

City of Fontana

8353 Sierra Avenue
Fontana, CA 92335



Regular Agenda

Resolution No. PC 2025-021

Tuesday, June 17, 2025

6:00 PM

Grover W. Taylor Council Chambers

Planning Commission

Idilio Sanchez, Chair
Ricardo Quintana, Vice Chair
Joe Armendarez, Secretary
Dylan Keetle, Commissioner
Torrie Lozano, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. Meetings are held at the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335. To address the Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Council Chambers is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires accommodation to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at the City Clerk's Office.

Para traducción en Español, comuníquese con la oficina, "City Clerk" al (909) 350-7602.

The City of Fontana is committed to ensuring a safe and secure environment for its residents to engage with the government. No oversized bags or backpacks (size limit of 14"x14"x6") will be allowed inside the Council Chambers. All bags are subject to search. Face masks are prohibited in the Council Chambers, but clear masks will be provided upon request to accommodate individuals with medical needs, ensuring their safety and well-being. Before entering the Council Chambers, you may be subject to a metal detector screening. The City Manager retains the discretion to grant any exemptions. Fontana aims to provide safe buildings for our community members, employees, and visitors.

CALL TO ORDER/ROLL CALL:**A. Call To Order/Roll Call:****INVOCATION/PLEDGE OF ALLEGIANCE:****A. Invocation/Pledge of Allegiance:****PUBLIC COMMUNICATIONS:**

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

A. Public Communications:**CONSENT CALENDAR:**

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning

Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion.

A. Approval of Minutes

Approve the Regular Planning Commission Meeting Minutes of June 3, 2025.

CC-A Approval of Minutes of June 3, 2025.

[25-0323](#)

Attachments: [Draft Planning Commission Minutes of June 3, 2025](#)

Approve Consent Calendar Item as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontanaca.gov. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

- (a) hearing opened
- (b) written communication
- (c) council/staff comments
- (d) applicant comments
- (e) oral - favor
- (f) oral - opposition
- (g) hearing closed

PH-A A Resolution of the Planning Commission Recommending that City Council Adopt the 2025 State of California Fire Hazard Severity Zone Map Pursuant to California Government Code Sections 51177-51179 and Amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code pursuant to Public Resources Code section 21065, CEQA Guidelines section 15378(a) and (b)(5), and section 10.59 of the City's 2019 Local CEQA Guidelines.

[25-0316](#)

RECOMMENDATION:

Based on the information contained in this staff report staff recommends that the Planning Commission adopt Resolution No. PC 2025-____; and forward the recommendation to the City Council to:

1. Designate Fire Hazard Severity Zones (FHSZ) within the Local Responsibility Area identified by the 2025 State of California Fire Hazard Severity Zone Map updated by the California Department of Forestry and Fire Protection (CALFIRE) as required by Government Code Sections 51177-51179; and,

2. Amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code in its entirety to reference the updated FHSZ maps and associated text; and,

3. Determine that the Adoption of the 2025 State of California Fire Hazard Severity Zone Map is not a project subject to the California Environmental Quality Act (CEQA) pursuant. It has no potential to result in a physical change to the environment or a reasonably foreseeable indirect change to the environment, and it does not commit the City to any project that could have a significant effect on the environment.

APPLICANT:

City of Fontana

LOCATION:

City-Wide

STAFF:

Jeffrey Baughman, Director of Building and Safety

Attachments: [Attachment 1: PC Resolution](#)

[Attachment 2: Exhibit A, CALFIRE Local Responsibility Area Fire Hazard Severity Zones Map](#)

[Attachment 3: Exhibit B, Quadrant Detail Fire Hazard Severity Zones](#)

[Attachment 4: Exhibit C, Zoning Code Amendment](#)

[Attachment 5: Notice of Exemption](#)

[Attachment 6: Planning Commission - Public Hearing Notice](#)

PH-B Master Case No. 25-020 and Municipal Code Amendment (MCA) No. 25-005: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) to adopt objective design standards for residential and mixed-use development projects subject to streamlined and ministerial review under State of California law, pursuant to Section 15378 of the California Environmental Quality Act (CEQA) Guidelines,

[25-0291](#)

Section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA.

RECOMMENDATION:

Based on information in the staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2025-___; and,

1. Determine that this Ordinance is exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15061(B)(3) (the common-sense exemption) and 15378 and Sections 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA, in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment where it can be with certainty that there is no possibility that the activity in quest may have a significant effect on the environment, the activity is not subject to CEQA; and,

2. Approve a resolution recommending that the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 25-005 to amend Chapter 30 of the Municipal Code.

APPLICANT:

**City of Fontana
8353 Sierra Avenue
Fontana, CA 92335**

LOCATION:

Citywide

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

Attachments: [Attachment No. 1 - Planning Commission Resolution](#)
[Attachment No. 2 - Notice of Exemption](#)
[Attachment No. 3 - Public Hearing Notice](#)

UNFINISHED BUSINESS:

A. None

NEW BUSINESS:

A. None

DIRECTOR COMMUNICATIONS:**A. Director Communications:**

DC-A Upcoming cases scheduled for City Council and Planning Commission. [25-0322](#)

An update of future City Council agenda items for July 1, 2025 for the Planning Commission's information.

An update of future Planning Commission agenda items for June 24, 2025 for the Planning Commission's information.

Attachments: [Upcoming City Council Items Memo](#)
[Upcoming Planning Commission Items Memo](#)

COMMISSION COMMENTS:**A. Planning Commission Remarks:****WORKSHOP:****A. None****ADJOURNMENT:****A. Adjournment**

Adjourn to the next Regular Planning Commission Meeting on Tuesday, July 1, 2025 at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0323
Agenda #: CC-A

Agenda Date: 6/17/2025
Category: Consent Calendar

FROM:
Planning

TITLE:
Approval of Minutes

RECOMMENDATION:
Approve the minutes of the Planning Commission Meeting of June 3, 2025.

DISCUSSION:
The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of June 3, 2025. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:
Approve staff recommendation.



City of Fontana Planning Commission Minutes

Idilio Sanchez, Chair
Ricardo Quintana, Vice Chair
Joe Armendarez, Secretary
Torrie Lozano, Commissioner
Dylan Keetle, Commissioner

Tuesday, June 3, 2025

6:00 P.M.

Grover W. Taylor Council Chambers

CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, June 3, 2025. Chair Sanchez called the meeting to order at 6:04 p.m.

Present: Chair Sanchez, Commissioners Keetle and Lozano

Absent: Vice Chair Quintana and Secretary Armendarez

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Chaplain Daniel Vasquez, the Pledge of Allegiance was led by Commissioner Lozano.

PUBLIC COMMUNICATIONS:**A. Public Communications:**

None.

CONSENT CALENDAR:**A. Approval of Minutes**

Approve the Regular Planning Commission Meeting Minutes of May 20, 2025.

ACTION: A Motion was made by Commissioner Keetle and seconded by Commissioner Lozano and passed by a vote of 3-0 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Chair Sanchez, Commissioners Keetle and Lozano

Absent: Vice Chair Quintana and Secretary Armendarez

Abstain: None

PH-A Master Case No. 25-0017 and Municipal Code Amendment (MCA) No. 25-0003: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) establishing standards for group homes. (Item Continued from the April 15, 2025, and May 6, 2025, meetings).

Chair Sanchez opened the Public Hearing.

Staff recommended that the Planning Commission continue this item to a date uncertain.

No written correspondence was received.

RECOMMENDATION:

Staff recommends that the Planning Commission continue to a date uncertain.

ACTION: Motion was made by Commissioner Lozano and seconded by Commissioner Keetle and passed by a vote of 3-0 to continue Public Hearing Item "A" to a date uncertain.

The motion carried by the following vote:

AYES: Chair Sanchez, Commissioners Keetle and Lozano NOES: None; ABSTAIN: None; ABSENT: Vice Chair Quintana, Secretary Armendarez.

PH-B Master Case No. 25-0020 and Municipal Code Amendment (MCA) No. 25-0005: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) adopt objective design standards for residential and mixed-use development projects subject to streamlined and ministerial review under State of California law, pursuant to a determination that the amendments are exempt from CEQA under CEQA Guidelines section 15060(C), 15061(B)(3) (the common-sense exemption), and 15378. (Item continued from the April 1, 2025, and May 6, 2025 meetings).

Chair Sanchez opened the Public Hearing.

Staff recommended that the Planning Commission continue this item to the June 17, 2025, Regular Planning Commission Meeting.

No written correspondence was received.

RECOMMENDATION:

Staff recommends that the Planning Commission continue this item to the June 17, 2025, Regular Planning Commission Meeting.

ACTION: Motion was made by Commissioner Keetle and seconded by Commissioner Lozano and passed by a vote of 3-0 to continue Public Hearing Item “B” to the June 17, 2025, Regular Planning Commission Meeting.

The motion carried by the following vote:

AYES: Chair Sanchez, Commissioners Keetle and Lozano NOES: None; ABSTAIN: None; ABSENT: Vice Chair Quintana, Secretary Armendarez.

PH-C Master Case No. 22-000104: Tentative Parcel Map No. 22-000025 (TPM No. 20611), Design Review (DRP) No. 22-000051, reporting on the conformity of the proposed vacation of Windflower Avenue with the General Plan pursuant to Government Code Section 65402; and Final Environmental Impact Report (FEIR) for the development of an industrial warehouse building totaling approximately 398,514 square feet on approximately 18.3 acres, located between Sierra Avenue and Mango Avenue, approximately 1,300 feet south of Summit Avenue (Assessor Parcel Numbers: 1119-241-10,-13,-18,-25,-26, and -27), pursuant to the Certified Environmental Impact Report (EIR) (State Clearing House No. 2023030788) and Mitigation Monitoring And Reporting Program and direct staff to file a Notice of Determination.

Chair Sanchez opened the Public Hearing.

The City Clerk’s Department received one (1) written correspondence in opposition of this item.

Alexia Barberena, Associate Planner, presented the staff report and noted a memo to the commission removing condition of approval #12 from page 160 of Attachment #4, as it references a development agreement that does not apply to this project. Additionally, the memo includes a new condition of approval (Condition No. 83B) from the Traffic Department restricting ingress and egress along Sierra Avenue.

The Commission and staff discussed the vehicle entrances and exits along Sierra Avenue. The Commission inquired whether a pork chop island would be installed to prevent trucks from traveling north and south on Sierra.

The applicant, Scott Irwin, on behalf of Seefried Industrial Properties Inc., stated that he read and agreed to the amended Conditions of Approval.

The following individuals spoke in favor:

- Art Zuniga
- Louie Lopez
- Eddie Campos
- Zach Strasters
- Jazzmine
- Leti Villa
- Robert Ramos

The Public Hearing was closed.

RECOMMENDATION:

1. **Based on the information contained in this staff report, resolution and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-019; and,**
 - a. **Certify the FEIR, a Mitigation Monitoring and Reporting Program and a Statement of Facts and Findings, and direct staff to file a Notice of Determination**
2. **Based on the information contained in this staff report, resolution and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-020; and,**
 - a. **Approve Tentative Parcel Map No. 22-000025 (TPM No. 20611); and**
 - b. **Approve Design Review No. 22-000051.**

ACTION: Motion was made by Chair Sanchez and seconded by Commissioner Keetle and passed by a vote of 3-0 to approve Public Hearing Item “C”; adopt Resolution No’s. PC 2025-019 & 020; certifying the EIR, approving Tentative Parcel Map (TPM) No. 22-000025 (TPM No. 20611) and approving Design Review No. 22-000051 with amended conditions of approval.

The motion carried by the following vote:

AYES: Chair Sanchez, Commissioners Keetle and Lozano **NOES:** None; **ABSTAIN:** None; **ABSENT:** Vice Chair Quintana, Secretary Armendarez.

DIRECTOR COMMUNICATIONS:

A. Director Communications:

None.

COMMENTS:

A. Public Communication Commission Comments:

Commissioner Lozano thanked the public for attending tonight’s meeting and expressed appreciation to the Planning staff for their assistance.

Commissioner Keetle thanked the project developer and all the workers who came out in support of the project. He expressed appreciation for the continued investment in the City of Fontana and stated that the Commission looks forward to continuing to move Fontana forward.

Chair Sanchez echoed the comments of his fellow Commissioners, expressed appreciation for the continued investment in the City of Fontana, and concluded by thanking the public for the opportunity to serve.

ADJOURNMENT:

Chair Sanchez adjourned the meeting at 6:33 p.m. to the next Regular Planning Commission Meeting on Tuesday, Jun 17, 2025, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

Susana Gallardo
Deputy City Clerk

THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION ON THE 17th DAY OF JUNE 2025.

Idilio Sanchez
Chair



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0316
Agenda #: PH-A

Agenda Date: 6/17/2025
Category: Public Hearing

FROM:

Building & Safety

TITLE:

A Resolution of the Planning Commission Recommending that City Council Adopt the 2025 State of California Fire Hazard Severity Zone Map Pursuant to California Government Code Sections 51177-51179 and Amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code pursuant to Public Resources Code section 21065, CEQA Guidelines section 15378(a) and (b)(5), and section 10.59 of the City's 2019 Local CEQA Guidelines.

RECOMMENDATION:

Based on the information contained in this staff report staff recommends that the Planning Commission adopt Resolution No. PC 2025-____; and forward the recommendation to the City Council to:

1. Designate Fire Hazard Severity Zones (FHSZ) within the Local Responsibility Area identified by the 2025 State of California Fire Hazard Severity Zone Map updated by the California Department of Forestry and Fire Protection (CALFIRE) as required by Government Code Sections 51177-51179, and
2. Amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code in its entirety to reference the updated FHSZ maps and associated text, and
3. Determine that the Adoption of the 2025 State of California Fire Hazard Severity Zone Map is not a project subject to the California Environmental Quality Act (CEQA) pursuant. It has no potential to result in a physical change to the environment or a reasonably foreseeable indirect change to the environment, and it does not commit the City to any project that could have a significant effect on the environment.

APPLICANT:

City of Fontana

LOCATION:

City-Wide

REQUEST:

A request to amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code to incorporate the 2025 State of California Fire Hazard Severity Zone Map Pursuant to California Government Code Sections 51177-51179.

STAFF:

Jeffrey Baughman, Director of Building and Safety

BACKGROUND INFORMATION:

Pursuant to California Government Code Sections 51177-51179, CALFIRE has identified updates to Fire Hazard Severity Zones (FHSZ) within the Local Responsibility Area of the City of Fontana. The City has received formal notification from CALFIRE, and at a minimum the City must designate the updated areas identified by the State as FHSZ through the adoption of a City Council Ordinance no later than July 24, 2025.

Areas identified for inclusion in a FHSZ may be targeted by CALFIRE for a number of reasons, including but not limited to: fire history, narrow separation distance between structures and high housing density, limited retrofitting of structures to bring structures in compliance with Chapter 7A of the Building Standards Code, a single evacuation route that may impact evacuation times, and proximity to dense vegetation and topographic features capable of supporting a fast moving wind driven fire.

PROJECT DESCRIPTION:

The Fire Hazard Overlay District will designate the FHSZ Local Responsibility Area map for the City of Fontana (Exhibit A) and will identify areas for inclusion within the northern and southern boundaries of the City. Additional detail of the identified FHSZ quadrants within the City of Fontana is included as Exhibit B. Exhibit C includes the Zoning Code text changes to Section 30-656(a). An interactive map can also be found online at the CALFIRE website:

<https://experience.arcgis.com/experience/5065c998b4b0462f9ec3c6c226c610a9>.

In order to update the City of Fontana Zoning and Development Code, the entirety of Section 30-656 (a) is amended to reference the updated 2025 Fire Hazard Severity Zones.

With the adoption of the Local Responsibility Area maps, all properties in those areas designated as a "Very High" FHSZ are required to meet vegetation management requirements identified in Government Code Section 51182 as a minimum standard. These standards include, but are not limited to: (i) "maintain[ing] defensible space of 100 feet from each side and from the front and rear of the structure, but not beyond the property line," (ii) "remov[ing] that portion of a tree that extends within 10 feet of the outlet of a chimney or stovepipe," (iii) "maintain[ing] a tree, shrub, or other plant adjacent to or overhanging a building free of dead or dying wood," and (iv) "maintain[ing] the roof of a structure free of leaves, needles, or other vegetative materials." Before constructing a new dwelling or structure, or rebuilding a structure damaged by fire in the FHSZ, the proposed structure must comply with all applicable state and local building standards for the FHSZ which incorporate the ignition resistant building standards required in Chapter 7A of the Building Standards Code.

In areas designated as a "High" FHSZ, all new construction or major remodels classified by the Building Official as new construction are required to meet the wildfire resistant construction requirements included in Chapter 7A of the Building Standards Code.

Properties within the "Very High" and "High" FHSZ must conduct a natural hazard real estate disclosure at time of sale per California Civil Code Section 1102.19 that the property is compliant with

local vegetation management regulations.

MOTION:

Approve staff recommendation.

ATTACHMENTS:

Attachment 1: Resolution No. 2025-_____

Attachment 2: Exhibit A, CALFIRE Local Responsibility Area Fire Hazard Severity Zones Map

Attachment 3: Exhibit B, Quadrant Detail Fire Hazard Severity Zones

Attachment 4: Exhibit C, Zoning Code Amendment

Attachment 5: Notice of Exemption

Attachment 6: Planning Commission - Public Hearing Notice

RESOLUTION NO. 2025-XXXX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL OF THE CITY OF FONTANA ADOPT THE 2025 STATE OF CALIFORNIA FIRE HAZARD SEVERITY ZONE MAP PURSUANT TO CALIFORNIA GOVERNMENT CODE SECTIONS 51177-51179 AND AMEND CHAPTER 30, ARTICLE IX (OVERLAY DISTRICTS), DIVISION 8 (FIRE HAZARD OVERLAY DISTRICT), SECTION 30-656(a) OF THE CITY OF FONTANA ZONING AND DEVELOPMENT CODE

WHEREAS, California Government Code Sections 51177-51179 mandates local jurisdictions to designate areas that are within local control and identified by the California Department of Forestry and Fire Protection (CALFIRE) as Fire Hazard Severity Zones (FHSZ); and

WHEREAS, the City of Fontana (“City”) Zoning and Development Code identifies fire hazard overlay districts based on Fire Hazard Severity Zone (FHSZ) maps created by CALFIRE; and

WHEREAS, CALFIRE has recently updated its Fire Hazard Severity Zone (FHSZ) maps and the City of Fontana is mandated to designate by Ordinance moderate, high and very high fire hazard severity zones within the City as identified in the updated FHSZ maps by amending its Zoning and Development Code to reflect the same; and

WHEREAS, the Planning Commission of the City of Fontana is entrusted to review the updated FHSZ maps, to receive public comment, and to recommend the updated FHSZ maps for City Council approval.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Fontana, California, as follows:

SECTION 1. Recitals. The above recitals are true, correct and by this reference incorporated herein.

SECTION 2. Adoption of 2025 Fire Hazard Severity Zone Map. The Planning Commission hereby recommends that the City Council of the City of Fontana adopt the 2025 Fire Hazard Severity Zone Map as reflected in Exhibit A, attached hereto and incorporated herein by this reference, and amend Section 30-656(a) of the Zoning and Development code to reflect the same.

SECTION 3. Effective Date. This Resolution shall become effective immediately upon its adoption

SECTION 4. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision

Resolution No.

or application, and to this end the provisions of this Resolution are severable. The Planning Commission declares that it would have adopted this Resolution irrespective of the invalidity of any particular portion of this Resolution.

SECTION 5. Certification. The City Clerk shall certify to the adoption of this Resolution.

SECTION 6. Custodian of Records. The documents and materials that constitute the record of proceedings on which this Resolution is based are located at the City Clerk's office located at 8353 Sierra Avenue, Fontana, CA 92335. The custodian of records is the City Clerk.

APPROVED AND ADOPTED this 17th day of June, 2025.

APPROVED AS TO LEGAL FORM:

Ruben Duran, City Attorney

I, Germaine McClellan Key, City Clerk of the City of Fontana, and Ex-Officio Clerk of the City Council of the City of Fontana, hereby certify that the foregoing Resolution is the actual resolution that was duly and regularly adopted by the City Council of the City of Fontana at a regular meeting on the 17th day of June, 2025, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Germaine McClellan Key, City Clerk

Acquanetta Warren, Mayor

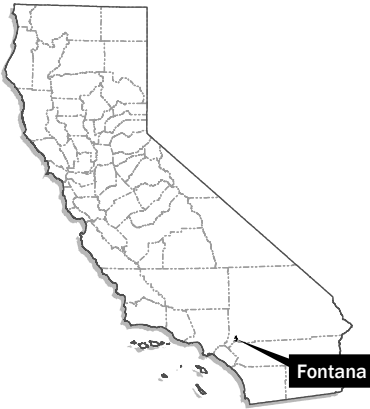
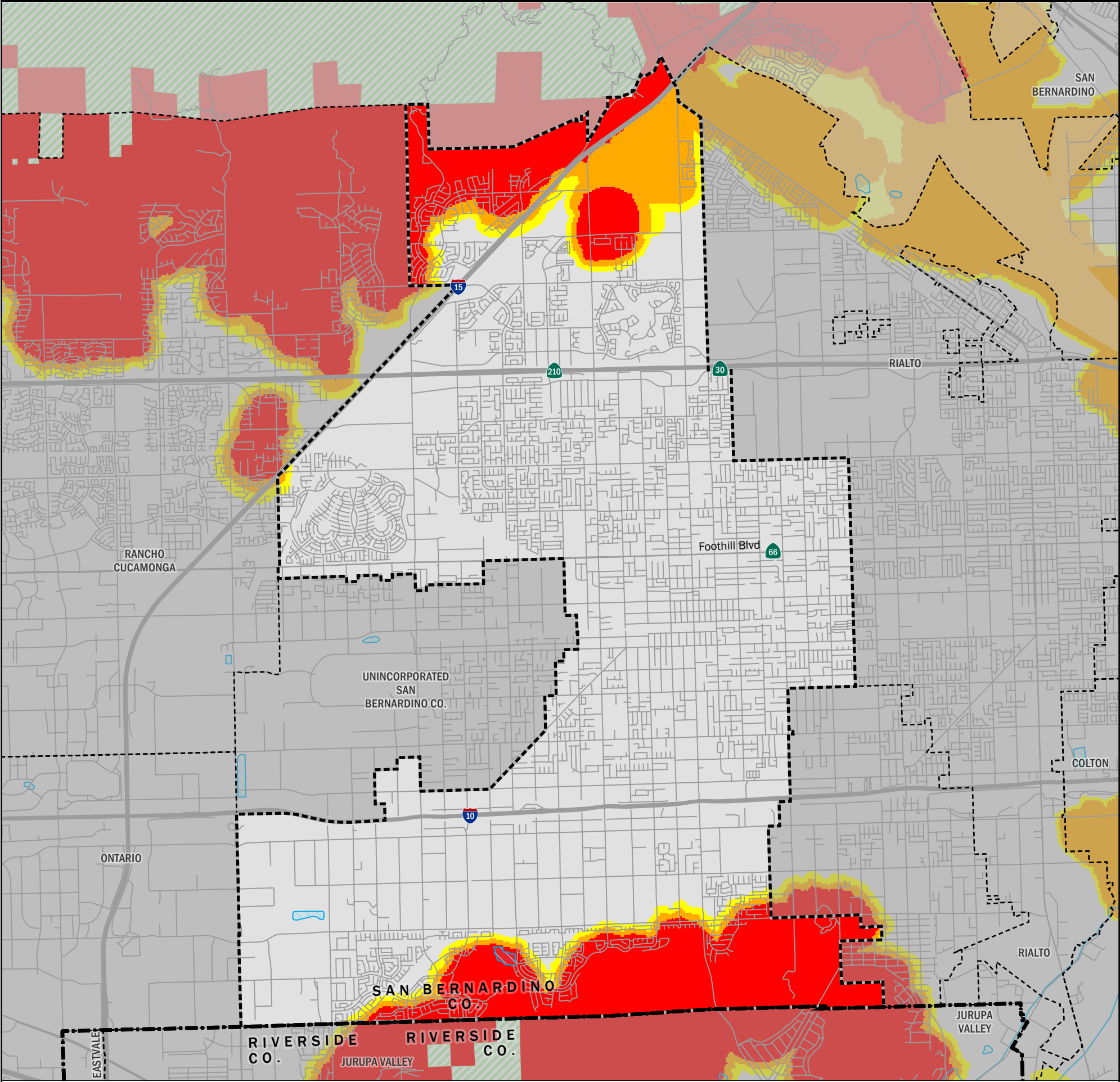
ATTEST:

Germaine McClellan Key, City Clerk



Local Responsibility Area Fire Hazard Severity Zones

As Identified by the
State Fire Marshal
March 24, 2025



Fire Hazard Severity Zones (FHSZ) in Local Responsibility Area (LRA), as Identified by the State Fire Marshal

Very High High Moderate

Fire Hazard Severity Zones in State Responsibility Area (SRA), Effective April 1, 2024

Very High High Moderate



Projection: NAD 83 California Teale Albers
Scale: 1:75,000 at 11" x 17"

- Incorporated City

Unzoned LRA
- Waterbody

Federal Responsibility Area (FRA)

Government Code section 51178 requires the State Fire Marshal to identify areas in the state as moderate, high, and very high fire hazard severity zones based on consistent

statewide criteria and based on the severity of fire hazard that is expected to prevail in those areas. Moderate, high, and very high fire hazard severity zones shall be based on fuel loading, slope, fire weather,

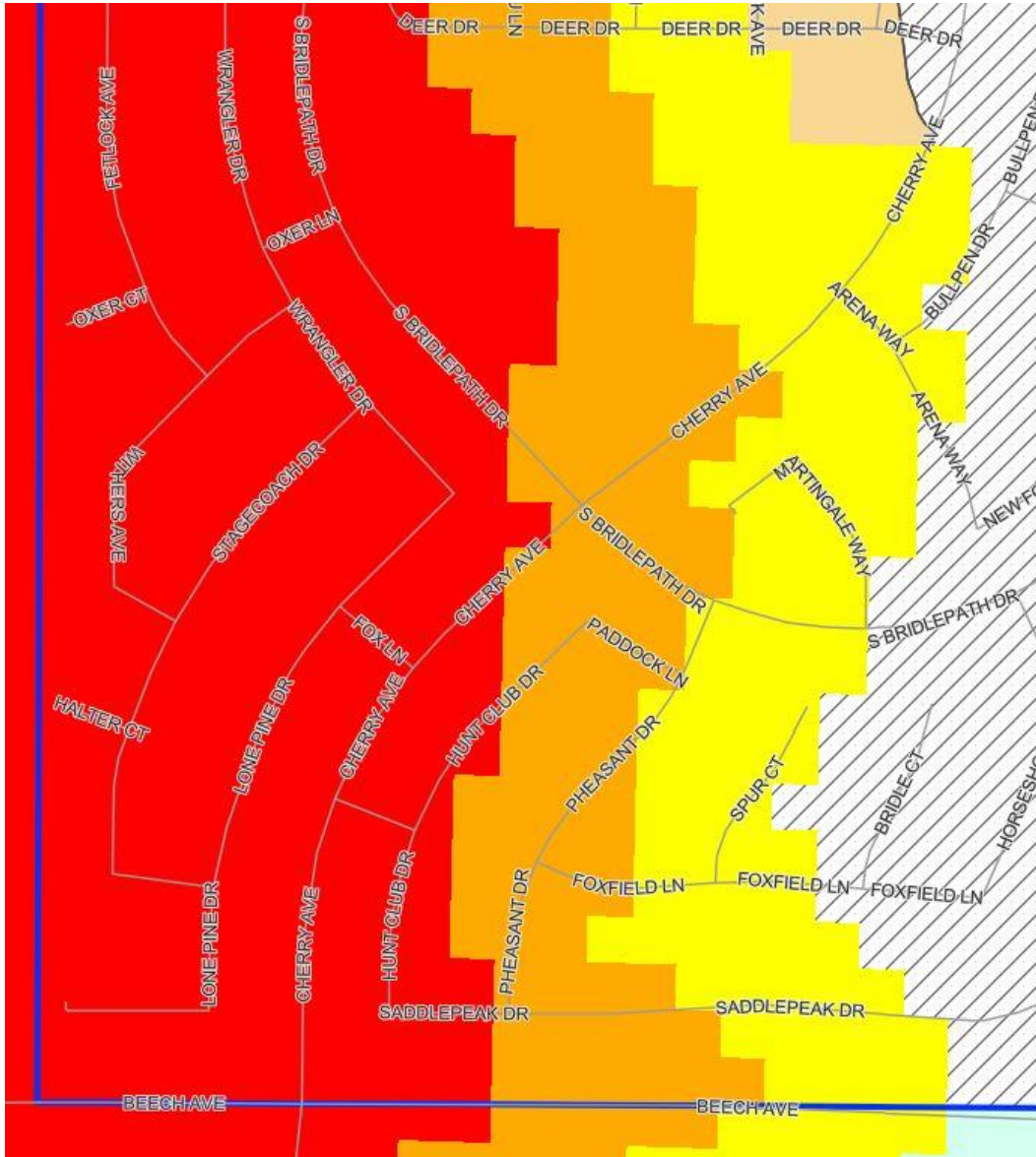
and other relevant factors including areas where winds have been identified by the Office of the State Fire Marshal as a major cause of wildfire spread.

The State of California and the Department of Forestry and Fire Protection make no representations or warranties regarding the accuracy of data or maps. Neither the State nor the Department shall be liable under any circumstances for any direct, special, incidental, or consequential damages with respect to any claim by any user or third party on account of, or arising from, the use of data or maps.

Gavin Newsom, Governor, State of California
Wade Crowfoot, Secretary for Natural Resources, CA Natural Resources Agency
Joe Tyler, Director/Fire Chief, CA Department of Forestry and Fire Protection
Daniel Berlant, State Fire Marshal, CA Department of Forestry and Fire Protection

Data Sources:
CAL FIRE Fire Hazard Severity Zones (FHSZSRA23_3, FHSZLRA_25_1)
CAL FIRE State Responsibility Areas (SRA25_1)
City and County boundaries as of 10/22/24 (CA Board of Equalization)

Attachment No. 3 - EXHIBIT B
FIRE HAZARD SEVERITY ZONE MAP QUADRANT DETAIL



Northwest Quadrant 1

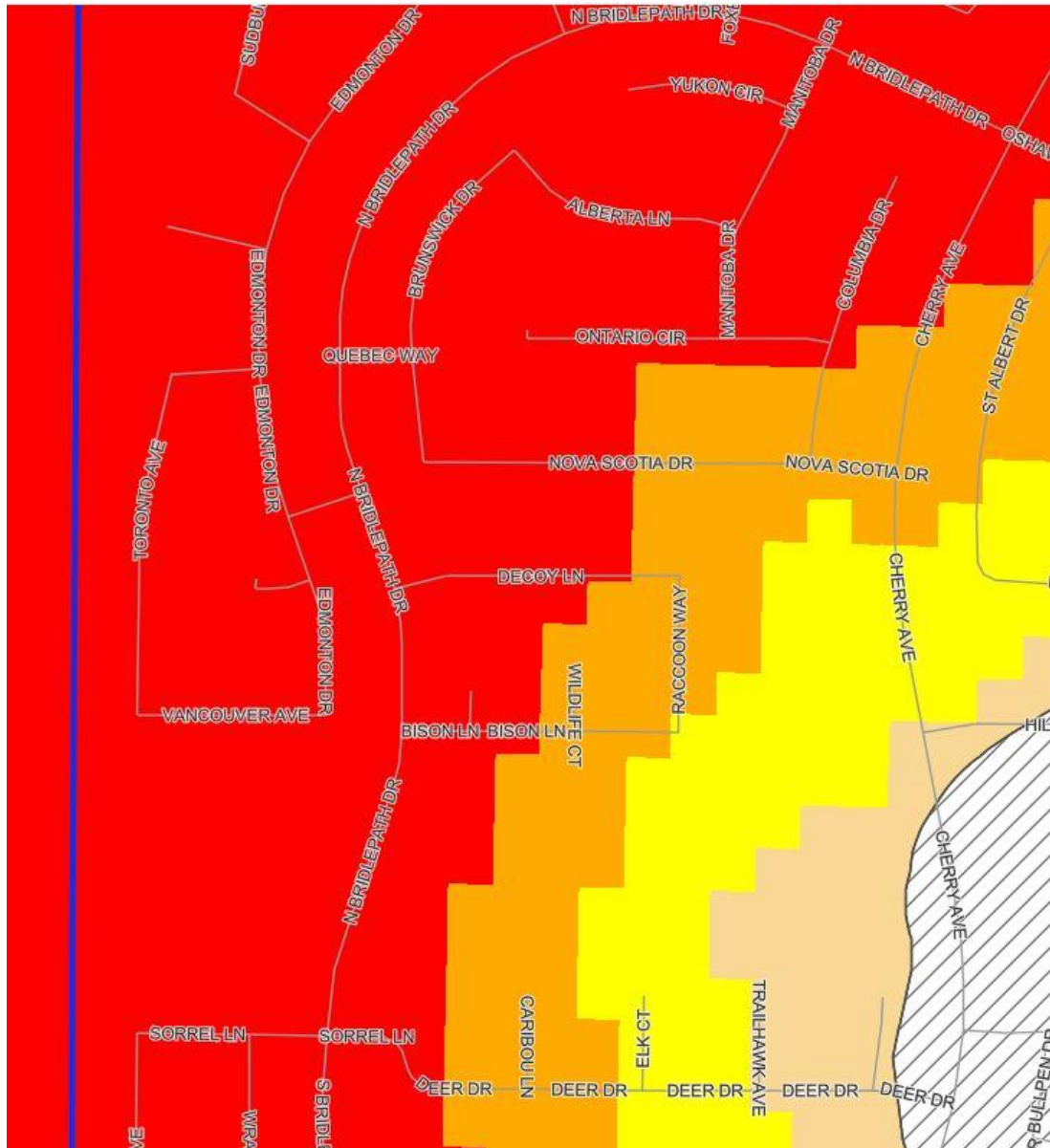
Fontana City Boundary



CAL FIRE FHSZ (Local Responsibility Area)

Fire Hazard Severity Zone

- Very High
- High
- Moderate



Northwest Quadrant 2

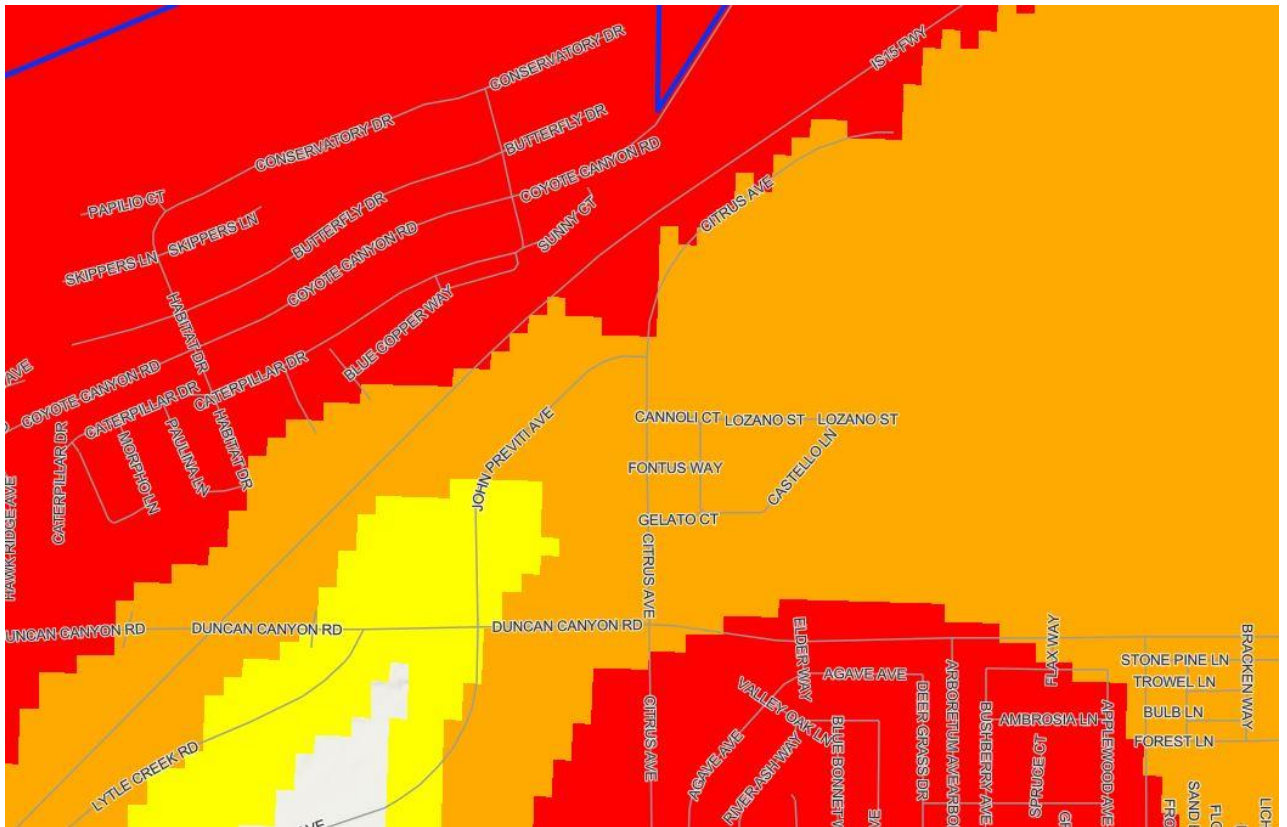
Fontana City Boundary



CAL FIRE FHSZ (Local Responsibility Area)

Fire Hazard Severity Zone

- Very High
- High
- Moderate



Northcentral Quadrant 2

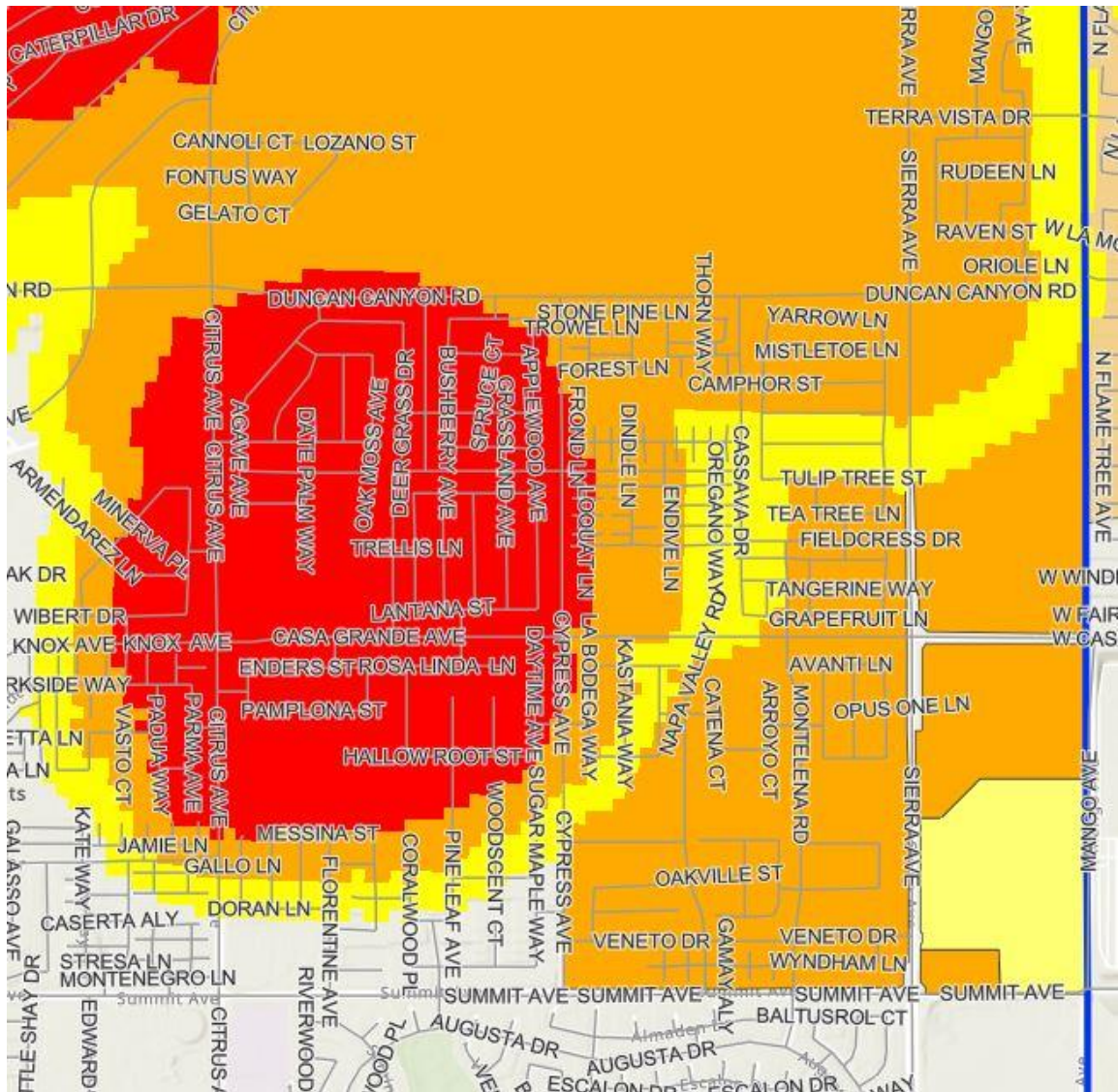
Fontana City Boundary



CAL FIRE FHSZ (Local Responsibility Area)

Fire Hazard Severity Zone

- Very High
- High
- Moderate



Northcentral Island

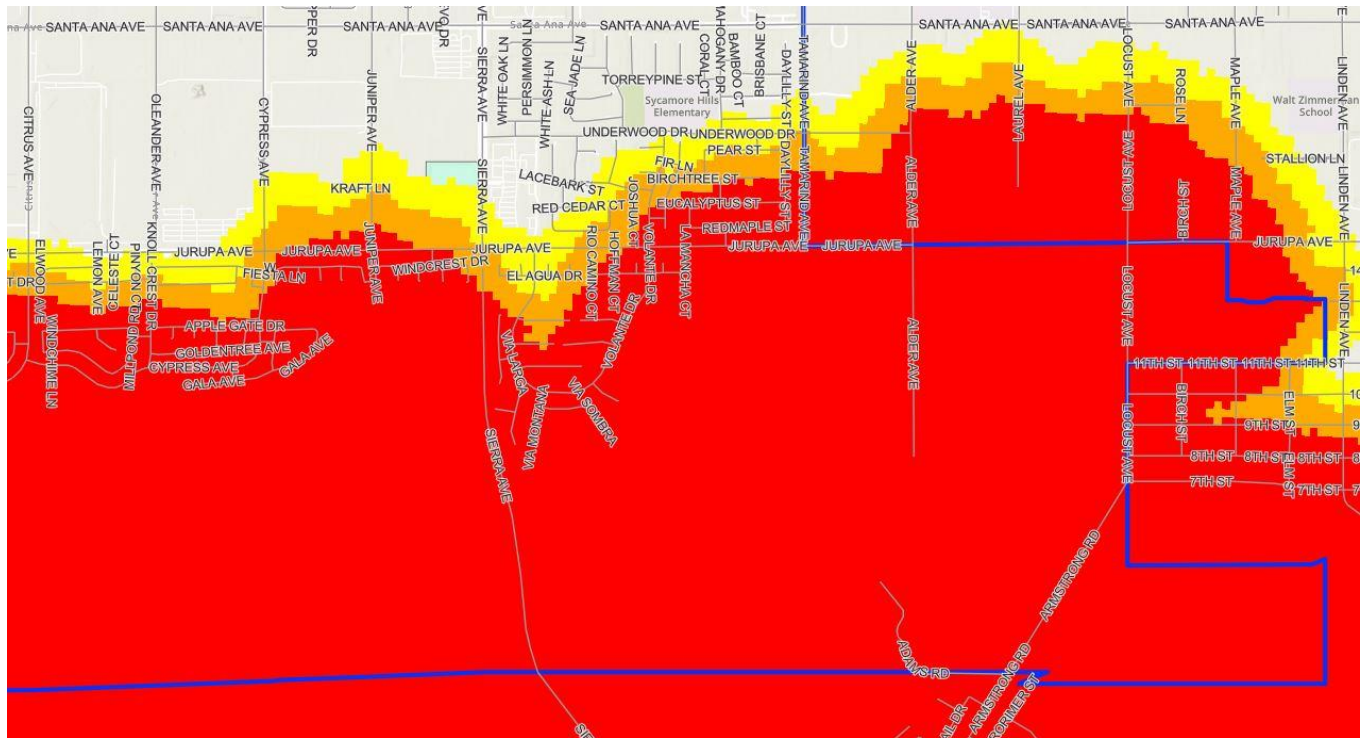
Fontana City Boundary



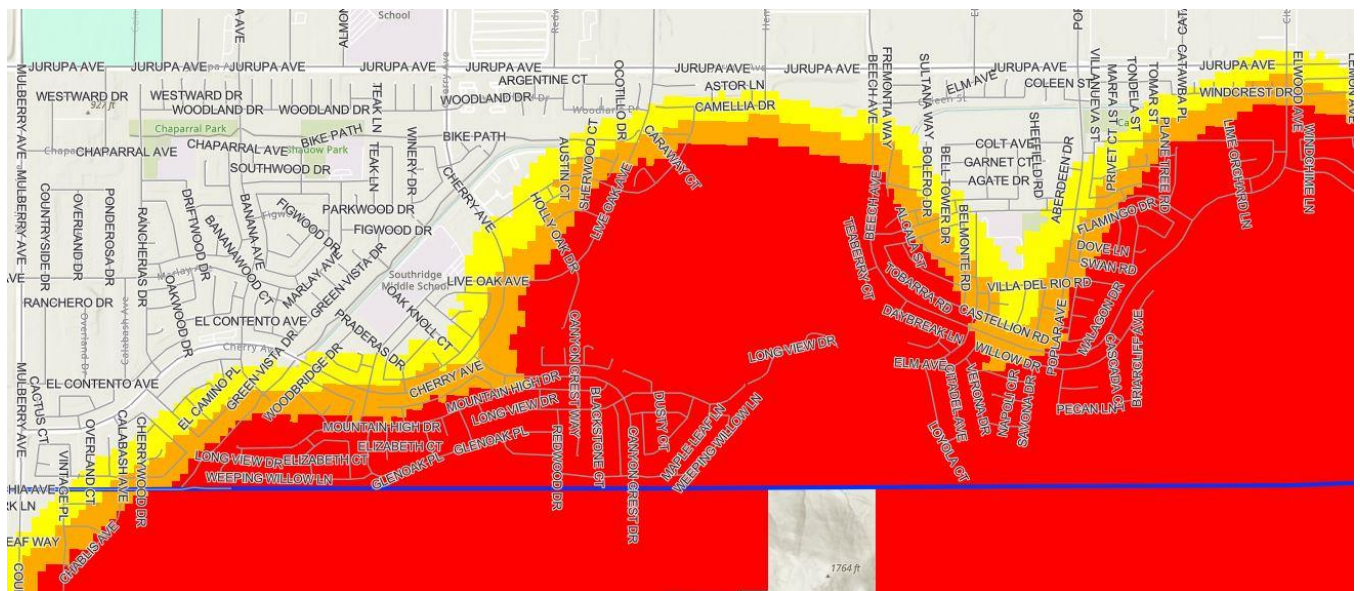
CAL FIRE FHSZ (Local Responsibility Area)

Fire Hazard Severity Zone





Southeast Quadrant



Southwest Quadrant

Attachment No. 4 (Exhibit C)

AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30

(*Additions shown in underline, deletions shown in ~~strikeout~~)

(Articles and Divisions not referenced are to remain)

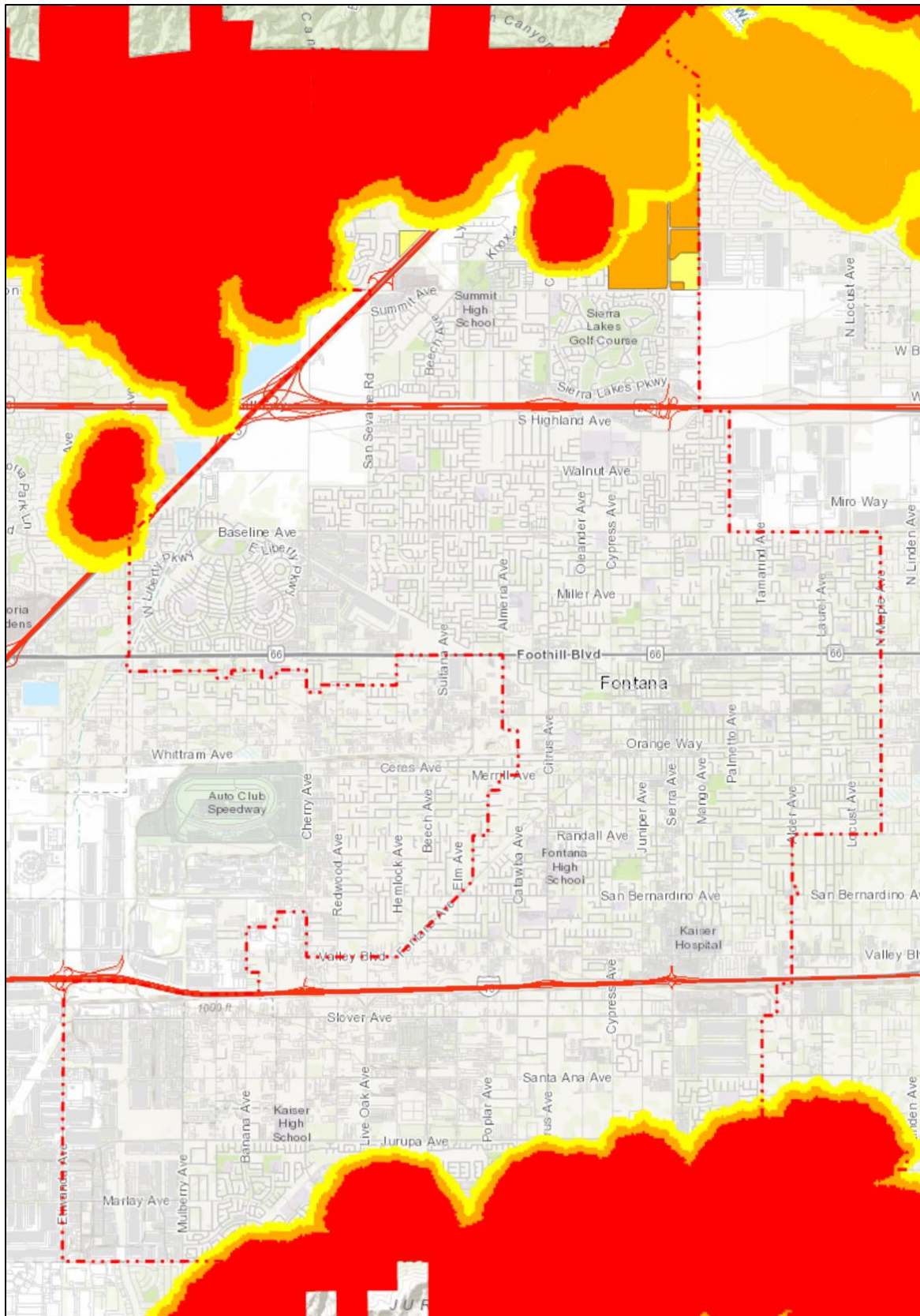
ARTICLE XI. OVERLAY DISTRICTS

DIVISION 8. FIRE HAZARD OVERLAY DISTRICT

Sec. 30-656. Fire hazard overlay district regulations.

- (a) *Applicability.* The fire hazard overlay provisions shall apply to in the areas as ~~so~~ designated on ~~on the current general plan land use map~~ Figure 1 shown below. The fire hazard overlay shall initially be based on the 2008 very high fire hazard severity zones map from the California Department of Forestry and Fire Protection (Cal FIRE) and on such other subsequent maps or evidence as deemed appropriate by the City.

Figure 1



(Remaining text in DIVISION 8 to remain)



NOTICE OF EXEMPTION

TO: Office of Land Use and Climate Innovation <input checked="" type="checkbox"/> State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6656
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	Master Case No. 25-0039 and Zoning Code Amendment No. 25-0003.
2. Project Applicant (include address, telephone number and email address):	City of Fontana 8353 Sierra Avenue Fontana, CA 92336
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	Citywide
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	A request to Adopt the 2025 State of California Fire Hazard Severity Zone Map Pursuant to California Government Code Sections 51177-51179 and Amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code.
6. Name of Public Agency approving project:	City of Fontana

7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	City of Fontana 8353 Sierra Avenue Fontana, CA 92336
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input checked="" type="checkbox"/> Other. Explanation:	Exempt under CEQA Guidelines Section 15378(a) and (b)(5) because it does not have potential for resulting in physical change in the environment, directly or indirectly.
9. Reason why project was exempt:	The project is a citywide code update to Chapter 30 of the Fontana Municipal Code. There is no associated development with this project.

10. Lead Agency Contact Person: Telephone:	Maurice Moore, Fire Marshall (909) 428-8892
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: July 8, 2025	

Date:

Signature

Name: DiTanyon Johnson

Title: Planning Manager

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



NOTICE OF PUBLIC HEARING

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case Number (MCN) 25-0039; Zoning Code Amendment (ZCA) NO. 25-0003

For a Resolution to Adopt the 2025 State of California Fire Hazard Severity Zone Map Pursuant to California Government Code Sections 51177-51179 and Amend Chapter 30, Article IX (Overlay Districts), Division 8 (Fire Hazard Overlay District), Section 30-656(a) of the City of Fontana Zoning and Development Code

A copy of the Fire Hazard Severity Zone Map is available for review 10 days prior to the Public Hearing in the City Clerk's Office located at 8353 Sierra Avenue, Fontana, CA, and is also available for viewing online at the Cal Fire website: <https://osfm.fire.ca.gov/what-we-do/community-wildfire-preparedness-and-mitigation/fire-hazard-severity-zones>

Environmental Determination: The Adoption of the 2025 State of California Fire Hazard Severity Zone Map is not a project subject to the California Environmental Quality Act (CEQA) pursuant to Public Resources Code section 21065, CEQA Guidelines section 15378(a) and (b)(5), and section 10.59 of the City's 2019 Local CEQA Guidelines. It has no potential to result in a physical change to the environment or a reasonably foreseeable indirect change to the environment, and it does not commit the City to any project that could have a significant effect on the environment.

Location of Property: City-Wide

Date of Hearing: June 17, 2025

Place of Hearing: City Hall Council Chambers
8353 Sierra Avenue
Fontana, CA 92335

Time of Hearing: 6:00 p.m.

Should you have any questions concerning this project, please contact **Maurice Moore**, at (909) 428-8892 or by email at mmoore@fontanaca.gov

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PERSON LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING



DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish: June 6, 2025

AVISO DE AUDIENCIA PUBLICA

En cumplimiento con la Sección No. 202 de la Acta de Americanos con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en la implementación de esta, la agenda de esta audiencia estará disponible en formatos alternativos apropiados para las personas con una discapacidad. Si necesita asistencia especial para participar en esta audiencia, comuníquese con el Departamento de la Secretaría Municipal llamando al (909) 350-7602. La notificación deberá realizarse 48 horas antes de la audiencia para permitir que la Ciudad haga arreglos razonables para garantizar la accesibilidad a esta audiencia.

SE HA PROGRAMADO UNA AUDIENCIA PUBLICA ANTE LA COMISION DE PLANIFICACION DE LA CIUDAD DE FONTANA PARA LO SIGUIENTE:

MCN No. 25-0039 y ZCA No. 25-0003

Una Resolución para Adoptar el Mapa de Zonas de Severidad de Peligro de Incendio del Estado de California de 2025 Conforme a las Secciones 51177-51179 del Código de Gobierno de California y Modificar el Capítulo 30, Artículo IX (Distritos Superpuestos), División 8 (Distrito Superpuesto de Peligro de Incendio), Sección 30-656(a) del Código de Zonificación y Desarrollo de la Ciudad de Fontana.

Una copia del Mapa de Zonas de Severidad de Peligro de Incendio está disponible para revisión 10 días antes de la Audiencia Pública en la Oficina de la Secretaría Municipal de la Ciudad, ubicada en 8353 Sierra Avenue, Fontana, CA, y también está disponible para su consulta en línea en el sitio web de Cal Fire: <https://osfm.fire.ca.gov/what-we-do/community-wildfire-preparedness-and-mitigation/fire-hazard-severity-zones>

Determinacion Ambiental: La Adopción del Mapa de Zonas de Severidad de Peligro de Incendio del Estado de California de 2025 no es un proyecto sujeto a la Ley de Calidad Ambiental de California (CEQA) conforme a la sección 21065 del Código de Recursos Públicos, la sección 15378(a) y (b)(5) de las Guías de la CEQA, y la sección 10.59 de las Guías Locales de la Ciudad de CEQA de 2019. No tiene el potencial de resultar en un cambio físico en el medio ambiente o un cambio indirecto razonablemente previsible en el medio ambiente, y no compromete a la Ciudad con ningún proyecto que pudiera tener un efecto significativo en el medio ambiente.

Ubicacion de la Propiedad: En toda la ciudad

Fecha de Audiencia: 17 de junio de 2025

Lugar de Audiencia: Ayuntamiento de la Ciudad de Fontana, 8353 Sierra Avenue, Fontana, CA 92335

Hora de Audiencia: 6:00 p.m.

Si tiene alguna pregunta sobre este proyecto, comuníquese al (909) 350-6728 o por correo electrónico a planning@fontanaca.gov.

Cualquier persona o grupo interesado en aportar información lo puede hacer mediante una carta o correo electrónico dirigido a La Comisión de Planificación. La solicitud y la documentación Ambiental está disponible para inspección en las Oficinas de Ayuntamiento de la Ciudad de Fontana.

Si usted contradice ante el tribunal cualquier acción tomada con respecto a un tema de la Audiencia Pública, usted puede estar limitado a plantear solamente aquellas cuestiones que usted o alguien más planteó en la Audiencia Pública mencionada en este aviso o por correspondencia escrita a la Ciudad de Fontana antes de la fecha de la Audiencia establecida en este aviso.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0291
Agenda #: PH-B

Agenda Date: 6/17/2025
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 25-020 and Municipal Code Amendment (MCA) No. 25-005: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) to adopt objective design standards for residential and mixed-use development projects subject to streamlined and ministerial review under State of California law, pursuant to Section 15378 of the California Environmental Quality Act (CEQA) Guidelines, Section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA.

RECOMMENDATION:

Based on information in the staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2025-___; and,

1. Determine that this Ordinance is exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15061(B)(3) (the common-sense exemption) and 15378 and Sections 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA, in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment where it can be with certainty that there is no possibility that the activity in quest may have a significant effect on the environment, the activity is not subject to CEQA; and,

2. Approve a resolution recommending that the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 25-005 to amend Chapter 30 of the Municipal Code.

APPLICANT:

City of Fontana
8353 Sierra Avenue
Fontana, CA 92335

LOCATION:

Citywide

REQUEST:

Municipal Code Amendment (MCA) No. 24-006 is a request to amend Chapter 30 of the Fontana Municipal Code to adopt objective design standards pertaining to residential and mixed-use development projects utilizing streamlined processing under State of California law.

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

BACKGROUND INFORMATION:

In recent years, the State of California has established programs for mandated streamlined ministerial reviews and approval for many different types of housing development projects. In those cases, the City is limited to applying only objective design standards to those projects. An objective design standard is a measurable and verifiable specification used to evaluate a development project's performance or quality. It focuses on quantifiable aspects like dimensions and materials, rather than subjective preferences. Many of the City's existing regulations related to architectural and façade design for residential and mixed-use development are geared toward the discretionary review process and cannot be applied objectively. Therefore, objective design standards have been drafted for development projects that are mandated for streamlined review.

PROJECT DESCRIPTION:

The proposed ordinance will add objective design standards for residential and mixed-use projects subject to streamlined, ministerial review under State of California law.

ANALYSIS:

With the introduction of State laws that require the streamlined and ministerial approval process for qualifying residential and mixed-use development projects, there may be an increase in applications for all types of streamlined ministerial reviews. Many of the City's existing regulations related to architectural and façade design are written as guidelines, which typically lend themselves to the discretionary review process. Those regulations are not written as objective development standards and are therefore unenforceable in a streamlined ministerial review process. Streamlined ministerial reviews are limited to a verification of compliance with the City's objective design and development standards that are in effect at the time the applications are submitted.

The objective design standards will be applied only to lawfully entitled ministerially processed (non-discretionary) housing development projects that meet specific circumstances outlined in State law. The objective design standards are intended to regulate the architectural and façade design of streamlined development projects in order to ensure that the quality of the design meets the standards previously set through the design review/discretionary process.

As proposed, the objective design standards will be added to Article V - Residential Zoning Districts of the Zoning and Development Code.

MOTION:

Approve staff's recommendation

ATTACHMENTS:

Attachment No. 1 - Planning Commission Resolution
Attachment No. 2 - Notice of Exemption
Attachment No. 3 - Notice of Public Hearing

RESOLUTION PC NO. 2025 - _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA, CALIFORNIA RECOMMENDING, PURSUANT TO AN EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTIONS 15060(C), 15061(B)(3), AND SECTION 15378, THAT THE FONTANA CITY COUNCIL ADOPT AN ORDINANCE APPROVING AN AMENDMENT TO CHAPTER 30 OF THE FONTANA MUNICIPAL CODE (ZONING AND DEVELOPMENT CODE) TO INCLUDE OBJECTIVE DESIGN STANDARDS FOR CERTAIN DEVELOPMENTS UTILIZING STREAMLINED MINISTERIAL REVIEW

WHEREAS, pursuant to Government Code Section 37100, the legislative body of a city may pass ordinances not in conflict with the Constitution and laws of the State or the United States; and

WHEREAS, Government Code sections 50022.1 to 50022.10 authorize a city to codify and recodify its ordinances; and

WHEREAS, through Municipal Code Amendment (“MCA”) No. 25-005, the City of Fontana (“City”) desires to restate without substantive revision, amend and recodify certain ordinances codified in the Fontana Municipal Code (“FMC”); and

WHEREAS, the General Plan includes policies and actions calling for numerous updates to the FMC; and

WHEREAS, Article V – Division 8. – Residential Planned Communities. is amended to become Article V – Division 8. – Objective Design Standards and to include objective design standards for residential and mixed-use development projects subject to streamlined, ministerial review pursuant to State law; and

WHEREAS, Article V – Division 9. – Residential Planned Communities is created; and

WHEREAS, the Planning Commission recommends that the Fontana City Council (“City Council”) determine that the amendments qualify for an exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15061(B)(3) (the common-sense exemption), and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA. Furthermore, the Planning Commission recommends that City Council finds that the amendments are nonetheless exempt from the requirements of CEQA in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA; and

WHEREAS, on June 17, 2025, the Planning Commission carefully considered all information pertaining to the municipal code amendments, including the staff report, and all the information, evidence, and testimony presented at its public hearing on June 17, 2025; and

ATTACHMENT NO. 1

Page 1 of 32

WHEREAS, the amendments are consistent and compatible with the General Plan and that the updates are in line with goals, policies and objectives of the City; the Housing Element policies and the Zoning and Development Code; and

WHEREAS, the amendments will be in conformity with appropriate land use practices and will establish appropriate development standards for the land use designations; and

WHEREAS, the amendments to the FMC that are attached hereto as Exhibit “A” and incorporated herein by this reference will not be detrimental to the public health, safety, and general welfare, and will not adversely affect the orderly development of property, and will better express the City’s policies, and generally promote good land use planning and regulation; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. The Planning Commission hereby recommends that the City Council determine that this ordinance qualifies for a categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15061(B)(3) (the common-sense exemption), and 15378 and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA, that this Ordinance is nonetheless exempt from the requirements of CEQA in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA; therefore, a Notice of Exemption has been prepared.

Section 3. Municipal Code Amendment. The Planning Commission hereby makes the following finding for MCA No. 25-005 in accordance with Section 30-45(b) “Hearing-Planning Commission” development code amendments of the Fontana Zoning and Development Code:

Finding: **The proposal substantially promotes the goals of the City’s general plan.**

Finding of Fact: The proposed Municipal Code Amendments will clarify and streamline the City’s development requirements and processes and facilitate housing and civic and commercial development. As such, they promote the General Plan goals of adequate housing to meet the needs of all residents in Fontana and promoting a diversified economy.

Section 4. Recommendation of Approval. Based on the foregoing, the Planning Commission hereby recommends that the City Council adopt an ordinance approving MCA No. 25-005 to amend Chapter 30 of the City Code as indicated in Exhibit “A” which is attached hereto and incorporated herein by reference.

Section 5. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at

the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

Section 6. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 7. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 8. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect any other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

APPROVED AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 17th day of June 2025.

City of Fontana

Idilio Sanchez, Chairperson

ATTEST:

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 17th day of June, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Joseph Armendarez, Secretary

“EXHIBIT A”

AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30

Section to be added after Sec. 30-477. – Building design.

Sec. 30-477.1 – Objective Design Standards.

(1) Key Terms.

Accent Window. A window with unique or decorative shape, design or size that is used to add visual interest to a building. Examples of features of accent windows are arched tops, octagonal shapes, or intricate grid patterns.

Alley. A narrow, low-capacity thoroughfare with one shared lane and no parking lanes which provides secondary access to all lots within a block. Driveways, parking aisles and fire lanes are not alleys.

Arbor (entrance arbor). A wooden structure that is intended to define an entrance into an on-site outdoor space, such as a front yard or parking lot.

Arcade. A facade with a ground floor colonnade supporting the upper stories of the building, intended to provide shade, glare control, and weather protection.

Bay. A facade division comprised of groupings of vertically aligned facade elements, such as shopfronts, windows, awnings, and wall materials that are stacked 1 above the other. Bays can be differentiated from 1 another by changes in material, color, and/or use of architectural elements such as pilasters.

Bay Window. A window or series of windows projecting from the exterior wall of a building and forming an extension, or bay, of the room. Subject to the requirements of the regulating zone, bay windows may encroach into the setback or public right-of-way.

Block. An aggregation of Lots, Passages, Carless Streets, and driveways which are bound on all sides by Streets. Block dimensions are measured along private Street Rights-of-way.

Building Base. The lowermost portion of a building facade that is distinctly differentiated from upper floors or upper wall surfaces. The base of mixed-use buildings consists of the ground floor or, for taller buildings, an ensemble of the first 2 floors. The base of multi-family or office buildings can consist of the entire ground floor, or a low band (three to 4 feet high) comprised of different materials or colors than upper wall surfaces.

Building Length. The length of the building as measured parallel to the front property line.

Community recreation space. Public gathering spaces, such as: plazas, outdoor dining areas, squares, pocket parks, or other community areas for the use of all residents and the business patrons and tenants.

Community recreation space. Gathering spaces, such as: play areas, pool areas, patios, rooftop decks, or other community areas for the use of all residents.

Court. A semi-public, shared open space within a lot, for use by more than 1 resident or commercial tenant. Courts generally provide visitor access from the street to dwellings, retail, or office spaces, and/or buildings within the lot that lack direct access from the street. The degree of enclosure or openness of the court may vary, as per the requirements of each zone and the design intent of the project designer.

Drive Aisle. A vehicular lane within a parking lot that provides access to the individual parking spaces.

Driveway. A vehicular lane within a lot that leads to onsite parking.

Encroachment. Structure extending into a required setback area.

Façade. Exterior wall of a building adjacent to a street or public open space.

Façade articulation. The division of a building façade into distinct sections; including the materials, patterns, textures, and colors that add visual interest to a building or façade.

Facade Increment. Visually distinguished complete facade composition.

Fenestration. The design, construction, and presence of any openings in a building, such as: windows, doors, vents, wall panels, skylights, curtain walls, and louvers.

Fire Lane. On-site right of way for emergency vehicle access.

Forecourt. Open space extension into a lot, defined by building faces.

Frontage, Private. Building facade and area between it and property line along a street.

Frontage, Public. Area between street-adjacent property line and the first travel lane.

Gallery. Ground-floor colonnade providing shade, glare control, and weather protection.

Green. Publicly accessible open space at the intersection of streets, landscaped for recreation.

Ground Floor. Building floor nearest to the existing grade around the building.

Height, Building. Height measured from finished grade at any property line along the street.

Horizontal Massing. The horizontal arrangement of spaces with a particular pattern or leaving clearance between spaces.

Increment (Massing). Segment of a building facade divided into visually discrete compositions.

Landscaping. An area devoted to plantings, lawn, ground cover, gardens, trees, shrubs, and other plant materials, excluding driveways, parking, loading, or storage areas.

Lot. Portion of land for allowed development, synonymous with "property" or "design site."

Lot Line. Front, side, or rear boundary of a lot, synonymous with property line.

Multi-family use. The use of a site for three or more dwelling units on the same site.

Objective Design Standards. Development regulations that are measurable, verifiable, and knowable to all parties prior to submittal of a qualifying project. A planning review process based on objective design standards involves streamlined ministerial review with no personal or subjective judgement by a public official.

Passage. A pathway designed for pedestrians on a property, like a Paseo, but may not extend through an entire block.

Parking Court. A public space between buildings designed for surface parking.

Pergola. A wooden structure intended to provide shade or define an entrance into an on-site outdoor space.

Pier, Shopfront. The vertical elements on either side of a shopfront bay.

Place Types. A classification of urban environments based on streetscape and building character, including attributes such as building placement, height, frontage, land use, density, and streetscape design.

Plaza. An open space at the intersection of important streets for civic and commercial activities. Sizes range from one-half (1/2) acre to 2 acres, defined by surrounding buildings and typically paved with arranged shade trees. Amenities may include fountains and food kiosks.

Primary Access. The principal means of approaching and entering a building or property.

Primary Building. A building within which the principal or main use on a lot or parcel is conducted. Where a permissible use involves more than one building designed or used for the primary purpose on the subject property, each such building on the parcel shall be construed as constituting a primary building.

Primary Entrances. Typically referring to front doors, including direct access into a ground floor residential unit, nonresidential space, common lobby, or zaguan leading to a court.

Private Recreation Space (Ground Level). An outdoor enclosed patio or deck accessible from a single dwelling unit.

Private Recreation Space (Above Ground Level). An outdoor balcony, terrace, or rooftop deck, accessible from a single dwelling unit.

Privacy Windows. Windows that are either opaque and unopenable or start at minimum 6 feet from the floor.

Public Open Space. Off-street outdoor space owned by the city for public use or on a private parcel adjacent to a right of way, functioning as a public space.

Publicly Accessible. Open spaces or streets open/available to the public, whether publicly or privately owned.

Residential Mixed-Use. A development project where a variety of uses such as office, commercial, and institutional, are combined with residential use(s) in a single building or on a single site in an integrated project. Two thirds of the project square footage must be residential uses.

Shopfront. A ground-floor frontage assembly with large transparent windows, a conspicuous entrance leading directly into the unit, spatially defined by vertical elements called piers.

Side, Lot Line. Any property line shared with a neighboring property when there is no public open space between them.

Side Yard. The portion of a parcel extending from the front property line to the rear property line and between the side property line and the closest side of the principal building. It may also be designed as open space.

Story Height. The vertical distance from floor to ceiling, measured from the top of the floor finish to the bottom of the ceiling joists for the topmost story.

Street. A right-of-way defined as a street, excluding paseos, driveways, parking aisles, fire lanes, and alleys.

Street, Front. The side of the lot adjacent to a street, a property may have multiple fronts.

Street, Side. (Applicable only to corner lots) The side of the lot adjacent to a street or public open space that is not considered the front.

Transitional and Supportive Housing. A type of housing used to facilitate the movement of people experiencing homelessness into permanent housing and independent living.

Trellis. A wood or metal frame supporting thin overhead wooden or metal strip providing shade and supporting climbing plants. It may be freestanding.

(2) *Objective Design Standard Applicability.*

- a. In addition to any objective development standards that are imposed by the underlying zoning or specific plan, the standards in the Objective Design Standards (ODS) document apply to housing developments that are required to be reviewed ministerially. Design standards regulate the intensity, style, size, and orientation of development. Objective design standards are quantifiable, verifiable, and measurable, offering a predictable and fair process for housing approvals.

The ODS apply to residential and mixed-use development projects that must be reviewed ministerially. Residential and mixed-use development projects that are not required to be reviewed ministerially are not subject to the ODS; they are only subject to the standards in the zoning district or specific plan.

(3) *Objective Design Standards Structure.* The Objective Design Standards include Building Types, Multi-Family and Mixed-Use Design Standards (by building type), Materials and Detailing and Architectural Standards.

(4) *Architectural Standards.* Architectural Style for Residential and Mixed-Use Developments

Residential and mixed-use developments utilizing ministerial review and processing via various state laws shall be designed to meet and exemplify the Mission – Spanish Revival or Craftsman architectural style. Development projects not designed to the Mission – Spanish Revival or Craftsman architectural style shall be reviewed and approved by the procedures outlined in Article II – Administration of the Zoning and Development Code.

In addition to meeting all design standards for the selected architectural style, development projects wish to utilize ministerial review and processing is required to comply with Section 3 – Residential and Mixed-Use Standards.

a. Mission - Spanish Revival Architectural Style

Derived from Spanish/Mediterranean and early Californian influences, this style emerged in the late 19th and early 20th centuries. It projects a visually rich environment with allusions to regional history. Generally, Spanish Revival buildings are asymmetrically arranged. The style features low-pitched roofs with little or no overhang covered with S-type clay red roofing tiles. These houses were almost always wood frame with stucco siding. The use of the arch was common, especially above doors, porch entries, and main windows.



1. Form and Massing (apply all)

Façade Design Elements
Asymmetrical façade/elevations
A minimum of 50% of the units shall have balconies or window treatments (such as shutters or awnings)
Entrances recessed a minimum of 12 inches
<i>Additional details for projects either over four stories, vertical mixed-use or with more than 15 buildings (apply two of the following required):</i>
Include two add-on projections such as verandas, arcades, balconies, or exterior stairs
The ends of building massing shall be stepped down.
One focal point, such as a courtyard, tower or fountain.

2. Roof (apply all)

Roof Design Elements
Low-pitched (4:12 maximum) cross- or side-gabled roofs.
Three or more roof planes
Fired, clay tile roofs. Tile types include both Spanish (S-shaped) and Mission (half-cylinder).
Hipped roofs shall only be used in combination with gables or on a tower element.
Shed roofs shall only be used in conjunction with verandas.
When a flat roof is used, it shall be screened by a parapet that is an extension of the wall plan or by a modified Mansard roof.

3. Materials and Colors (apply all)

Material and Color Design Elements
Roof tiles shall use terracotta, brown earth tones, or rustic red color palettes.
White, cream or tan stucco wall with smooth (20/30 finish) textured finish (i.e. hand troweled).
Wood shall be used as secondary wall material for the following (and similar elements): posts and exposed beams, railing, spindles and grille work, and shutters, window frames, and doors.
If windows have shutters, the shutters' color shall match the accent color that is used for doors or decorative trim.
A minimum of one wrought-iron element (such as railings, hardware, and gates) shall be used.

4. Doors and Windows (apply all)

Door and Window Design Elements
Accent windows shall be a minimum of 20% of the total windows.
The primary façade shall include a minimum of three arched element.
All entrance-door surrounds shall be banded with ceramic tile, molded plaster, or painted accents.
All casement windows and double-hung windows shall have wood frames.
50% of the windows shall have window muntins.

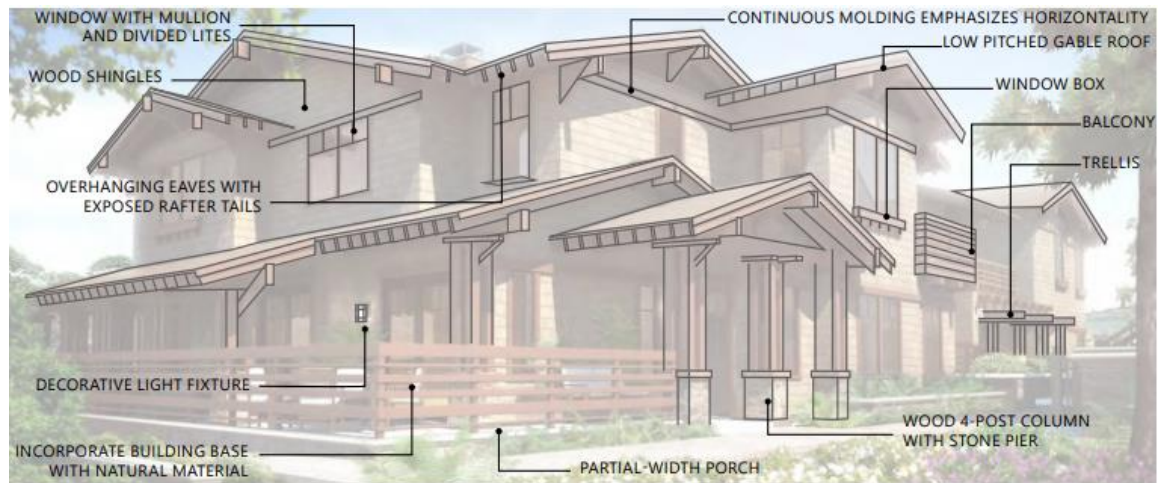
5. Decorative Details

Decorative Detail Elements
All residential projects shall provide a minimum of four of the following and Residential projects four stories and taller, mixed-use projects, or projects with more than 15 buildings shall provide a minimum of six of the following:
Entry/front porch or patio.
Decorative tiles used as an accent.
Clay tile vents.
Wrought-iron balcony railings or support brackets.
All dark-metal light fixture and hardwires.
Paired wood (or wood simulated) garage doors with exterior iron hardware.
Verandas, pergolas, or arcades on primary façade.
Exterior stairs.
Awnings with metal spear supports.



b. Craftsman Architectural Style

The Craftsman or California Bungalow style is derived from the influential residential style that emerged in the early 20th century out of the Arts and Crafts movement. This style is used to create a visually rich residential environment with allusions to regional history. As indicated in the accompanying images and illustrative diagram, recognizable elements include the artful use of wood and natural materials, low-pitched gabled or hipped roofs, horizontal orientation, and earth-toned colors. Common design elements also include exposed rafters and beams under eaves, decorative brackets, and fasteners, full- or partial-width porches, and large columns or piers. Though this style exhibits a horizontal emphasis, vertical architectural elements are often used to accentuate corners and entrances. Period Craftsman residences often featured exterior cladding of wood shingles or clapboard siding and details such as extended lintels and decorative lighting with geometric detailing.



1. Form and Massing (apply all)

Façade Design Elements
Asymmetrical façade/elevations.
Three or more roof plans on the primary façade.
Front-facing gable roofs.
At least 30 percent of the street-facing units shall have balconies or porches.
Primary walls shall have two to three materials/colors, with no more than 90 percent of the total wall surface in one material/color.

2. Roof (apply all)

Roof Element
Low- to moderate pitched gable or hipped roofs (typically from 6:12 to 8:12).
Overhanging eaves (minimum 24 inches along primary elevation) with exposed rafter tails or beams.
Brackets or knee braces at gabled ends.
Use of wood or asphalt shingles (or fiber cement imitation or imitation synthetic asphalt shingles).

3. Materials and Colors (apply all)

Materials and Color Elements
Brick, stone, and concrete blocks are the most common materials used in the base.
Primary walls shall show no more than two materials along any vertical section of the building, with no more than 90 percent of the total wall surface in one material.
Primary wall materials shall include dark-color wood shingles, clapboard siding, or fiber cement siding and natural materials such as arroyo stone or bricks.
Use of dark, neutral, earth-toned color palette, such as browns and greens.

Lighter paint palettes may also be appropriate, particularly for details (columns, rafter tails).

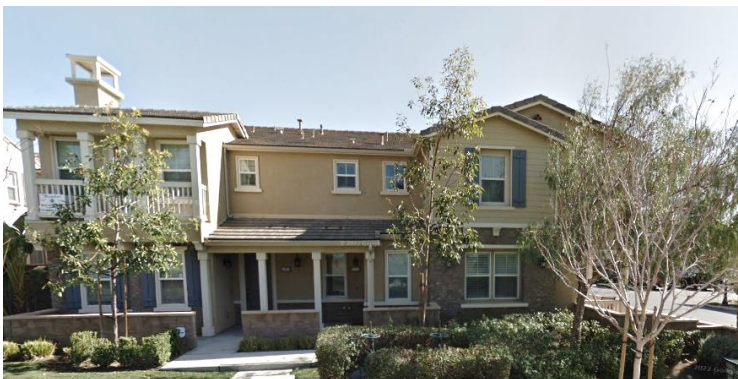
The primary façade shall have at least three paint colors: one for cladding, one for trim, and one or two for accents such as windows and decorative details.

4. Doors and Windows (apply all)

Door and Window Elements
Fifty percent of the windows shall have muntins.
At least two types/shapes of windows shall be used.
Utilize flat wood trims (typically 4 ½ inches of 5 ½ inches wide) around the primary windows and entry doors.
Window and door trim color shall contrast with color of walls.
Entry doors and garage doors have glass panels.

5. Decorative Details

Decorative Details Elements
All residential projects shall provide a minimum of four of the following and Residential projects four stories and taller, mixed-use projects, or projects with more than 15 buildings shall provide a minimum of six of the following:
Stone pier and battered wood support.
Exposed rafter tails and knee-brace brackets.
Dormers on the front façade.
Second-story balcony.
Decorative attic/gable vent.
Light fixtures shall be box-shaped, with metal frame and geometric pattern.
Chimneys are visible at the exterior and arranged on a side elevation.
Stained-glass or transom windows.
Covered front porches with tapered pillars.
Ground-level windows with muntins.





(5) *Residential and Mixed-Use Design Standards.*

- a. Building Types/Massing Forms. Each development project shall identify the suitable building type for the project based on its density, including:
 1. Urban (applies to multi-family and mixed-use development projects with 25 dwelling units per acre or more). Projects less than one acre in size but exceeding 25 dwelling units per acre can use neighborhood form in lieu of the urban massing form.
 2. Neighborhood (applies to multi-family development projects with fewer than 25 dwelling units per acre that include buildings with greater than five units)
 3. House-Form (applies to multi-family development projects with fewer than 25 dwelling units per acre that include buildings with five or fewer units)

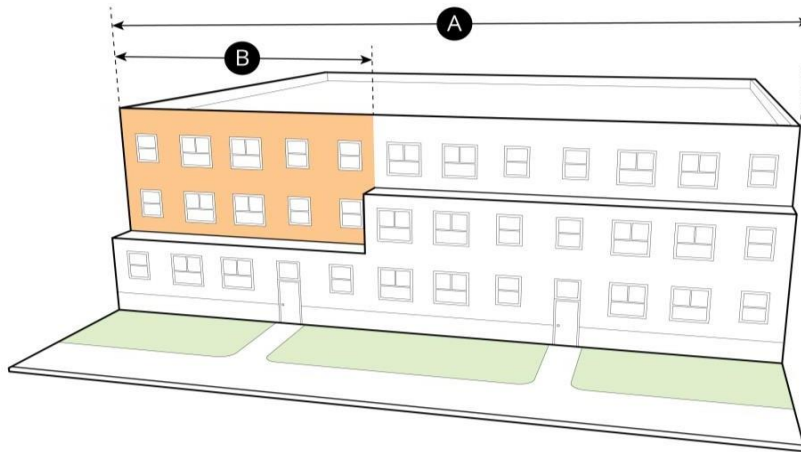
Each development project shall adhere to the massing and façade design standards for the identified building type.

b. Urban Building Type - Massing and Façade Design Standards

1. Massing and Scale

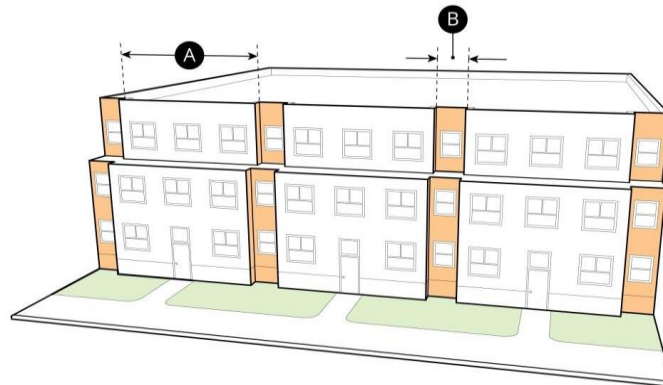
- A. Upper floors above two stories shall be set back by a minimum of five feet from the ground-floor façade.
- B. Multiple-story building façades that face a street shall incorporate breaks in the building mass by implementing a minimum of three of the following solutions (a-e) along the combined façade area of all primary buildings facing the street:
 - (a) A minimum of 40% of the upper floor façade length shall step back

from the plane of the ground-floor façade by at least five feet;



- Ⓐ Total street-facing façade length
- Ⓑ Minimum five-foot upper floor setback for 40 percent of façade length

- (b) Changes in the façade plane with a minimum change in width and depth of two feet along the façade at intervals of no more than every 30 feet;



- Ⓐ Maximum 30-foot façade interval
- Ⓑ Minimum two-foot change in depth for a minimum length of two-feet

- (c) Recessed façade plane to accommodate a building entry with a minimum ground plane area of 24 square feet (minimum dimension in any direction of three feet). Where an awning or entry covering is provided, it can extend beyond the wall plane;



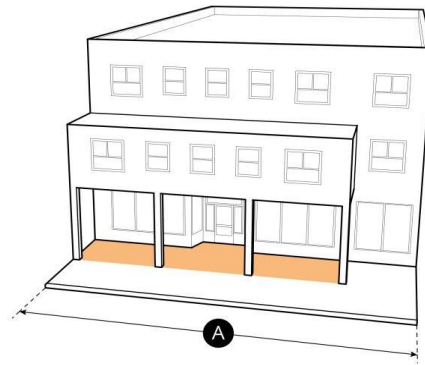
■ Recessed entries, 24 square-foot minimum

- (d) An exterior arcade that provides a sheltered walkway within the building footprint with a minimum depth of eight feet. For a façade 50 feet or greater, the arcade must be a minimum length of 65 percent of the full building façade; for a façade less than 50 feet, the arcade must be a minimum of 80 percent of the length of the full building façade.



Ⓐ Total façade length 50 feet or greater.

■ Walkway sheltered by a ground floor arcade with a minimum eight-foot depth on a minimum of 65 percent of the street-facing façade.



- A** Total façade length less than 50 feet
- Walkway sheltered by a ground floor arcade with a minimum eight-foot depth on a minimum of 80 percent of the street-facing façade.

- (e) Ground floor open area abutting street-facing façade with a minimum area of 60 square feet (minimum dimension in any direction of five feet); or



- Ground floor open area with a minimum of 60 square feet

2. Parking Structure Design.

- A. The ground-floor façade of a parking structure facing a street or pedestrian walkway shall be fenestrated on a minimum of 40% of the façade.
- B. Façade openings on upper levels of a parking structure shall be screened at a minimum 10% and up to 30% of the opening to prevent full

transparency into the structure.

- C. Parking structures facing a street and that are greater than 40 feet in length shall include landscaping between the building façade and the street, or façade articulation of at least 25% of the façade length. The façade articulation shall be implemented by one of the following solutions:

- (a) An offset of the façade plane with a depth of at least 18 inches for a minimum of eight feet in horizontal length; or
- (b) A different building material covering the entire façade articulation.

3. Roof Design

- A. At intervals of no more than 40 feet along the building façade, horizontal eaves shall be broken using a minimum of one of the following strategies:

- (a) Gables;
- (b) Building projection with a depth of a minimum of two feet;
- (c) Change in façade or roof height of a minimum of two feet;
- (d) Change in roof pitch or form; or
- (e) Inclusion of parapets and/or varying cornices.

- B. Skylights shall have a flat profile rather than domed.

- C. Carport, detached garage and other accessory building roof materials shall be the same as the roof materials of the primary building.

4. Façade Design and Articulation

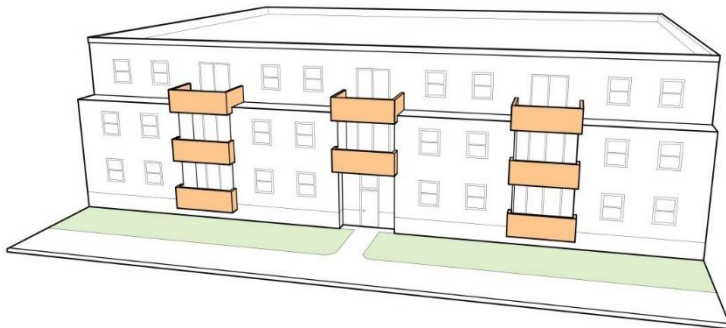
- A. Buildings greater than two stories shall be designed to differentiate the base, middle, and top of the building on any street-facing façade. Each of these elements shall be distinguished from one another using a **minimum of two** of the following solutions:

- (a) Variation in building mass for a minimum of 60 percent of the length of the street-facing façade through changes in the façade plane that protrude or recess with a minimum dimension of two feet;



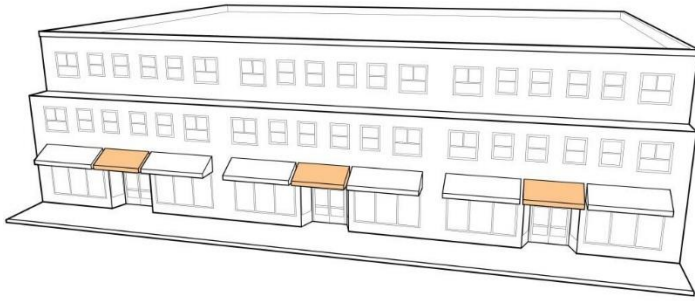
- Changes in street-facing façade plane for a minimum of 60 percent of the full façade length that protrude or recess with a minimum dimension of two feet

- (b) Balconies or habitable projections (pop outs) with a minimum depth of two feet for a minimum of 20% length of the street-facing façade;



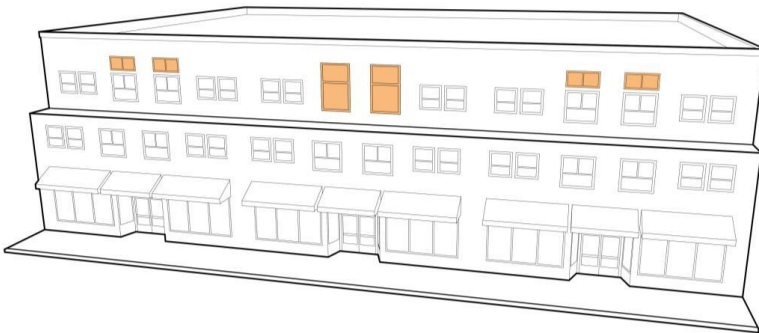
- Balconies or habitable projections with a minimum depth of two feet for a minimum 20 percent length of the façade

- (c) Variation in façade articulation, using shade and weather protection components (such as awnings), projecting a minimum of three feet for a minimum of 20% length from the street-facing façade;



- Shade or weather protection with a minimum three-foot projection from façade plane

- (d) The upper floor shall implement a façade height that is a minimum of two feet greater than the façade height of the floor immediately below. The greater façade height shall be made evident by taller windows or arrangement of combined windows.



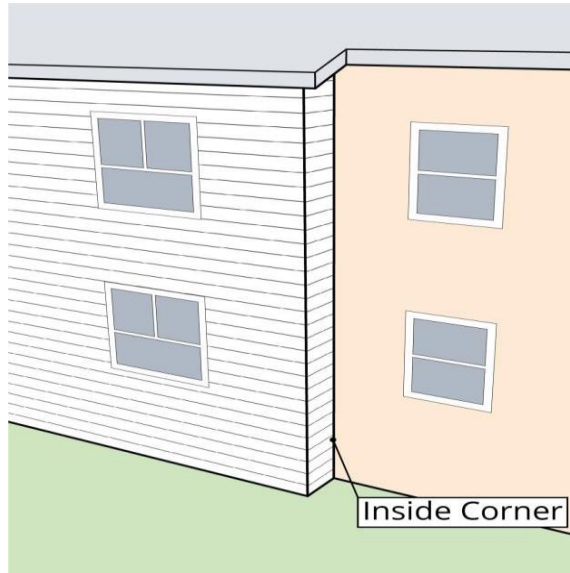
- The greater façade height shall be made evident by taller windows or arrangement of combined windows.

- (e) All façade materials, such as siding, window types, and architectural details, used on the street-facing façade shall be used on all other building façades.

- (f) Variation in the street-facing façade planes shall be provided for buildings greater than one story by incorporating any combination of the following architectural solutions to achieve a minimum of 18 points:

Architectural features, including:	
o Arcade or gallery along the ground floor;	8 points
o Awnings or canopies on all ground floor windows of commercial space;	6 points
o Building cornice;	5 points
o Façade sconce lighting at a minimum of one light fixture per 15 linear feet.	3 points
Bay or box windows projecting a minimum of 18 inches from the façade plane and comprising a minimum of 20 percent of the fenestration on the upper floors of the facade;	6 points
Balconies or Juliet balconies provided on a minimum of 40 percent of the fenestration on the upper floors of the facade;	5 points
Landscaped trellises or lattices extending across a minimum of 65 percent of any level of the facade;	5 points
Eaves that overhang a minimum of two feet from the facade with supporting brackets;	3 points
Window boxes or plant shelves under a minimum of 60 percent of the fenestration on the upper floors of the facade; or	3 points
Decorative elements such as molding, brackets, or corbels.	3 points

- (g) Garage doors shall be recessed a minimum of 12 inches from the façade plane and along the street-facing façade shall not exceed 40 percent of the length of the building façade.
- (h) Changes in building materials shall occur at inside corners.



- (i) A primary building entrance shall be provided facing a street or community recreation space. Primary building entrance(s) shall meet the requirements of Section 4.3 – Frontage Standards.
- (j) For buildings abutting a single-family zoning district or existing single-family use, no part of a rooftop or upper floor terrace or deck shall be closer than five feet from the facade plane of the lower floor, to prevent views into adjacent residential uses.
- (k) Residential Mixed-Use buildings shall provide at least one of the following features along street-facing façades where the façade exceeds 50 feet in length:
 - 1. A minimum five-foot offset from the façade plane for a length of at least 10 feet; or
 - 2. Multiple pilasters or columns, each with a minimum width of two feet; or
 - 3. Common open space, such as a plaza, outdoor dining area, or other spaces.
- (l) Continuous blank façades on any floor level shall not exceed 25 percent of the entire façade length along any street.

5. Windows, Doors and Openings (Fenestration) Design

- A. Minimum fenestration. Façade designs must meet a minimum fenestration percentage, calculated as the total window and door area divided by the total area of that part of the façade.
 - (a) Ground floor.

- (b) Front property line: 70% minimum.
- (c) All other frontages: 50% minimum.
- (d) Ground floor windowsills on facades along the front lot line shall be no higher than three feet above the adjacent grade.
- (e) Ground floor bathroom windows are prohibited on facades that face front lot line.
- (f) Upper floors. 15% minimum.

c. Neighborhood Building Type - Massing and Façade Design

Element Standard	Standard
Building façade along front property line	135 feet maximum per building
Building façade length alongside interior lot line	135 feet maximum per building
Space between buildings	15 feet minimum
Massing increment	75 feet maximum
Height difference between massing increments	2 feet minimum

1. Massing and Scale

- A. Size of massing increments. Building facades along front and side property lines that face public streets and are longer than 35 feet shall be divided into massing increments as follows:
 - (a) The maximum length of a single massing increment shall not exceed 75 feet.
 - (b) A minimum of two distinct massing/architectural increments shall be provided using **one** strategy from the massing strategies list and **one** strategy from the architectural massing strategies list.
- B. Massing strategy list.
 - (a) Vary height by a minimum of three feet.
 - (b) Increase the number of stories.
 - (c) Set back upper floors by a minimum of 15 feet.
 - (d) Set the entire façade back a minimum of 10 feet for 20 feet.
 - (e) Increase story height.

- (f) Incorporate tower element.

C. Architectural strategy list.

- (a) Use different façade materials and/or colors.
- (b) Window treatment and design. Use different window types, configurations, and/or frame colors.
- (c) Vary the building entry element type of design of stoops, porches, dooryards, and other elements identified in Section 4.3 – Frontage Standards.
- (d) Massing increments that have distinct facades, shall appear as distinct buildings. A massing increment design can be repeated twice on the same project elevation, with a distinct separation between repeated increments.

2. Windows, Doors and Openings (Fenestration) Design

- A. Minimum fenestration. Façade designs must meet a minimum fenestration percentage, calculated as the total window and door area divided by the total area of that part of the façade:
 - (a) Ground floor: 30% minimum
 - (b) Ground floor windowsills on facades along the front lot line that face public street shall no higher than three feet above the adjacent grade.
 - (c) Ground floor bathroom windows are prohibited on facades that face the front property line.
 - (d) Upper floors: 15% minimum

3. Entries and Access.

- A. A primary building entrance shall be provided facing a street or community recreation space. Primary building entrance(s) shall meet the requirements of Section 4.3 – Frontage Standards.

d. House-Form Building Type - Massing and Façade Design

Element Standard	Standard
Building Façade length along front property line	60 feet maximum
Massing increment	60 feet maximum

Building façade length alongside property line	60 feet maximum
Space between buildings	15 feet minimum

1. Massing and Scale

- A. Massing increments. A massing increment shall include the whole length of a single building façade, up to 60 feet in length. Only one massing increment per building façade shall be included.
- B. Length of buildings. Buildings along front and side property lines that face public streets shall be no longer than 60 feet.
- C. Space between buildings. Buildings along front and side property lines shall be separated by a minimum of 15 feet.
- D. Articulation of building façade. Frontages along front and side property lines must differ from neighboring buildings on-site using a minimum of two of the specified massing and architectural strategies:
- E. Façade setback. Setting a portion of the façade back a minimum of two feet for a length of 20 feet.
- F. Material or color. Use different façade materials and/or colors consistent with the architectural style.
- G. Window treatment and design. Use different window types, configurations and/or frame colors.
- H. Architectural façade elements. Vary façade elements to include at least **two** of the following: balconies, trellises, chimneys, awnings.
- I. Entry elements. Vary the building entry element type of design of stoops, porches, dooryards, and other elements identified in Section 4.3 – Frontage Standards.
- J. Vary roof form. Vary the roof form of different increments to include at least two of the following such as gabled, hipped and others consistent with the architectural style of the building.

2. Fenestration Design

- A. Minimum fenestration. Façade designs must meet a minimum

fenestration percentage, calculated as the total window and door area divided by the total area of that part of the façade:

- (a) Ground floor. 30% minimum.
- (b) Ground floor windowsills on facades along the front property line that face public streets shall be no higher than 3 feet above the adjacent grade.
- (c) Exception: Windows on garage panel door.
- (d) Ground floor bathroom windows are prohibited on facades that face front property line.
- (e) Upper floors: 15% minimum.
- (f) The horizontal distance between wall openings shall not exceed 15 feet with a façade or massing increment.

3. Frontage and Access

- A. A primary building entrance shall be provided facing a street or community recreation space. Primary building entrance(s) shall meet the requirements of Section 4.3 – Frontage Standards.

(6) *Materials and Detailing*

a. Building Materials

- 1. Prohibited materials.
 - A. Fiberglass or plastic architectural façade elements or ornamentations are prohibited.
 - B. Rough-case and sand finishes are prohibited on all building surfaces that are visible from a street.
 - C. Reflective materials, such as mirrored glass, shiny metal, and chrome.
- 2. Combining materials. When combining two or more wall materials on one façade:
 - A. Place lighters weight materials above more substantial ones (e.g., glass above wood, wood above stucco, stucco above masonry).
 - B. Vertical joints between different materials shall occur at inside

corners.

b. Windows and Doors

1. Window recess. Windows shall be recessed a minimum of two inches.
2. Trim.
 - A. Window and door trim materials: Wood or cement fiber board is permitted.
 - B. Building trim materials: Wood, stone, cast stone, pre-cast concrete, glass fiber, reinforced concrete, and cement fiber board are permitted.
 - C. Foam treatment is not permitted for architectural features.

c. Frontage Standards

1. Frontage Types
 - A. Storefronts – A frontage that reinforces the commercial character and use of the ground floor of the building. The elevation of the ground floor is at or near the grade of the sidewalk to provide direct public access into the building.
 - B. Live-work/office fronts – A frontage that reinforces that both residential and work activities can occur in the building. The elevation of the ground floor is at or near the grade of the sidewalk to provide direct public access into the building.
 - C. Residential fronts – A frontage that reinforces the residential character and use of the building. The ground floor can be elevated above the grade of the lot/sidewalk to provide privacy for residences by preventing direct views into the home from the sidewalk.
2. Storefronts - Standards
 - A. All ground-floor tenant spaces that have street frontage shall have storefront entrances on the façade fronting a street.
 - B. Entrance shall be emphasized and clearly recognizable from the street by using one or more of the following methods:
 - (a) Projecting nonfabric awnings or canopies above an entry.

- (b) Varied building mass above an entry, such as a tower that protrudes from the rest of the building surface.
 - (c) Special corner building entrance treatments, such as a rounded or angled facets on the corner or an embedded corner tower above the entry.
 - (d) Special architectural elements, such as columns, porticos, overhanging roofs, and ornamental light fixtures.
 - (e) Projecting or recessed entries or bays in the facade.
 - (f) Recessed entries must feature design elements that call attention to the entrance, such as ridged canopies, contrasting materials, crown molding, decorative trim, or a 45-degree cut-away entry.
 - (g) Changes in roofline or articulation in the surface of the subject wall.
 - C. Lobby entrances to upper floor uses shall be on a façade fronting a street.
 - D. Windows and/or glass doors shall cover not less than 50 percent of the first-floor elevation along street frontages.
 - E. Projecting elements on upper floors may project 5 feet from the façade and into the setback.
 - F. Development with retail, commercial, community, or public uses on the ground floor shall have a clear floor-to-ceiling height of at least 15 feet.
 - G. If the front façade is set back from the public sidewalk, the setback shall be improved as an extension of the public sidewalk.
3. Live-Work/Office Fronts - Standards
- A. All ground-floor tenant spaces that have street frontage shall have entrances on a façade fronting a street. All other ground floor uses may have a common lobby entrance along the front façade or private entrances along other facades.
 - B. Entrances to upper-floor units may be provided through a common lobby entrance and/or by a common entrance along a façade

fronting a street.

- C. At least 40 percent of the surface area of the ground-floor façade shall be occupied by display windows or translucent panels.
- D. At least 25 percent of the surface area of each upper-floor façade shall be occupied by windows.
- E. Projecting elements on upper floors may project 3 feet from the façade and into the setback.
- F. The ground floor shall have a clear floor-to-ceiling height of at least 12 feet.
- G. If the front façade is set back from the public sidewalk, the setback shall be landscaped and/or improved as an extension of the public sidewalk.

4. Residential Fronts - Standards

A. Generally.

- (a) The ground-floor elevation shall be within 6 feet of the ground surface of the adjacent sidewalk or walkway.
- (b) Entrances to ground-floor units that have street frontage may be provided through a common lobby entrance and/or by private entrances from the adjacent sidewalk.
- (c) Entrances to upper-floor units may be provided through a common lobby entrance and/or by a common entrance along a façade fronting a street.
- (d) The ground floor shall have a clear floor-to-ceiling height of at least 9 feet.
- (e) Stoops and front porches may be provided in front of building and unit entrances. Stoops and front porches may project up to 5 feet from the façade and into the setback.
- (f) If the front façade is set back from the public sidewalk, the setback shall be landscaped (excluding stoops/front porches and paved paths to building entrances).

B. Residential front types.

- (a) Stoop. In the stoop frontage type, the main façade of the building is set back, and an elevated stoop engages the sidewalk. The stoop is to be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop lead directly to the sidewalk or may be side-loaded.
- i. Relationship to entry. Stoops shall align directly with the unit entry(ies) they serve.
 - ii. Number of units served. Stoops shall provide access to a maximum of two-unit entries.
 - iii. Lobby entries. Stoops may provide access to a lobby entry.
 - iv. Stoop stairway orientation. The exterior stoop stairway may be oriented perpendicular or parallel to the adjacent sidewalk.
 - v. Landscaping. Landscaping shall be planted on the sides of the stoop, either at grade or in raised planters. Raised planters shall have a minimum depth of 12 inches.

vi.

Element Standard	Minimum	Maximum
Width	5 feet	15 feet
Depth	5 feet	8 feet
Finish level above sidewalk	18 inches	None

- (b) Dooryard. In the dooryard frontage type, the main façade of the building is set back, and the frontage line is defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard does not provide public circulation along a right-of-way. The dooryard may be raised, sunken, or at grade.
- i. Relationship to entry. Dooryards shall align directly with the unit entry(ies) they serve.
 - ii. Number of units served. Dooryards shall provide access to a maximum of two-unit entries.
 - iii. Enclosure. Dooryards shall be enclosed by a maximum three-foot high, decorative wall (split face or slump stone, or precision block coated with stucco and a decorative, precast cap), fences, or low hedges.

- iv. Architectural style. Walls and/or fences shall match the building's architectural style.
- v. Doorway stairway orientation. If the doorway is raised above grade, the exterior stairway for raise dooryards shall be oriented perpendicular or parallel to the adjacent sidewalk.
- vi.

Element Standard	Minimum	Maximum
Depth, Clear	8 feet	N/A
Finish level above sidewalk	N/A	3 feet
Length of terrace	N/A	150 feet
Distance between stairways	N/A	50 feet

- (c) Porch. In the porch frontage type, the main façade of the building is set back from the frontage line. The resulting front yard is defined by a low wall or fence and is covered by a patio. A projecting porch uses part of the front yard space for a porch that is open on three sides above the low wall or fence.

- i. Number of units served. Porches shall provide access to multiple ground-floor unit doors.
- ii. Wrap-around porches. Porches shall wrap around building corners.

iii.

Element Standard	Minimum	Maximum
Porch depth	8 feet	N/A
Porch width	8 feet	N/A
Porch height	8 feet	12 feet
Floor height	1.5 feet	3 feet
Between porch and front property line	5 feet	N/A



NOTICE OF EXEMPTION

TO: Office of Land Use and Climate Innovation <input checked="" type="checkbox"/> State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6656
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	Master Case No. 25-020, and Municipal Code Amendment No. 25-005.
2. Project Applicant (include address, telephone number and email address):	City of Fontana 8353 Sierra Avenue Fontana, CA 92336
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	Citywide
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	Code Amendment to Chapter 30 of the Fontana Municipal Code (Zoning and Development Code) to adopt objective design standards applicable to projects subject to streamlined, ministerial review pursuant to State of California law.
6. Name of Public Agency approving project:	City of Fontana
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives	City of Fontana 8353 Sierra Avenue Fontana, CA 92336

financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input checked="" type="checkbox"/> Other. Explanation:	Exempt under CEQA Guidelines Sections 15060(c) and 15061(B)(3) (the common-sense exemption)
9. Reason why project was exempt:	The project is a citywide code update to Chapter 30 of the Fontana Municipal Code. There is no associated development with this project.

10. Lead Agency Contact Person: Telephone:	Cecily Session-Goins, Associate Planner (909) 350-6723
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: June 17, 2025	

Date:

Signature

Name: Rina Leung

Title: Senior Planner

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



CONTINUANCE OF NOTICE PUBLIC HEARING

- At the April 1, 2025 meeting, the Fontana Planning Commission continued the item to the meeting of May 6, 2025.
- At the May 6, 2025 meeting, the Fontana Planning Commission continued the item to the meeting of June 3, 2025.
- At the June 3, 2025 meeting, the Fontana Planning Commission continued the item to the meeting of June 17, 2025.

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

**MASTER CASE NUMBER (MCN) 25-020; MUNICIPAL CODE AMENDMENT (MCA) NO. 25-005
FOR AMENDMENTS TO CHAPTER 30 TO INCLUDE OBJECTIVE DESIGN STANDARDS FOR
CERTAIN RESIDENTIAL AND MIXED-USE DEVELOPMENT PROJECTS**

**Environmental
Determination:**

This Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act ("CEQA") Guidelines, Section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

Location of Property:

Citywide

Date of Hearing:

April 1, 2025

Place of Hearing:

City Hall Council Chambers
8353 Sierra Avenue
Fontana, CA 92335

Time of Hearing:

6:00 pm

Should you have any questions concerning this project, please contact Cecily Session-Goins, Associate Planner, at (909) 350-6723 or by email at csgoins@fontanaca.gov

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION AT THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE PLANNER LISTED ABOVE.



IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish: March 21, 2025

AVISO DE CONTINUACION DE AUDIENCIA PUBLICA

- En la reunión del 1 de abril de 2025, la Comisión de Planificación de Fontana continuó el tema para la reunión del 6 de mayo de 2025.
- En la reunión del 6 de mayo de 2025, la Comisión de Planificación de Fontana continuó el tema para la reunión del 3 de junio de 2025.
- En la reunión del 3 de junio de 2025, la Comisión de Planificación de Fontana continuó el tema para la reunión del 17 de junio de 2025.

En cumplimiento con la Sección No. 202 de la Acta de Americanos con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en la implementación de esta, la agenda de esta audiencia estará disponible en formatos alternativos apropiados para las personas con una discapacidad. Si necesita asistencia especial para participar en esta audiencia, comuníquese con el Departamento de la Secretaría Municipal llamando al (909) 350 -7602. La notificación deberá realizarse 48 horas antes de la audiencia para permitir que la Ciudad haga arreglos razonables para garantizar la accesibilidad a esta audiencia.

SE HA PROGRAMADO UNA AUDIENCIA PUBLICA ANTE LA COMISION DE PLANIFICACION DE LA CIUDAD DE FONTANA PARA LO SIGUIENTE:

MCN No. 25-020 y MCA No. 25-005

Enmiendas al Capítulo 30 del Código Municipal de Fontana (FMC) para incluir normas de diseño objetivas para ciertos proyectos de desarrollo residencial y de uso mixto.

Determinacion Ambiental: Esta Ordenanza no es un proyecto conforme a la Sección 15378 de las Normas de la Ley de Calidad Ambiental del Estado de California ("CEQA"), Secciones No. 3.22 y 3.07 de las Normas Locales de 2019 para la Implementación de CEQA, porque no tiene el potencial de resultar en un cambio físico en el medio ambiente, directa o indirectamente. Cuando se puede determinar con certeza que no existe la posibilidad de que la actividad en cuestión pueda tener un efecto significativo en el medio ambiente, la actividad no está sujeta a CEQA.

Ubicacion de la Propiedad: En toda la ciudad

Fecha de Audiencia: 1 de abril de 2025

Lugar de Audiencia: Ayuntamiento de la Ciudad de Fontana, 8353 Sierra Avenue, Fontana, CA 92335

Hora de Audiencia: 6:00 p.m.



Si tiene alguna pregunta sobre este proyecto, comuníquese al (909) 350-6728 o por correo electrónico a planning@fontanaca.gov.

Cualquier persona o grupo interesado en aportar informacion lo puede hacer mediante a una carta o correo electronico dirigido a La Comision de Planificacion. La solicitud y la documentación Ambiental está disponible para inspección en las Oficinas de Ayuntamiento de la Ciudad de Fontana.

Si usted contradice ante el tribunal cualquier acción tomada con respecto a un tema de la Audiencia Publica, usted puede estar limitado a plantear solamente aquellas cuestiones que usted o alguien más planteo en la Audiencia Publica mencionada en este aviso o por correspondencia escrita a la Ciudad de Fontana antes de la fecha de la Audiencia establecida en este aviso.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0322
Agenda #: DC-A

Agenda Date: 6/17/2025
Category: Director Comments

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO: Planning Commission
FROM: Patty Nevins, Director of Planning *PN*
RE: Agenda for Upcoming City Council Items
DATE: June 17, 2025

The items listed below are for agenda forecast purposes and are subject to change.

<u>CITY COUNCIL JUNE 24, 2025</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
--	-----------------------	-------------------------

No items listed for this meeting, as of the date of this memo.



MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming Planning Commission Items

DATE: June 17, 2025

The items listed below are for agenda forecast purposes and are subject to change.

<u>PLANNING COMMISSION JULY 1, 2025</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN #25-0019; MCA #25-0007 Sign Code Amendment to Chapter 30, Article XII Downtown Core	Alejandro Rico	Public Hearing
2. MCN #24-0065; SPA #24-0001; TTM #20729 (TTM #24-0010); DRP #24-0035 Amendment to Rancho Fontana SP for PA 18 South side of Baseline Avenue, between Lime Avenue And Orlando Drive	Cecily Session-Goins	Public Hearing