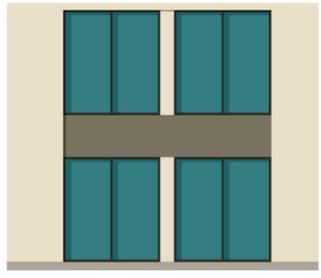
ROOF TILE CAL MISSION BLEND BY BORAL ROOF TILE

STOREFRONT



GL-1

DARK ANOD. BRONZE ALUM. STOREFRONT WITH CLEAR GLAZING



GL-2

DARK ANOD. BRONZE ALUM. FRAME WITH SPANDREL GLASS

ARCHITECTURAL ELEMENTS



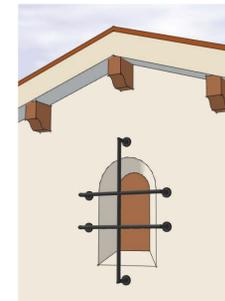
C1-P5

METAL CANOPY CHANNEL PROFILE VISTA PAINT TO MATCH: SW 6258 - TRICORN BLACK BY SHERWIN WILLIAMS



C2-P5

METAL CANOPY CHANNEL BLADE PROFILE VISTA PAINT TO MATCH: SW 6258 - TRICORN BLACK BY SHERWIN WILLIAMS



WI

WROUGHT IRON GRILLE ORNAMENT



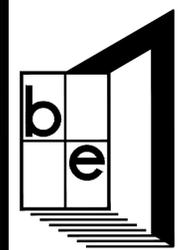
SL

GOSON OUTDOOR WALL LIGHT 1-LIGHT_CLEAR GLASS MODEL # 59089BK



WP

LED WALL PACK 125W, 5000K DARK BRONZE MODEL # 08125W27V50K



bonaldo engineering
 10700 jersey blvd., suite 700
 rancho cucamonga, ca 91730
 phone 1.909.944.9992
 email sergeb@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

PROJECT
 THE PREVITI GROUP
 NEW HEADQUARTERS BUILDING

ADDRESS
 JOHN PREVITI AVE., FONTANA, CA

CASE NO.

OWNER
 FRONTIER ENTERPRISES
 2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
 PHONE --- FAX ---

SHEET TITLE
 OFFICE BUILDING
 FIRST FLOOR
 PLAN

DATE MAR. 7, 2025
SCALE AS NOTED
DRAWN BY SL / NATAL
JOB No 24-28-4511

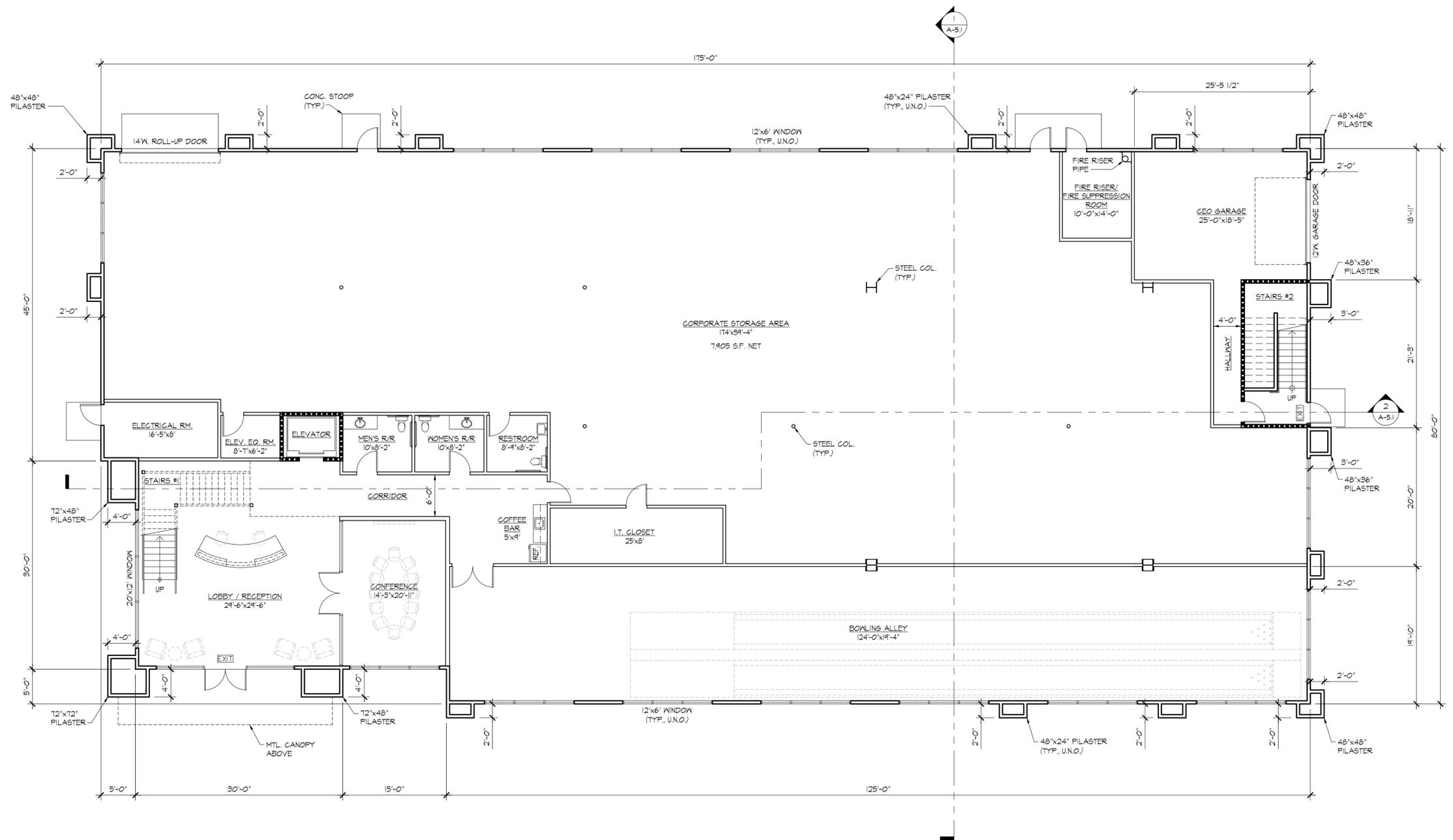
SHEET No
 A-1

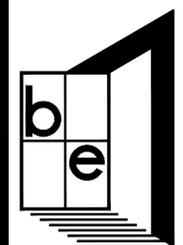
LEGEND

- WOOD FRAMED EXTERIOR WALL
- WOOD FRAMED INTERIOR WALL
- WOOD FRAMED 1-HR. WALL
- WOOD FRAMED PONY WALL

LEGEND AND NOTES

SCALE 1





bonaldo engineering
 10700 jersey blvd., suite 700
 rancho cucamonga, ca 91730
 phone 1.909.944.9992
 email sergeb@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

PROJECT
 THE PREVITI GROUP
 NEW HEADQUARTERS BUILDING

ADDRESS
 JOHN PREVITI AVE., FONTANA, CA

CASE NO

OWNER
 FRONTIER ENTERPRISES
 2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
 PHONE --- FAX ---

SHEET TITLE
 OFFICE BUILDING
 SECOND FLOOR PLAN

DATE MAR. 7, 2025
SCALE AS NOTED
DRAWN BY SL / NATAL
JOB No 24-28-4511

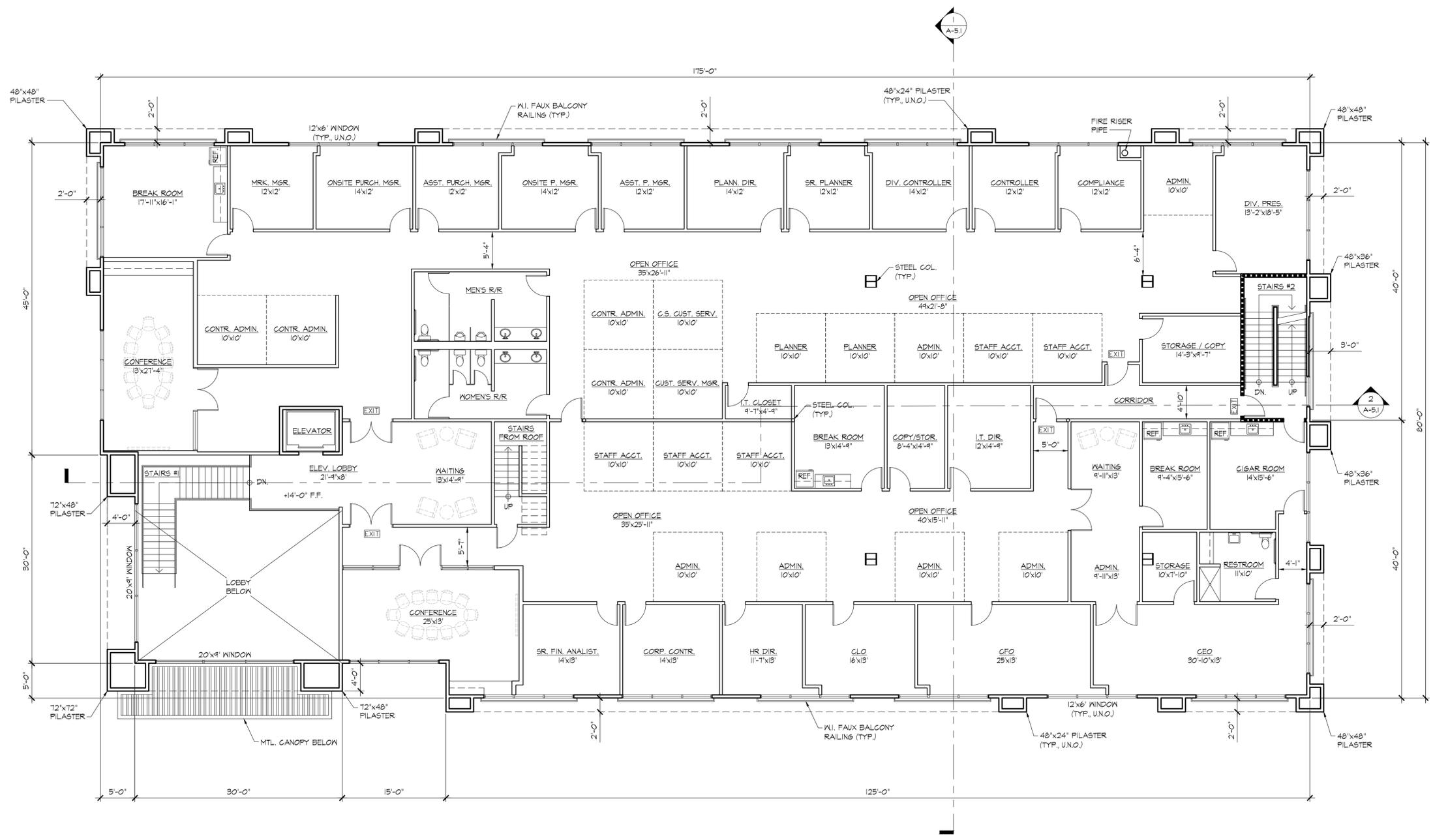
SHEET No
 A-2

LEGEND

- WOOD FRAMED EXTERIOR WALL
- WOOD FRAMED INTERIOR WALL
- WOOD FRAMED 1-HR. WALL
- WOOD FRAMED PONY WALL

LEGEND AND NOTES

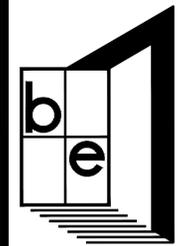
SCALE 1



OFFICE BUILDING - SECOND FLOOR PLAN

SCALE 1/8"=1'-0" 2





bonaldo engineering
 10700 jersey blvd., suite 700
 rancho cucamonga, ca 91730
 phone 1.909.944.9992
 email sergeb@bonaldoeng.com

LEGEND

- WOOD FRAMED EXTERIOR WALL
- WOOD FRAMED INTERIOR WALL
- WOOD FRAMED 1-HR. WALL
- WOOD FRAMED ROOF PARAPET

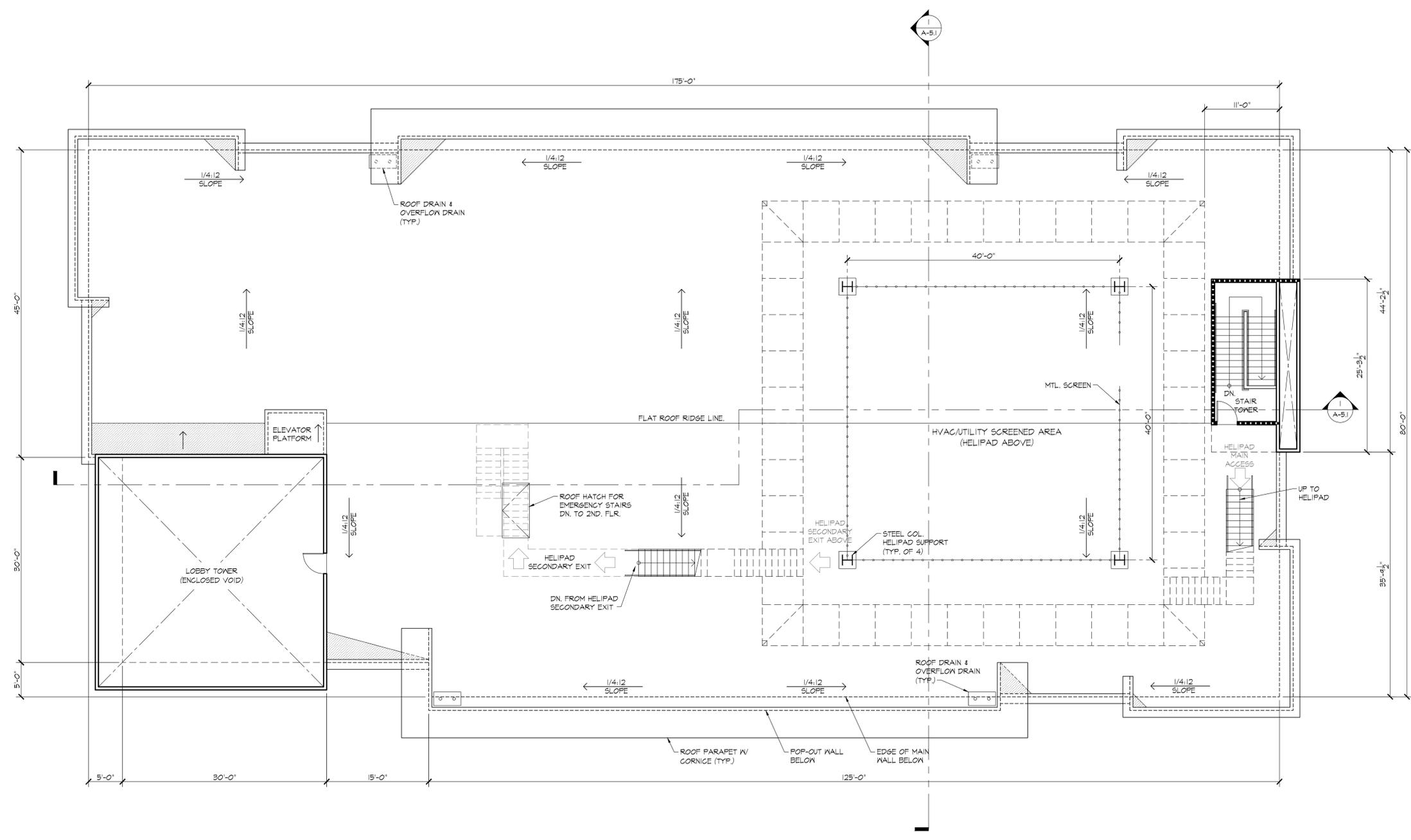
LEGEND AND NOTES

SCALE 1



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS



OFFICE BUILDING - LOW ROOF PLAN

SCALE 1/8" = 1'-0" 2

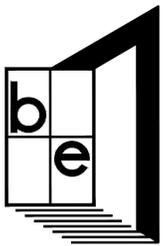
PROJECT
 THE PREVITI GROUP
 NEW HEADQUARTERS BUILDING
 ADDRESS — JOHN PREVITI AVE., FONTANA, CA
 CASE NO
 OWNER — FRONTIER ENTERPRISES
 2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
 PHONE — FAX —

SHEET TITLE
 OFFICE BUILDING
 LOW ROOF PLAN

DATE MAR. 7, 2025
SCALE AS NOTED
DRAWN BY SL / NATAL
JOB No 24-28-4511

SHEET No
 A-3.1

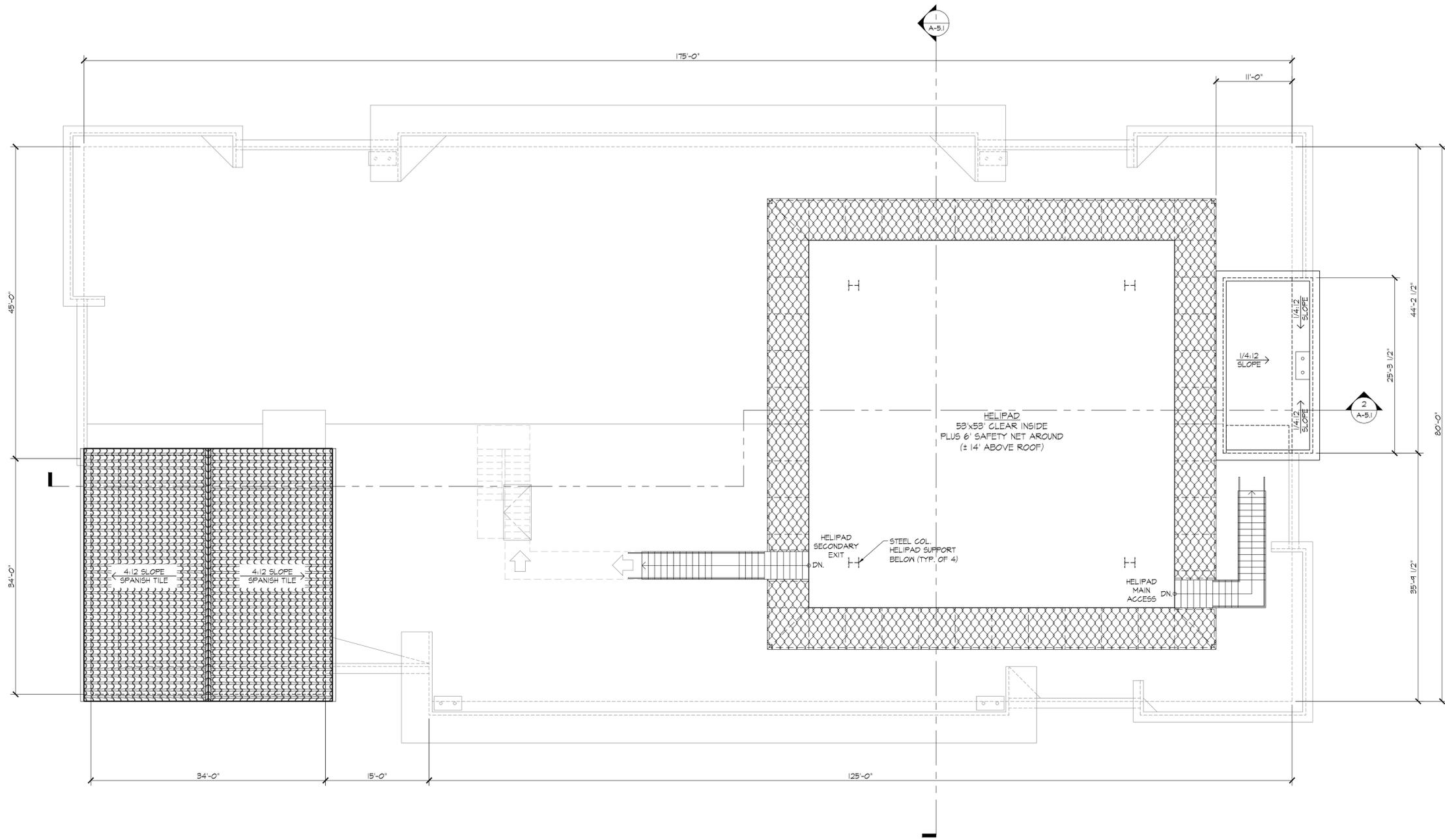
LEGEND



bonaldo engineering
 10700 jersey blvd., suite 700
 rancho cucamonga, ca 91730
 phone 1.909.944.9992
 email sergeb@bonaldoeng.com

LEGEND AND NOTES

SCALE 1



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

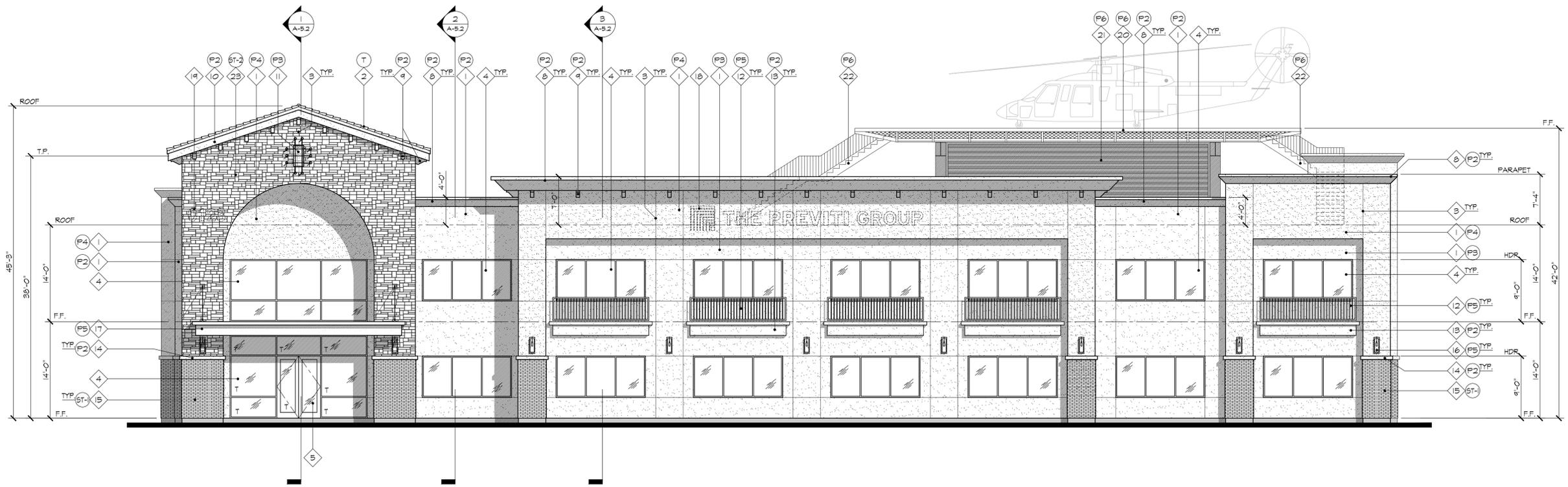
PROJECT
 THE PREVITI GROUP
 NEW HEADQUARTERS BUILDING
 ADDRESS — JOHN PREVITI AVE., FONTANA, CA
 CASE No
 OWNER — FRONTIER ENTERPRISES
 2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
 PHONE — FAX —

SHEET TITLE
 OFFICE BUILDING
 HIGH ROOF PLAN

DATE MAR. 7, 2025
 SCALE AS NOTED
 DRAWN BY SL / NATAL
 JOB No 24-28-4511

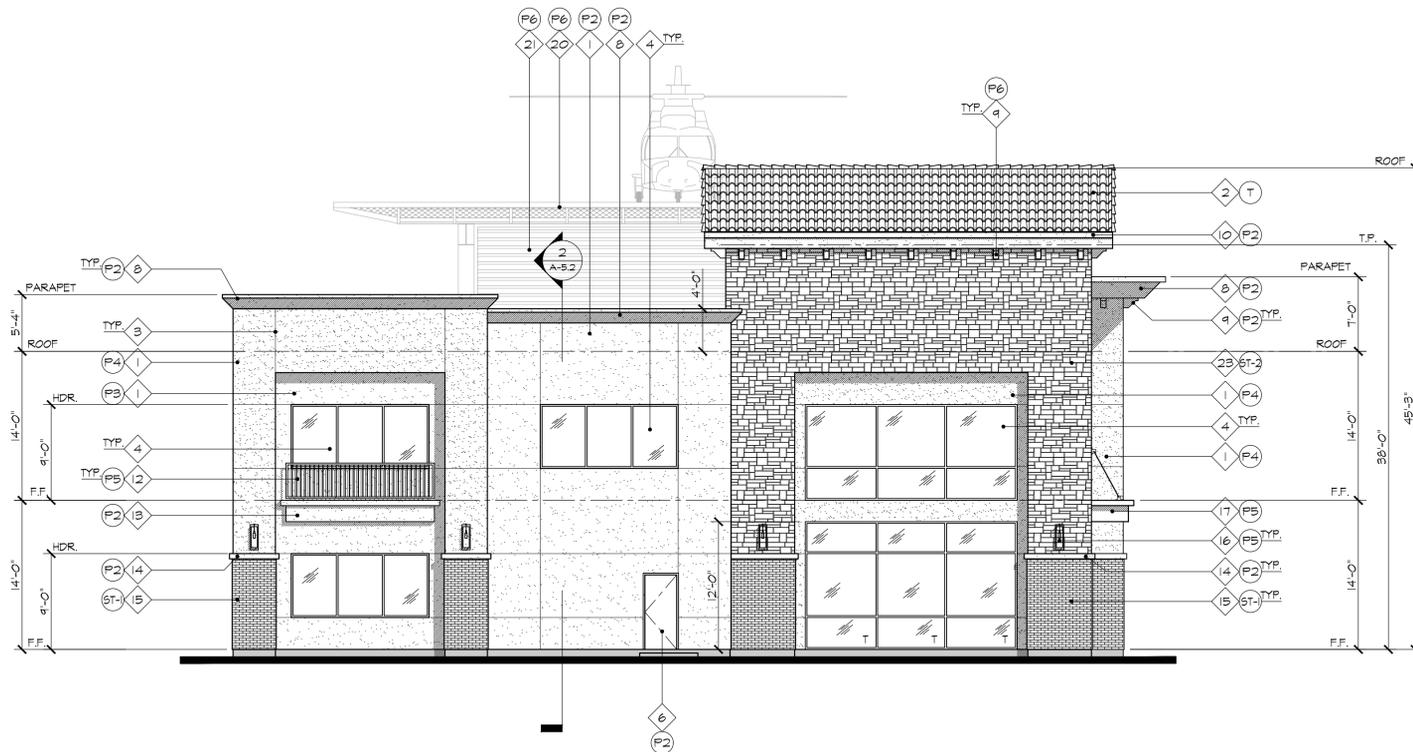
SHEET No
A-3.2





SOUTH-EAST ELEVATION (FRONT)

SCALE
1/8" = 1'-0" 1



SOUTH-WEST ELEVATION (LEFT)

SCALE
1/8" = 1'-0" 3

ELEVATION KEY NOTES:

- 1 STUCCO WALL FINISH
- 2 SPANISH STYLE CONC. TILE ROOF
- 3 STUCCO EXPANSION JOINT
- 4 WINDOW SYSTEM W/ ANODIZED ALUMINUM FRAME AND SOLARBLUE SOLARGOOL GLASS
- 5 STOREFRONT DOOR & WINDOW SYSTEM W/ DARK BRONZE ANODIZED ALUMINUM FRAME AND SOLARBLUE SOLARGOOL GLASS
- 6 EXTERIOR METAL DOOR & FRAME
- 7 EXTERIOR METAL ROLL-UP DOOR & FRAME
- 8 STUCCO CORNICE
- 9 FOAM CORBEL/RAFTER TAIL W/ STUCCO FINISH
- 10 STUCCO FASCIA
- 11 6" RECESSED STUCCO NICHE W/ PAINTED-BLACK W/ ACCENT
- 12 FAUX BALCONY W/ RAILING
- 13 STUCCO SILL TRIM
- 14 STUCCO BASE TRIM
- 15 THIN SET BRICK VENEER
- 16 18" MIN. WALL MOUNT LIGHT FIXTURE W/ MTL. FRAME
- 17 METAL CANOPY
- 18 BUILDING SIGNAGE UNDER SEPARATE PERMIT
- 19 ADDRESS NUMBERS UNDER SEPARATE PERMIT
- 20 HELIPAD STRUCTURE (BY OTHERS)
- 21 METAL SCREEN, PAINTED
- 22 METAL STAIRS, PAINTED
- 23 THIN SET STONE VENEER

COLOR / FINISH LEGEND:

- P2 LIGHT PAINT, COLOR 1012 'CREAMY' BY SHERWIN WILLIAMS
- P3 MEDIUM PAINT, COLOR 6153 'MUSLIN' BY SHERWIN WILLIAMS
- P4 DARK PAINT, COLOR T110 'BRANDYNI' BY SHERWIN WILLIAMS
- P2 ACCENT PAINT 2, COLOR 1012 'CREAMY' BY SHERWIN WILLIAMS
- P5 ACCENT PAINT 3, COLOR TO MATCH DARK BRONZE STOREFRONT FRAME
- P6 ACCENT PAINT 4, COLOR 0068 'COPPEN BLUE' BY SHERWIN WILLIAMS
- ST-1 THIN SET BRICK VENEER, TUNDRABRICK 'RIVERBED' BY ELDORADO STONE
- ST-2 THIN SET STONE VENEER, COUNTRY RUBBLE 'TEXAS CREAM' BY GORONADO STONE PRODUCTS
- T SPANISH STYLE CONC. TILE ROOF, CAL MISSION BLEND BY BORAL ROOFING TILE

GLASS LEGEND:

ALL VISION GLASS, UNLESS NOTES:
S = SPANDREL GLASS
T = TEMPERED GLASS

LEGEND / NOTES

SCALE
1/8" = 1'-0" 2

bonaldo engineering
10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email sergeb@bonaldoeng.com

REGISTERED PROFESSIONAL ENGINEER
SERGIO V. BERNALDO
NO. 43812
EXP. 6-30-25
CIVIL
STATE OF CALIFORNIA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

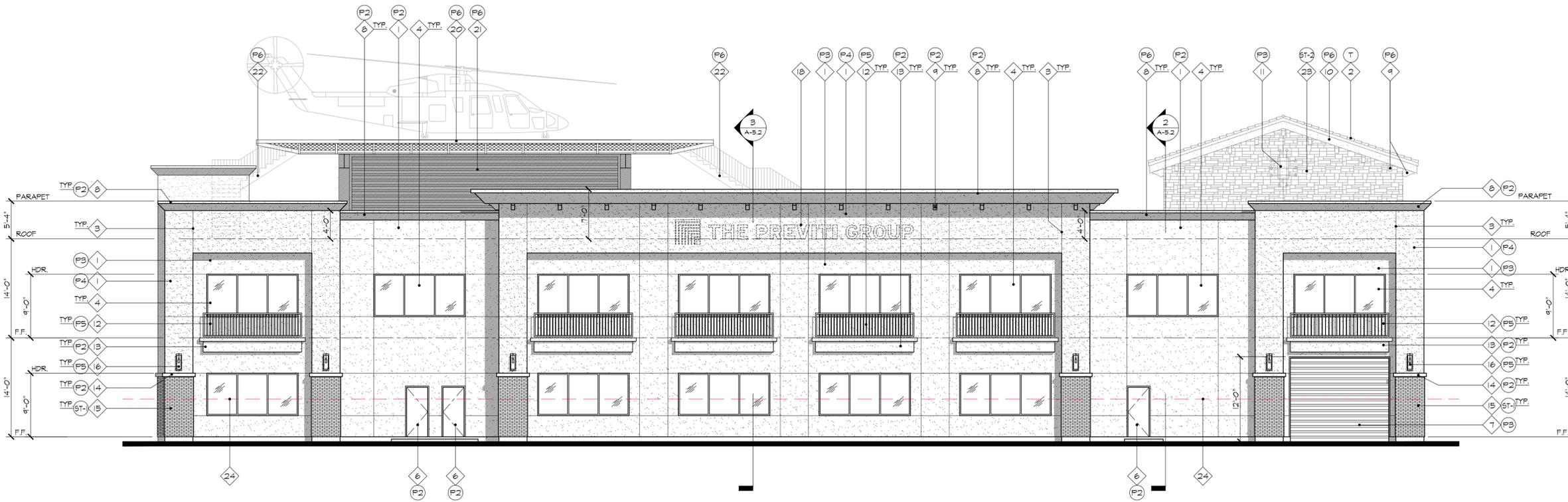
REVISIONS

PROJECT
THE PREVITI GROUP
NEW HEADQUARTERS BUILDING
ADDRESS — JOHN PREVITI AVE., FONTANA, CA
CASE NO. —
OWNER — FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE —
FAX —

SHEET TITLE
OFFICE BUILDING EXTERIOR ELEVATIONS

DATE MAR. 7, 2025
SCALE AS NOTED
DRAWN BY SL / NATAL
JOB No 24-28-4511

SHEET No
A-4.1



NORTH-WEST ELEVATION (REAR)

SCALE
1/8" = 1'-0" 1



NORTH-EAST ELEVATION (RIGHT)

SCALE
1/8" = 1'-0" 3

ELEVATION KEY NOTES:

- 1 STUCCO WALL FINISH
- 2 SPANISH STYLE CONG. TILE ROOF
- 3 STUCCO EXPANSION JOINT
- 4 STOREFRONT WINDOW SYSTEM W/ DARK BRONZE ANODIZED ALUMINUM FRAME AND SOLARBLUE SOLARCOOL GLASS
- 5 STOREFRONT DOOR & WINDOW SYSTEM W/ DARK BRONZE ANODIZED ALUMINUM FRAME AND SOLARBLUE SOLARCOOL GLASS
- 6 EXTERIOR METAL DOOR & FRAME
- 7 EXTERIOR METAL ROLL-UP DOOR & FRAME
- 8 STUCCO CORNICE
- 9 FOAM CORBEL/RAFTER TAIL W/ STUCCO FINISH
- 10 STUCCO FASCIA
- 11 6" RECESSED STUCCO NICHE W/ PAINTED-BLACK W/ ACCENT
- 12 FAUX BALCONY W/ RAILING
- 13 STUCCO SILL TRIM
- 14 STUCCO BASE TRIM
- 15 THIN SET BRICK VENEER
- 16 18" H. MIN. WALL MOUNT LIGHT FIXTURE W/ MTL. FRAME
- 17 METAL CANOPY
- 18 BUILDING SIGNAGE UNDER SEPARATE PERMIT
- 19 ADDRESS NUMBERS UNDER SEPARATE PERMIT
- 20 HELIPAD STRUCTURE (BY OTHERS)
- 21 METAL SCREEN, PAINTED
- 22 METAL STAIRS, PAINTED
- 23 THIN SET STONE VENEER
- 24 LINE OF 6'-0" TO 8'-0" HIGH FENCE WALL ALONG FREEWAY. SEE LANDSCAPE DRAWINGS

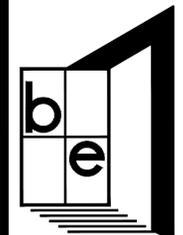
LEGEND / NOTES

COLOR / FINISH LEGEND:

- P2 LIGHT PAINT, COLOR '1012 CREAMY' BY SHERWIN WILLIAMS
- F6 MEDIUM PAINT, COLOR 6183 'MUSLIN' BY SHERWIN WILLIAMS
- F4 DARK PAINT, COLOR '7110 BRANDYWINE' BY SHERWIN WILLIAMS
- P2 ACCENT PAINT 2, COLOR '1012 CREAMY' BY SHERWIN WILLIAMS
- F6 ACCENT PAINT 3, COLOR TO MATCH DARK BRONZE STOREFRONT FRAME
- F6 ACCENT PAINT 4, COLOR 0068 'COPPEN BLUE' BY SHERWIN WILLIAMS
- ST-1 BRICK VENEER, TUNDRABRICK 'RIVERBED' BY EL DORADO STONE
- ST-2 THIN SET STONE VENEER, COUNTRY 'RUEBLE TEXAS CREAM' BY CORONADO STONE PRODUCTS
- T SPANISH STYLE CONG. TILE ROOF, 'CAL MISSION BLEND' BY BORAL ROOFING TILE

GLASS LEGEND:

- ALL VISION GLASS, UNLESS NOTED:
- S = SPANDREL GLASS
 - T = TEMPERED GLASS



bonaldo engineering

10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email serge@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

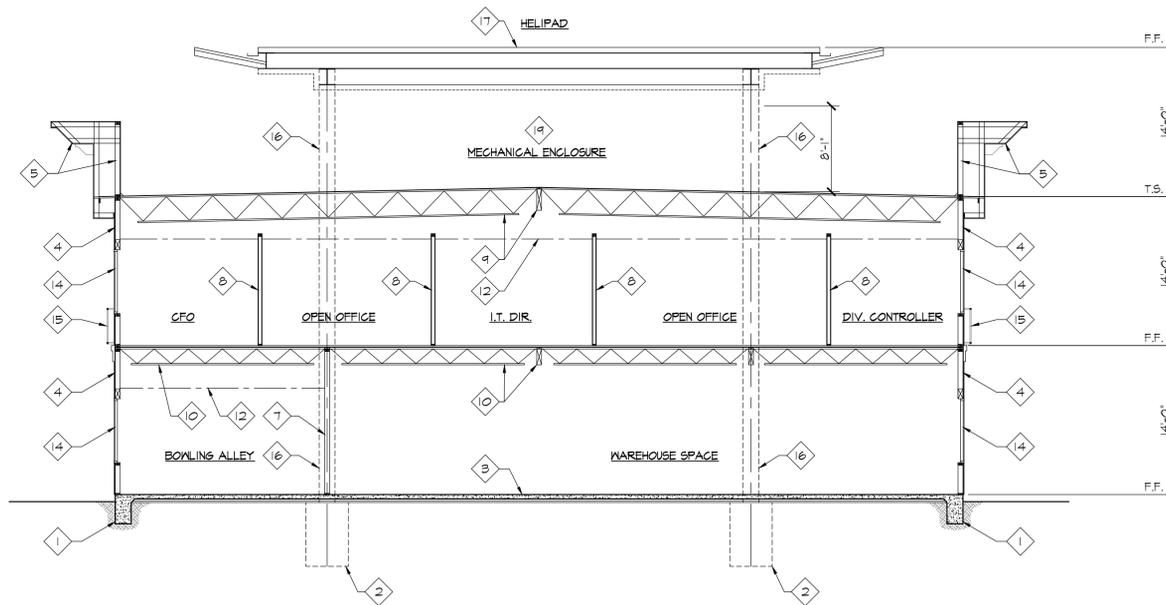
PROJECT
**THE PREVITI GROUP
NEW HEADQUARTERS BUILDING**
ADDRESS
JOHN PREVITI AVE., FONTANA, CA
CASE NO
OWNER
FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE
FAX

SHEET TITLE
**OFFICE
BUILDING
EXTERIOR
ELEVATIONS**

DATE MAR. 7, 2025
SCALE AS NOTED
DRAWN BY SL / NATAL
JOB No 24-28-4511

SHEET No
A-4.2

SCALE
1/8" = 1'-0" 2



KEY NOTES:

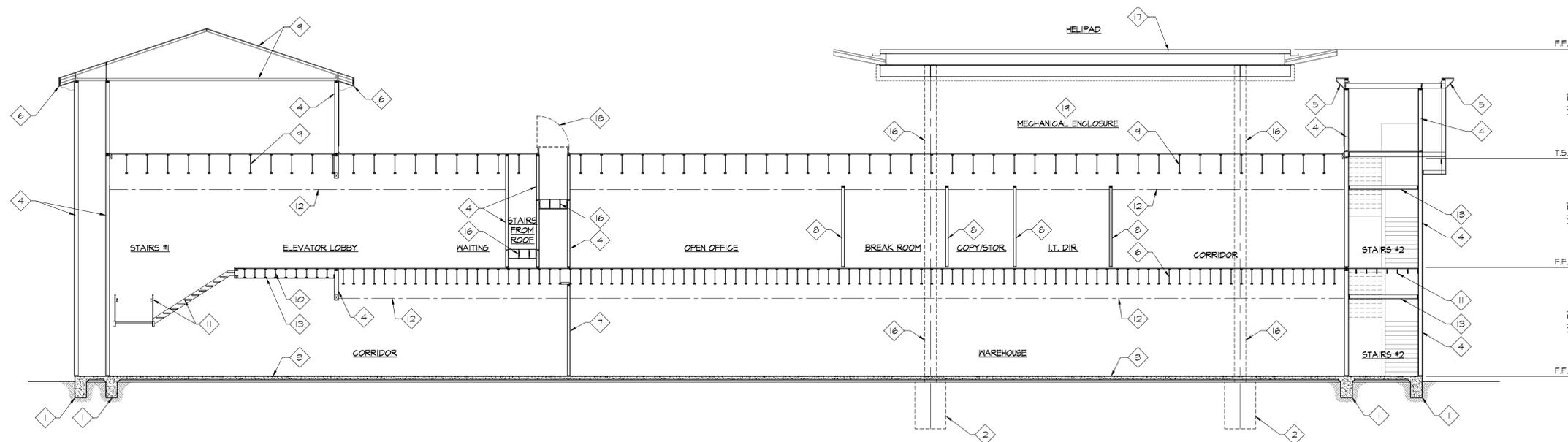
- 1 CONCRETE FOOTING
- 2 CONCRETE PAD FOOTING AT HELIPAD SUPPORT
- 3 CONCRETE SLAB
- 4 FRAMED BEARING WALL
- 5 ROOF PARAPET W/ CORNICE/CORBEL
- 6 2x FASCIA FRAMING & RAFTER TAILS W/ STUCCO FINISH
- 7 FULL-HEIGHT PARTITION WALL
- 8 PARTITION WALL
- 9 ROOF FRAMING
- 10 FLOOR FRAMING
- 11 STAIRS FRAMING & RAILING
- 12 SUSPENDED CEILING (T-BAR)
- 13 HARD-LID CEILING
- 14 STOREFRONT WINDOW / DOOR
- 15 W. FAUX BALCONY RAILING
- 16 HELIPAD SUPPORTS
- 17 HELIPAD STRUCTURE (BY OTHERS)
- 18 ROOF ACCESS HATCH
- 19 ROOFTOP MECHANICAL UNIT

BUILDING SECTION

SCALE
1/8" = 1'-0"

1

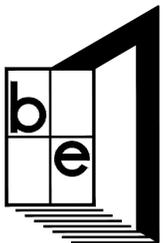
KEY NOTES



BUILDING SECTION

SCALE
1/8" = 1'-0"

2



**bonaldo
engineering**

10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email sergeb@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

NO.	DESCRIPTION

PROJECT
**THE PREVITI GROUP
NEW HEADQUARTERS BUILDING**
ADDRESS
— JOHN PREVITI AVE., FONTANA, CA
OWNER
FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE —
FAX —

SHEET TITLE

**OFFICE
BUILDING
SECTIONS**

DATE
MAR. 7, 2025

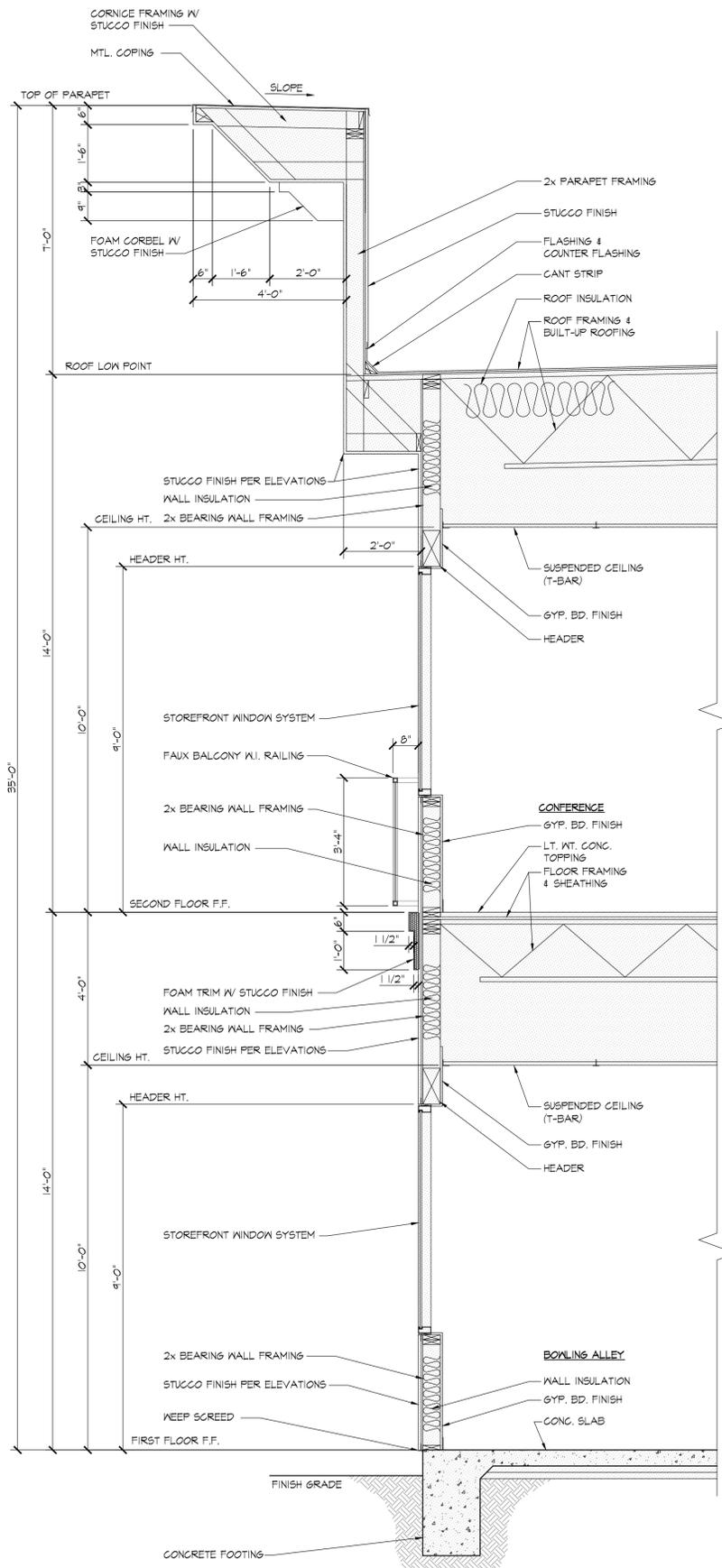
SCALE
AS NOTED

DRAWN BY
SL / NATAL

JOB No
24-28-4511

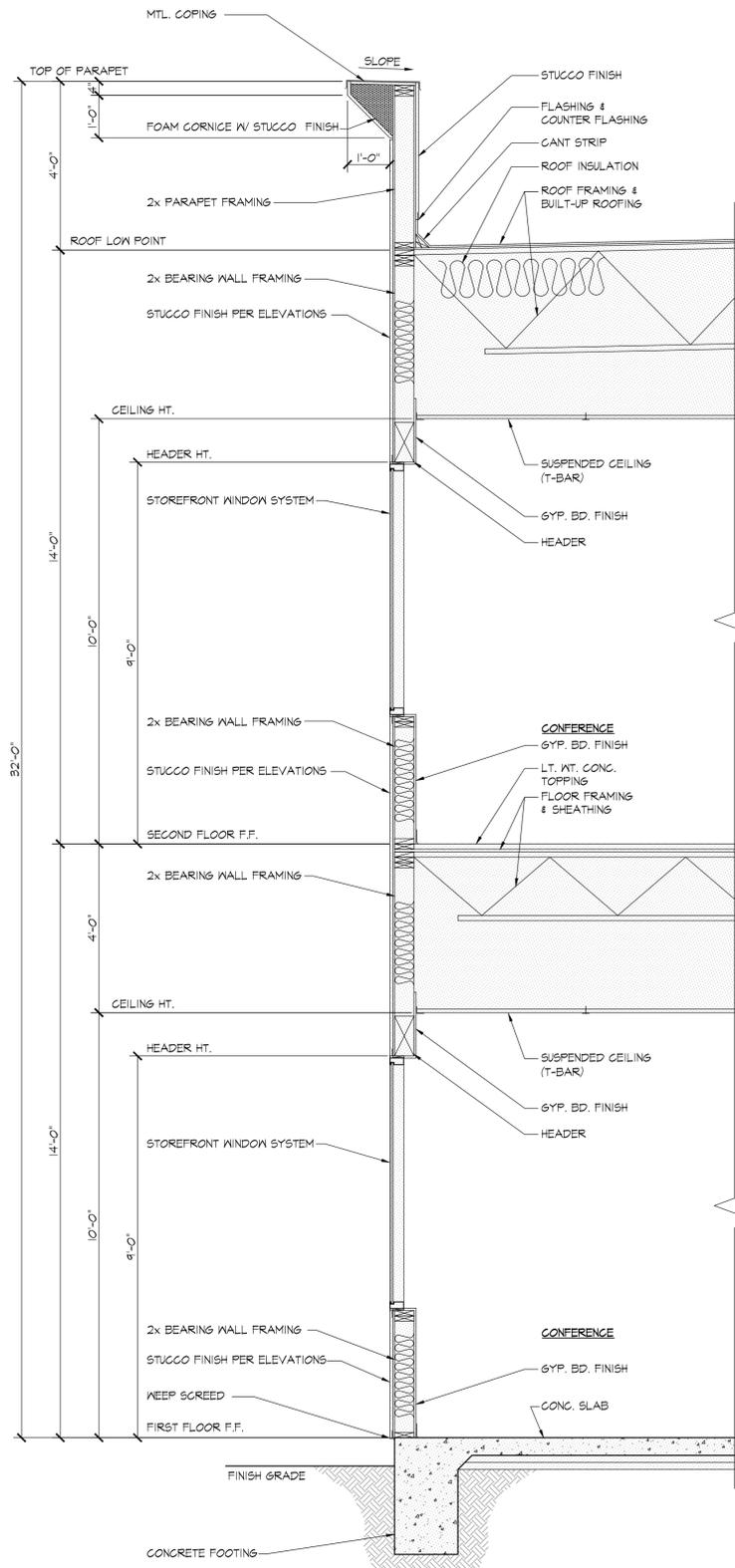
SHEET No

A-5.1



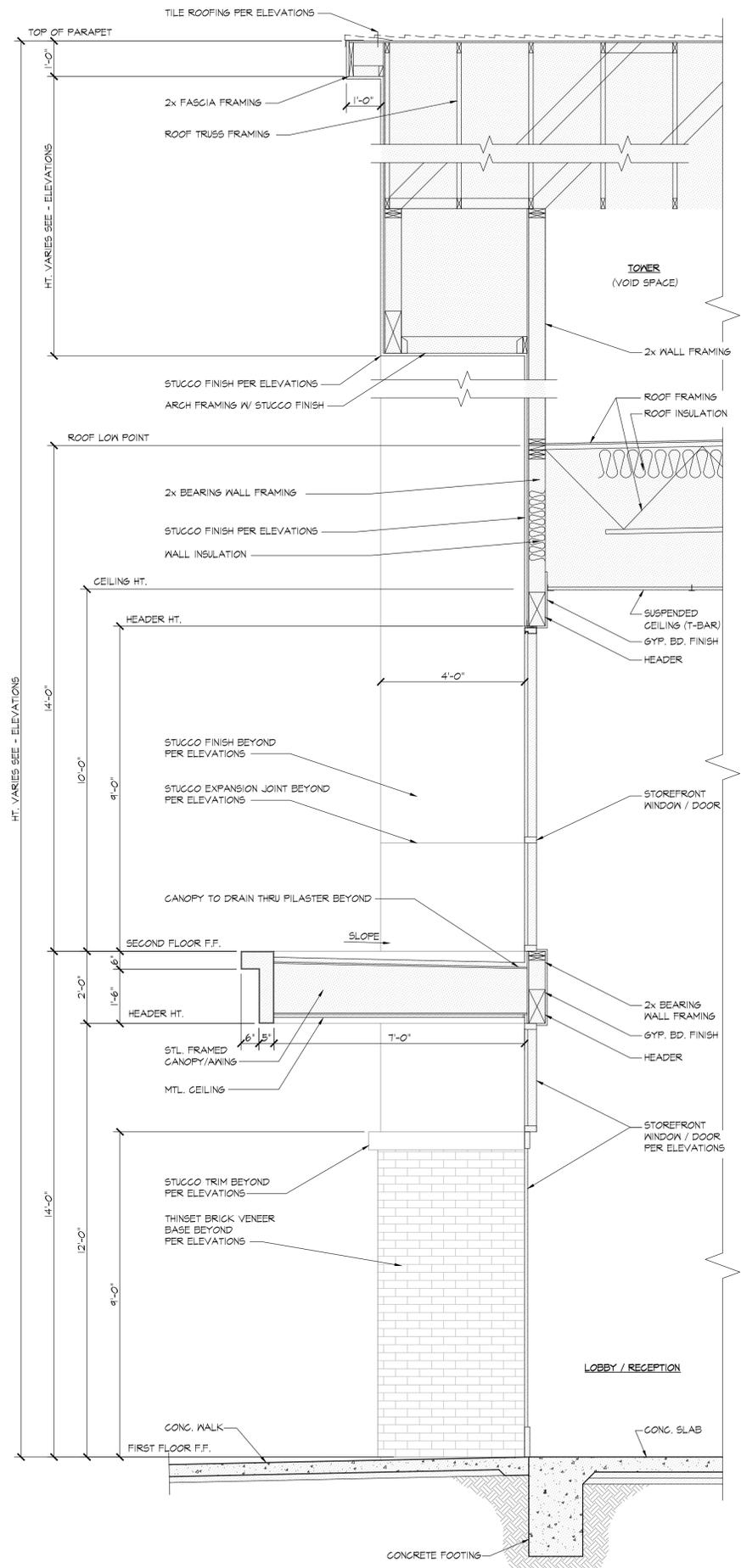
WALL SECTION

SCALE
1/2" = 1'-0" 3



WALL SECTION

SCALE
1/2" = 1'-0" 2



WALL SECTION

SCALE
1/2" = 1'-0" 1

bonaldo engineering
10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email sergeb@bonaldoeng.com

REGISTERED PROFESSIONAL ENGINEER
SERGIO V. BONALDO
NO. 43812
EXP. 6-30-25
CIVIL
STATE OF CALIFORNIA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

THE PREVITI GROUP
NEW HEADQUARTERS BUILDING
ADDRESS — JOHN PREVITI AVE., FONTANA, CA
CASE NO
OWNER — FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE — FAX —

OFFICE BUILDING WALL SECTIONS

DATE	MAR. 7, 2025
SCALE	AS NOTED
DRAWN BY	SL / NATAL
JOB No	24-28-4511

SHEET No
A-5.2



SOUTH-EAST ELEVATION (FRONT)

SCALE 1
1/8" = 1'-0"



SOUTH-WEST ELEVATION (LEFT)

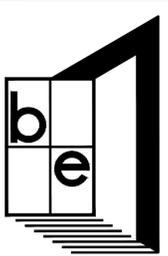
SCALE 3
1/8" = 1'-0"

COLOR / FINISH LEGEND:

- (T) SPANISH STYLE CONG. TILE ROOF, 'CAL MISSION BLEND' BY BORAL ROOFING TILE
- (P2) LIGHT PAINT OVER STUCCO, COLOR 'TO12 'CREAMY' BY SHERWIN WILLIAMS
- (P3) MEDIUM PAINT OVER STUCCO, COLOR '0133 'MUSLIN' BY SHERWIN WILLIAMS
- (P4) DARK PAINT OVER STUCCO, COLOR 'T110 'BRANDYVINE' BY SHERWIN WILLIAMS
- (P2) ACCENT PAINT 2 OVER STUCCO, COLOR 'TO12 'CREAMY' BY SHERWIN WILLIAMS
- (P5) ACCENT PAINT 3 - METAL ENTRY COVER, RAILINGS, COLOR TO MATCH DARK BRONZE STOREFRONT FRAME
- (P6) ACCENT PAINT 4, COLOR '0068 'COPPEN BLUE' BY SHERWIN WILLIAMS
- (ST-1) THIN SET BRICK VENEER OVER STUCCO BASE COAT, TUNDRABRICK 'RIVERBED' BY ELDORADO STONE
- (P3) EXTERIOR METAL ROLL-UP/GARAGE DOOR & FRAME, PAINTED, COLOR '0133 'MUSLIN' BY SHERWIN WILLIAMS
- (P2) EXTERIOR METAL DOOR & FRAME, PAINTED, COLOR 'TO12 'CREAMY' BY SHERWIN WILLIAMS
- (P3) EXTERIOR METAL DOOR & FRAME, PAINTED, COLOR '0133 'MUSLIN' BY SHERWIN WILLIAMS
- (SF1) STOREFRONT DOOR & WINDOW SYSTEM w/ DARK BRONZE ANODIZED ALUMINUM FRAME AND SOLAREBLUE SOLARCOOL GLASS
- (P5) FAUX BALCONY W/ RAILING, PAINTED, COLOR TO MATCH DARK BRONZE STOREFRONT FRAME
- (ST-2) THIN SET STONE VENEER OVER STUCCO BASE COAT, COUNTRY RUBBLE 'TEXAS CREAM' BY CORONADO STONE PRODUCTS

LEGEND / NOTES

SCALE 2
1/8" = 1'-0"



bonaldo engineering
10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email sergeb@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

PROJECT
**THE PREVITI GROUP
NEW HEADQUARTERS BUILDING**
ADDRESS — JOHN PREVITI AVE., FONTANA, CA
CASE NO
OWNER — FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE
FAX

SHEET TITLE
**OFFICE
BUILDING
COLORED
ELEVATIONS**

DATE MAR. 7, 2025
SCALE AS NOTED
DRAWN BY SL / NATAL
JOB No 24-28-4511

SHEET No
A-6.1



NORTH-WEST ELEVATION (REAR)

SCALE
1/8" = 1'-0" 1



NORTH-EAST ELEVATION (RIGHT)

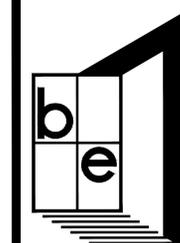
SCALE
1/8" = 1'-0" 3

COLOR / FINISH LEGEND:

- (T) SPANISH STYLE CONG. TILE ROOF, 'CAL MISSION BLEND' BY BORAL ROOFING TILE
- (P2) LIGHT PAINT OVER STUCCO, COLOR 'TO12 'CREAMY' BY SHERWIN WILLIAMS
- (P3) MEDIUM PAINT OVER STUCCO, COLOR '0133 'MUSLIN' BY SHERWIN WILLIAMS
- (P4) DARK PAINT OVER STUCCO, COLOR 'T110 'BRANDYWINE' BY SHERWIN WILLIAMS
- (P2) ACCENT PAINT 2 OVER STUCCO, COLOR 'TO12 'CREAMY' BY SHERWIN WILLIAMS
- (P5) ACCENT PAINT 3 - METAL ENTRY COVER, RAILINGS, COLOR TO MATCH DARK BRONZE STOREFRONT FRAME
- (P6) ACCENT PAINT 4, COLOR '0068 'COPPEN BLUE' BY SHERWIN WILLIAMS
- (ST-1) THIN SET BRICK VENEER OVER STUCCO BASE COAT, 'TUNDRABRICK 'RIVERBED' BY ELDORADO STONE
- (P3) EXTERIOR METAL ROLL-UP/GARAGE DOOR & FRAME, PAINTED, COLOR '0133 'MUSLIN' BY SHERWIN WILLIAMS
- (P2) EXTERIOR METAL DOOR & FRAME, PAINTED, COLOR 'TO12 'CREAMY' BY SHERWIN WILLIAMS
- (P3) EXTERIOR METAL DOOR & FRAME, PAINTED, COLOR '0133 'MUSLIN' BY SHERWIN WILLIAMS
- (SF1) STOREFRONT DOOR & WINDOW SYSTEM w/ DARK BRONZE ANODIZED ALUMINUM FRAME AND SOLAREBLUE SOLARGOOL GLASS
- (P5) FAUX BALCONY W/ RAILING, PAINTED, COLOR TO MATCH DARK BRONZE STOREFRONT FRAME
- (ST-2) THIN SET STONE VENEER OVER STUCCO BASE COAT, 'COUNTRY RUBBLE 'TEXAS CREAM' BY CORONADO STONE PRODUCTS

LEGEND / NOTES

SCALE
1/8" = 1'-0" 2



**bonaldo
engineering**

10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email sergeb@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

NO.	DESCRIPTION

PROJECT
**THE PREVITI GROUP
NEW HEADQUARTERS BUILDING**

ADDRESS
JOHN PREVITI AVE., FONTANA, CA

CASE NO

OWNER
FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE
FAX

SHEET TITLE

**OFFICE
BUILDING
COLORED
ELEVATIONS**

DATE
MAR. 7, 2025

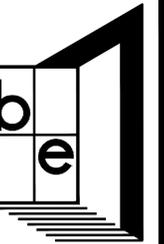
SCALE
AS NOTED

DRAWN BY
SL / NATAL

JOB No
24-28-4511

SHEET No

A-6.2



**bonaldo
engineering**
10700 jersey blvd., suite 700
rancho cucamonga, ca 91730
phone 1.909.944.9992
email sergeb@bonaldoeng.com



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF BONALDO ENGINEERING. ALL DESIGNS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF BONALDO ENGINEERING. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN ON THESE DRAWINGS.

REVISIONS

PROJECT
**THE PREVITI GROUP
NEW HEADQUARTERS BUILDING**
ADDRESS — JOHN PREVITI AVE., FONTANA, CA
CASE NO
OWNER — FRONTIER ENTERPRISES
2151 CONVENTION CENTER WAY, ONTARIO, CA 91761
PHONE — FAX —

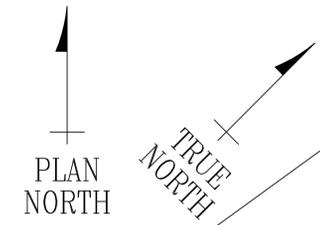
SHEET TITLE
**OFFICE
BUILDING
RENDERINGS**

DATE — MAR. 7, 2025
SCALE — AS NOTED
DRAWN BY — SL / NATAL
JOB No — 24-28-4511

SHEET No
A-7

This document is the property of FEC Heliports, Cincinnati Ohio. Information contained on this document shall not be disclosed to others, used for manufacturing, or reproduced for any reason without the expressed written permission of FEC Heliports.

REV.	Date	Description



FEC HELIPORTS
5228 RIVER RD
CINCINNATI, OH
45233



5228 River Road
Cincinnati, Ohio 45233
(513) 621-5260
(513) 621-0524 Fax
www.FECHeliports.com

Drawn By: TSL Checked By: JJS

Job No. S01818

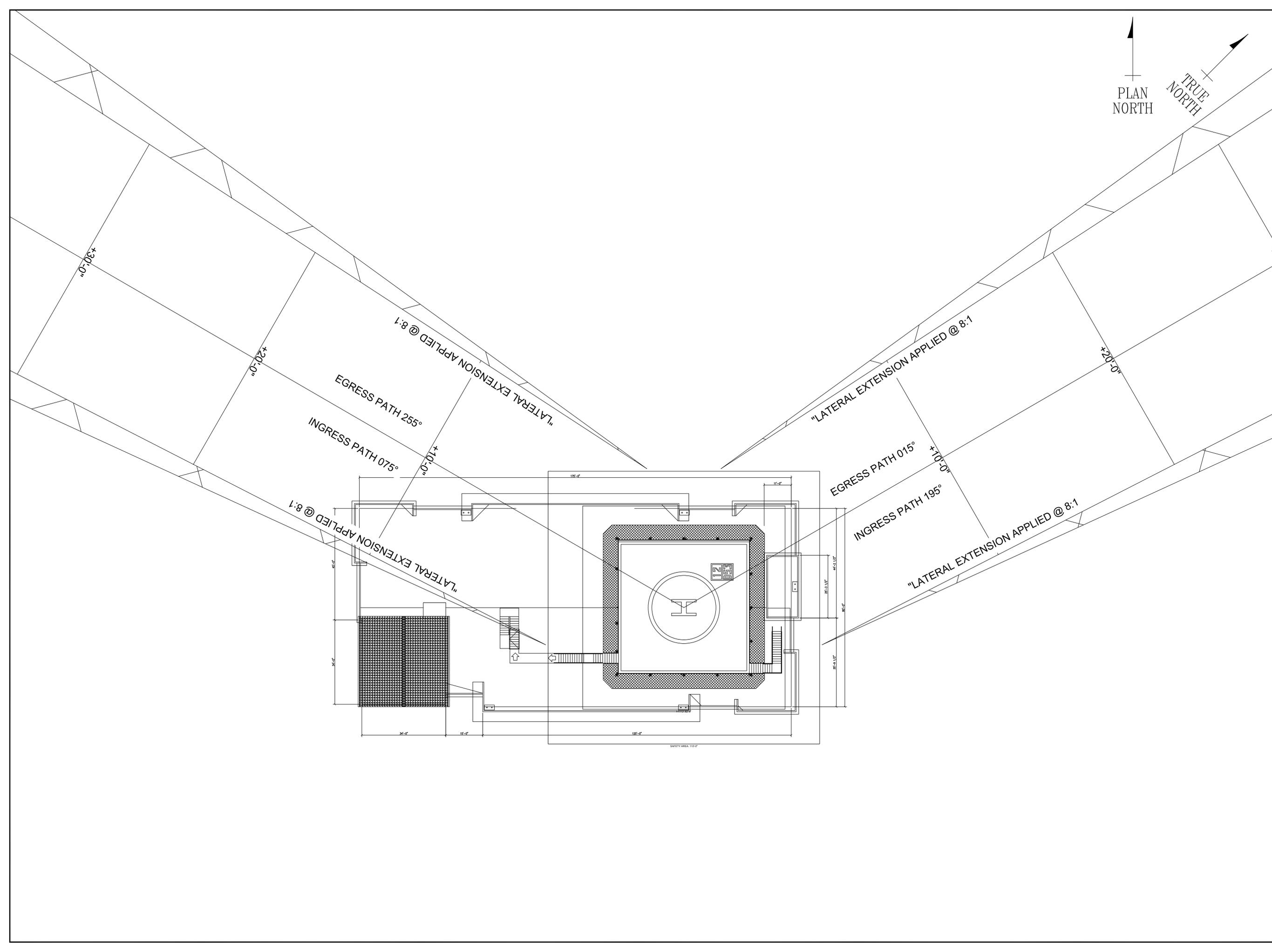
Date: 12/3/24

Drawing Description:
**HELISTOP FLIGHT PATH
ARRANGEMENT**

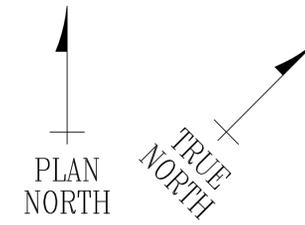
Scale: 1/16" = 1'-0"

Drawing Size: D REV Letter: -

Sheet Name: **H-1**



This document is the property of FEC Heliports, Cincinnati Ohio. Information contained on this document shall not be disclosed to others, used for manufacturing, or reproduced for any reason without the expressed written permission of FEC Heliports.



REV.	Date	Description

FEC HELIPORTS
 5228 RIVER RD
 CINCINNATI, OH
 45233



5228 River Road
 Cincinnati, Ohio 45233
 (513) 621-5260
 (513) 621-0524 Fax
 www.FECHeliports.com

Drawn By: TSL Checked By: JJS

Job No. S01818

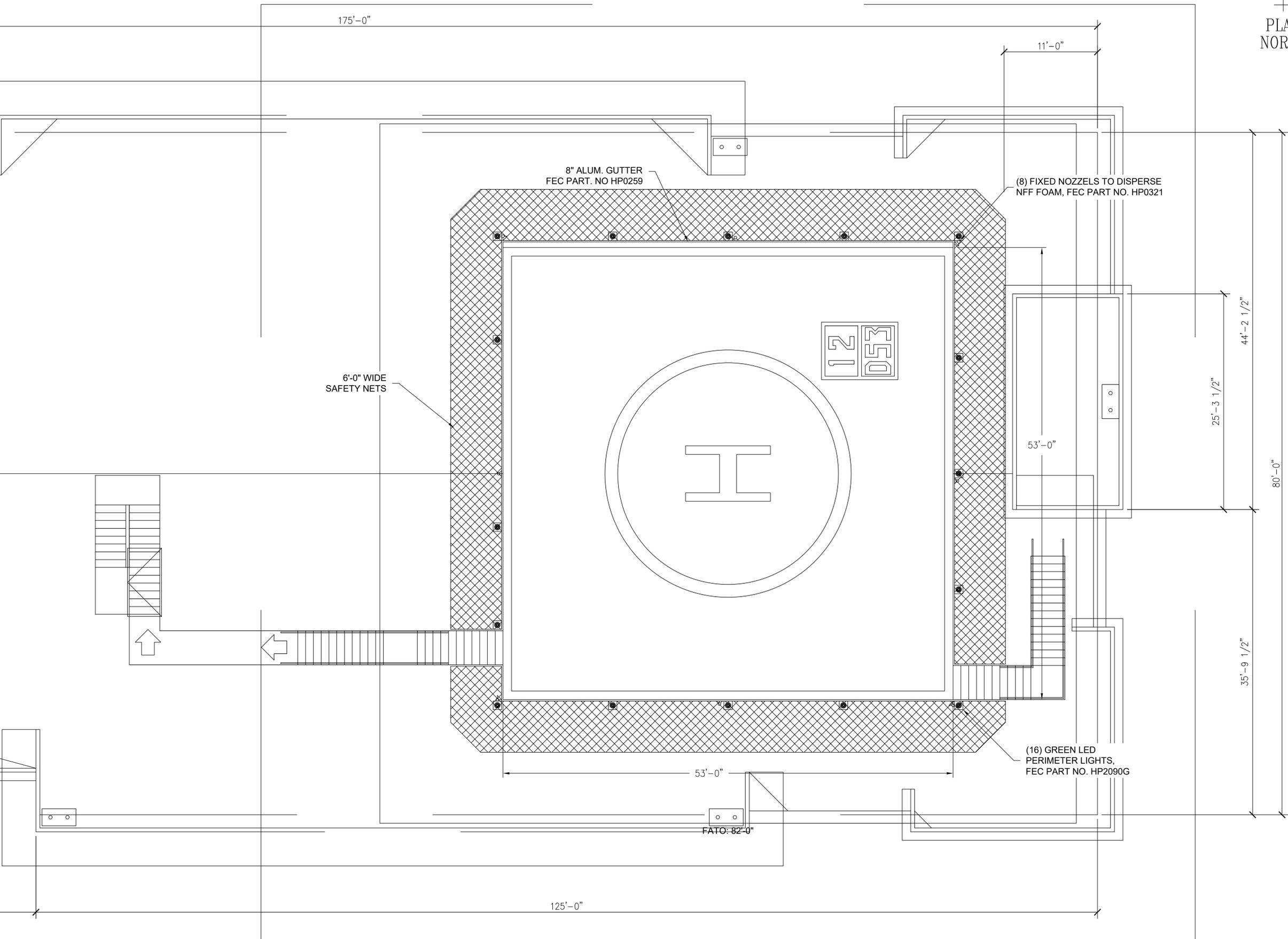
Date: 12/3/24

Drawing Description:
HELISTOP FLIGHT PATH ARRANGEMENT

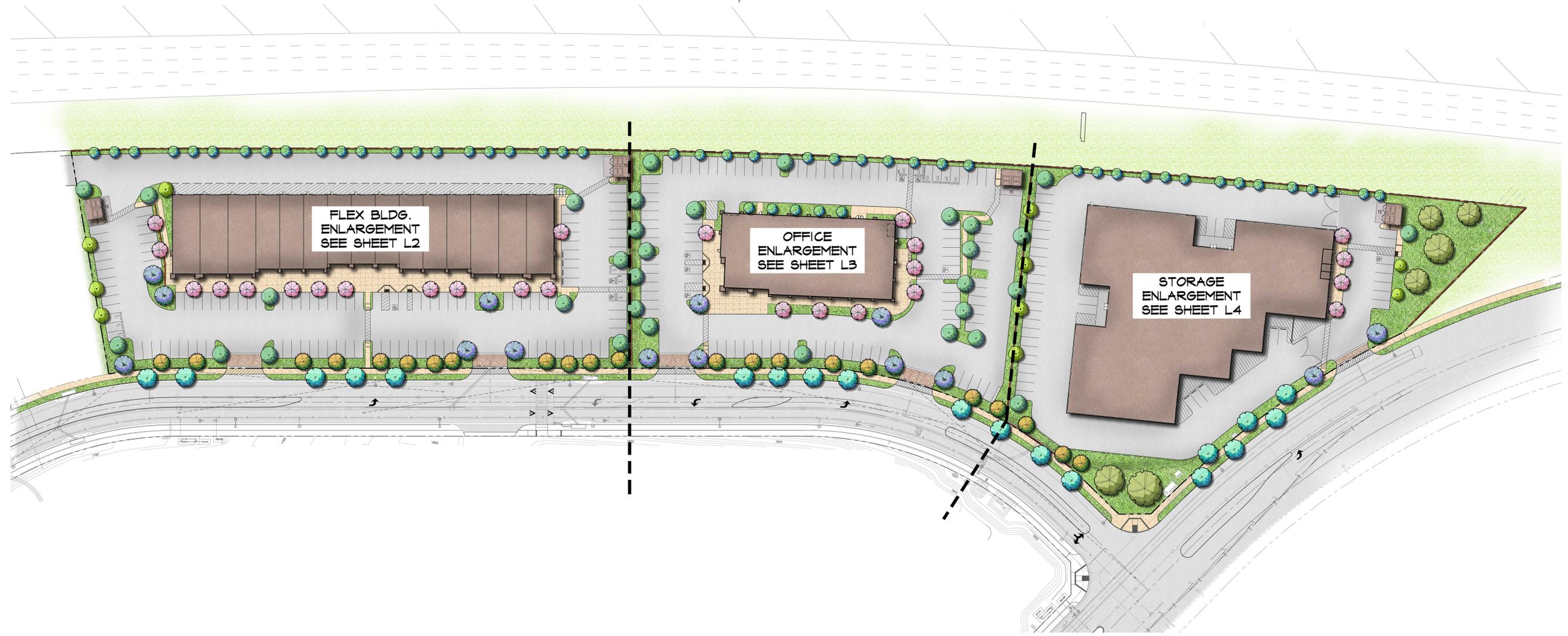
Scale: 3/16" = 1'-0"

Drawing Size: D REV Letter: -

Sheet Name: **H-2**



SAFETY AREA: 110'-0"



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	H/W	WUCOLS	QTY.
	Lagerstroemia ind. "Watermelon Red"	Crape Myrtle	24" BOX	20'/20'	M	
	Lophostomum confertum	Brisbane Box	24" BOX	60'/40'	M	33
	Street Tree per City Designation		24" BOX	-	-	7
	Cercidium x 'Desert Museum'	Palo Verde	24" BOX	25'/25'	L	15
	Bauhinia variegata	Purple Orchid Tree	24" BOX	30'/25'	M	
	Pinus eldarica	Afgan Pine	24" BOX	30'/25'	L	22
	Cupressus sempervirens	Italian Cypress	24" BOX	30'/10'	L	51
	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	24" BOX	30'/10'	M	51
	Quercus agrifolia	Coast Live Oak	24" BOX	30'/50'	L	6
	Schinus molle	California Pepper	24" BOX	30'/50'	L	
	Pyrus calleryana 'Redspire'	Redspire Pear	24" BOX	35'/30'	M	10

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	H/W
	Abelia grandiflora 'Compacta'	Dwarf Abelia	M	3'/3'
	Baccharis pilularis 'Twin Peaks'	Coyote Brush	L	3'/6'
	Bulbine frutescens	Bulbine	L	18"/24"
	Calandrinia grandiflora	Rock Purslane	L	3'/3"
	Dianella revoluta 'DR5000'	Little Red Flax Lily	L	18"
	Dianella tasmanica 'Silver Streak'	Silver Streak Flax Lily	M	3'/3"
	Elaeagnus pungens	Silver Berry	L	6'/8"
	Grevillea 'Noellii'	N.C.N.	L	4'/6"
	Lippia nodiflora 'Kurapia S1'	Kurapia	L	3'/3"
	Lantana hybrids 'New Gold'	New Gold Lantana	L	3'/4"
	Ligustrum japonica	Privet	M	5'/3"
	Moraea bicolor	Fortnight Lily	M	3'/3"
	Olea europaea 'Little Ollie'	Dwarf Olive	L	3'/4"
	Pennisetum 'Fairy Tails'	Fairy Tails Fountain Grass	L	3'/30"
	Rhamnus californica 'Little Sur'	Dwarf Coffeeberry	L	3'/4"
	Rhaphiolepis indica 'Clara'	Dwarf Indian Hawthorne	M	3'/3"
	Rosmarinus off. 'Huntington Carpet'	Huntington Rosemary Carpet	L	2'/4"
	Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	L	6'/4"
	Teucrium x. lucidrys	Germander	L	8'/3"
	Westringia frutescens 'WES05'	Mundi Coast Rosemary	L	18'/5"

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	H/W
	Distictis buccinatoria	Blood Red Trumpet Vine	M	

IRRIGATION NOTE

All landscape areas are to be irrigated with a state-of-the-art weather based system that meets the City of Fontana's water conservation ordinance 1895 (MWEL0).

SITE PLAN SUMMARY

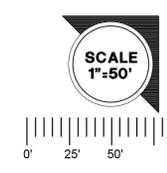
	AREA	RATE (%)
TOTAL SITE:	314,370 sf. (7.22 acre)	
BUILDING PLAN:	80,880 sf. (1.86 acre)	25.7%
PLANTING AREA:	54,100 sf. (1.24 acre)	17.2%
CONCRETE PAVING AREA:	19,830 sf. (0.46 acre)	6.3%
DRIVEWAY/PARKING AREA:	159,560 sf. (3.66 acre)	50.8%

CONCEPTUAL LANDSCAPE PLAN SITE PLAN

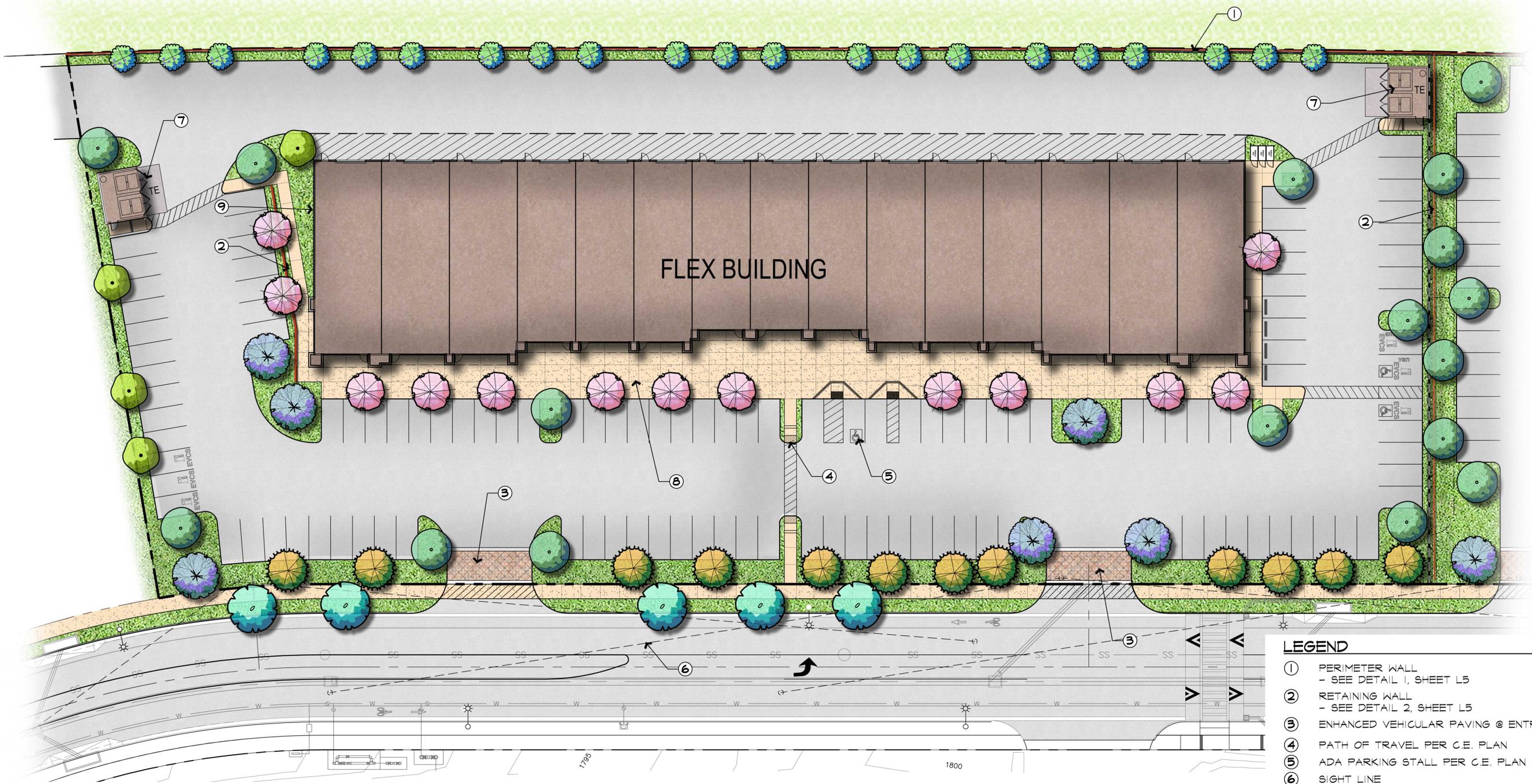
L1



VENTANA PA-2
CITRUS AVE. FONTANA, CA



SITESCAPES
Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothamus, License # 2782
(949) 644-9370 FAX (714) 210-3140
JOB NO. 24-027
DATE: 03-12-2025



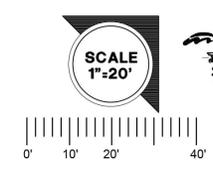
- LEGEND**
- ① PERIMETER WALL
- SEE DETAIL 1, SHEET L5
 - ② RETAINING WALL
- SEE DETAIL 2, SHEET L5
 - ③ ENHANCED VEHICULAR PAVING @ ENTRY
 - ④ PATH OF TRAVEL PER C.E. PLAN
 - ⑤ ADA PARKING STALL PER C.E. PLAN
 - ⑥ SIGHT LINE
 - ⑦ TRASH ENCLOSURE PER ARCHITECT
 - ⑧ ENHANCED PAVING @ FRONT OF BUILDING
 - ⑨ DECORATIVE TRELLIS W/ VINE ON SIDE OF BUILDING. TRELLIS PER ARCHITECT

CONCEPTUAL LANDSCAPE ENLARGEMENT PLAN - FLEX BUILDING

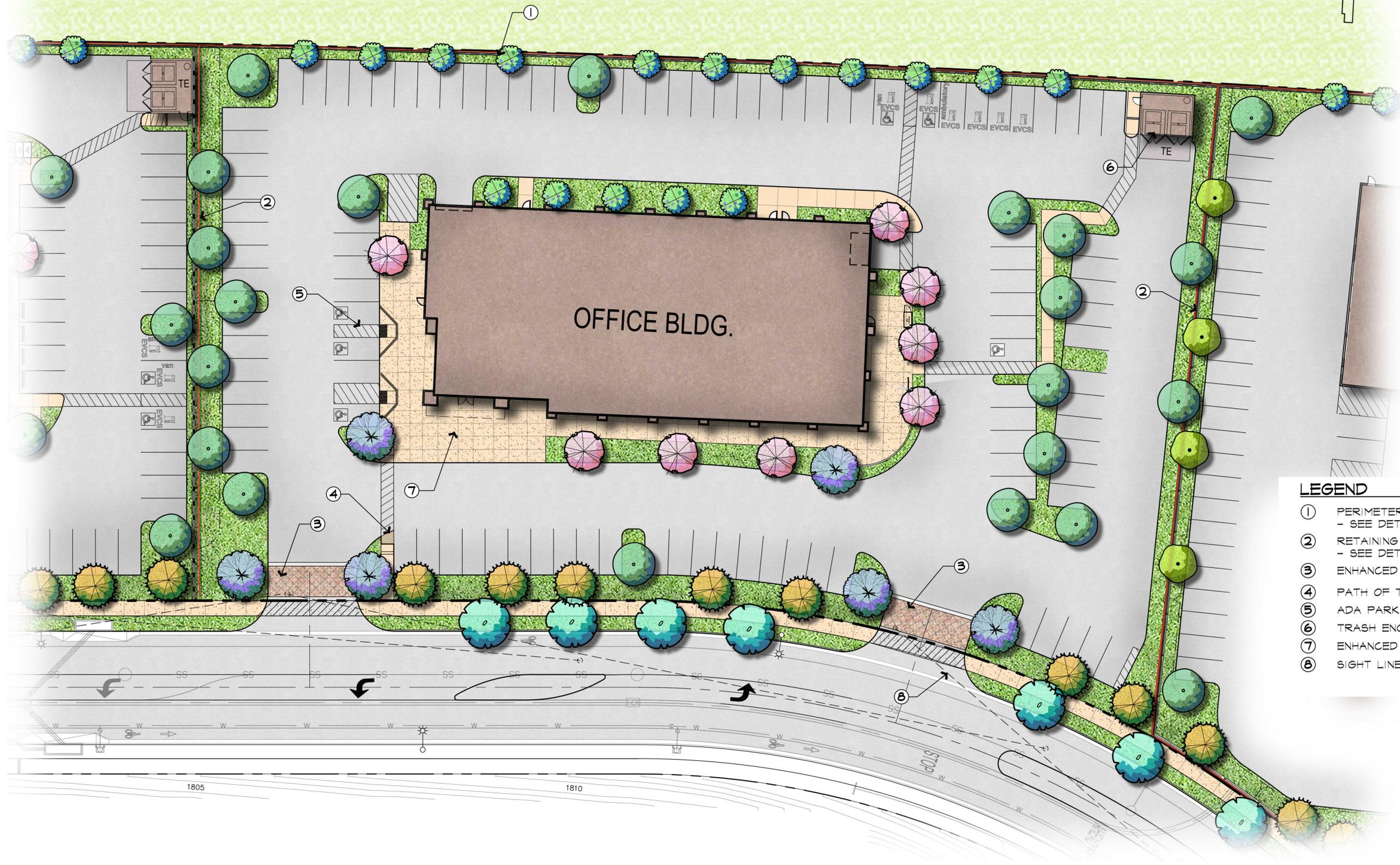
L2



VENTANA PA-2
CITRUS AVE. FONTANA, CA



SITESCAPES
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothanus, License # 2782
(949) 644-9370 FAX (714) 210-3140
JOB NO. 24-027
DATE: 03-12-2025



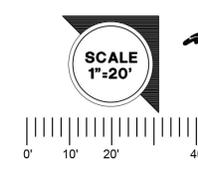
- LEGEND**
- ① PERIMETER WALL
- SEE DETAIL 1, SHEET L5
 - ② RETAINING WALL
- SEE DETAIL 2, SHEET L5
 - ③ ENHANCED VEHICULAR PAVING @ ENTRY
 - ④ PATH OF TRAVEL PER C.E. PLAN
 - ⑤ ADA PARKING STALL PER C.E. PLAN
 - ⑥ TRASH ENCLOSURE PER ARCHITECT
 - ⑦ ENHANCED PAVING @ FRONT OF BUILDING
 - ⑧ SIGHT LINE

CONCEPTUAL LANDSCAPE ENLARGEMENT PLAN - OFFICE BUILDING

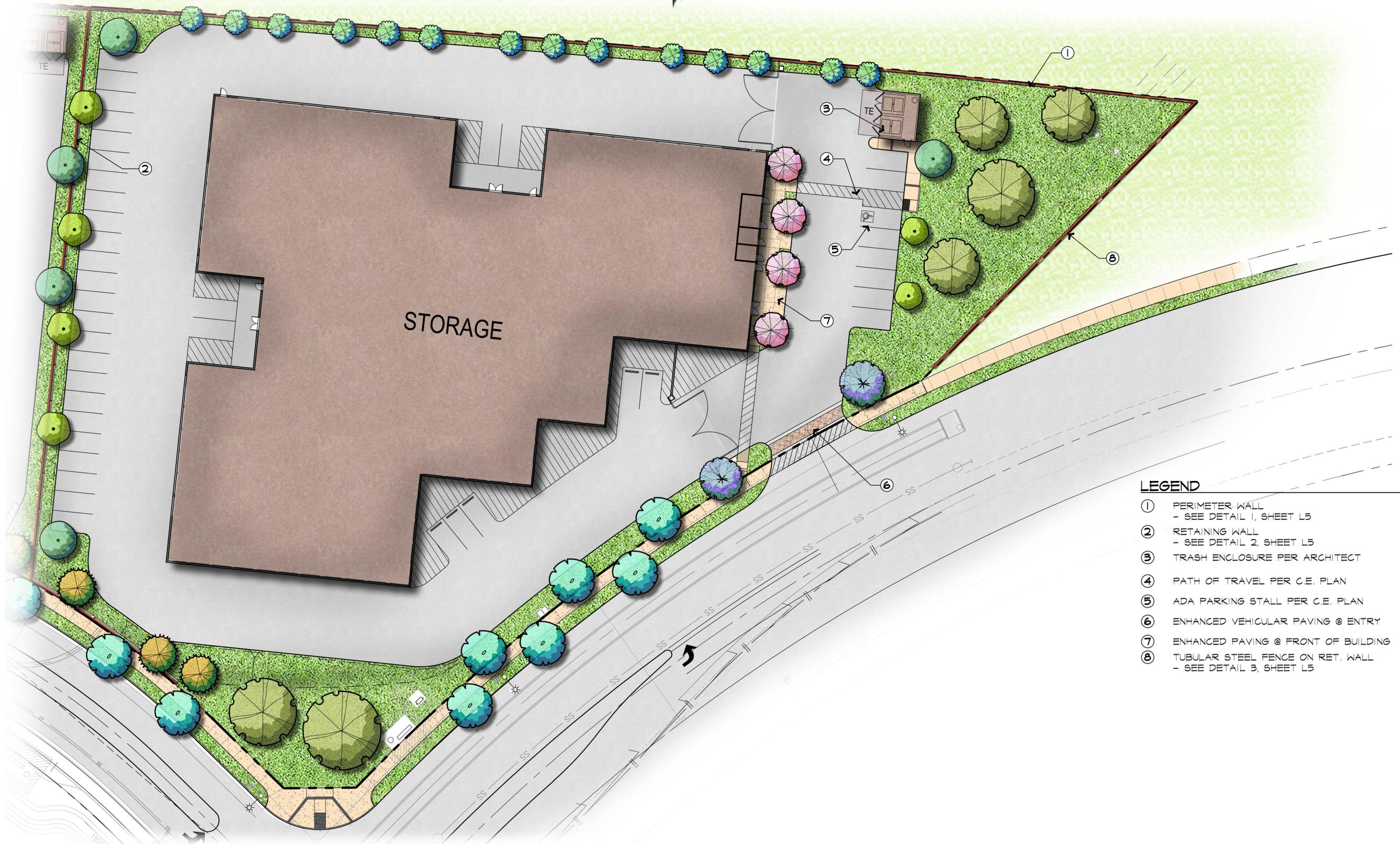
L3



VENTANA PA-2
CITRUS AVE. FONTANA, CA



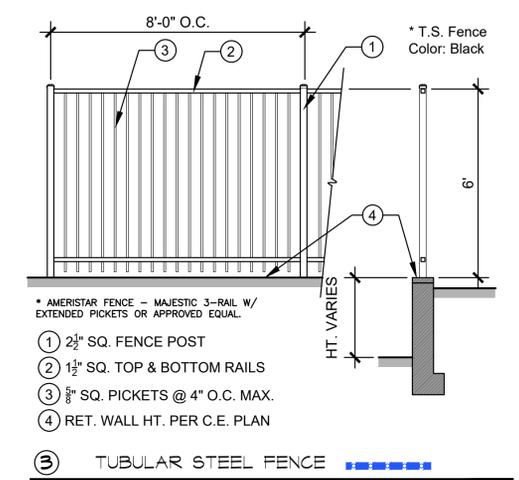
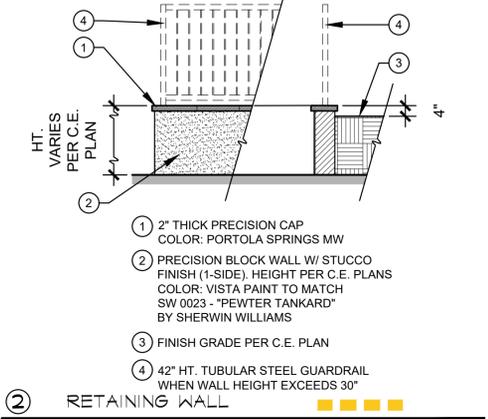
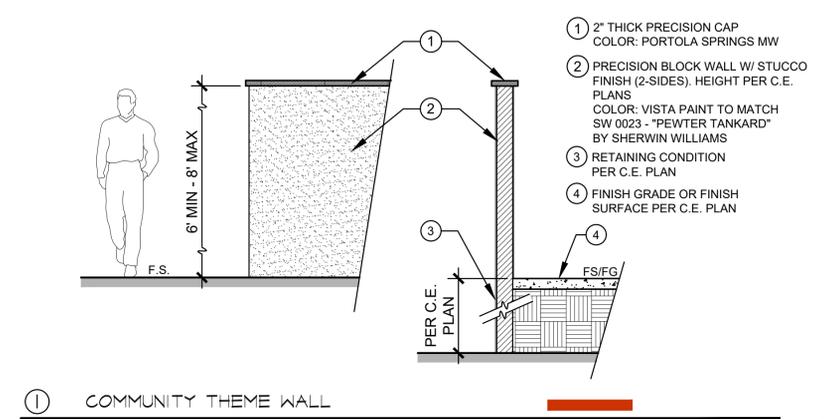
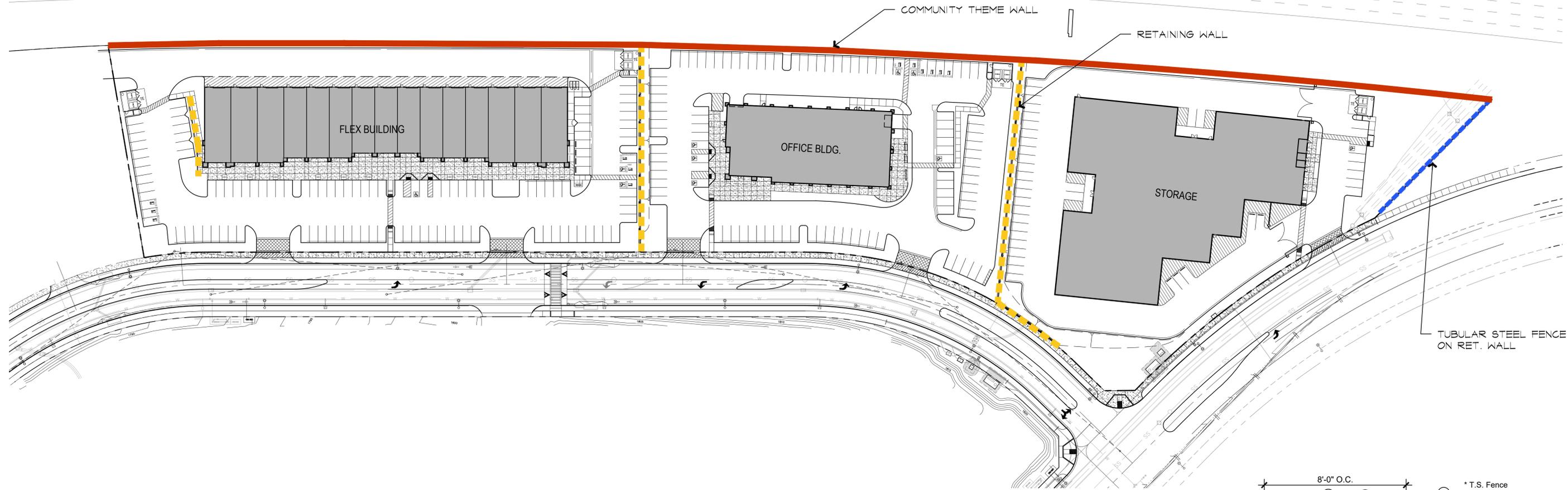
SITESCAPES
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothamus, License # 2782
(949) 644-9370 FAX (714) 210-3140
JOB NO. 24-027
DATE: 03-12-2025



- LEGEND**
- ① PERIMETER WALL
- SEE DETAIL 1, SHEET L5
 - ② RETAINING WALL
- SEE DETAIL 2, SHEET L5
 - ③ TRASH ENCLOSURE PER ARCHITECT
 - ④ PATH OF TRAVEL PER C.E. PLAN
 - ⑤ ADA PARKING STALL PER C.E. PLAN
 - ⑥ ENHANCED VEHICULAR PAVING @ ENTRY
 - ⑦ ENHANCED PAVING @ FRONT OF BUILDING
 - ⑧ TUBULAR STEEL FENCE ON RET. WALL
- SEE DETAIL 3, SHEET L5

CONCEPTUAL LANDSCAPE ENLARGEMENT PLAN - STORAGE

L4



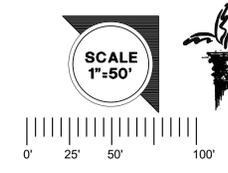
FENCE AND WALL PLAN

L5



VENTANA PA-2

CITRUS AVE. FONTANA, CA



SITESCAPES
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothanus, License # 2782
(949) 644-9370 FAX (714) 210-3140

JOB NO. 24-027
DATE: 03-12-2025



AREA & ROADWAY LIGHTING



FEATURES
The 10" Tiered luminaire is a highly adjustable outdoor area lighting luminaire with an 8' cast aluminum pole mounting...



3231130

DEZINER SERIES 10 - PLED LARGE

Table with columns for Luminaire, Finish, Options, LED, Voltage, Mounting, and Accessories. Includes various model numbers and specifications.

3231130

TECHLIGHT GM2 SERIES Genesis Gen2 Medium Low Voltage LED Landscape Bulb. Includes features, specifications, and ordering information.

GM2 Genesis Gen2 Medium Low Voltage LED Landscape Bulb. Includes available fixture dimensions, mounting accessories, and additional options.

GM2 Genesis Gen2 Medium Low Voltage LED Landscape Bulb. Includes performance data, illuminance cone diagrams, and transformer information.

TREE UPLIGHT
GM2-LV by Techlight or equal (Dark Bronze)

WST LED Architectural Wall Sconce by Luminaire. Includes specifications, mounting information, and accessories.

WST LED Architectural Wall Sconce by Luminaire. Includes performance data, illuminance cone diagrams, and transformer information.

WST LED Architectural Wall Sconce by Luminaire. Includes performance data, illuminance cone diagrams, and transformer information.

WST LED Architectural Wall Sconce by Luminaire. Includes performance data, illuminance cone diagrams, and transformer information.

DECORATIVE POLE LIGHT FIXTURE
Deziner Series A DS10T Tiered on 17' H pole
by US Architectural Lighting or equal (Dark Bronze)

BUILDING WALL PACK LIGHT
WST LED Architectural Wall Sconce by Luminaire (Dark Bronze Black)

LIGHTING LEGEND table with symbols and descriptions for decorative pole light fixture, tree uplight, and building wall pack light.

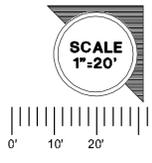
NOTE:
THIS LIGHTING PLAN IS FOR REFERENCE PURPOSES ONLY. PLEASE SEE ELECTRICAL ENGINEER'S PLANS FOR SPECIFIC LIGHTING INFORMATION. FIXTURES SELECTED MAY BE REPLACED WITH EQUIVALENTS.

CONCEPTUAL LIGHTING SPECIFICATIONS

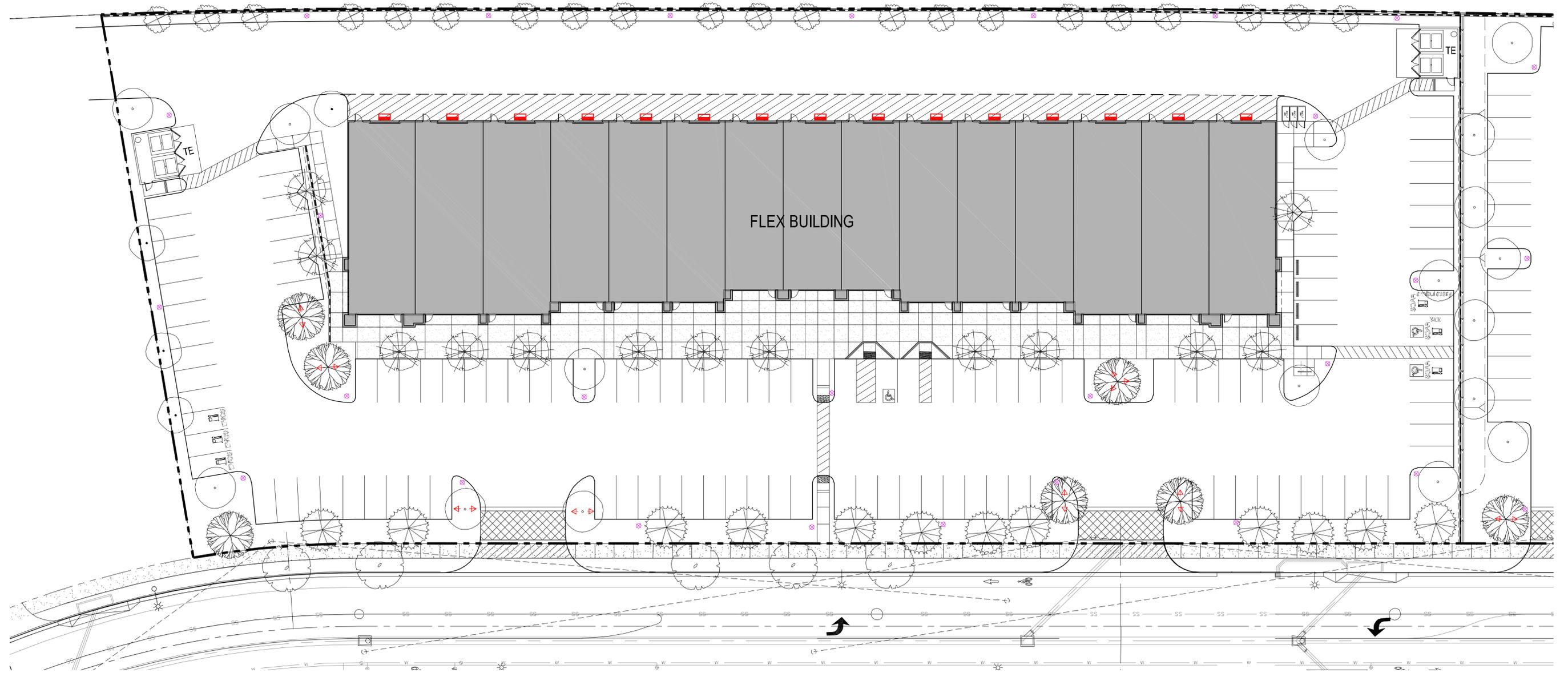
L6



VENTANA PA-2
CITRUS AVE. FONTANA, CA



SITE SCAPES Landscape Architecture & Planning. Includes contact information and job details: JOB NO. 24-027, DATE: 03-12-2025.



CONCEPTUAL LIGHTING PLAN - FLEX BUILDING

LIGHTING LEGEND

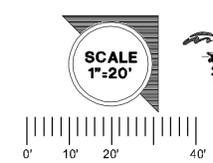
- ⊕ DECORATIVE POLE LIGHT FIXTURE
Deziner Series A DS-A Angeled on 17' H pole
by US Architectural Lighting or equal (DARK BRONZE)
- ▽ TREE UPLIGHT
GM2-LV by Techlight or equal (DARK BRONZE)
- ▭ BUILDING WALL PACK LIGHT
WST LED Architectural Wall Sconce by Luminare (DARK BRONZE)
- * DECORATIVE BUILDING SCONCE LIGHT
LOCATION & SPECS PER ARCHITECT'S PLAN

NOTE:
THIS LIGHTING PLAN IS FOR REFERENCE PURPOSES
ONLY. PLEASE SEE ELECTRICAL ENGINEER'S PLANS FOR
SPECIFIC LIGHTING INFORMATION. FIXTURES SELECTED
MAY BE REPLACED WITH EQUALS

L7

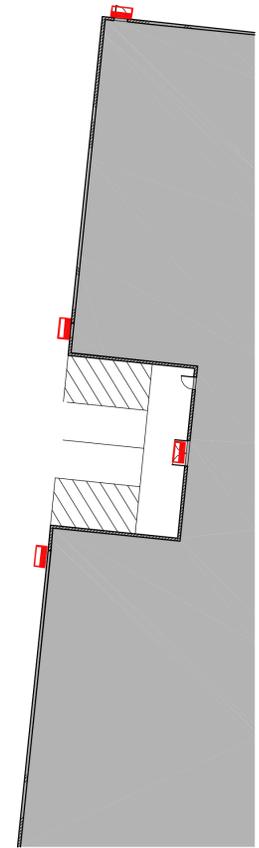
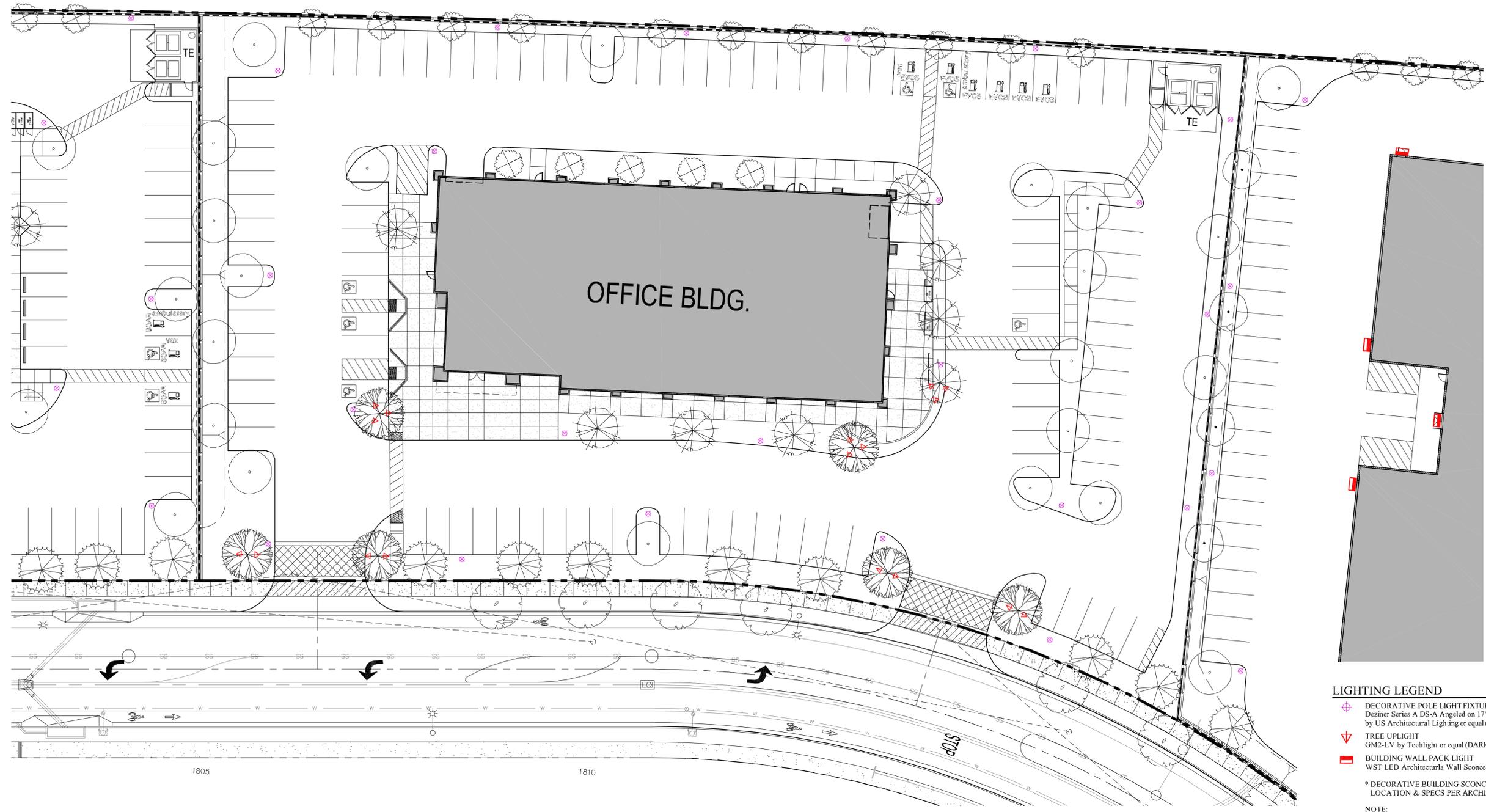


VENTANA PA-2
CITRUS AVE. FONTANA, CA



S I T E S C A P E S
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Polunsky, License # 2742
(949) 644-9370 FAX: (714) 210-3140

JOB NO. 24-027
DATE: 03-12-2025



- LIGHTING LEGEND**
- ⊕ DECORATIVE POLE LIGHT FIXTURE
Deziner Series A DS-A Angeled on 17' H pole
by US Architectural Lighting or equal (DARK BRONZE)
 - ▽ TREE UPLIGHT
GM2-LV by Teelight or equal (DARK BRONZE)
 - ▭ BUILDING WALL PACK LIGHT
WST LED Architectural Wall Sconce by Luminaire (DARK BRONZE)
 - * DECORATIVE BUILDING SCONCE LIGHT
LOCATION & SPECS PER ARCHITECT'S PLAN

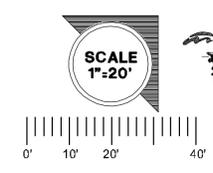
NOTE:
THIS LIGHTING PLAN IS FOR REFERENCE PURPOSES ONLY. PLEASE SEE ELECTRICAL ENGINEER'S PLANS FOR SPECIFIC LIGHTING INFORMATION. FIXTURES SELECTED MAY BE REPLACED WITH EQUALS

CONCEPTUAL LIGHTING PLAN - OFFICE BUILDING

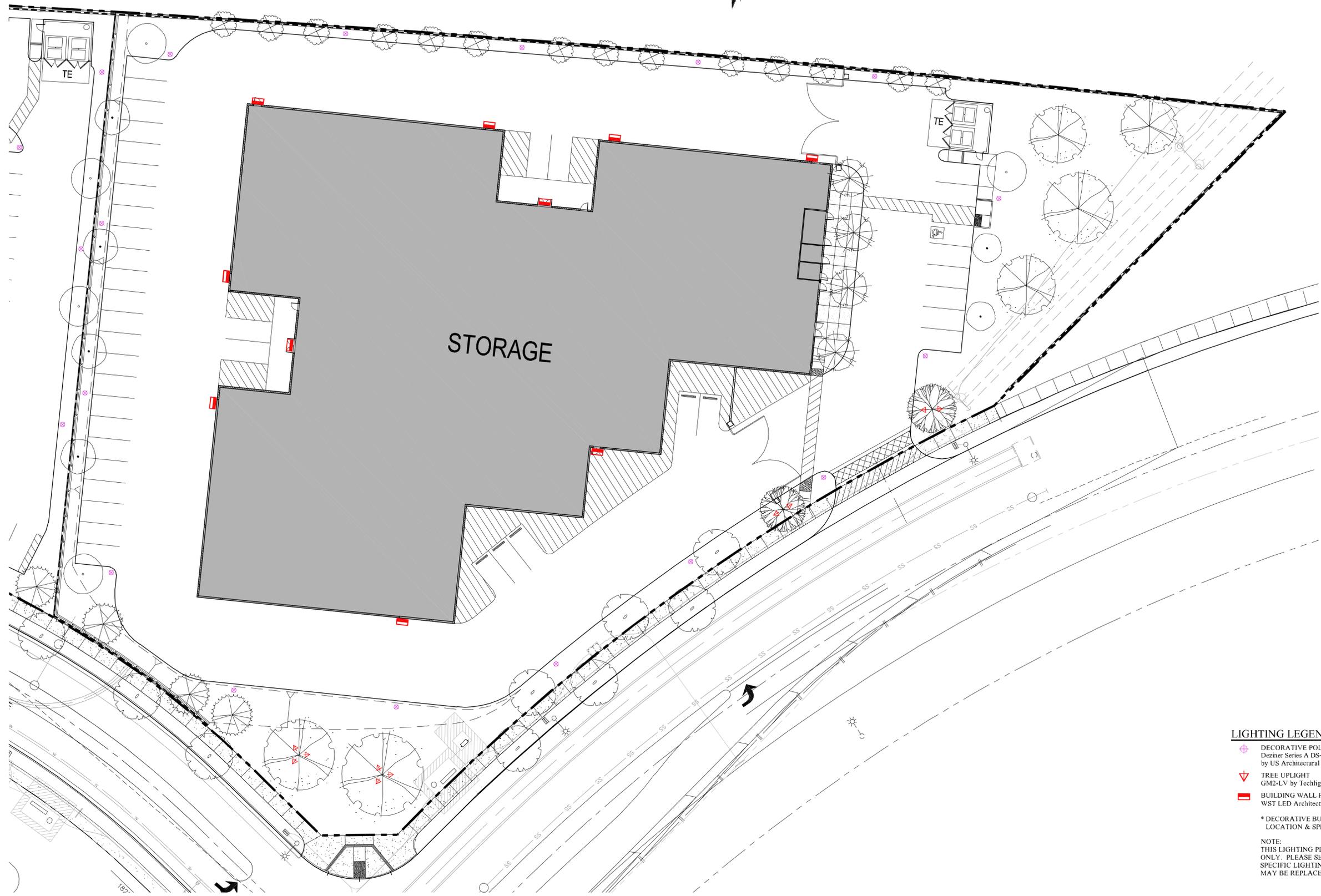
L8



VENTANA PA-2
CITRUS AVE. FONTANA, CA



S I T E S C A P E S
Landscape Architecture & Planning
3190-82 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothman, License # 2742
(949) 644-9370 FAX (714) 210-3140
JOB NO. 24-027
DATE: 03-12-2025



STORAGE

- LIGHTING LEGEND**
- ⊕ DECORATIVE POLE LIGHT FIXTURE
Deziner Series A DS-A Angled on 17° H pole
by US Architectural Lighting or equal (DARK BRONZE)
 - ▽ TREE UPLIGHT
GM2-LV by Techlight or equal (DARK BRONZE)
 - ▭ BUILDING WALL PACK LIGHT
WST LED Architectural Wall Sconce by Linaire (DARK BRONZE)
- * DECORATIVE BUILDING SCENCE LIGHT
LOCATION & SPECS PER ARCHITECT'S PLAN
- NOTE:
THIS LIGHTING PLAN IS FOR REFERENCE PURPOSES
ONLY. PLEASE SEE ELECTRICAL ENGINEER'S PLANS FOR
SPECIFIC LIGHTING INFORMATION. FIXTURES SELECTED
MAY BE REPLACED WITH EQUALS

CONCEPTUAL LIGHTING PLAN - STORAGE BUILDING

L9

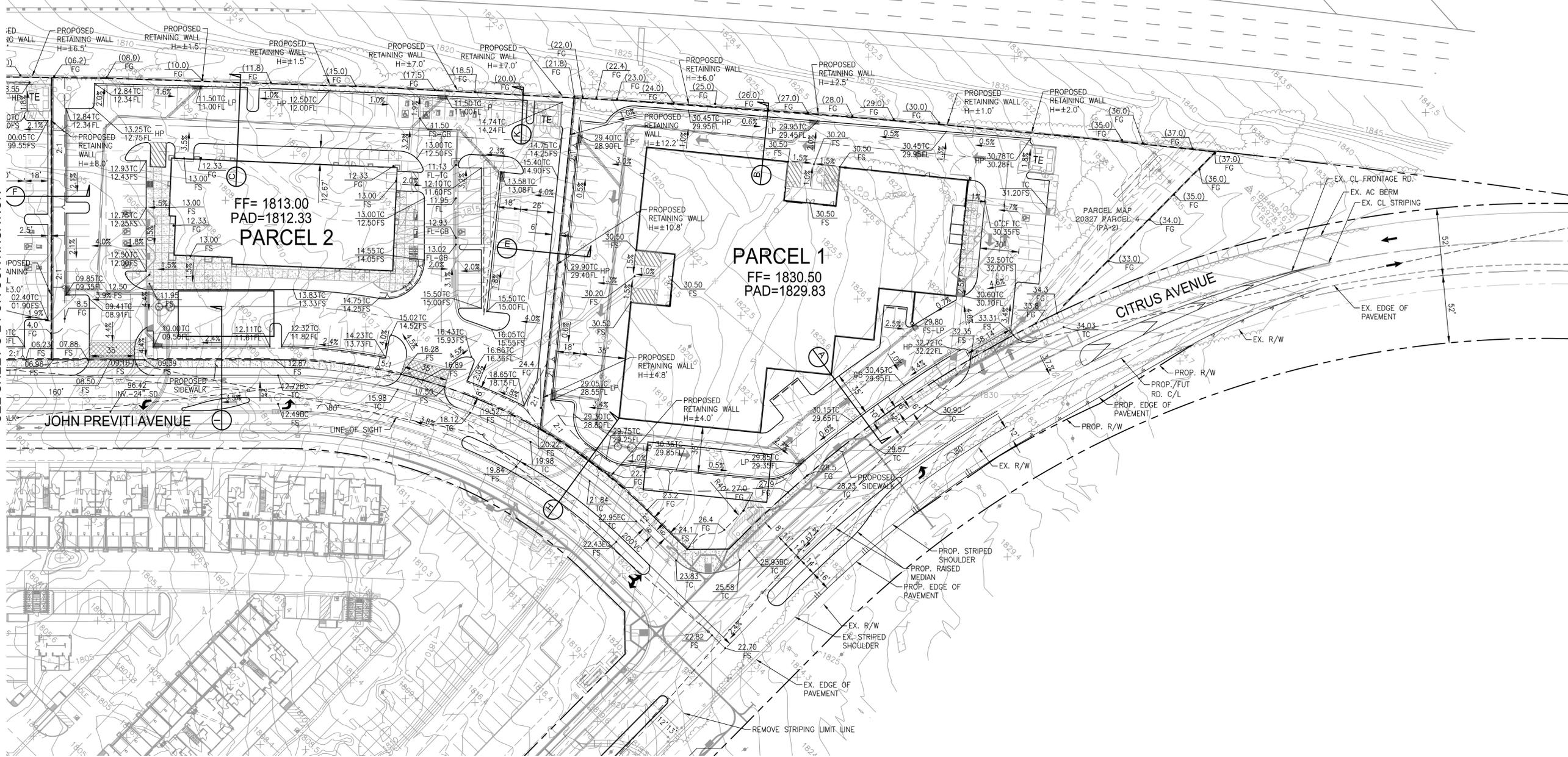
ABBREVIATIONS

- A.C. AC ASPHALT CONCRETE
- AC. ACRE
- A.B. AGGREGATE BASE
- BC BEGIN OF CURVE
- BCR BEGIN OF CURB RETURN
- DVC BEGIN VERTICAL CURVE
- CF CURB FACE
- CB CATCH BASIN
- CIG CURB & GUTTER
- CL, CL.C CENTER LINE
- CONC. CONCRETE
- CY CUBIC YARD
- DW, W DOMESTIC WATER, WATER
- DWY DRIVEWAY
- E.A., EA EACH
- EC END OF CURVE
- ECR END OF CURB RETURN
- EG EXISTING GROUND
- EL., ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT. EASEMENT
- EVC END VERTICAL CURVE
- EX., EXIST.(E) EXISTING
- FH FIRE HYDRANT
- FG FINISH GRADE
- FL FLOWLINE
- FS FINISHED SURFACE
- FW FIRE WATER
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- JT., JNT. JOINT
- L. LENGTH
- L.F., LF LINEAL FEET
- LS LUMP SUM
- LT LEFT
- LT MAX LEFT MAXIMUM
- MIN MINIMUM
- MH MANHOLE
- MPH MILES PER HOUR
- (N) NEW
- N.T.S., NTS NOT TO SCALE
- PCC POINT OF COMPOUND CURVE
- P.C.C. PORTLAND CEMENT CONCRETE
- PI POINT OF INTERSECTION
- PRC POINT OF REVERSE CURVE
- PL, PL PROPERTY LINE
- P.O.C. POINT OF CONNECTION
- PP POWER POLE
- PROP. PROPOSED
- P.U.E. PUBLIC UTILITY EASEMENT
- PVC POLYVINYL CHLORIDE PIPE
- PVT PRIVATE
- RT RIGHT
- RCB REINFORCED CONCRETE BOX
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT OF WAY
- RW RETAINING WALL
- SCE SOUTHERN CALIFORNIA EDISON
- SD STORM DRAIN
- S SLOPE
- S.G.W., SS SLOPE, SANITARY SEWER
- SIM SIMILAR
- S.F., S.F. SQUARE FEET
- STA STATION
- TC TOP OF CURB
- TYP., TYP TYPICAL
- W, DW WATER, DOMESTIC WATER
- VCP VITRIFIED CLAY PIPE

LEGEND

- CENTERLINE
- PROPERTY LINE
- RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DAYLIGHT LINE
- EXISTING SEWER
- EXISTING RECLAIMED WATER
- EXISTING WATER
- EXISTING GAS
- EXISTING STORM DRAIN
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- PROPOSED WATER
- PROPOSED STORM DRAIN
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN
- STORM DRAIN MANHOLE
- CATCH BASIN
- FLOW ARROW & GRADE
- GRADED SWALE
- STREET LIGHT
- TOP OF SLOPE
- TOE OF SLOPE
- CONCRETE PAVEMENT
- PROPOSED RETAINING WALL
- PATH OF TRAVEL
- LINE OF SIGHT

SEE SHEET C-2 FOR CONTINUATION



BASIS OF BEARINGS

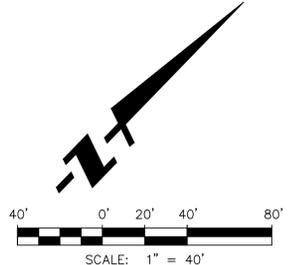
THE BEARINGS SHOWN HEREON ARE BASED THE ON NORTH AMERICAN DATUM OF 1983 (NAD-83), SHOWN IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS-83), ZONE V (2011.00 EPOCH DATE) AS DERIVED BY POSITIONS PUBLISHED BY CSRC. ALL COORDINATE VALUES WERE SCALED TO GROUND BY APPLYING AN AVERAGE COMBINATION FACTOR AS DETERMINED BY FEI POINTS 11012, 11014, 11022, 11025, 11029, AND 11034 AND HOLDING THE COMPUTED GRID COORDINATE ON POINT 11015. INVERSES BETWEEN PROJECT COORDINATES WILL PRODUCE GROUND DISTANCES. TO OBTAIN GRID DISTANCES MULTIPLY GROUND DISTANCES BY 0.999888867

BENCHMARK

THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING BENCH MARK:
 BM NO.: EV9274 ELEV.: 1508.56' (NGS BENCH MARK)
 DATUM: NAVD 88 1993 ADJ

SHEET INDEX	
SHEET NO.	DESCRIPTION
C-1	CONCEPTUAL GRADING PLAN
C-2	CONCEPTUAL GRADING PLAN
C-3	CONCEPTUAL GRADING CROSS-SECTIONS
C-4	CONCEPTUAL UTILITY PLAN
C-5	TENTATIVE PARCEL MAP

NOTE:
 ADD 1800 FEET TO ALL TWO DIGIT ELEVATIONS STARTING WITH ZERO, ONE, TWO, AND THREE TO OBTAIN CURRENT DATUM.
 * (I.E. 00.54 IS 1800.54)
 ADD 1700 FEET TO ALL OTHER TWO DIGIT ELEVATIONS TO OBTAIN CURRENT DATUM.
 * (I.E. 75.00 IS 1775.00)



VENTANA PA-2
 CITRUS AVE. FONTANA, CA

FUSCOE ENGINEERING
 3257 E Guasti Rd, Suite 300
 Ontario, California 91761
 909.581.0676
 fuscoe.com

C-1

CITY OF FONTANA UTILITY NOTIFICATION LIST:

ELECTRIC:
SOUTHERN CALIFORNIA EDISON COMPANY
7951 REDWOOD AVENUE
FONTANA, CA 92336
PHONE: 909.357.6221

NATURAL GAS:
THE GAS COMPANY, SEMPRA UTILITIES
16231 VALLEY BLVD.
FONTANA, CA 92235
PHONE: 800.427.2200, 909.428.8411

WATER:
WEST VALLEY DISTRICT
855 W. BASELINE ROAD
RIALTO, CA 92377
PHONE: 909.875.1361

WATER:
FONTANA WATER COMPANY
15966 ARROW ROUTE
FONTANA, CA 92235
PHONE: 909.822.2201

WATER:
CRAWFORD CANYON MUNICIPAL WATER DISTRICT
21559 LITTON AVE
GRAND TERRACE, CA 92313
PHONE: 909.824.5352

SEWER:
CITY OF FONTANA
8353 SIERRA AVENUE
FONTANA, CA 92235
PHONE: 909.350.6632

SEWER TREATMENT FACILITIES
INLAND EMPIRE UTILITY AGENCY
12645 6TH STREET
RANCHO CUCAMONGA, CA 91739
PHONE: 909.947.4131

SOLID WASTE:
BURRTEC WASTE
9454 CHERRY AVENUE
FONTANA, CA 92335
PHONE: 909.822.9739

TELEPHONE:
AT&T
11464 TELEGRAPH ROAD
SANTA FE SPRINGS, CA 90670
PHONE: 714.666.5415

CABLE SERVICES:
TIME WARNER CABLE
1205 DUPONT AVENUE
ONTARIO, CA 91761
PHONE: 909.390.4738

OWNER DEVELOPER:

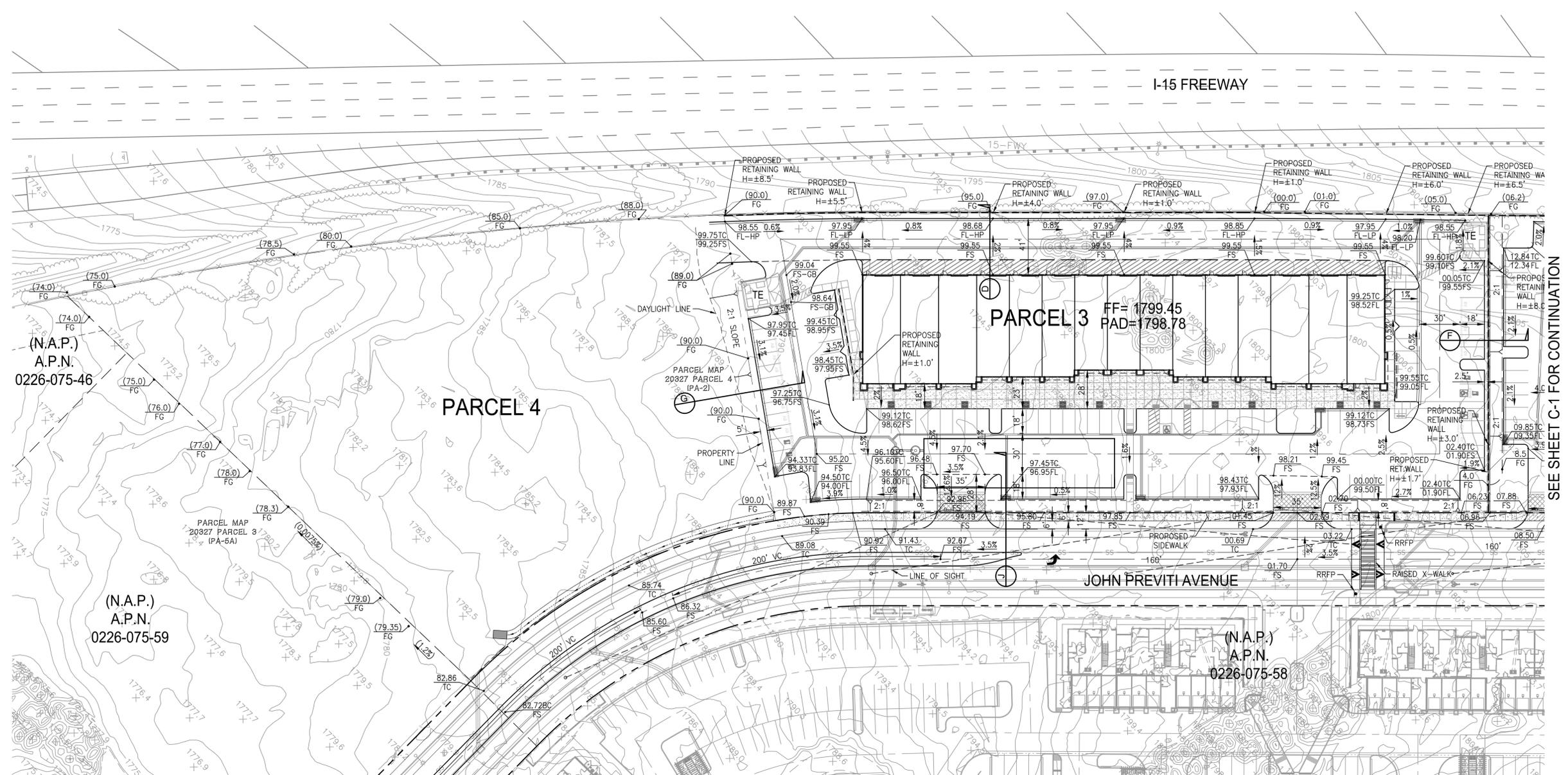
THE PREVITI GROUP
2151 E. CONVENTION CENTER WAY, SUITE 114
ONTARIO, CALIFORNIA 91764
PHONE: 909.354.8092
CONTACT: STEPHEN KING

ENGINEER:

FUSCOE ENGINEERING INC.
3257 E. GUASTI RD., SUITE 300
ONTARIO, CALIFORNIA 91761
(909) 581-0676
CONTACT: LUIS FIGUEROA

GEOTECHNICAL:

GEO TEK, INC.
1548 NORTH MAPLE STREET
CORONA, CA 92880
PHONE: (951) 710-1160
PROJECT NO. 2541-CR
SOIL REPORT DATED: OCTOBER 16, 2020
CONTACT: ANNA M. SCOTT - PROJECT GEOLOGIST

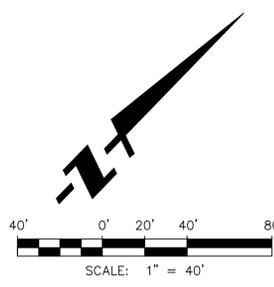


(N.A.P.)
A.P.N.
0226-075-46

(N.A.P.)
A.P.N.
0226-075-59

(N.A.P.)
A.P.N.
0226-075-58

NOTE:
ADD 1800 FEET TO ALL TWO DIGIT ELEVATIONS STARTING WITH ZERO, ONE, TWO, AND THREE TO OBTAIN CURRENT DATUM.
* (I.E. 00.54 IS 1800.54)
ADD 1700 FEET TO ALL OTHER TWO DIGIT ELEVATIONS TO OBTAIN CURRENT DATUM.
* (I.E. 75.00 IS 1775.00)

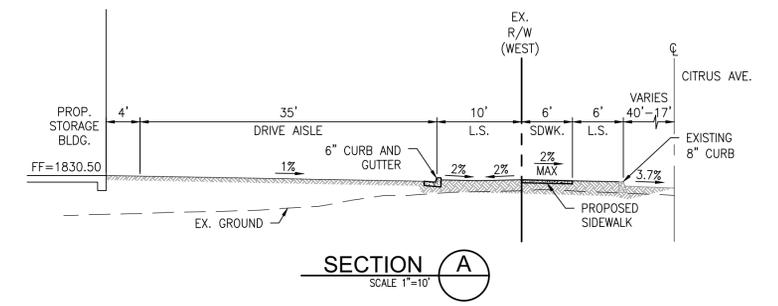
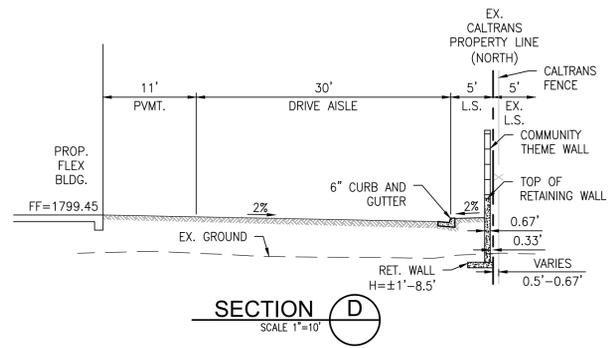
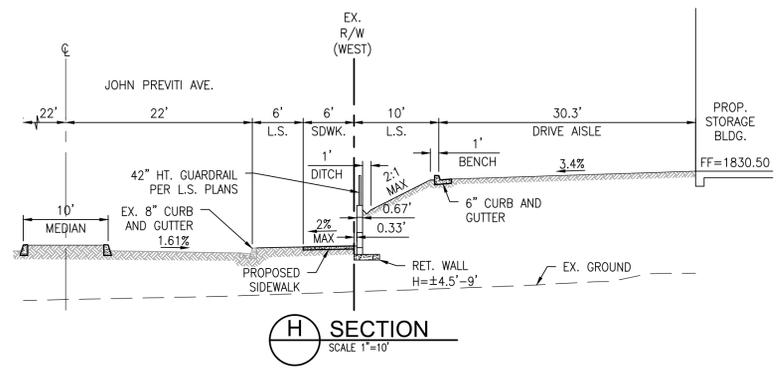
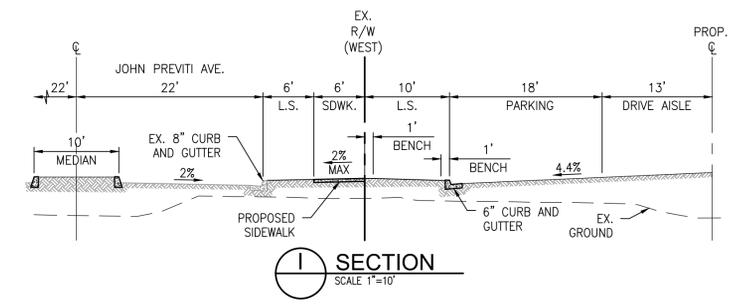
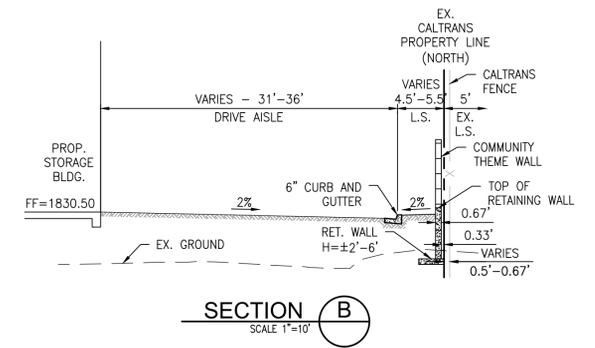
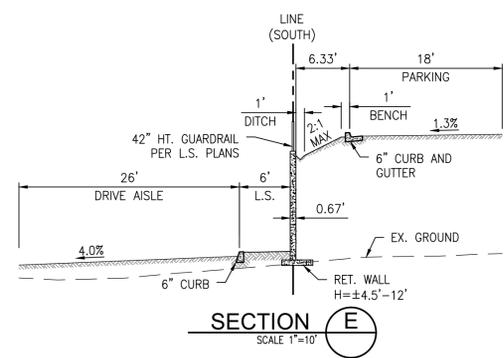
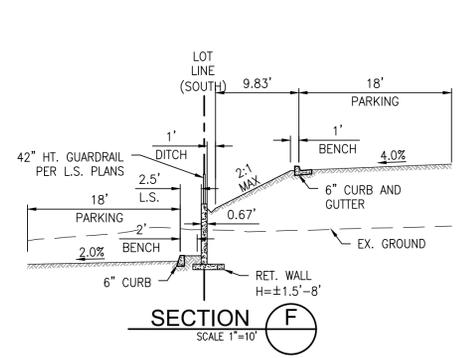
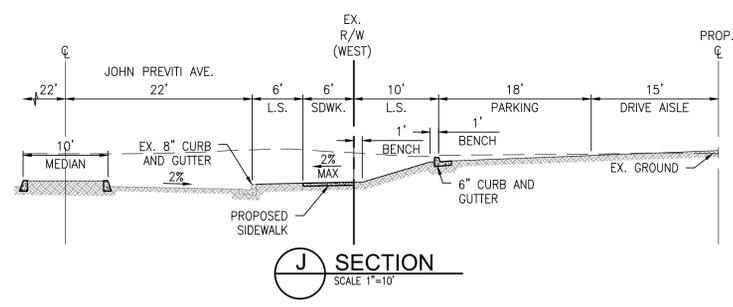
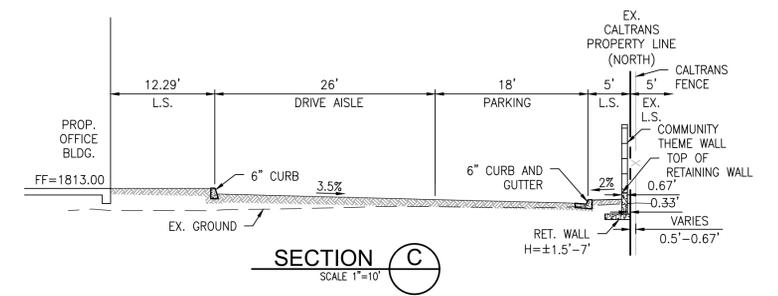
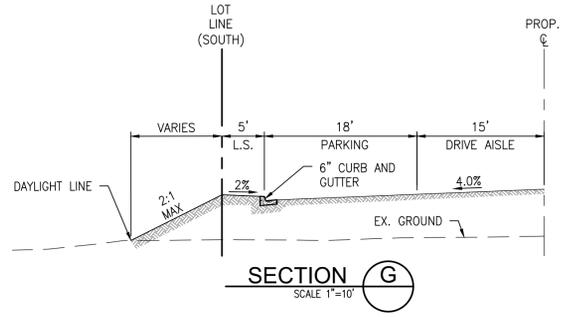
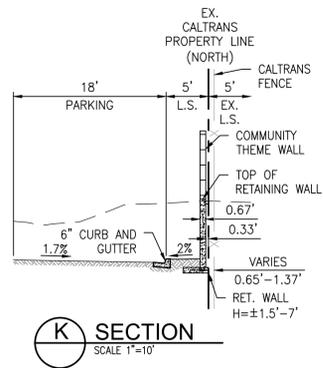


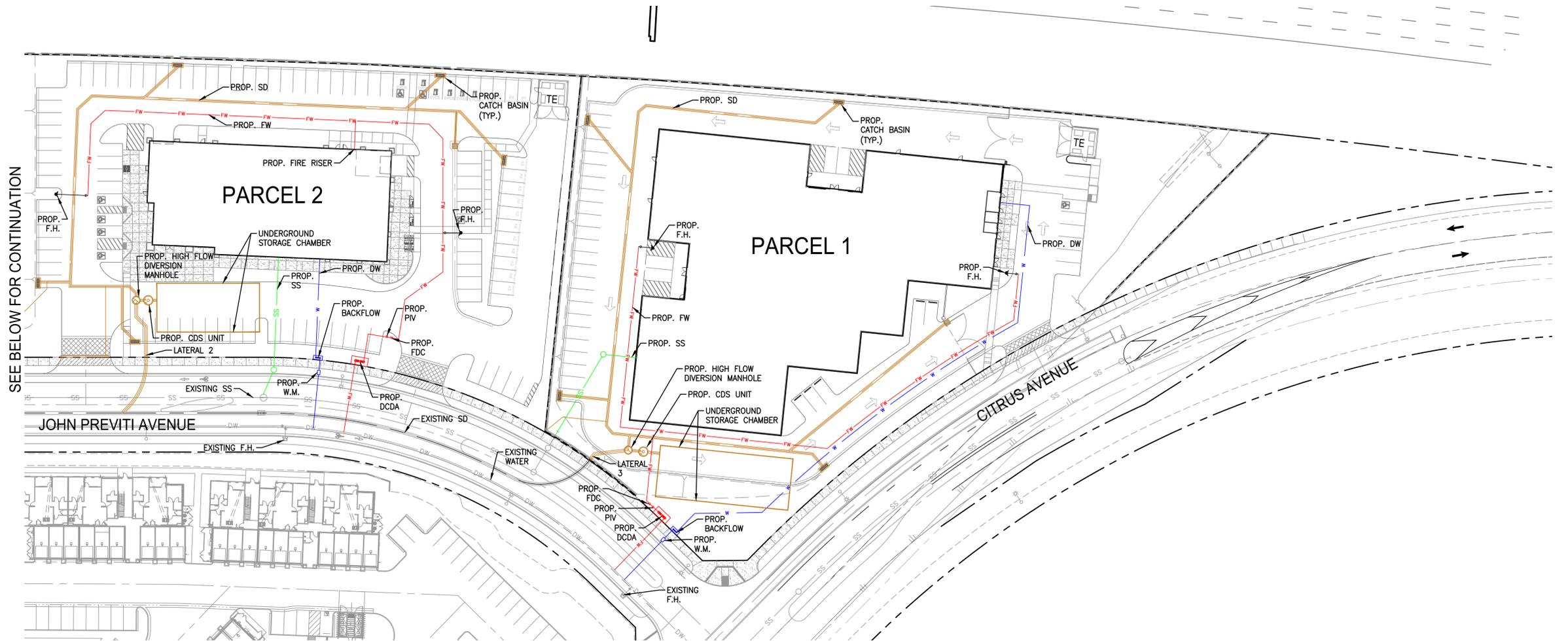
VENTANA PA-2
CITRUS AVE. FONTANA, CA

FUSCOE ENGINEERING
3257 E Guasti Rd, Suite 300
Ontario, California 91761
909.581.0676
fuscoe.com

C-2
Date March 2025

F:\PROJECTS\1655\055\PA-05\ENTITLEMENTS\VENTANA TRACT MAP\PA2\1655-05-1MDC00-PA2.DWG (03-12-25 10:38:35AM) Plotted by: coguine

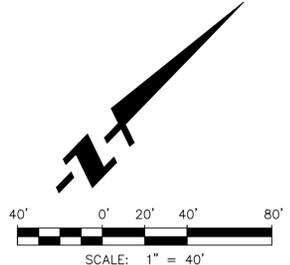
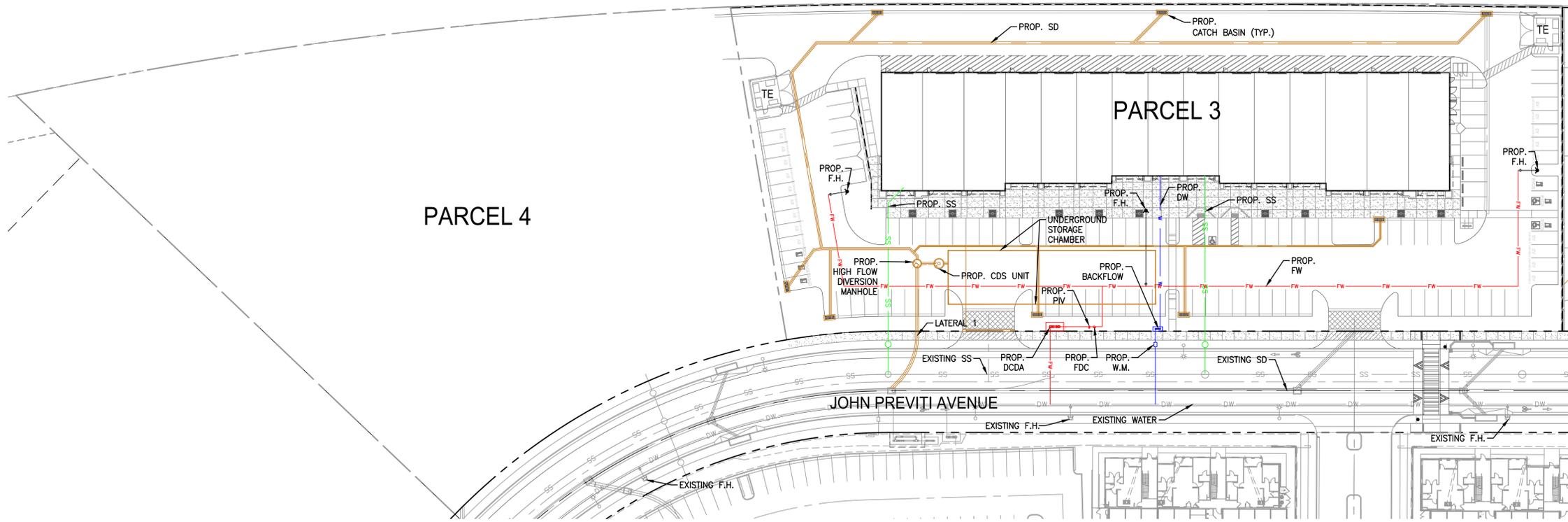




SEE BELOW FOR CONTINUATION

SEE ABOVE FOR CONTINUATION

- LEGEND:**
- PROPOSED WATER LINE
 - PROPOSED FIRE WATER LINE
 - PROPOSED SEWER
 - PROPOSED STORM DRAIN
 - EXISTING WATER LINE
 - EXISTING SEWER
 - EXISTING STORM DRAIN LINE



VENTANA PA-2
CITRUS AVE. FONTANA, CA



C-4

F:\PROJECTS\1655\1655-PA-2\1655-PA-2-DWG (03-12-25 10:39:39AM) Plotted by: csguine

EXISTING EASEMENT NOTES:

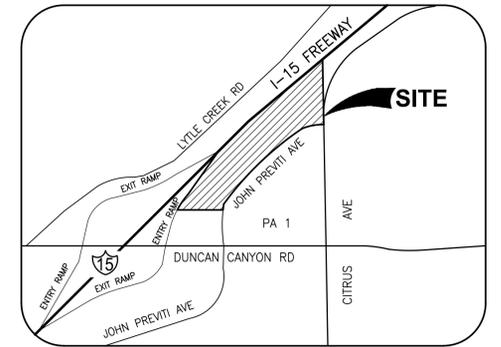
(A) AN EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED SEPTEMBER 6, 2006 AS INSTRUMENT NO. 2006-609356, OFFICIAL RECORDS.

ASSESSORS PARCEL NUMBERS

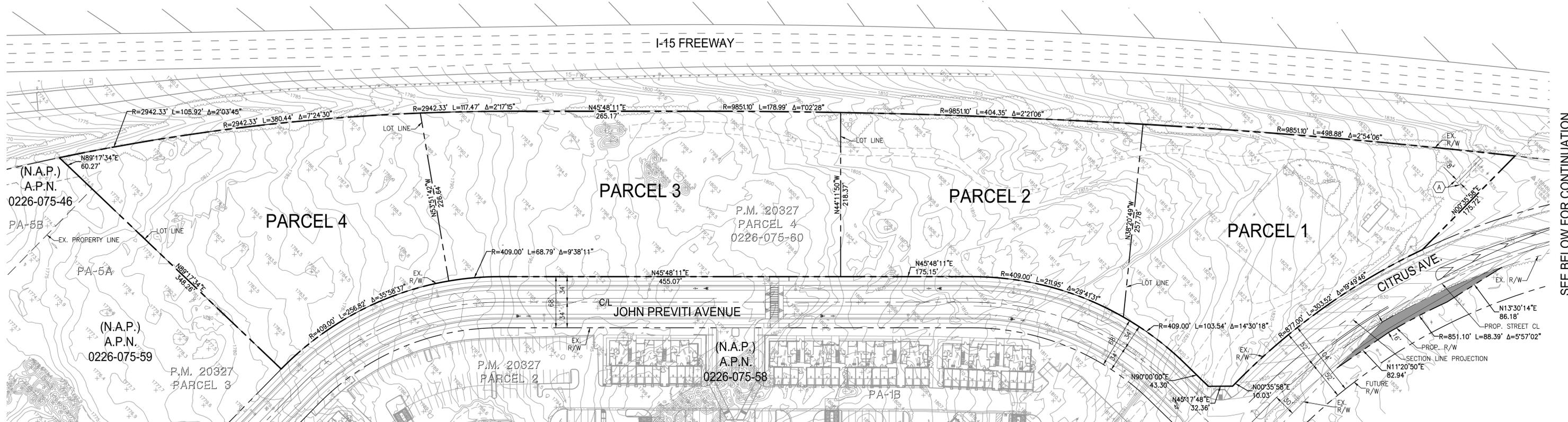
0226-075-60

LEGEND:

- BOUNDARY
- LOT LINE
- EXIST. R/W
- EXIST. PROPERTY LINE
- EXIST. PUBLIC UTILITY EASEMENT
- STREET RIGHT OF WAY DEDICATION



VICINITY MAP
NOT TO SCALE



SEE BELOW FOR CONTINUATION

LEGAL DESCRIPTION:

PARCEL 4 OF PARCEL MAP NO. 20327, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, PER MAP FILED IN BOOK 258 PAGES 37 THROUGH 40 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK

THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING BENCH MARK:
BM NO.: EV9274 ELEV.: 1508.56' (NGS BENCH MARK)
DATUM: NAVD 88 1993 ADJ

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED THE ON NORTH AMERICAN DATUM OF 1983 (NAD-83), SHOWN IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS-83), ZONE V (2011.00 EPOCH DATE) AS DERIVED BY POSITIONS PUBLISHED BY CSRC. ALL COORDINATE VALUES WERE SCALED TO GROUND BY APPLYING AN AVERAGE COMBINATION FACTOR AS DETERMINED BY FEI POINTS 11012, 11014, 11022, 11025, 11029, AND 11034 AND HOLDING THE COMPUTED GRID COORDINATE ON POINT 11015. INVERSES BETWEEN PROJECT COORDINATES WILL PRODUCE GROUND DISTANCES. TO OBTAIN GRID DISTANCES MULTIPLY GROUND DISTANCES BY 0.999888867

OWNER

H004, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
THE PREVITI GROUP
2151 E. CONVENTION CENTER WAY, SUITE 114
ONTARIO, CALIFORNIA 91764
PHONE: 909-354-8092
EMAIL: SKING@THEPREVITIGROUP.COM
CONTACT: STEPHEN KING SENIOR PROJECT MANAGER

ENGINEER'S STATEMENT:

THIS MAP HAS BEEN PREPARED UNDER MY SUPERVISION AS DIRECTED BY THE RECORD OWNER AND DEVELOPER OF THE PROPERTY DESCRIBED HEREON.



STEVEN L. ELLIS, RCE 47255 DATE

ZONING

VENTANA SPECIFIC PLAN

TOTAL AREA

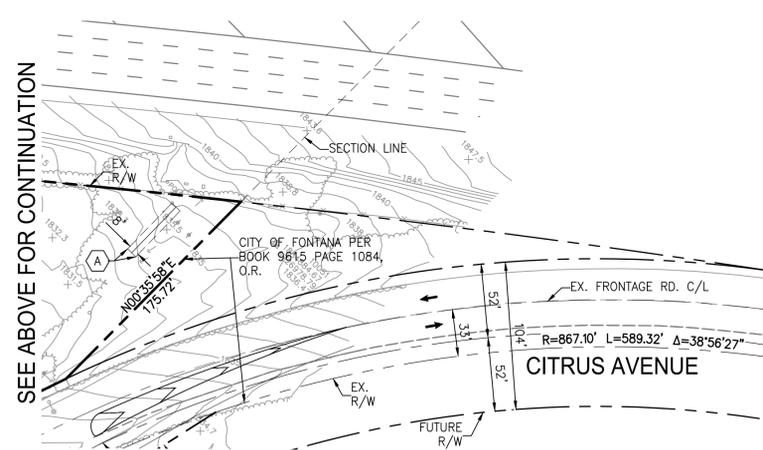
NET AREA
418,046 (SF)
9.60 (AC)

PROPOSED LOTS

PARCEL NUMBER	NET AREA
PARCEL 1	107,703 (SF) 2.47 (AC)
PARCEL 2	87,195 (SF) 2.00 (AC)
PARCEL 3	119,460 (SF) 2.75 (AC)
PARCEL 4	103,688 (SF) 2.38 (AC)

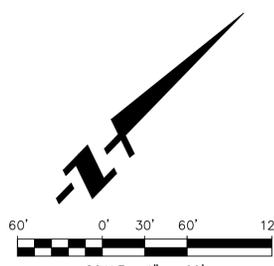
CITRUS R/W DEDICATION EAST OF CL

NET AREA
2832.4 (SF)
0.065 (AC)



SEE ABOVE FOR CONTINUATION

**TENTATIVE
PARCEL MAP
NO. 20949**
IN THE CITY OF FONTANA,
COUNTY OF SAN BERNARDINO,
STATE OF CALIFORNIA

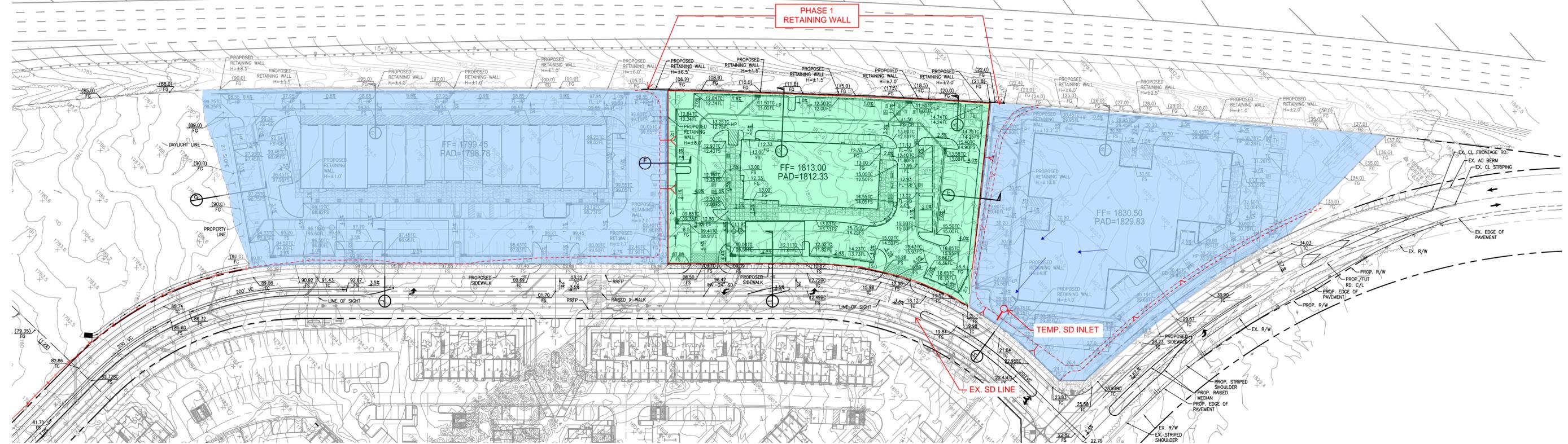
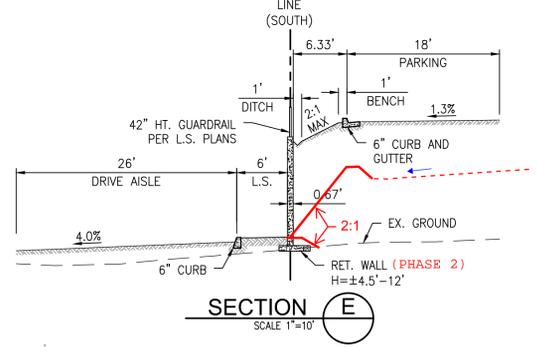
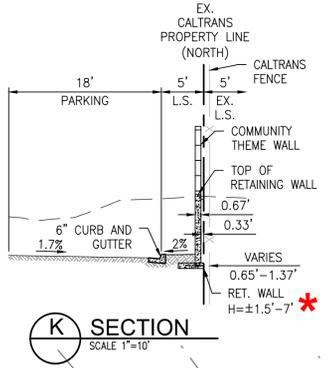
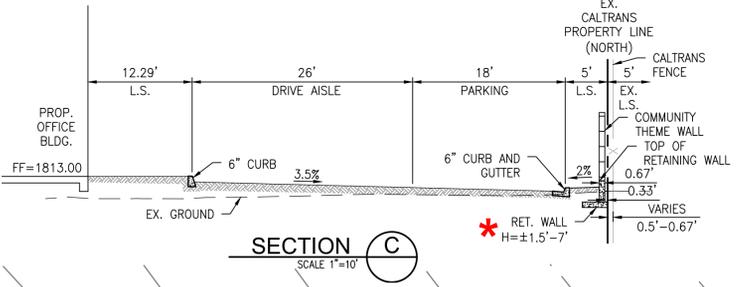
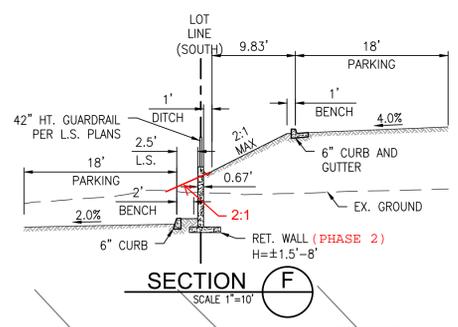


VENTANA PA-2
CITRUS AVE. FONTANA, CA

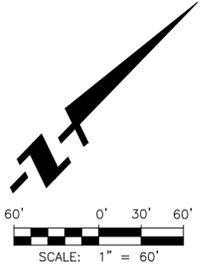
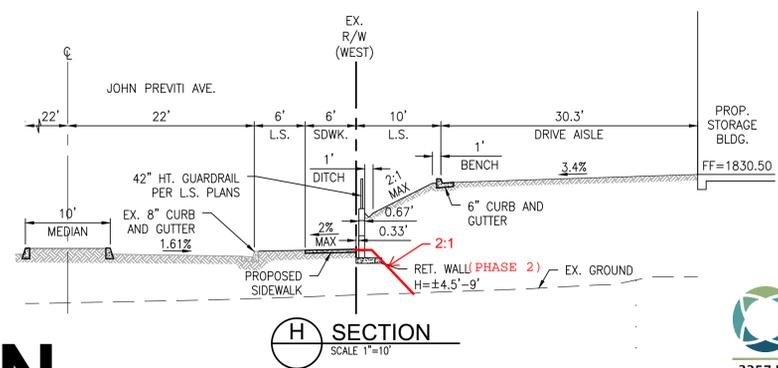
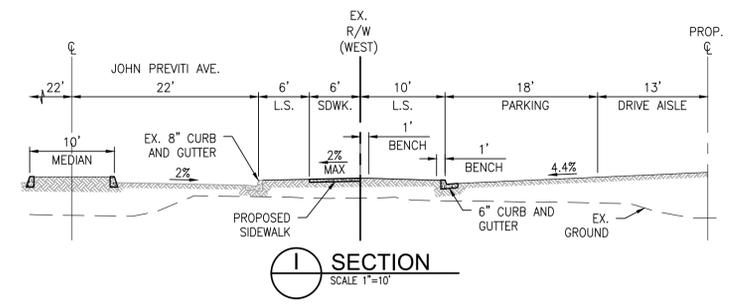


C-5

3257 E Guasti Rd, Suite 300
Ontario, California 91761
909.581.0676 fuscocom



- PHASE 1
- PHASE 1 RETAINING WAL
- PHASE 2



VENTANA PA-2
CITRUS AVE. FONTANA, CA

PHASING PLAN

FUSCOE ENGINEERING
3257 E Guasti Rd, Suite 300
Ontario, California 91761
909.581.0676 fuscoe.com

C-6
Date: April 2025

F:\PROJECTS\1655\005 EXHIBITS\1655-005-05-01_PAL_PAVING_OFFICE_LAYOUT.DWG (04-08-25 09:51:35AM) Plotted by: L.Figueroa