

BASELINE & PALMETTO

F O N T A N A , C A L I F O R N I A

TENTATIVE TRACT MAP NO. 20863

IN THE CITY OF FONTANA, COUNTY OF
SAN BERNARDINO, STATE OF CALIFORNIA

LOT 1 FOR CONDOMINIUM PURPOSES



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN BERNARDINO, CITY OF FONTANA AND DESCRIBED AS FOLLOWS:

PARCEL A: (APN: 0240-161-29) THE EAST 180 FEET OF THE WEST 410 FEET OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.
EXCEPT THEREFROM THE SOUTH 40 FEET THEREOF.

PARCEL B: (APN: 0240-161-36) PARCEL 1 OF PARCEL MAP NO. 7133, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 78 OF PARCEL MAPS, PAGE 42, RECORDS OF SAID COUNTY.

PARCEL C: (APN: 0240-161-37) PARCEL 2 OF PARCEL MAP NO. 7133, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 78 OF PARCEL MAPS, PAGE 42, RECORDS OF SAID COUNTY.

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EXCEPT THEREFROM THE SOUTH 40 FEET.

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EXCEPT THEREFROM THE SOUTH 40 FEET.

(APN: 0240-161-33)

DEVELOPER:

MV INVESTMENTS, INC.
PO BOX 9559
ALTA LOMA, CA 91701

LEGEND:

R.O.W. ——— RIGHT OF WAY
——— RIGHT OF WAY
——— BOUNDARY LINE
——— STREET CENTERLINE

PROJECT AREA:

GROSS AREA: 6.72 ACRES
NET AREA: 6.52 ACRES

LAND USE:

EXISTING LAND USE
ONSITE — UNDEVELOPED/TWO SINGLE FAMILY HOMES
NORTH — SINGLE FAMILY RESIDENTIAL
SOUTH — SINGLE FAMILY RESIDENTIAL
EAST — WAREHOUSES
WEST — SINGLE FAMILY RESIDENTIAL

EXISTING ZONING: WALNUT VILLAGE SPECIFIC PLAN GATEWAY EAST (GE)
MIXED USE SUB-DISTRICT (12.0-24.0 DU/AC)

EASEMENTS:

1 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 28, 1984, AS INSTRUMENT NO. 84-284428, OF OFFICIAL RECORDS, IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY (TO BE QUIT-CLAIMED)

EARTHWORK:

	CUT	FILL
RAW EXCAVATION:	5,742 CY	6,672 CY
REMOVAL/RECOMPACTION: (5' SITE, 3' STREET)	47,660 CY	47,660 CY
STREET UNDERCUT (1.5'):	3,489 CY	10,866 CY
SHRINKAGE (20%)		1,046 CY
SUBSIDENCE (0.1')		66,244 CY
TOTALS:	56,891 CY	9,353 CY
NET IMPORT:		9,353 CY

CITY OF FONTANA UTILITY, NOTIFICATION LIST:

CITY OF FONTANA 8353 SIERRA AVE FONTANA, CA 92335 (909) 350-6632	FONTANA WATER COMPANY 15966 ARROW BOULEVARD FONTANA, CA 92335 (909) 822-2201
SO. CALIF. GAS COMPANY 1981 W. LUGONIA AVE REDLANDS, CA 92374 (909) 335-7967 EMERGENCIES: (800) 427-2200	AT&T 3075 ADAMS STREET RIVERSIDE, CA 92504 (951) 359-2629
SO. CALIF. EDISON COMPANY 300 N. PEPPER AVE RIALTO, CA 92376 (909) 820-5598 - UNDERGROUND (909) 875-5100 - TRANSMISSION (213) 637-1233 - PIPELINES (909) 357-6505 - DISTRIBUTION	CHARTER COMMUNICATIONS (909) 821-8024

UNDERGROUND SERVICE ALERT
(800) 422-4133

BASIS OF BEARINGS

BASIS OF BEARINGS CENTERLINE OF BASELINE N89°53'00"W PARCEL MAP 7133 PER PMB 78/43

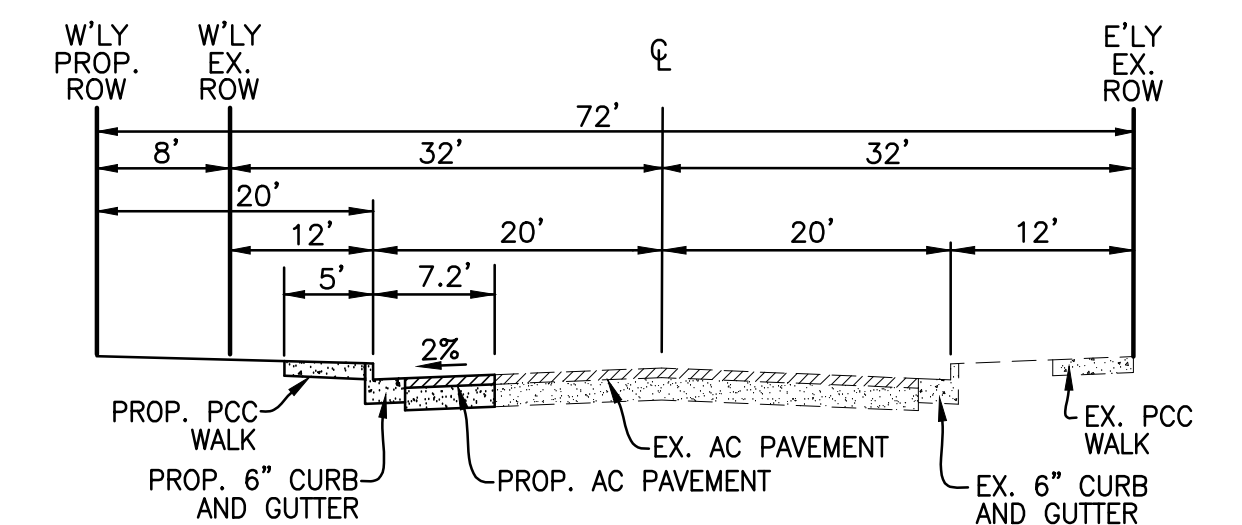
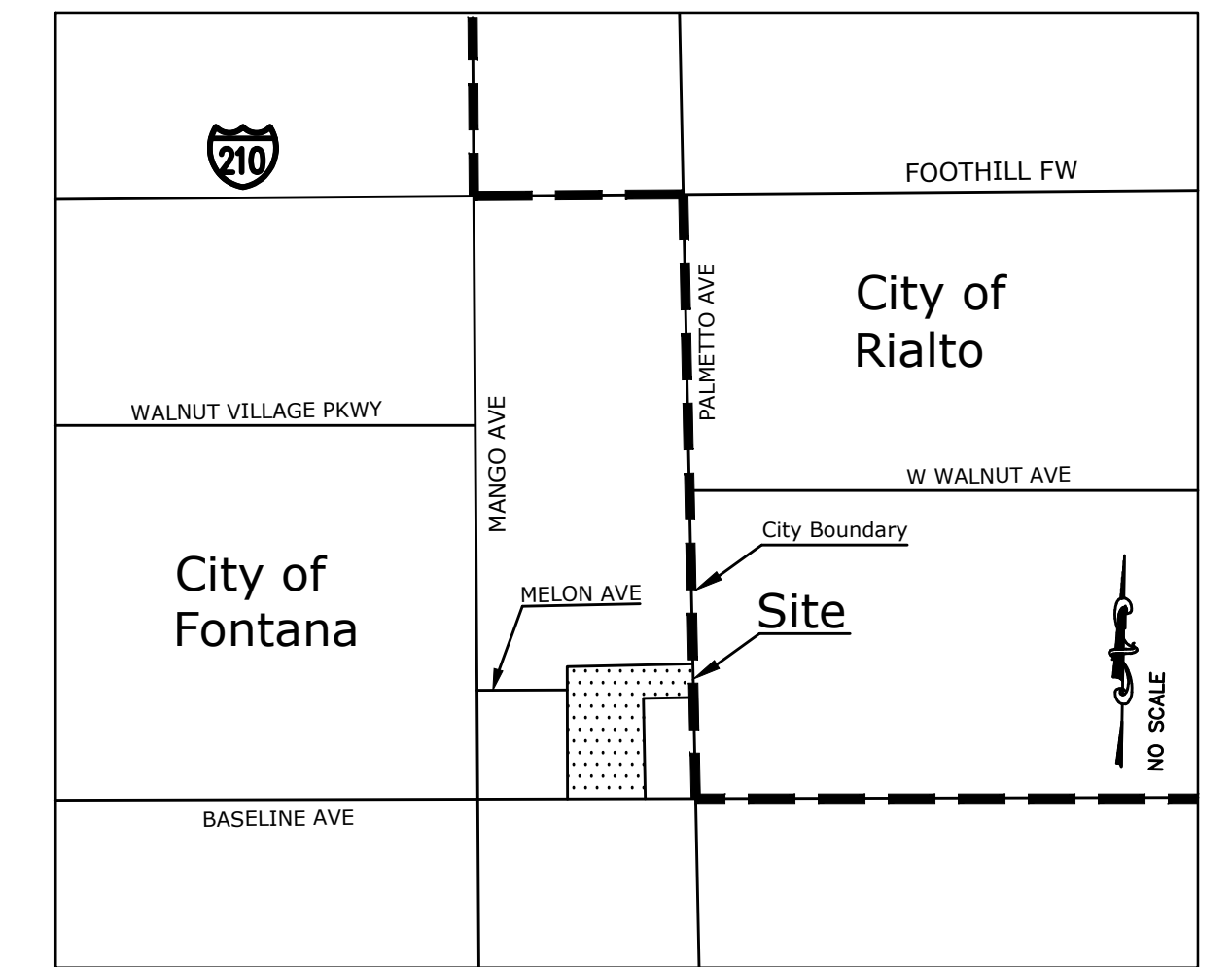
BENCHMARK

CITY OF RIALTO BM 051-88 BRASS DISK IN CATCH BASIN 22FT WEST OF CL ON PALMETTO .2 MILES NORTH OF CL BASELINE
BENCHMARK NO.: 051-88
ELEVATION=1434.611 NGVD29

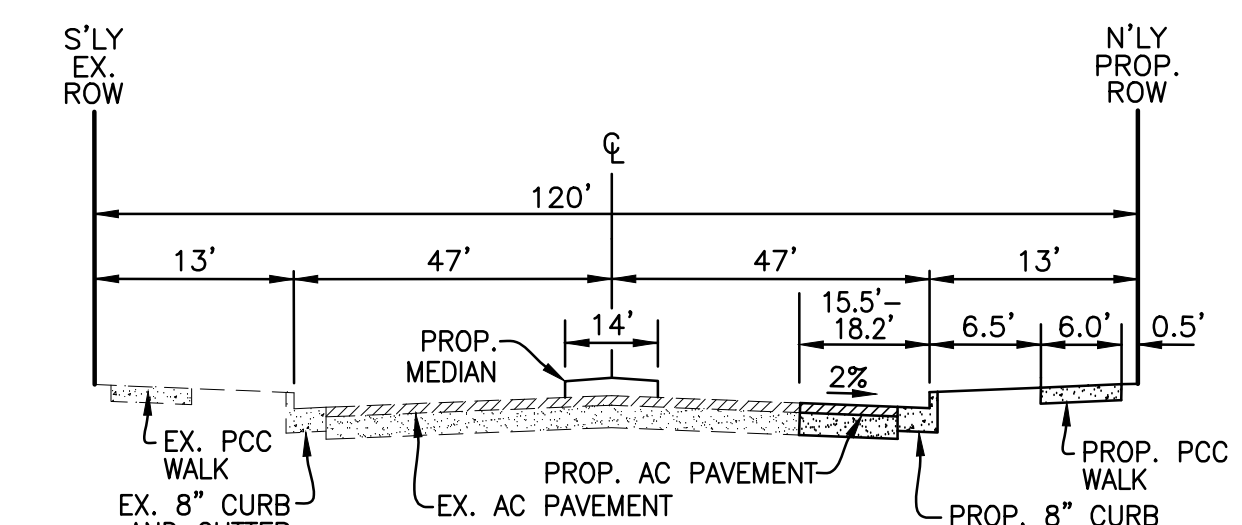
SURVEYOR'S NOTES:

- (R1) INDICATES RECORD DATA PER PM 7133, PMB 78/42
- (R2) INDICATES RECORD DATA PER PM 3812, PMB 37/46

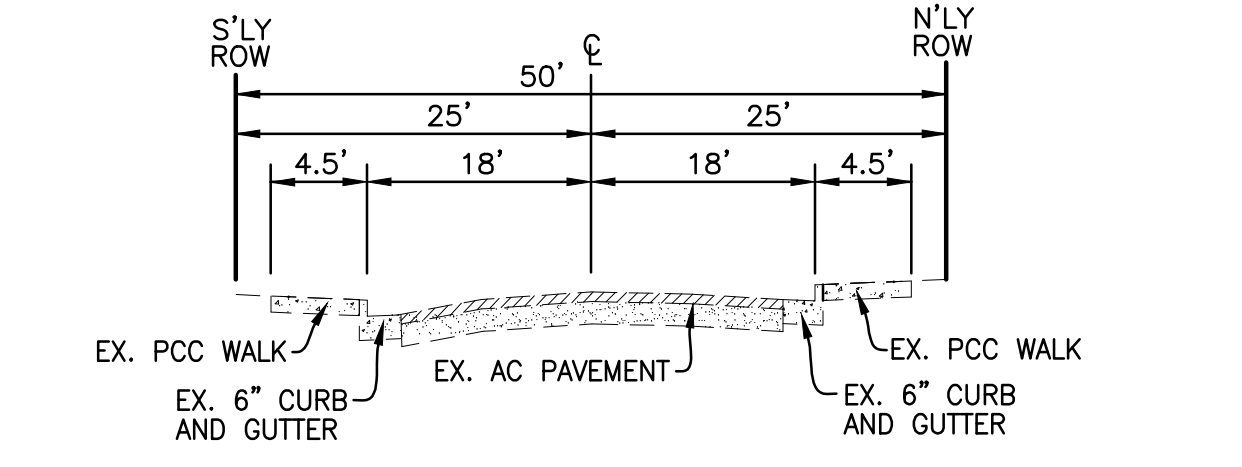
VICINITY MAP



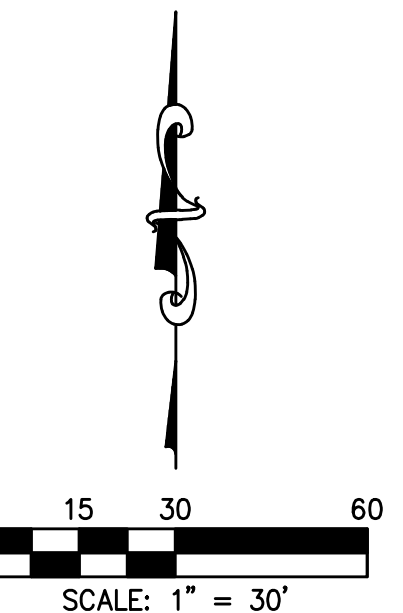
PUBLIC STREET SECTION-PALMETTO AVENUE
72' R.O.W.-STREET CLASSIFICATION: LOCAL
N.T.S.



PUBLIC STREET SECTION-BASELINE AVENUE
120' R.O.W.-STREET CLASSIFICATION: MAJOR
N.T.S.

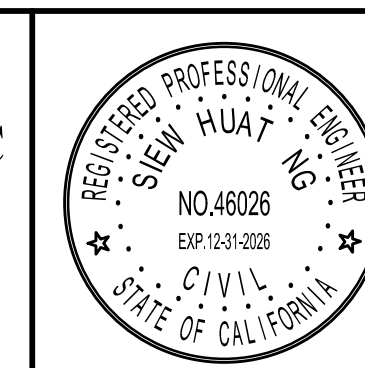


PUBLIC STREET SECTION
MELON AVENUE
N.T.S.



PREPARED BY:

UNITED CIVIL INC
30141 Agoura Road, Suite 215
Agoura Hills, CA 91301
PH: (818) 707-8648



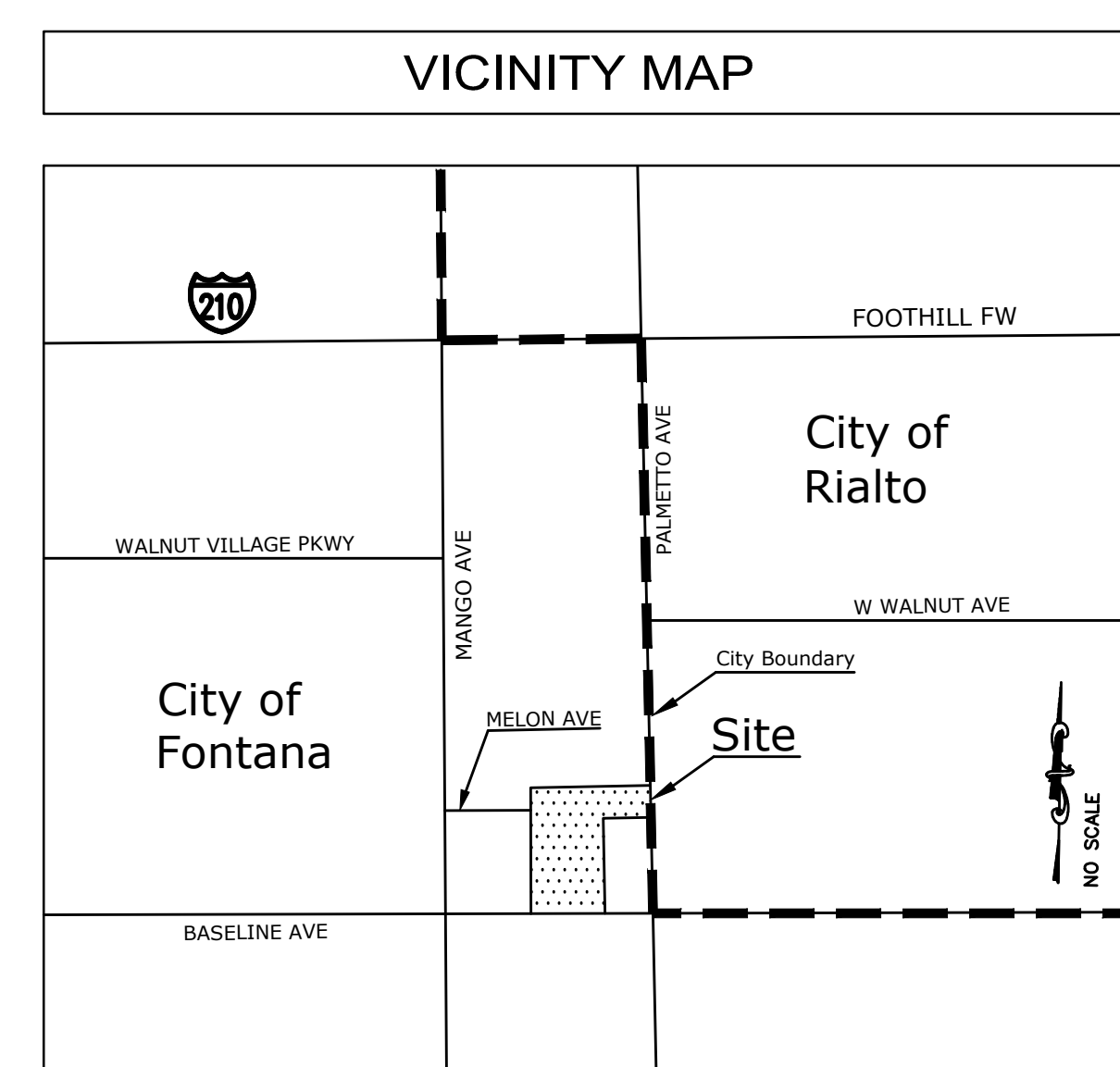
REV #	DATE	REVISIONS

CITY OF FONTANA
TENTATIVE TRACT MAP
NO. 20863
FONTANA, CA

CONCEPTUAL GRADING & DRAINAGE

TRACT NO. 20863

IN THE CITY OF FONTANA, COUNTY OF
SAN BERNARDINO, STATE OF CALIFORNIA



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EXCEPT THEREFROM THE SOUTH 40 FEET THEREOF.

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DEVELOPER:

MV INVESTMENTS, INC.
PO BOX 9559
ALTA LOMA, CA 91701

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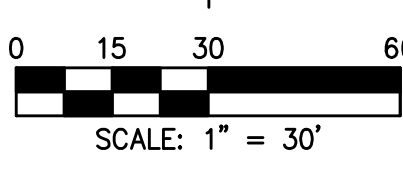
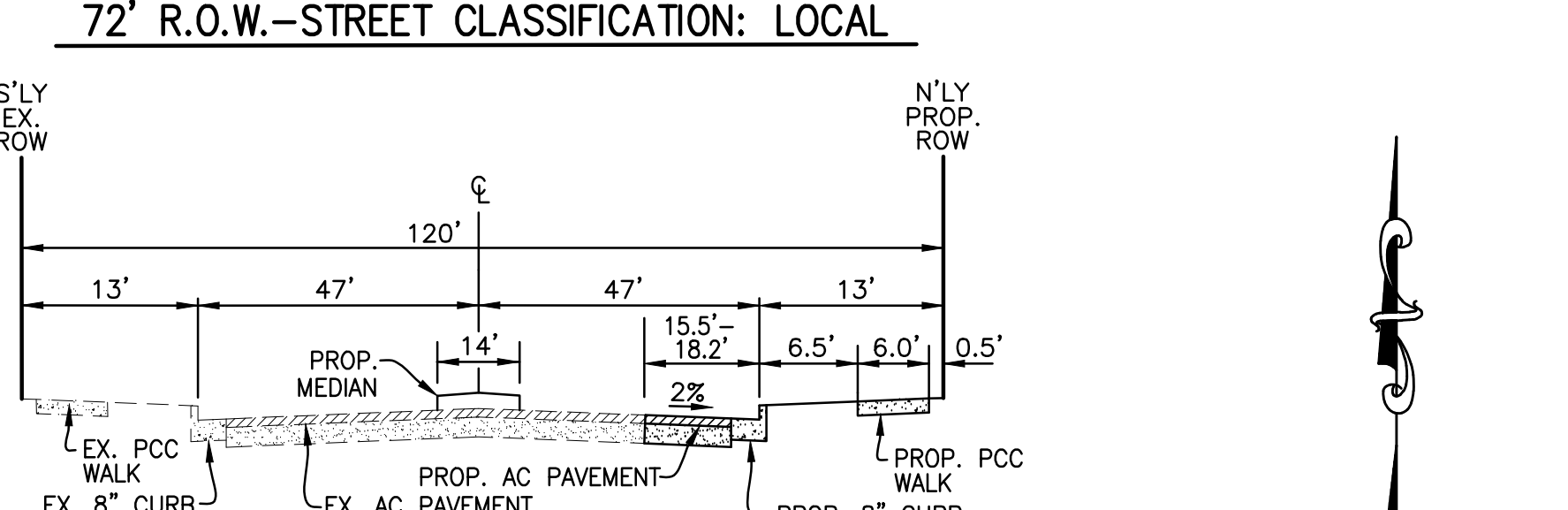
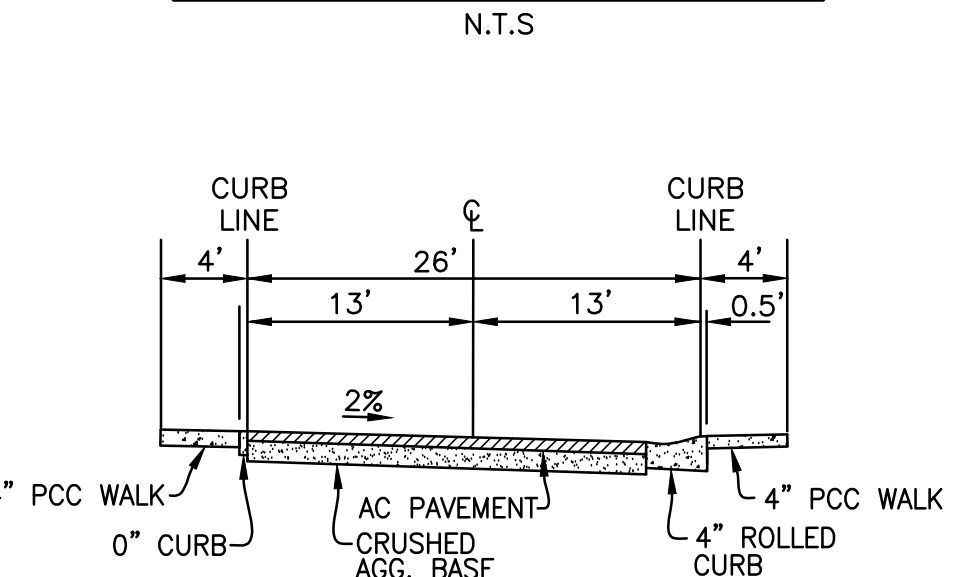
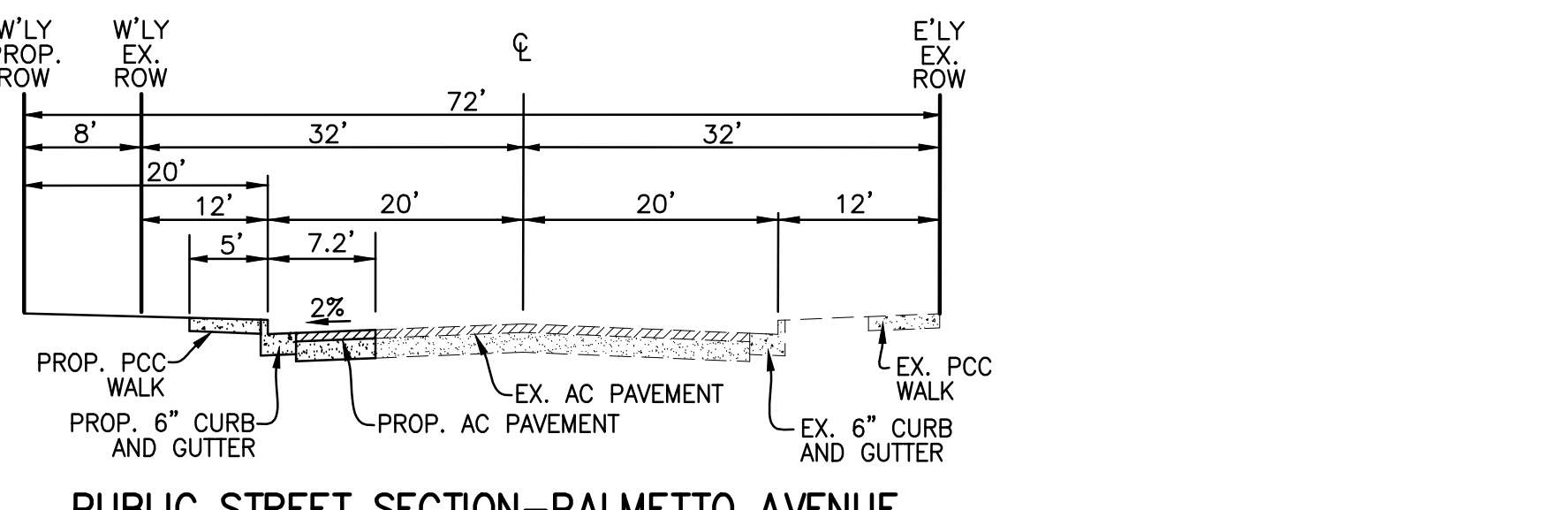
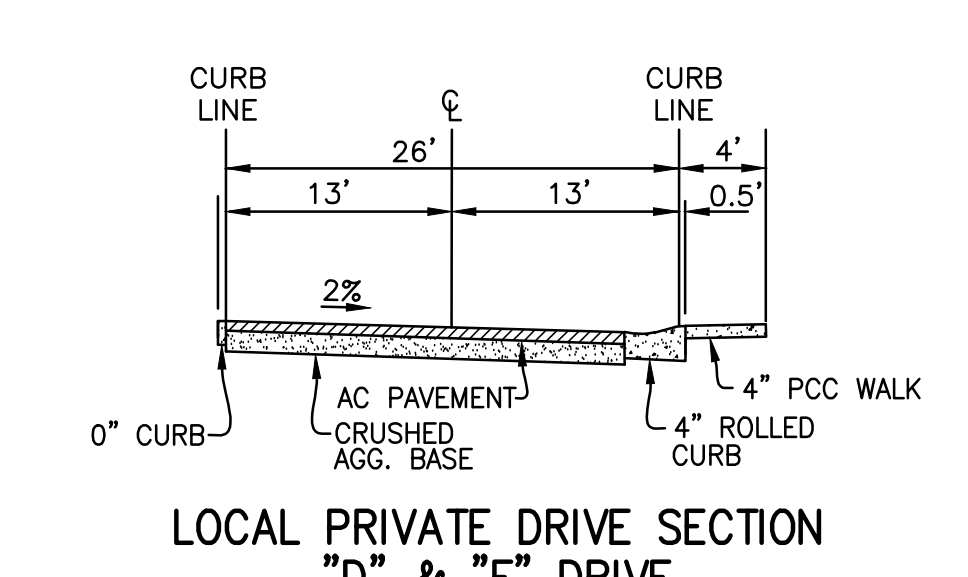
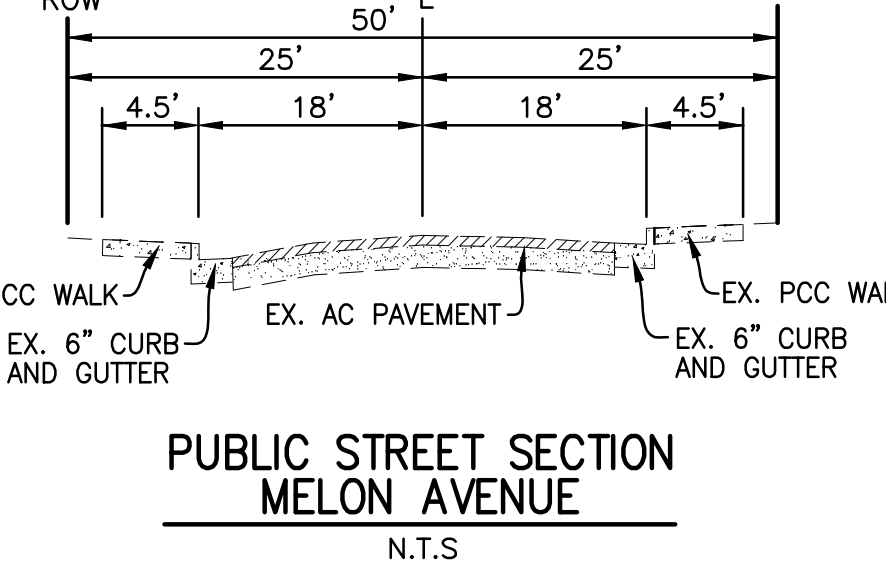
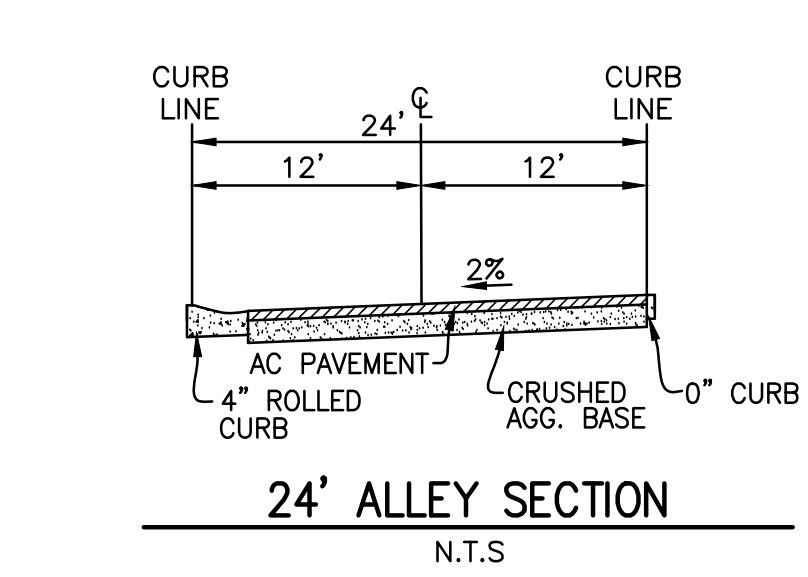
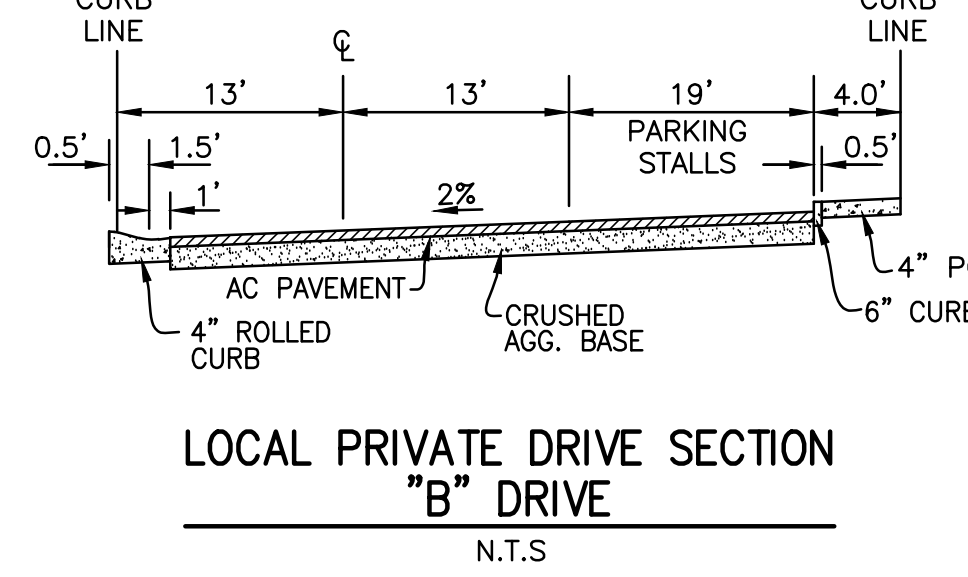
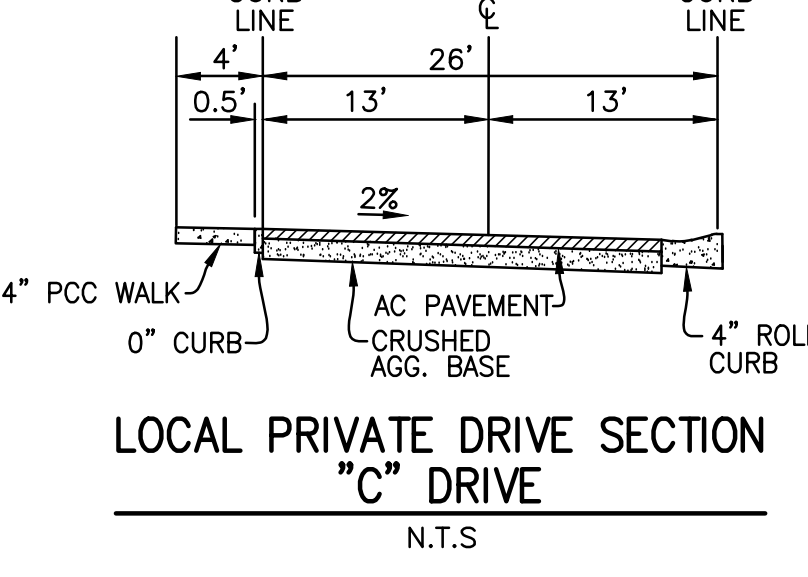
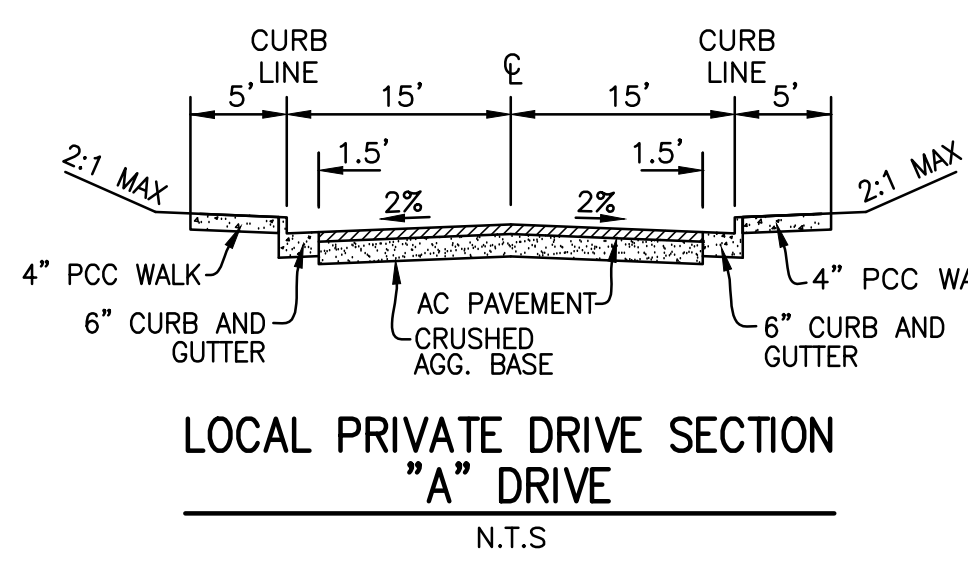
	CUT	FILL
RAW EXCAVATION:	5,742 CY	6,672 CY
REMOVAL/RECOMPACTION:	47,660 CY	47,660 CY
(5' SITE, 3' STREET)		
STREET UNDERCUT (1.5'):	3,489 CY	
SHRINKAGE (20%):		10,866 CY
SUBSIDENCE (0.1'):		1,046 CY
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NOTES:

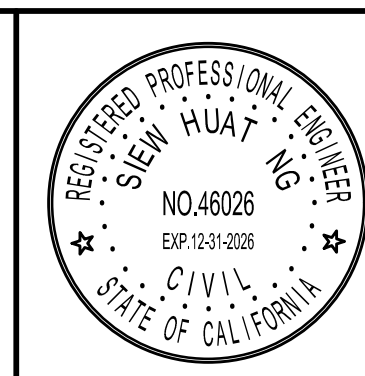
1. PROPOSED ON-SITE SEWER, STORM DRAIN, WATER, FIRE WATER TO BE PRIVATELY OWNED AND MAINTAINED
2. ACCESS ON BASELINE AND PALMETTO AVENUE WILL NOT BE GATED.
3. EMERGENCY VEHICLE ACCESS ONLY W/ GATE ON MELON AVENUE WILL BE PROVIDED.
4. ALL NEW, UPGRADED, AND EXISTING OVERHEAD LINES ADDING AND INTERIOR TO THE PROJECT SITE SHALL BE UNDERGROUND, LOCATIONS SHOWN ON PLAN.

LEGEND:

- BOUNDARY LINE
- RIGHT OF WAY
- PROP. SEWER
- EXIST. SEWER
- PROP. STORM DRAIN



PREPARED BY:



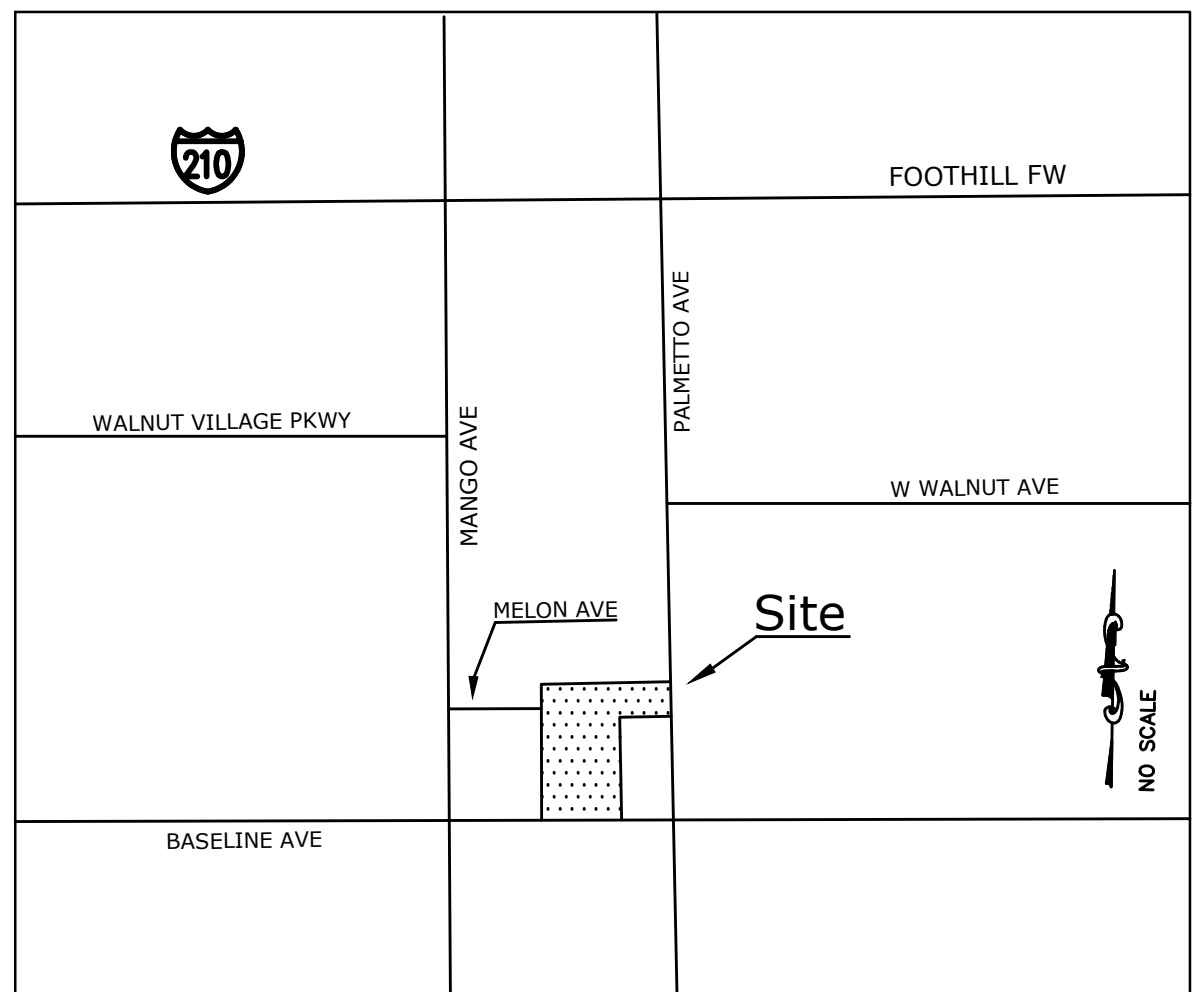
REV #	DATE	REVISIONS

CONCEPTUAL GRADING & DRAINAGE PLAN
MAP NO. 20863
FONTANA, CA

FIRE DEPARTMENT SITE AND ACCESS PLAN

IN THE CITY OF FONTANA, COUNTY OF
SAN BERNARDINO, STATE OF CALIFORNIA

VICINITY MAP



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EXCEPT THEREFROM THE SOUTH 40 FEET.

(APN: 0240-161-33)

PROJECT AREA:

GROSS AREA: 6.72 ACRES
NET AREA: 6.52 ACRES

DEVELOPER:

MV INVESTMENTS, INC.
PO BOX 9559
ALTA LOMA, CA 91701

LAND USE:

EXISTING LAND USE

- ONSITE - UNDEVELOPED/TWO SINGLE FAMILY HOMES
- NORTH - SINGLE FAMILY RESIDENTIAL
- SOUTH - SINGLE FAMILY RESIDENTIAL
- EAST - WAREHOUSES
- WEST - SINGLE FAMILY RESIDENTIAL

EXISTING ZONING:

WALNUT VILLAGE SPECIFIC PLAN GATEWAY EAST (GE)
MIXED USE SUB-DISTRICT (12.0-24.0 DU/AC)

LEGEND:

- BOUNDARY LINE
- RIGHT OF WAY
- EXIST. WATER
- PROP. FIRE WATER
- DISTANCE TO NEAREST HYDRANT (300' MAX)
- PROP. FIRE HYDRANT
- FIRE LANE HATCH

NOTES:

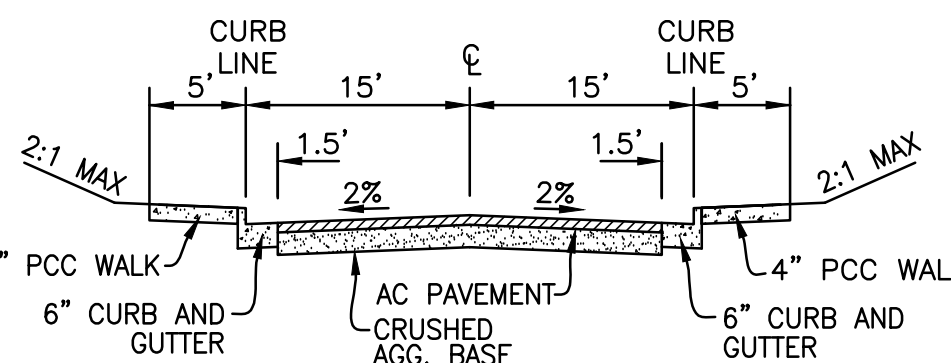
- ONSITE FIRE WATER AND HYDRANTS TO BE PRIVATE
- ACCESS ON BASELINE AND PALMETTO AVENUE WILL NOT BE GATED.
- EMERGENCY VEHICLE ACCESS ONLY W/ GATE ON MELON AVENUE WILL BE PROVIDED.
- ALL BUILDINGS SHOWN ARE TWO-STORY

BUILDING DATA:

PRODUCT TYPE: 2-STORY TOWNHOMES
OCCUPANCY TYPE: R3
CONSTRUCTION TYPE: VB
SPRINKLER TYPE: NFPA 13D
LARGEST BUILDING AREA: 14,514 SF (8-PLEX)

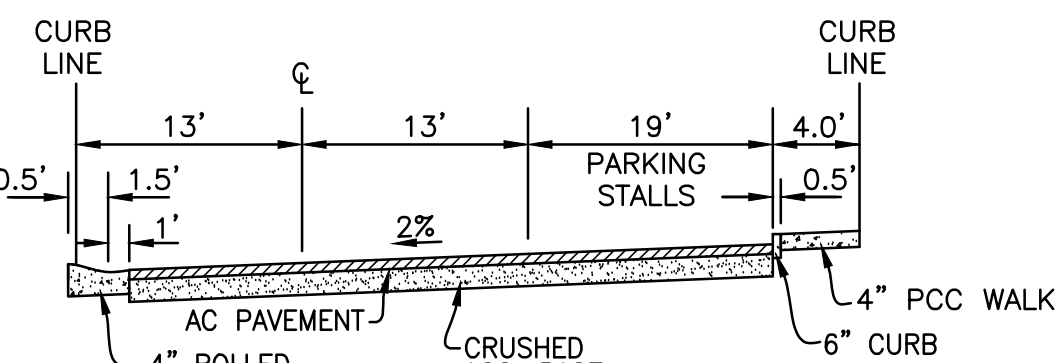
CONSTRUCTION NOTES:

- INSTALL "NO PARKING - FIRE LANE" SIGN PER DETAIL HEREON AND SAN BERNARDINO COUNTY FIRE PREVENTION DISTRICT STANDARD A-2



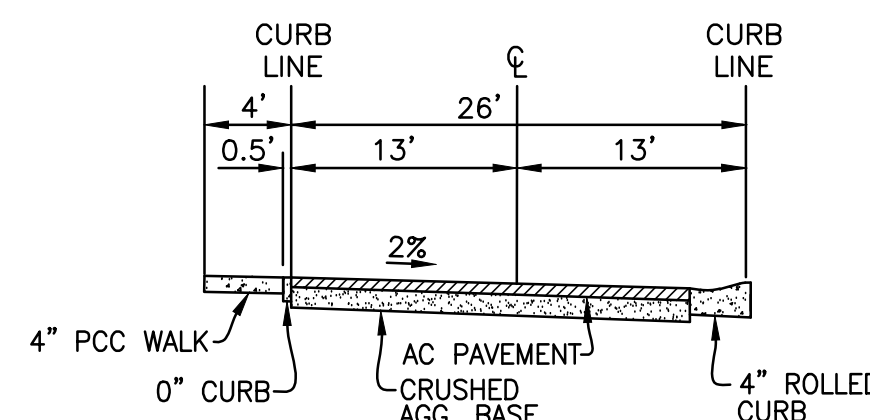
LOCAL PRIVATE DRIVE SECTION
"A" DRIVE

N.T.S.



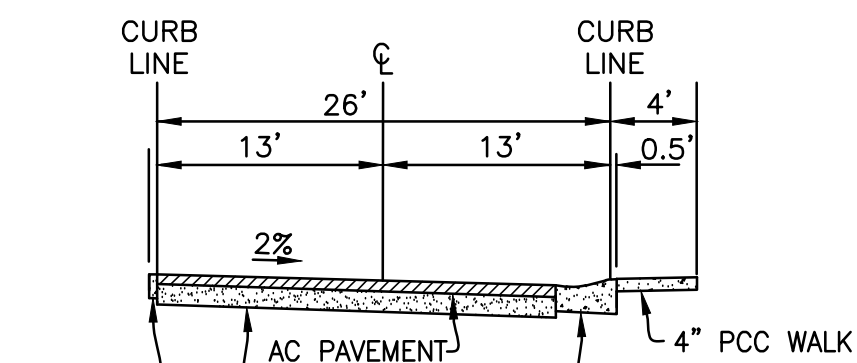
LOCAL PRIVATE DRIVE SECTION
"B" DRIVE

N.T.S.



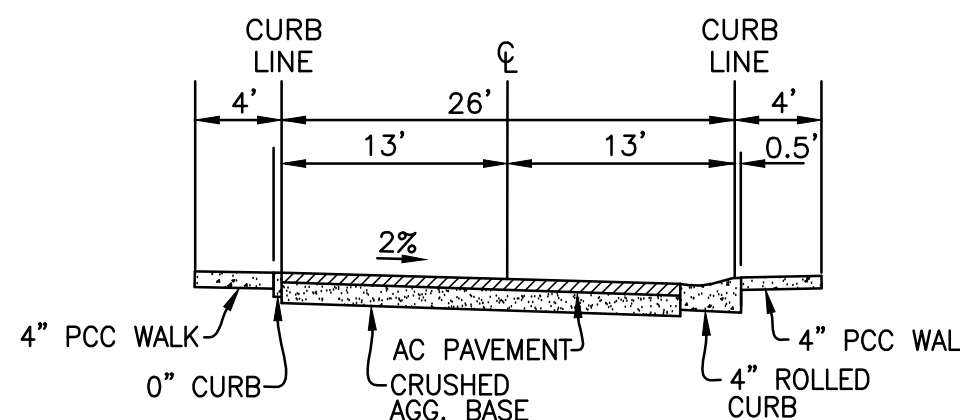
LOCAL PRIVATE DRIVE SECTION
"C" DRIVE

N.T.S.



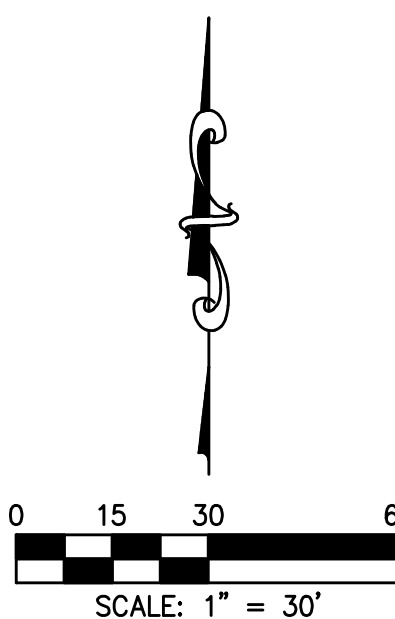
LOCAL PRIVATE DRIVE SECTION
"D" & "F" DRIVE

N.T.S.



LOCAL PRIVATE DRIVE SECTION
"E" DRIVE

N.T.S.



PREPARED BY:

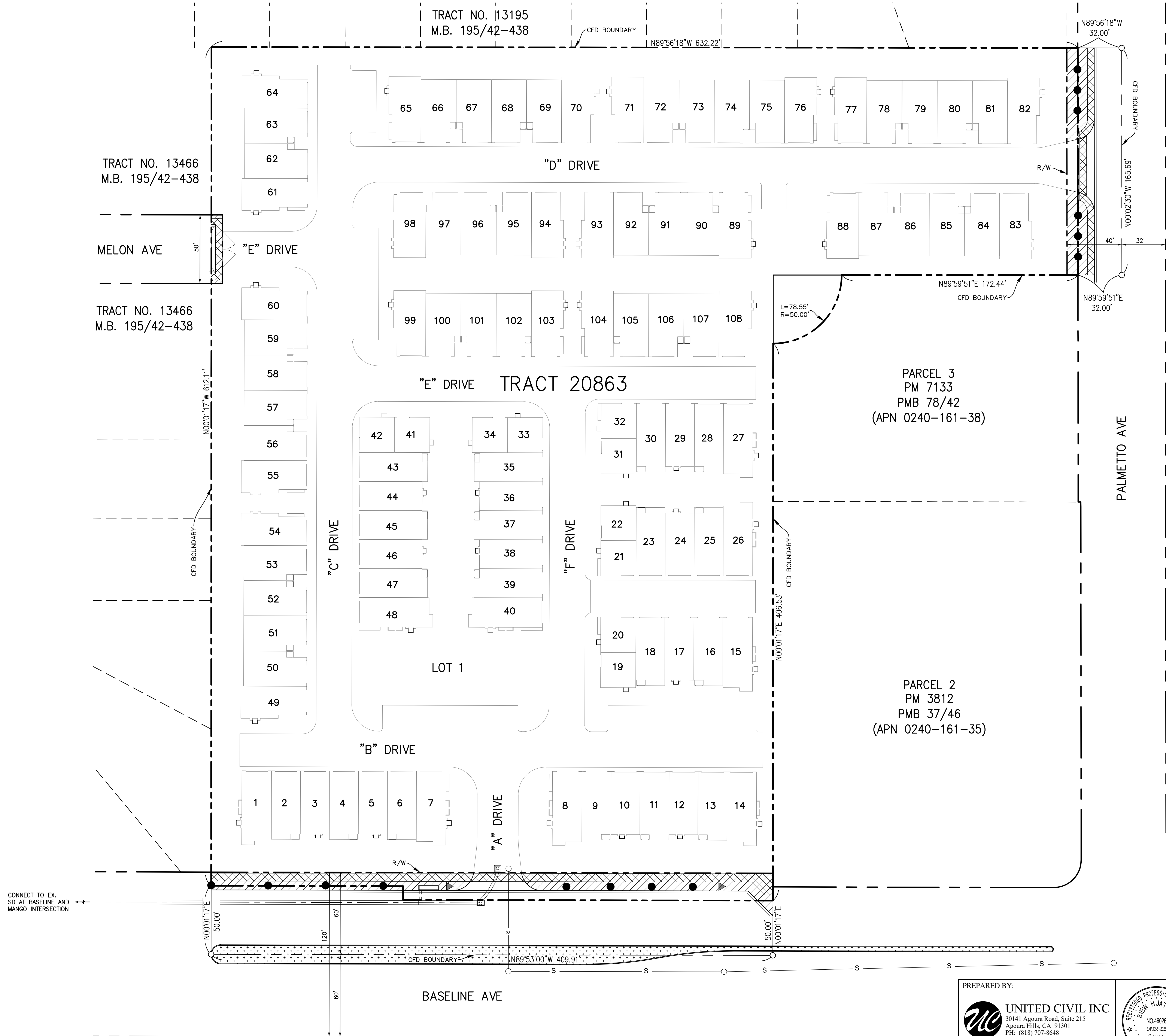
UNITED CIVIL INC
30141 Agoura Road, Suite 215
Agoura Hills, CA 91301
PH: (818) 707-8648



REV # DATE REVISIONS

FIRE SITE AND ACCESS PLAN
MAP NO. 20863
FONTANA, CA

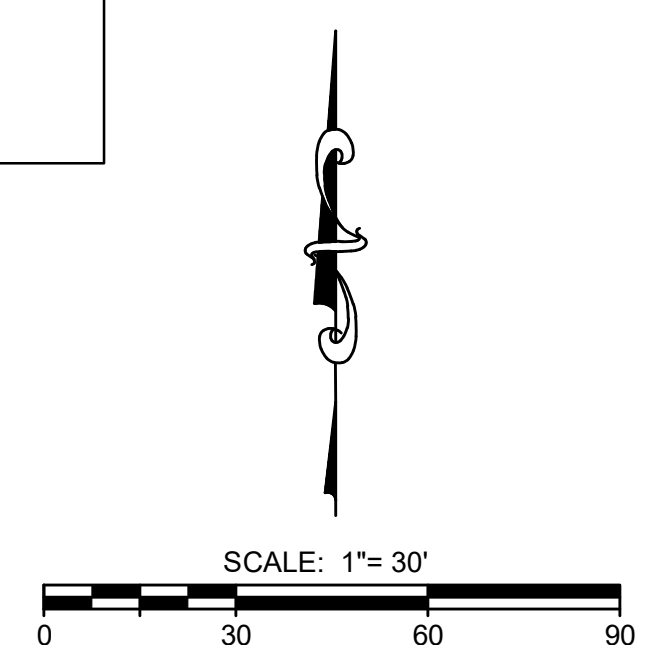
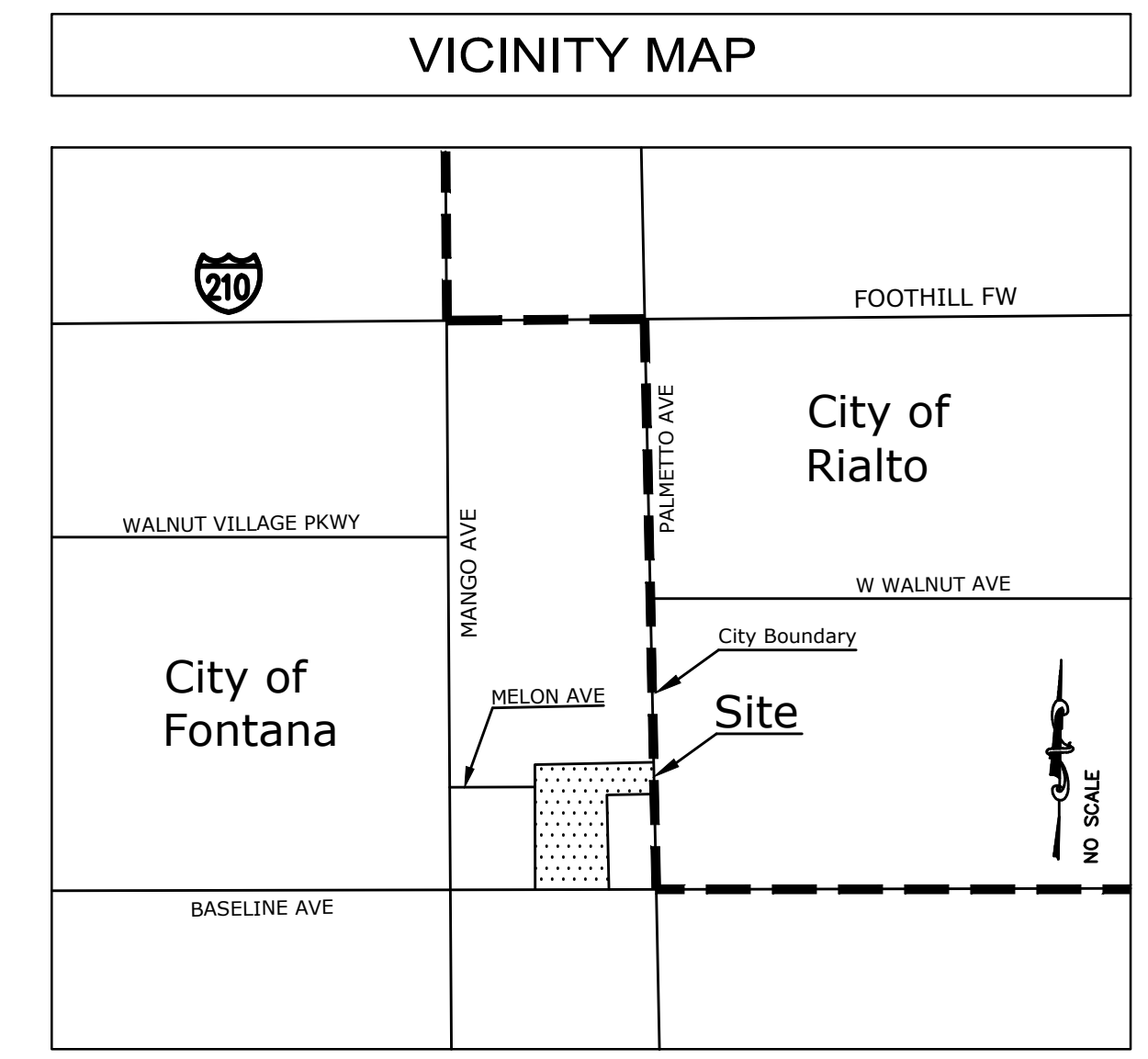
BOUNDARY MAP OF COMMUNITY FACILITIES DISTRICT NO. XX
OF THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA



LEGAL DESCRIPTION:
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DEVELOPER:
MV INVESTMENTS, INC.
PO BOX 9559
ALTA LOMA, CA 91701

LEGEND:	QUANTITY:
	CFD MAINTENANCE SOFTSCAPE AREA (PARKWAY LANDSCAPING) 4228 SF
	CFD MAINTENANCE SOFTSCAPE AREA (PUBLIC MEDIAN) 5710 SF
	CFD MAINTENANCE HARDSCAPE AREA (PUBLIC SIDEWALKS) 3630 SF
	16,000 LUMEN STREET LIGHT 2 EA
	CFD MAINTAINED STREET TREE 14 EA
	36" RCP STORM DRAIN 790 LF
	24" RCP STORM DRAIN 24 LF
	18" RCP STORM DRAIN 8 LF
	CATCH BASIN 1 EA
	SD MANHOLE 4 EA
	8" VCP SEWER 505 LF
	SS MANHOLE 3 EA



PREPARED BY:

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PH: (818) 707-8648

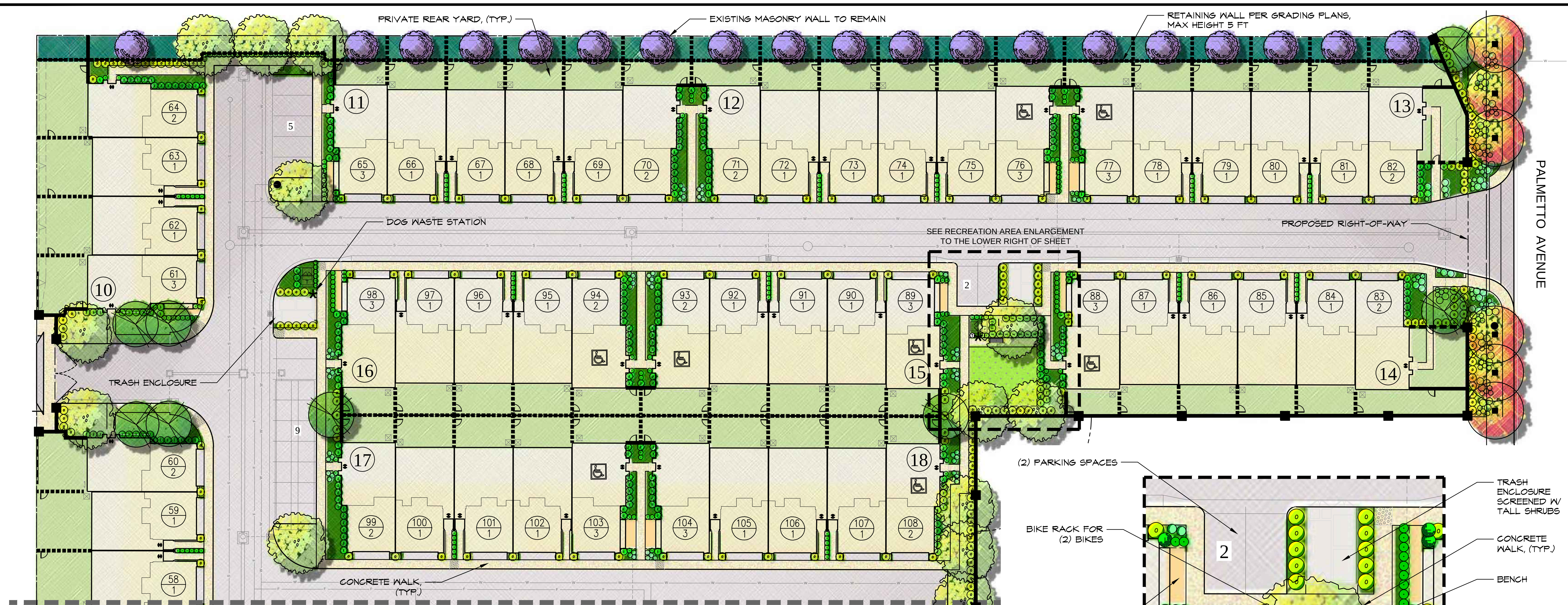
REGISTERED PROFESSIONAL ENGINEER
SIGNATURE:

REV #

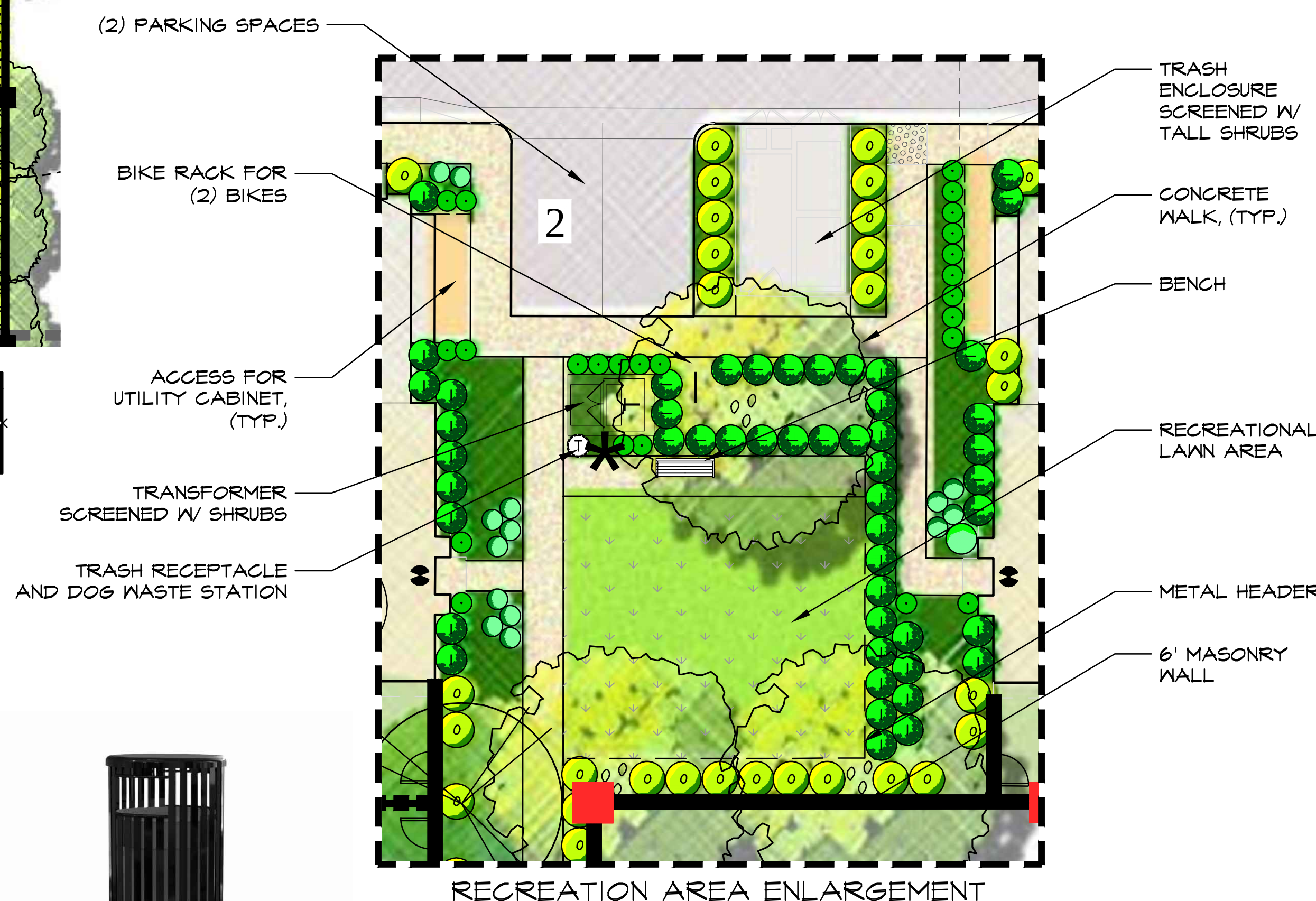
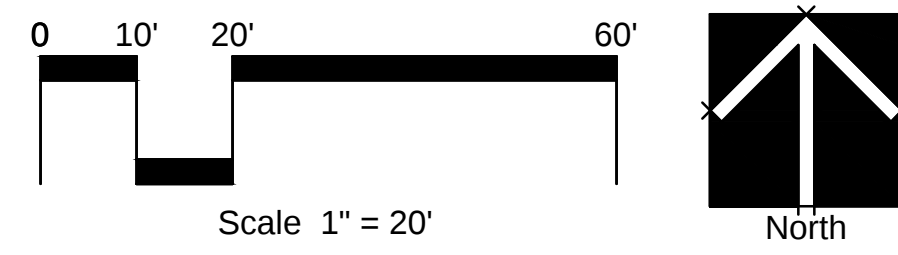
DATE	REVISIONS

BOUNDARY MAP OF
COMMUNITY FACILITIES
DISTRICT
FONTANA, CA

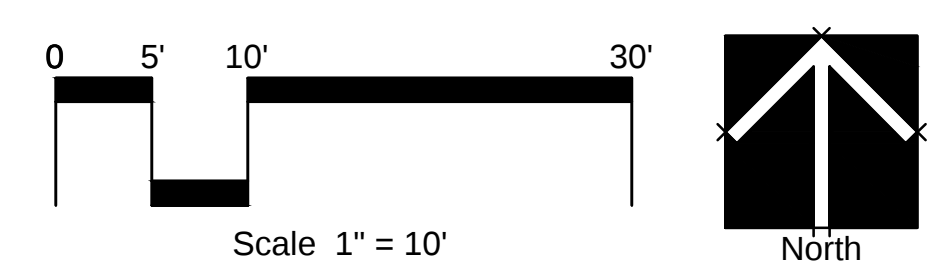
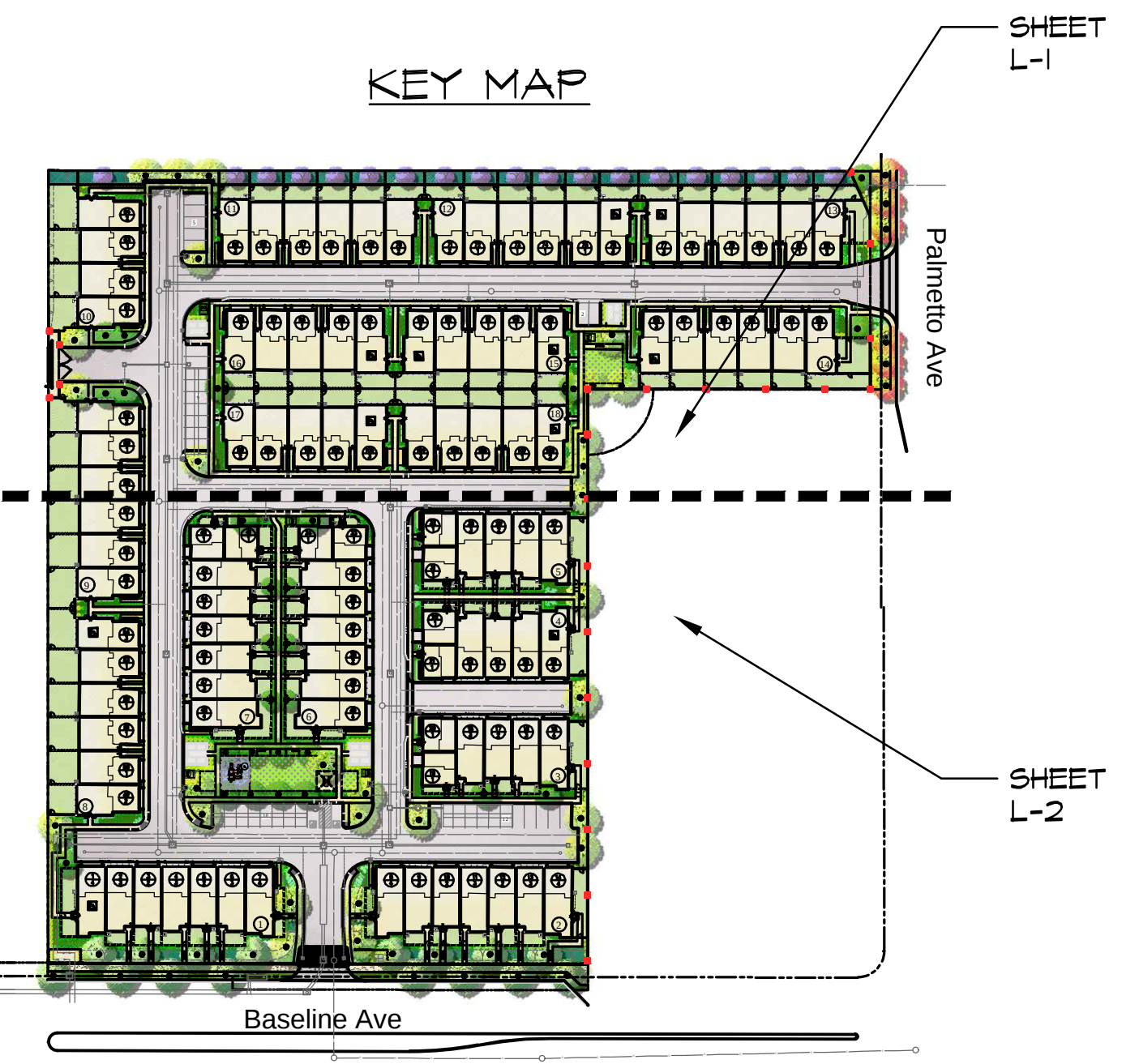
DATE: 7/1/2025



MATCHLINE - SEE SHEET L-2

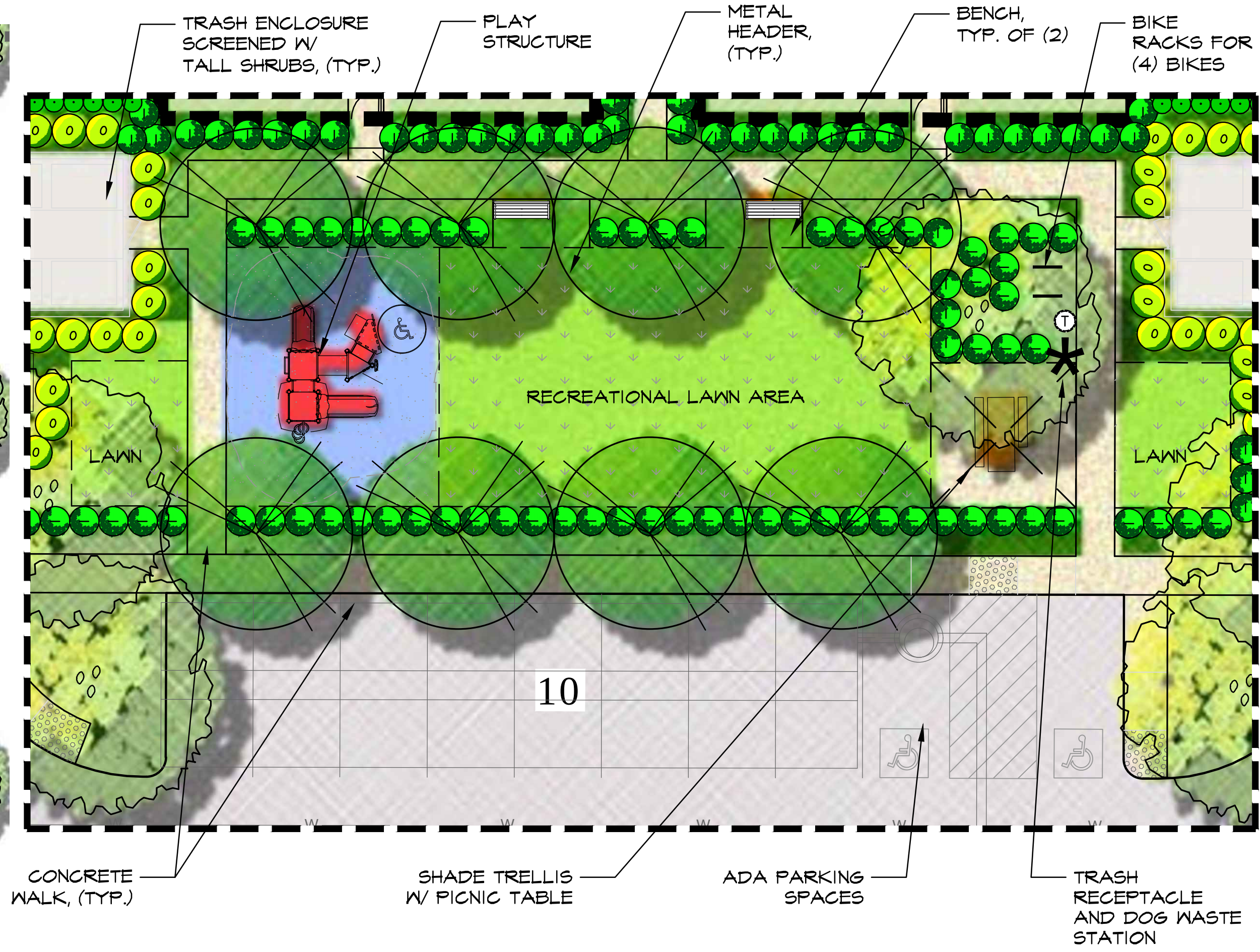


KEY MAP

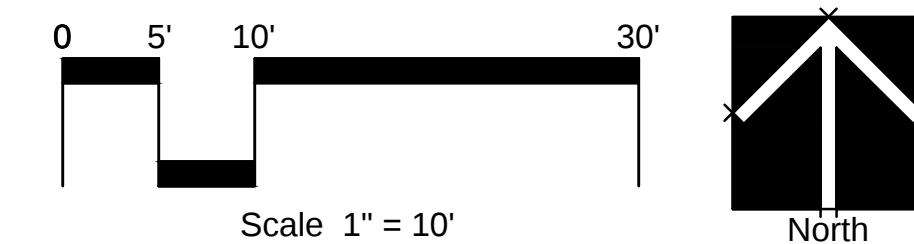


SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY		DRAWN BY: GL DESIGNED BY: --- CHECKED BY: --- APPROVED BY: ---	PREPARED BY: rla 2681 HOWARD ASSOCIATES landscape architecture 1951 Fourth Avenue, Ste. 302 San Diego, CA 92101 (619) 718-9660	Baseline and Palmetto Avenue FONTANA, CA 92336 description LANDSCAPE CONCEPT PLAN prepared for MONTE VISTA HOMES	SHEET NO: L-1 SHEET 1 OF 4
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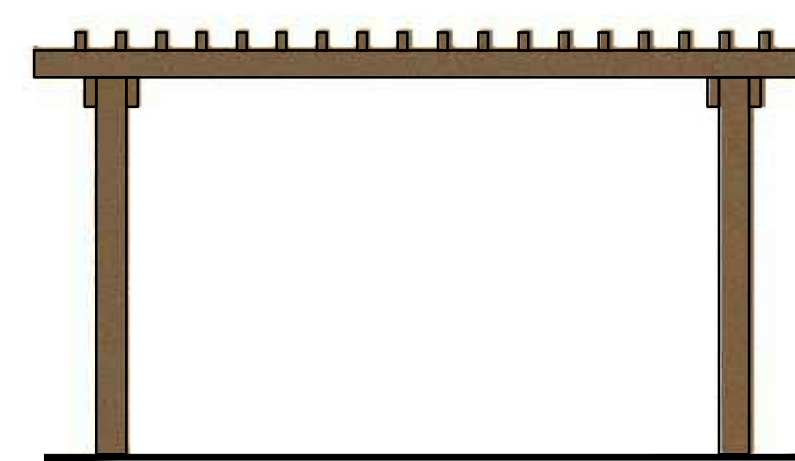
MATCHLINE - SEE SHEET L-1



RECREATION AREA ENLARGEMENT



PRIVATE YARD AREA, (TYP.)



RECREATION AREA SHADE TRELLIS



STAMPED CONCRETE



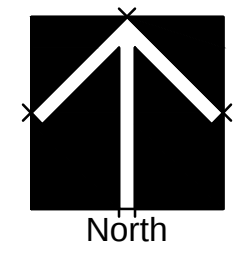
PLAY STRUCTURE



PICNIC TABLE

10' WIDE COLORED, STAMPED CONCRETE BAND, DAVIS 'TERRA COTTA' COLOR, 18" TILE PATTERN

CONCRETE SIDEWALK, (TYP.)



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CHECKED BY: ---
APPROVED BY: ---

PREPARED BY: rla 2681

HOWARD ASSOCIATES
landscape architecture
1951 Fourth Avenue, Ste. 302
San Diego, CA 92101 (619) 718-9660

Baseline and Palmetto Avenue
FONTANA, CA 92338

LANDSCAPE CONCEPT PLAN

prepared for
MONTE VISTA HOMES

SHEET NO:
L-2
SHEET 2 OF 4

PLANT LEGEND							WUCOLS	
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	HT. x W	GROWTH RATE	FUNCTION	ZONE	4
	STREET TREES (BASELINE AVENUE): (36" BOX SIZE AT 30' O.C.)		16					
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW		40' x 20'	MOD	STREET TREE	M	
	STREET TREES (PALMETTO AVENUE): (36" BOX SIZE AT 30' O.C.)		6					
	PLATANUS ACERIFOLIA 'BLOODGOOD'	PLANE TREE		40' x 30'	MOD	STREET TREE	M	
	SMALL ACCENT TREES: (24" BOX SIZE)		27					
	LAGERSTROMIA INDICA	GRAPE MYRTLE		25' x 20'	MOD	FLOWERING THEME TREE	M	
	LAURUS NOBILIS	BAY LAUREL		40' x 30'	MOD	FLOWERING THEME TREE	L	
	TRISTANOPSIS LAURINA	WATER GUM		35' x 20'	SLOW	EVERGREEN THEME TREE	M	
	THEME TREES: (24" BOX SIZE)		28					
	ARBUTUS MARINA	STRAWBERRY TREE		40' x 30'	MOD	ACCENT TREE, STD. FORM	L	
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW		40' x 30'	MOD	ACCENT TREE, STD. FORM	M	
	LOPHOSTEMON CONFERTA	BRISBANE BOX		60' x 40'	MOD	ACCENT TREE, STD. FORM	M	
	PRIVATE SLOPE TREES: (15 GAL. SIZE)		19					
	CERCIS OCCIDENTALIS	WESTERN REDBUD		25' x 20'	LOW	ACCENT TREE, STD. FORM	M	
	EVERGREEN HEDGE AND SCREENING SHRUBS: (5 GAL. SIZE AT 3'-4' O.C.)		MIN. QTY. 200					
	ARBUTUS COMPACTA	NCN		6' x 4'	MOD	EVERGREEN HEDGE	L	
	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE		6' x 4'	MOD	EVERGREEN HEDGE	L	
	LIGUSTRUM JAPONICUM TEXANUM	TEXAS PRIVET		6' x 4'	MOD	EVERGREEN HEDGE	M	
	MYRTUS COMMUNIS	COMMON MYRTLE		8' x 12'	MOD	ACCENT SHRUB	M	
	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN		5' x 5'	MOD	ACCENT SHRUB	M	
	TECOMA X 'ORANGE JUBILEE'	ORANGE BELLS		8' x 6'	MOD	ACCENT SHRUB	M	
	WESTRINGIA F. 'BLUE GEM'	BLUE GEM COAST ROSEMARY		4' x 3'	MOD	EVERGREEN HEDGE	L	
	MASSING SHRUBS: (1 GAL. SIZE AT 3' O.C.)		MIN. QTY. 200					
	AGAVE ATTENUATA	FOXTAIL AGAVE		4' x 5'	MOD	ACCENT SUCCULENT	L	
	HESPERALOE PARVIFLORA	RED YUCCA		3' x 3'	MOD	FLOWERING SUCCULENT	L	
	ILEX 'STOKES DWARF'	STOKES DWARF HOLLY		3' x 3'	MOD	MASSING SHRUB	L	
	MUHLENBERGIA CAPILLARIS	PINK MUHLY		3' x 3'	MOD	ORNAMENTAL GRASS	L	
	RHAPHIOLEPIS U. 'MINOR'	DWARF YEDDO HAWTHORN		4' x 3'	MOD	FLOWERING SHRUB	M	
	SALVIA GREGGII	TEXAS SAGE		4' x 3'	MOD	FLOWERING SHRUB	L	
	SALVIA 'SUNSET'	SUNSET SAGES		4' x 3'	MOD	FLOWERING SHRUB	L	
	DRIVE AISLE SHRUBS: (5 GAL. SIZE)		MIN. QTY. 120					
	LIGUSTRUM TEXANUM	TEXAS PRIVET		6' x 4'	MOD	EG. SHRUB BETWEEN GARAGES ALONG DRIVE AISLES	M	
	SMALL ACCENT SHRUBS: (1 GAL. SIZE AT 2'-3' O.C.)		MIN. QTY. 100					
	AGAVE LOPHANTHA 'QUADRICOLOR'	CENTURY PLANT		2' x 2'	MOD	ACCENT SUCCULENT	L	
	ANIGOZANTHUS SPP.	KANGAROO PAW		2' x 2'	MOD	VERTICAL ACCENT	L	
	BULBINE FRUTESCENS	STALKED BULBINE		2' x 2'	FAST	FLOWERING ACCENT	L	
	CAREX PANSA	DUNE SEDGE		1' x 2'	MOD	ACCENT GRASS	M	
	SPREADING GROUND COVER: (1 GAL. SIZE AT 2'-3' O.C.)							
	LOMANDRA L. 'BREEZE'	DWARF MAT RUSH		2' x 2'	MOD	TEXTURED GROUNDCOVER	L	
	SALVIA M. 'JADE CARPET'	JADE CARPET SAGE		2' x 6'	FAST	MOUNDING GROUNDCOVER	L	
	SENEGIO SERPENS	BLUE CHALK STICKS		1' x 2'	FAST	ACCENT GROUNDCOVER	L	
	SLOPE GROUND COVER: (FLATS @ 12" O.C.)							
	BACCHARIS 'PIGEON POINT'	COYOTE BRUSH		1' x 6'	FAST	BANK STABILIZING G.C.	L	
	SCREENING VINES: (5 GAL. STAKED)							
	BOUGAINVILLEA SPP.	BOUGAINVILLEA		20'	FAST	FLOWERING VINE	L	
	LAWN:							
	MARATHON DWARF FESCUE							

Landscape and Maintenance Notes:

General:

- All landscape and irrigation shall conform to the design standards and guidelines of the City of Fontana and the City of Fontana 'Water Efficient Landscape Documentation Package Submittal Requirements'.

Irrigation:

- The irrigation system will be designed to afford optimum coverage for the support of plant growth. The coverage will meet the water requirements for the selected plant material within a given planting areas and the type of exposure. The irrigation system will be designed with respect to water conservation. All irrigation will be sub-surface drip and bubblers. The irrigation system shall be a fully automatic system and as maintenance-free as possible. The materials for the system will be of an extremely durable nature, and will have been selected for wear resistance and long life. The overall system shall be designed for ease of maintenance.
- A separate, potable, designated irrigation water meter shall be installed.

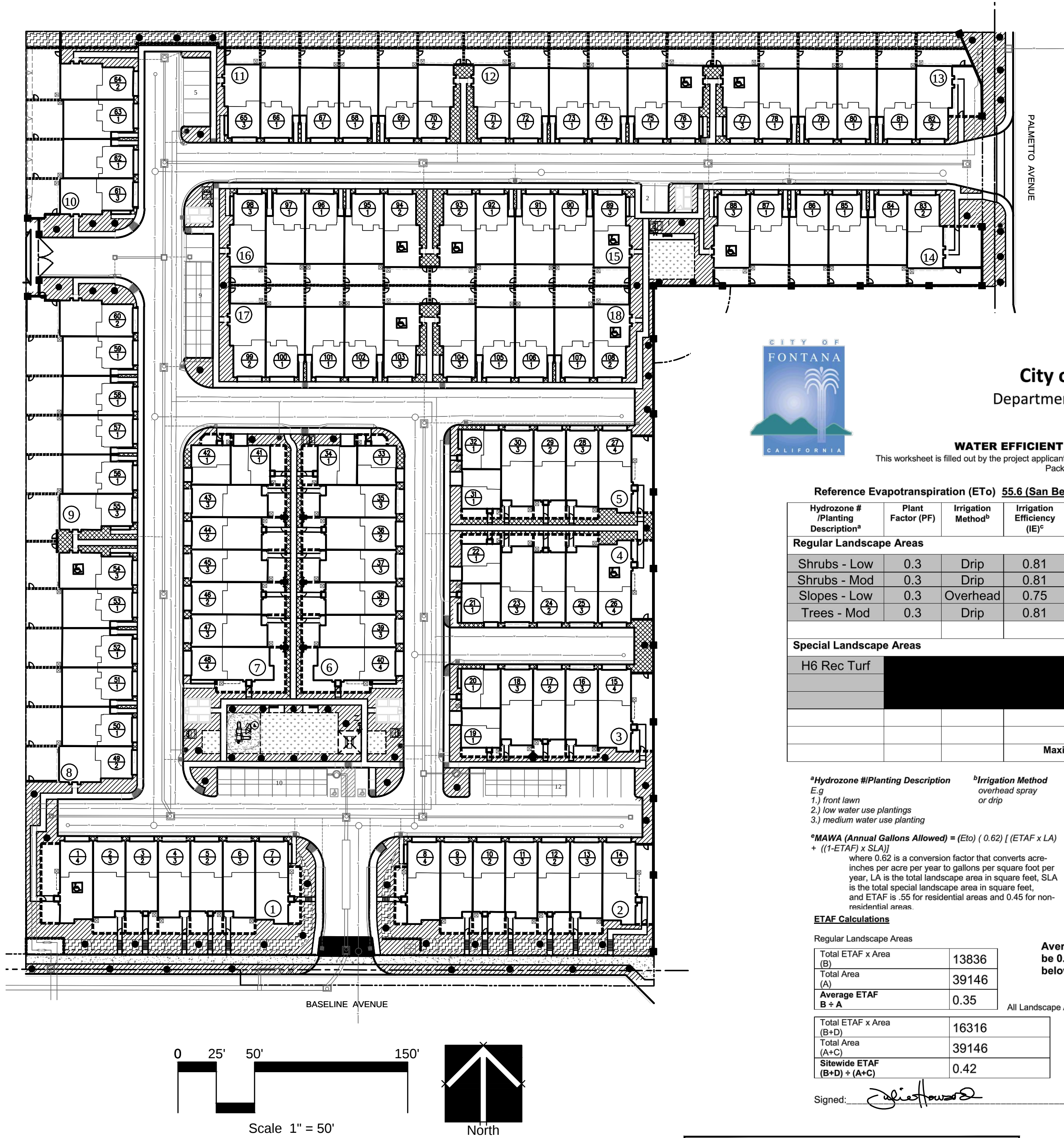
Planting:

- All plant material shall be WUCOLS Zone 4 rated as low or moderate for water use. Plant material shall be grouped according to sun and wind exposure and water requirements. Tall shrubs, trees and vines shall screen perimeter walls and utilities. All proposed plant material shall be non-invasive.
- Plants chosen for North sides of buildings, walls and fences shall be species which can tolerate dense shade.
- Accent shrubs shall be utilized for entries and focal points, to provide textural and flowering interest.
- 36" Box trees shall have a min caliper of 2 1/2"
- 24" Box trees shall have a min. caliper of 1 1/2"

Maintenance:

- All landscape shown on this plan shall be maintained by the Homeowners' Association. The landscape areas shall be kept free of litter and debris, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

HYDROZONE MAP



City of Fontana
Department of Engineering

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) 55.6 (San Bernardino)							
Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)²	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)³
Regular Landscape Areas							
Shrubs - Low	0.3	Drip	0.81	0.37	20,274	7,509	258,846
Shrubs - Mod	0.3	Drip	0.81	0.37	7,748	2,870	98,922
Slopes - Low	0.3	Overhead	0.75	0.40	8,644	3,458	119,190
Trees - Mod	0.3	Drip	0.81	0.37	2,400	889	30,642
				Totals	39,066	13,836	507,600
Special Landscape Areas							
H6 Rec Turf				1	2,480	2,480	85,491
				1			
				1			
				Totals	2,480	2,480	85,491
						ETWU Total	593,091
						Maximum Allowed Water Allowance (MAWA)⁴	826,166

*Hydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

²Irrigation Method
overhead spray
or drip

³Irrigation Efficiency
0.75 for spray head
0.81 for drip

⁴ETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion
factor that converts acre-
inches per acre per year to
gallons per square foot per
year.

MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA)
+ ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-
inches per acre per year to gallons per square foot per
year, LA is the total landscape area in square feet, and
SLA is the total special landscape area in square feet,
and ETAF is .55 for residential areas and 0.45 for non-
residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area (B)	13836
Total Area (A)	39146
Average ETAF (B ÷ A)	0.35
Total ETAF x Area (B+D)	16316
Total Area (A+C)	39146
Sitewide ETAF (B+D) ÷ (A+C)	0.42

All Landscape Areas

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Signed: Date: 11-17-2025

Minimum Street Tree Separation Distance

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
SEWER LINES	10'
ABOVE GROUND UTILITY STRUCTURES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'

BIKE RACKS REQUIRED:
1/4 UNITS = 6 EA,
80% LONG TERM PROVIDED WITHIN UNITS
20% SHORT TERM OUTSIDE=3 EA MIN.

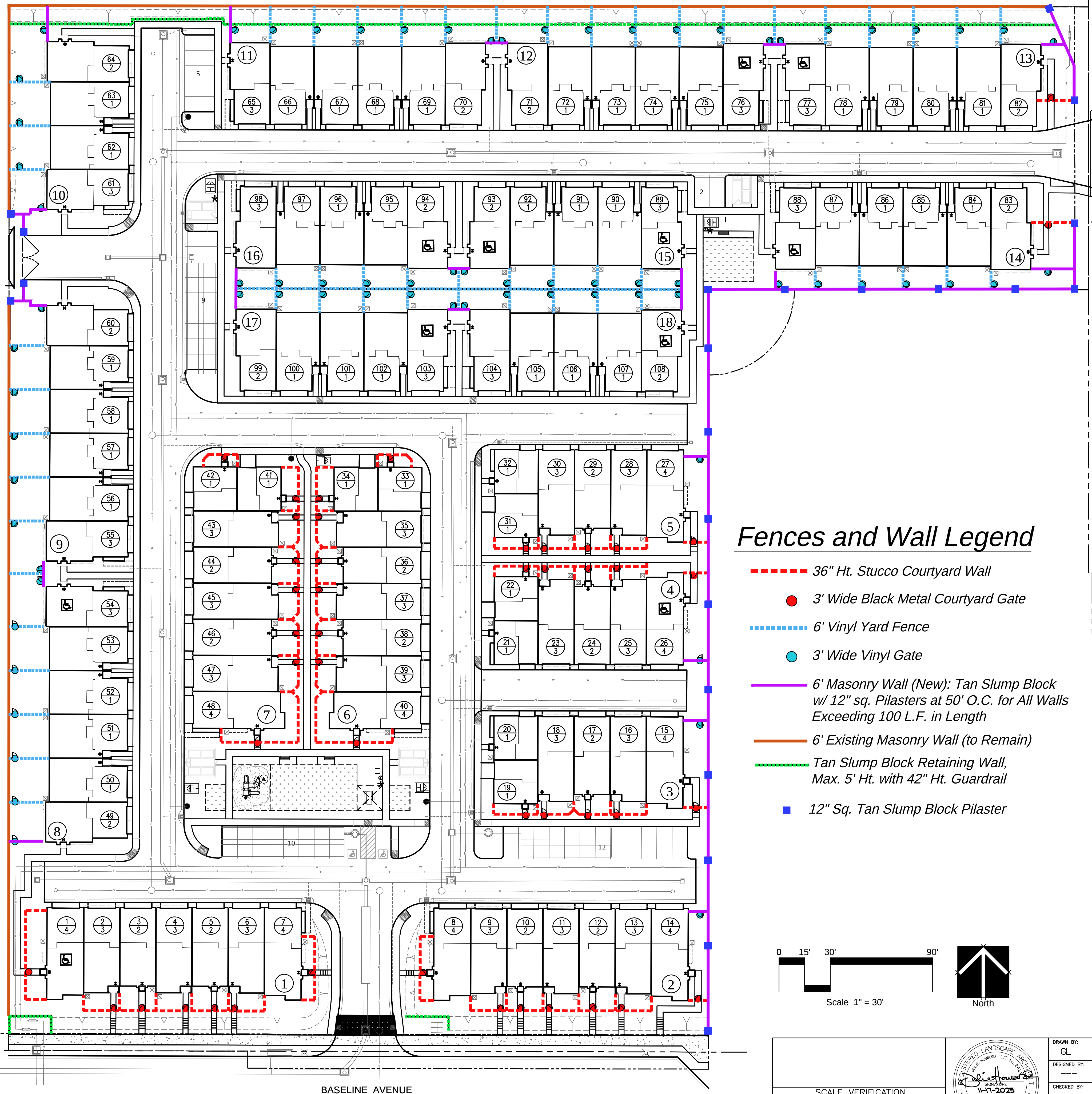
LANDSCAPE CALCULATIONS

SITE AREA LESS BLDG. FOOTPRINTS 171,243 SF
REQUIRED LANDSCAPING AREA (15%) 25,687 SF
LANDSCAPING AREA PROVIDED (23%) 38,566 SF
TREES REQUIRED (1/300 SF REQUIRED LANDSCAPE) : 87 EA
TREES PROVIDED : 96 EA
36" BOX TREES REQUIRED (20%) : 17 EA
36" BOX TREES PROVIDED : 22 EA
SHRUBS REQUIRED (3 PER TREE) : 288 EA (50% 5 GAL)
SHRUBS PROVIDED : 620 EA
5 GAL SHRUBS PROVIDED : 320 EA

LOT COVERAGE

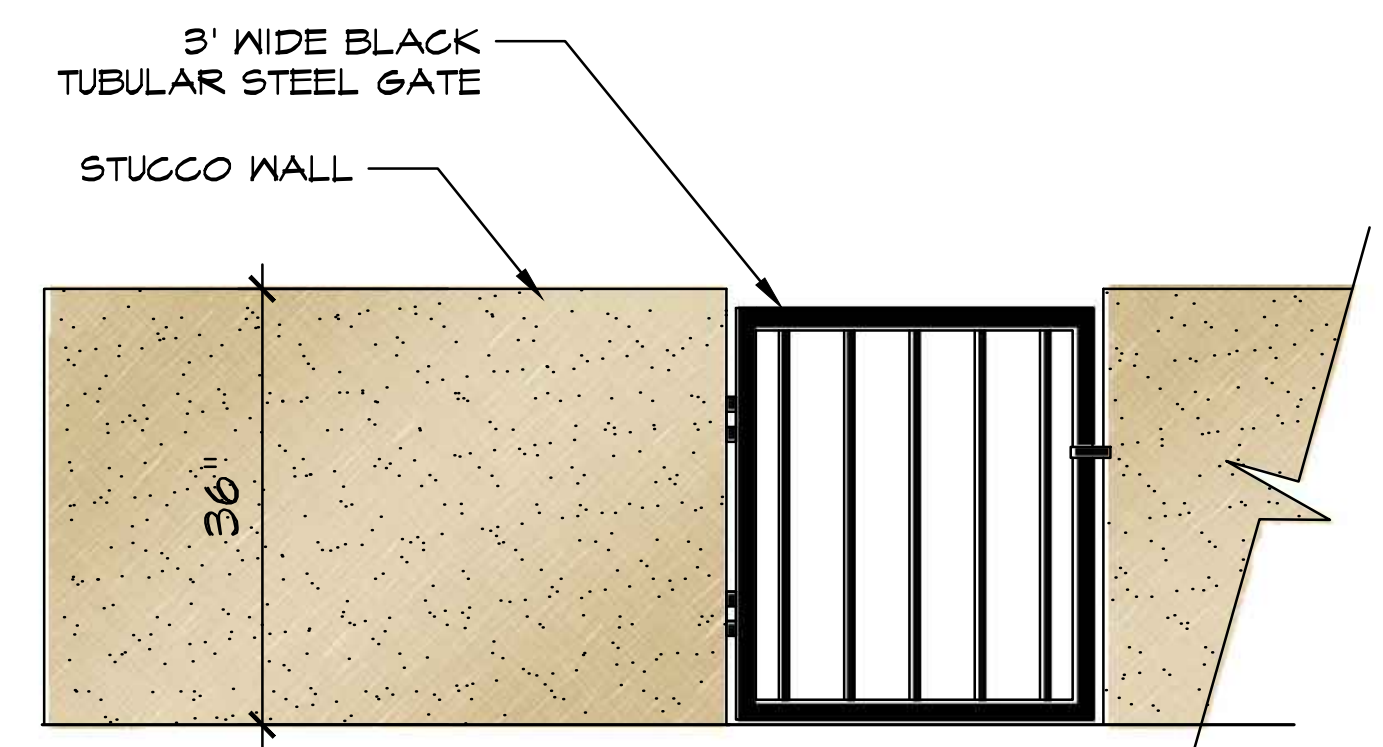
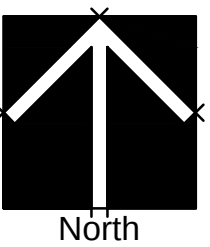
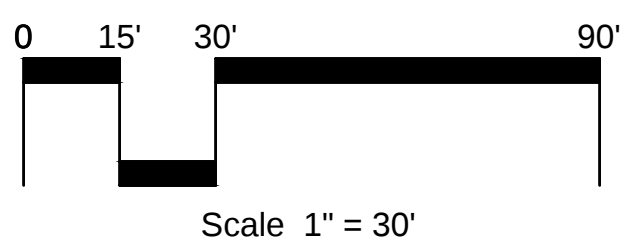
SITE AREA 284,446 SF - 100%
DRIVES / PARKING 64,856 SF - 23%
BUILDINGS 113,203 SF - 40%
PRIVATE YARDS 44,663 SF - 16%
COMMON OPEN SPACE INCLUDING AMENITY AREA PASEOS AND RECREATION AREAS 56,751 SF - 20%
REMAINING LANDSCAPE AREA 4,973 SF - 2%

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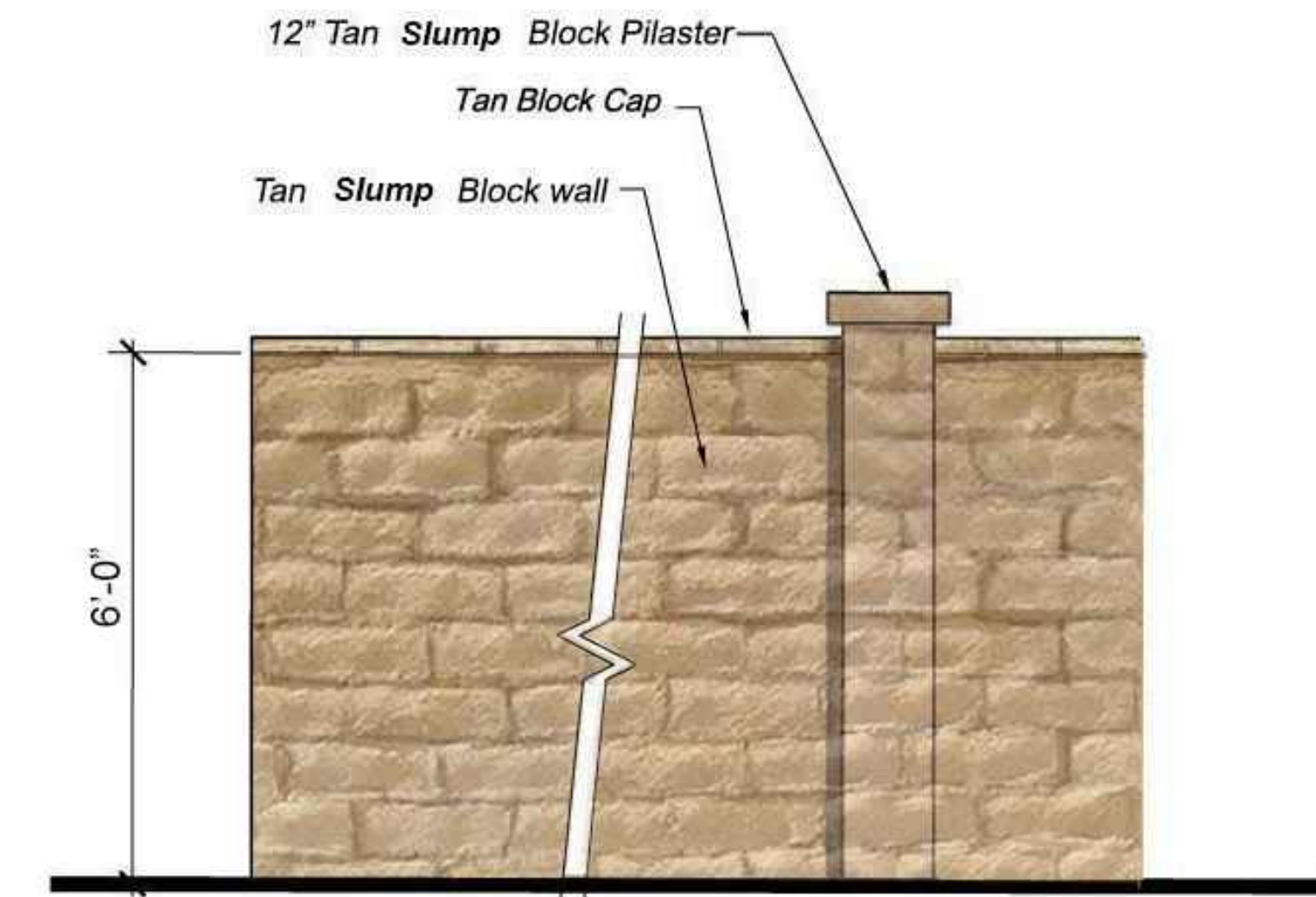


Fences and Wall Legend

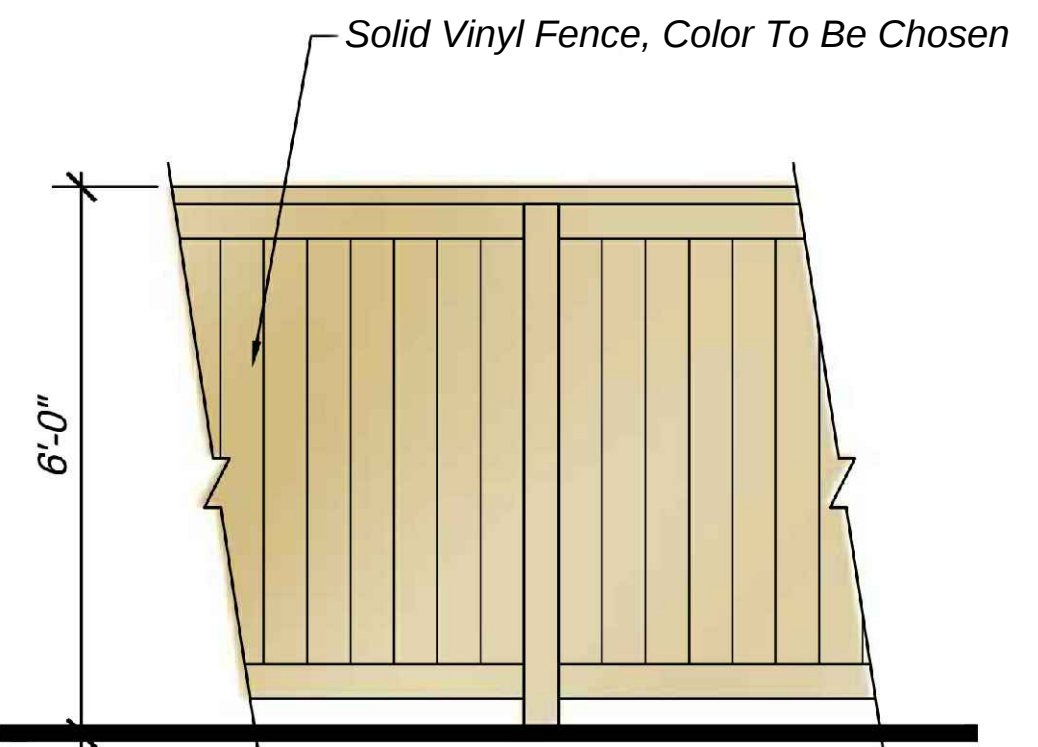
- 36" Ht. Stucco Courtyard Wall
- 3' Wide Black Metal Courtyard Gate
- 6' Vinyl Yard Fence
- 3' Wide Vinyl Gate
- 6' Masonry Wall (New): Tan Slump Block w/ 12" sq. Pilasters at 50' O.C. for All Walls Exceeding 100 L.F. in Length
- 6' Existing Masonry Wall (to Remain)
- Tan Slump Block Retaining Wall, Max. 5' Ht. with 42" Ht. Guardrail
- 12" Sq. Tan Slump Block Pilaster



36" COURTYARD WALL AND GATE CONCEPT

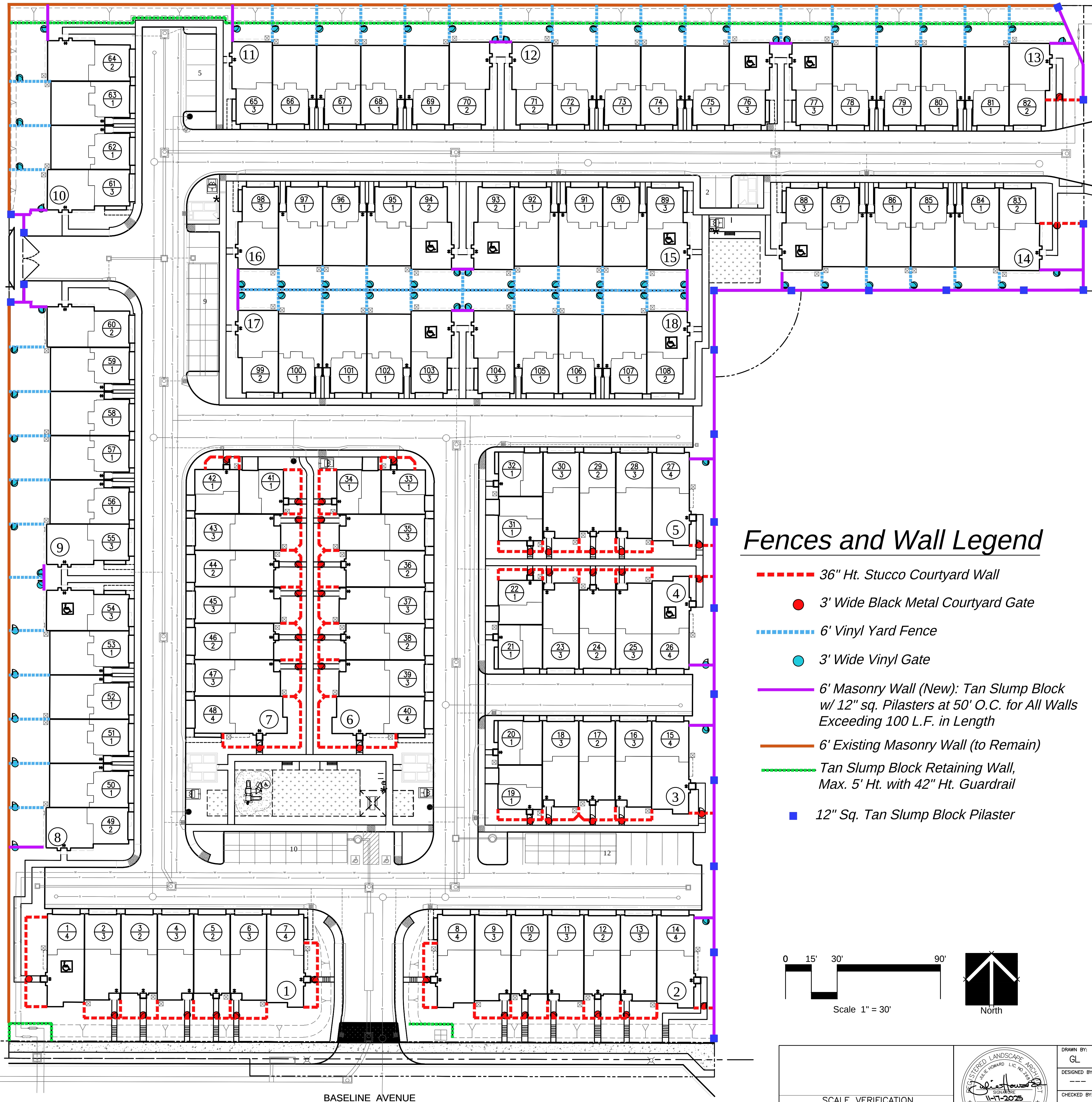


Masonry Wall Preliminary Concept



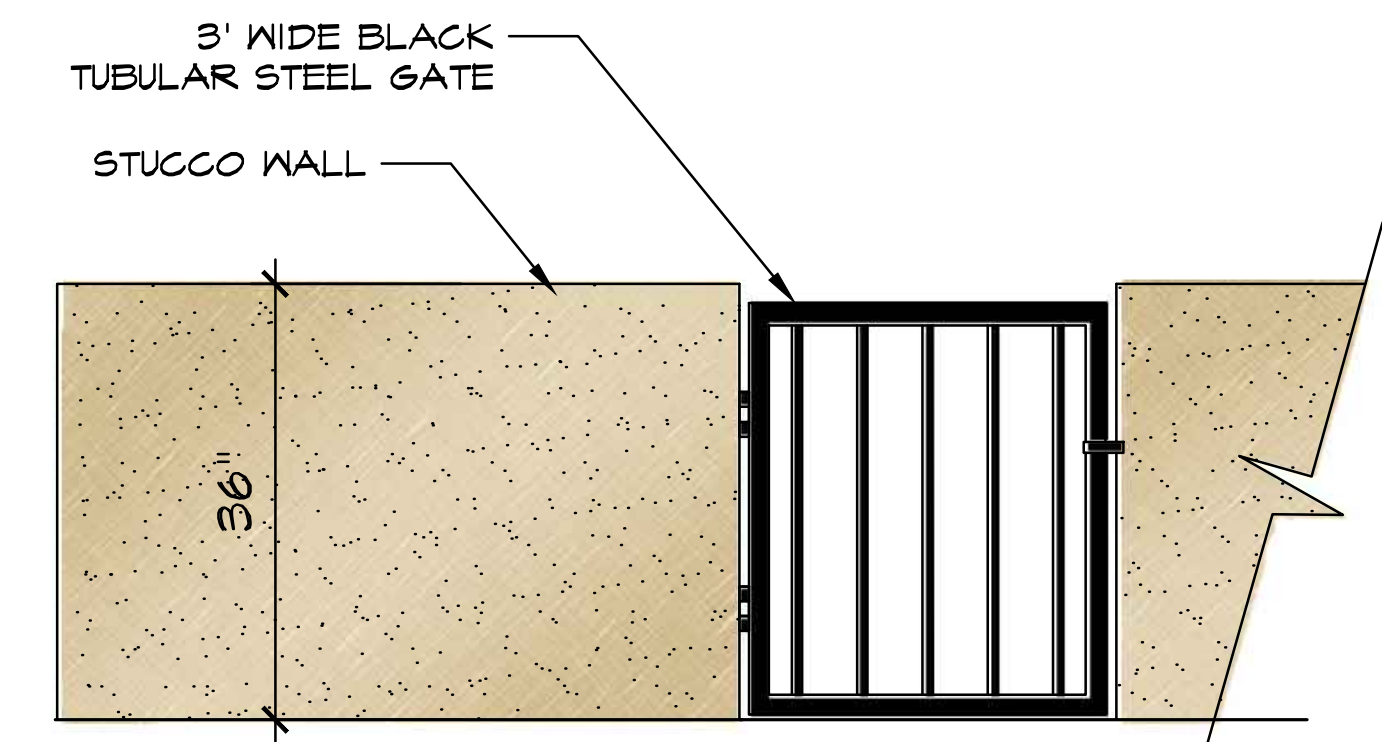
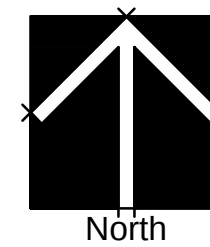
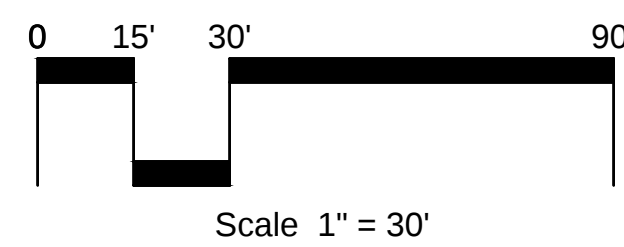
6' YARD FENCE CONCEPT

SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY		DRAWN BY: GL	PREPARED BY: rla 2681	HOWARD ASSOCIATES landscape architecture 1951 Fourth Avenue, Ste. 302 San Diego, CA 92101 (619) 718-9660	Baseline and Palmetto Avenue FONTANA, CA 92338	SHEET NO: L-4 SHEET 4 OF 4
		DESIGNED BY: ---				

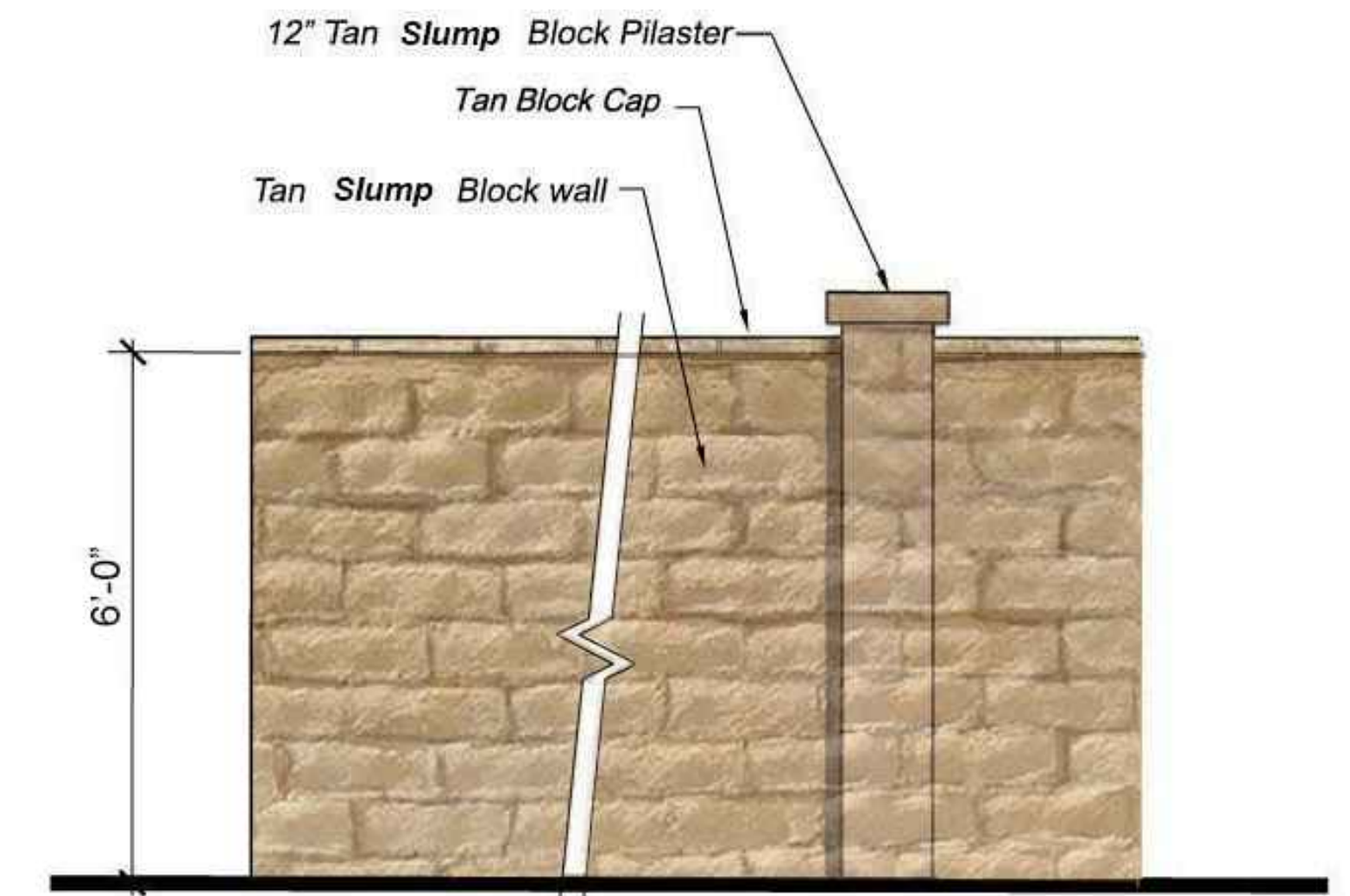


Fences and Wall Legend

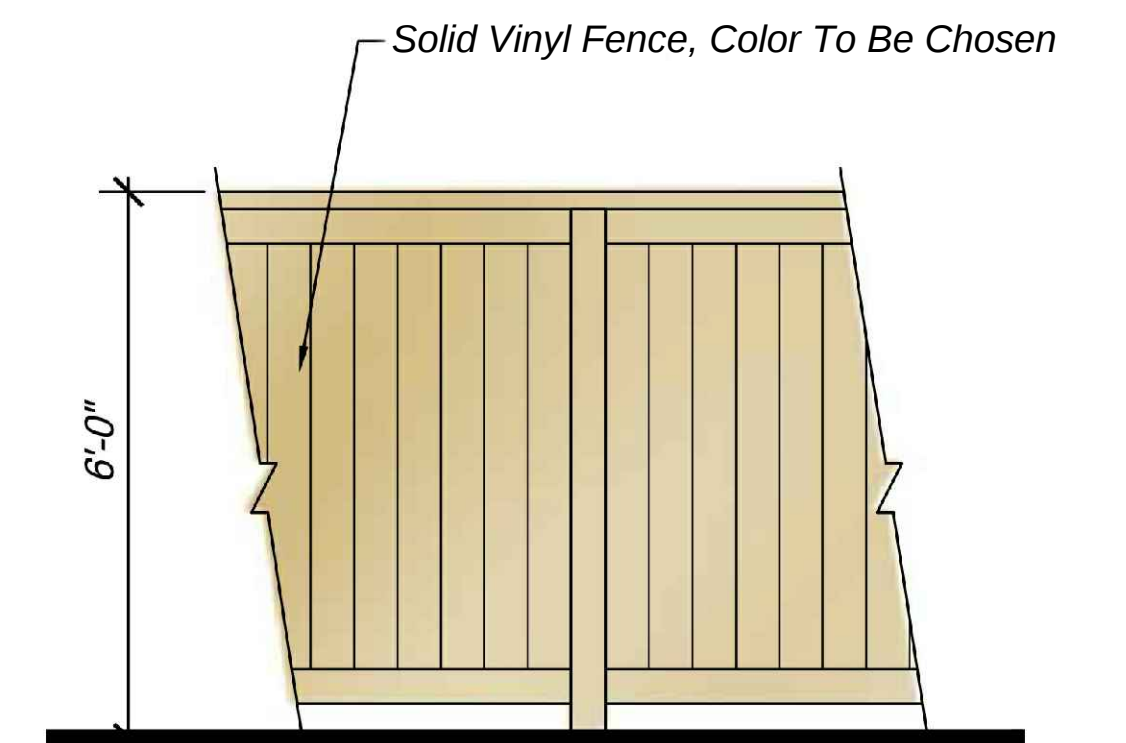
- 36" Ht. Stucco Courtyard Wall
- 3' Wide Black Metal Courtyard Gate
- 6' Vinyl Yard Fence
- 3' Wide Vinyl Gate
- 6' Masonry Wall (New): Tan Slump Block w/ 12" sq. Pilasters at 50' O.C. for All Walls Exceeding 100 L.F. in Length
- 6' Existing Masonry Wall (to Remain)
- Tan Slump Block Retaining Wall, Max. 5' Ht. with 42" Ht. Guardrail
- 12" Sq. Tan Slump Block Pilaster



36" COURTYARD WALL AND GATE
CONCEPT

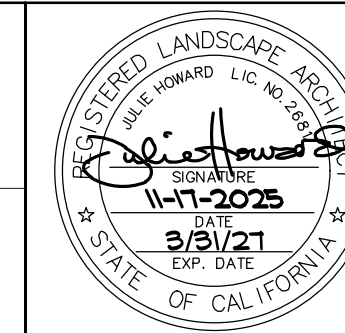


Masonry Wall
Preliminary Concept



6' YARD FENCE
CONCEPT

SCALE VERIFICATION
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IF NOT ONE INCH ON THIS SHEET
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DESIGNED BY: ---
CHECKED BY: ---
APPROVED BY: ---

PREPARED BY: rla 2681
HOWARD ASSOCIATES
landscape architecture
1951 Fourth Avenue, Ste. 302
San Diego, CA 92101 (619) 718-9660

Baseline and Palmetto Avenue
FONTANA, CA 92338
description
WALL AND FENCE PLAN
prepared for
MONTE VISTA HOMES

SHEET NO:
L-4
SHEET 4 OF 4

BASELINE & PALMETTO

FONTANA, CA

#25039
06/24/2026

A-1 Conceptual Site Plan

ALLEY LOADED

- A-2 601A Building Composite (6 - Plex) - Floor Plan
- A-3 601A Building Composite (6 - Plex) - Roof Plan
- A-4 601A Building Composite (6 - Plex) - Spanish Elevations
- A-5 701A Building Composite (7 - Plex) - Floor Plan
- A-6 701A Building Composite (7 - Plex) - Roof Plan
- A-7 701A Building Composite (7 - Plex) - Spanish Elevations
- A-8 801A Building Composite (8 - Plex) - Floor Plan
- A-9 801A Building Composite (8 - Plex) - Roof Plan
- A-10 801A Building Composite (8 - Plex) - Spanish Elevations
- A-11 PLAN 1 - Floor Plan
- A-12 PLAN 2 - Floor Plan
- A-13 PLAN 3 - Floor Plan
- A-14 PLAN 4 - Floor Plan

FRONT LOADED

- A-15 400A Building Composite (4 - Plex) - Floor Plan
- A-16 400A Building Composite (4 - Plex) - Roof Plan
- A-17 400A Building Composite (4 - Plex) - Cottage Elevations
- A-18 500A Building Composite (5 - Plex) - Floor Plan
- A-19 500A Building Composite (5 - Plex) - Roof Plan
- A-20 500A Building Composite (5 - Plex) - Cottage Elevations
- A-21 600A Building Composite (6 - Plex) - Floor Plan
- A-22 600A Building Composite (6 - Plex) - Roof Plan
- A-23 600A Building Composite (6 - Plex) - Cottage Elevations
- A-24 PLAN 1 - Floor Plan
- A-25 PLAN 2 - Floor Plan
- A-26 PLAN 3 - Floor Plan
- A-27 Written Color Scheme 1 & Color Board
- A-28 Written Color Scheme 2 & Color Board

Note: For design intent only, not for construction.

MV Investments, Inc.

Developer: MV Investments, Inc.
PO Box 9599,
Alta Loma, CA 91701

Contact: Chris Courtney
Business: (951) 314-8457

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

Architect: Kevin L. Crook Architect, Inc.
1360 Reynolds Ave. Suite 110
Irvine, CA 92614

Contact: Jeff Addison
Business: (949) 660-1568
www.klcarch.com

Site Summary

Gross Site Area:	6.72 Ac (292,570 sq.ft.)
Net Site Area:	6.53 Ac (284,446 sq.ft.)
Total Homes:	108 Units
Product	Units
Alley Loaded	48
Front Loaded	60

Net Density: 16.54 DU/AC

Product Type:	2-Story Townhomes
Occupancy Type:	R3
Construction Type:	VB
Sprinkler Type:	NFPA 13D
Lot Coverage:	113,203 SF (40%)
Street & Driveways:	±64,856 SF (23%)
Private Yards:	±44,663 SF (16%)

Building Setbacks

Baseline Ave:	20'
Palmetto Ave:	19.8'
North Side:	21'
West Side:	22.3'

Unit Summary:

Alley Loaded Product

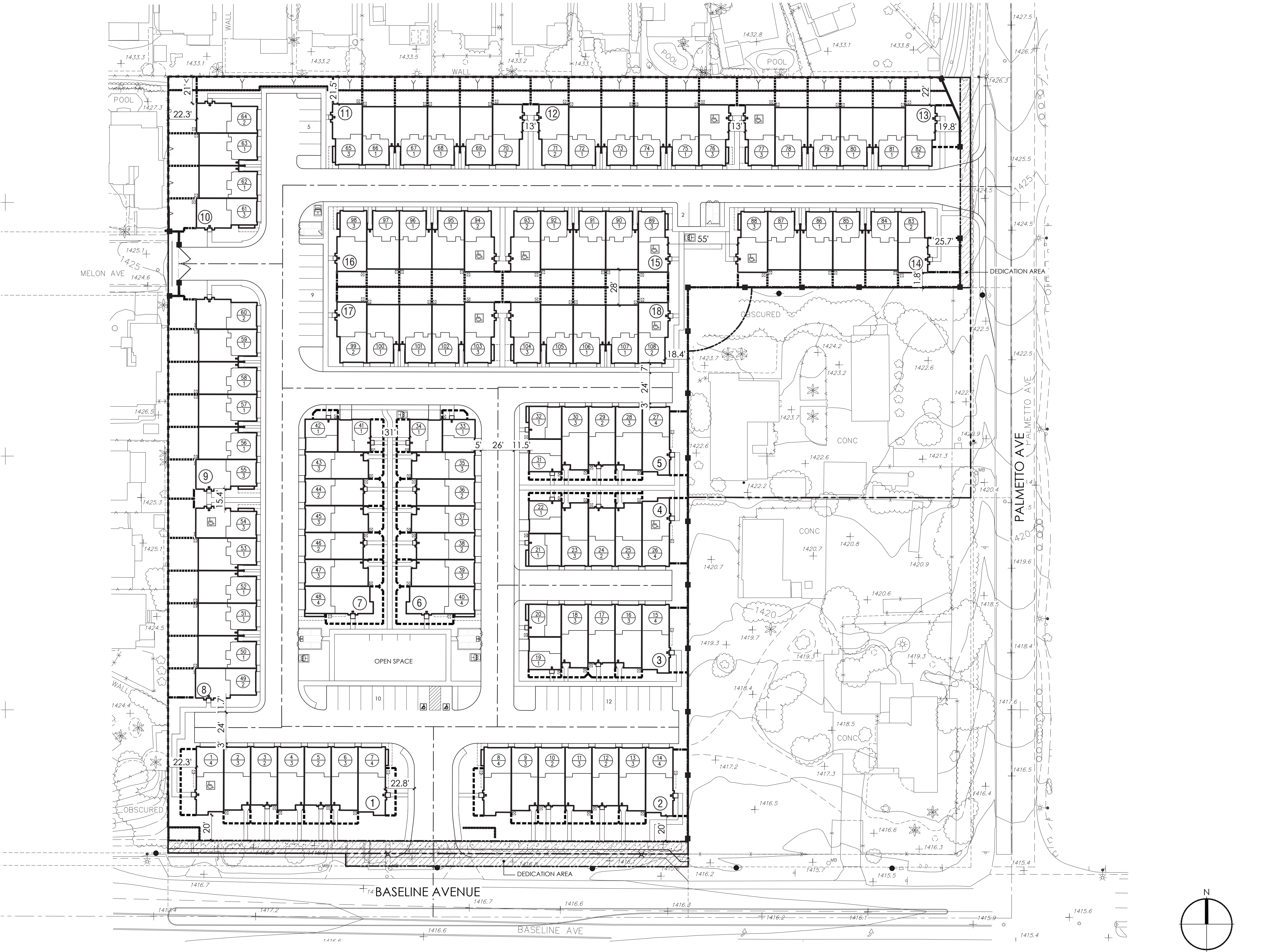
Plan	Type	Sq.Ft.	#Units	%
1	2 BR/ 2 BA	935	10	21
2	3 BR/ 2.5 BA	1,420	11	22
3	3 BR/ 2.5 BA	1,517	18	38
4	4 BR/ 2.5 BA	1,683	9	19
			48	100

Front Loaded Product

Plan	Type	Sq.Ft.	#Units	%
1	3 BR/ 2.5 BA	1,663	38	64
2	3 BR/ 2.5 BA	1,703	11	18
3	4 BR/ 2.5 BA	1,703	11	18
			60	100

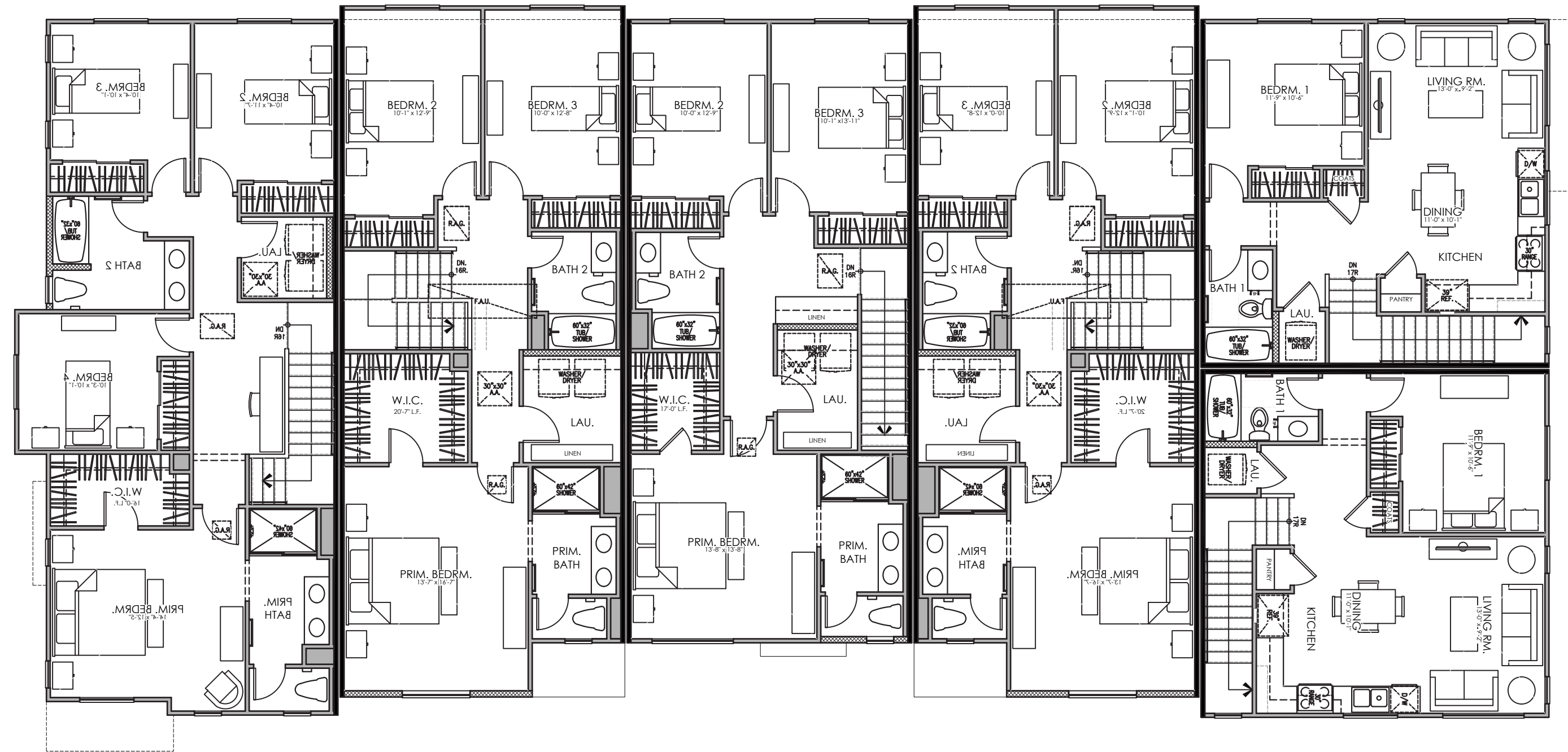
Parking Summary:

Provided Parking
Assigned Parking: 206
Guest Parking: 38 (9'x19' Head-in)
Total Provided Parking: 244 (2.3 Spaces/Unit)

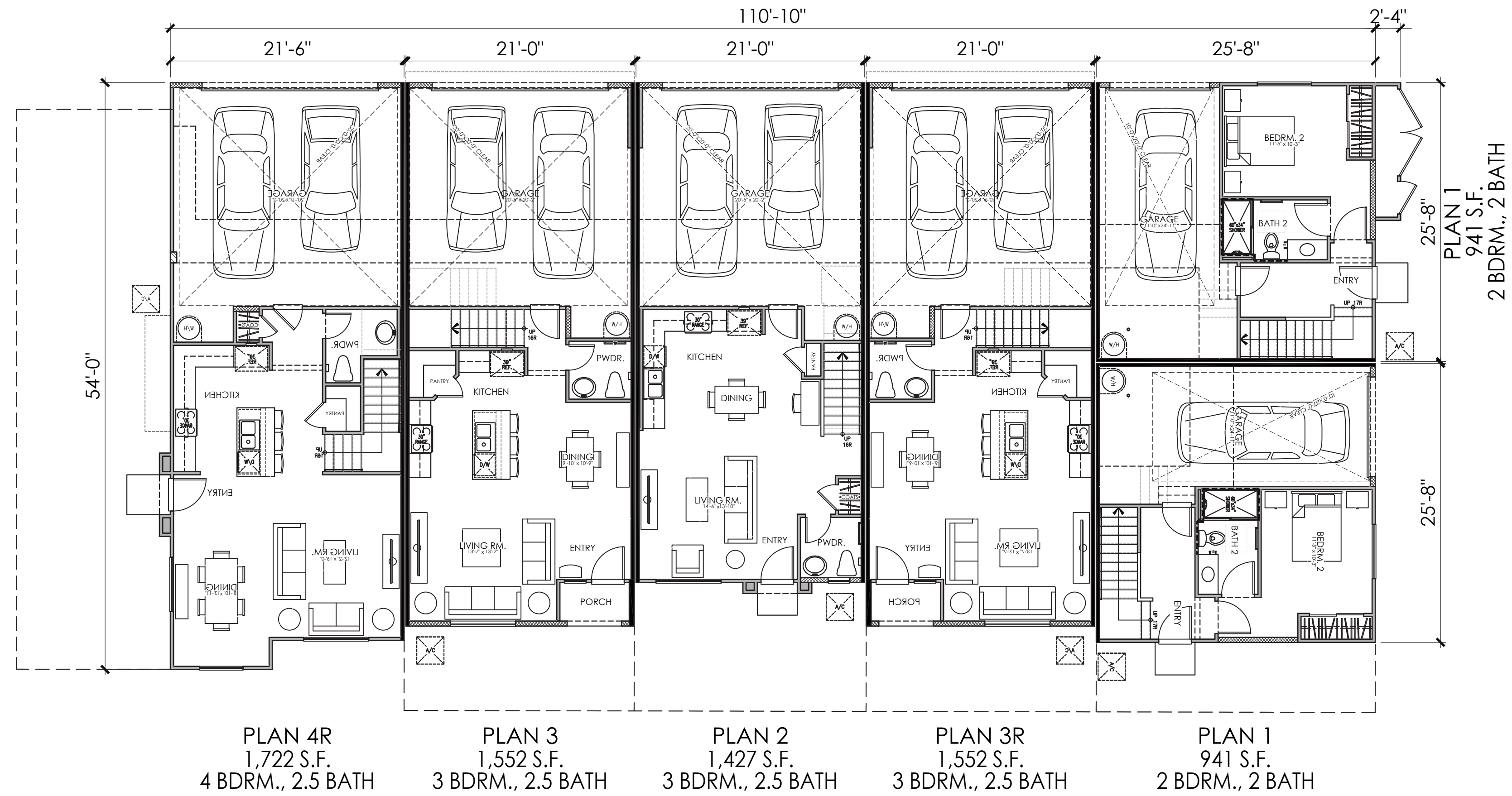


Notes:
1. Site plan is for conceptual purposes only.
2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
3. Base information per parcel map.
4. Civil engineer to verify all setbacks and grading information.
5. Building Footprints may change due to the final design elevation style.
6. Open space area is subject to change.
7. Building setbacks are measured from property lines to building foundation lines.

CONCEPTUAL SITE PLAN



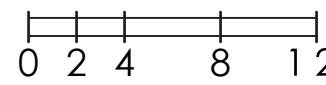
SECOND FLOOR PLAN

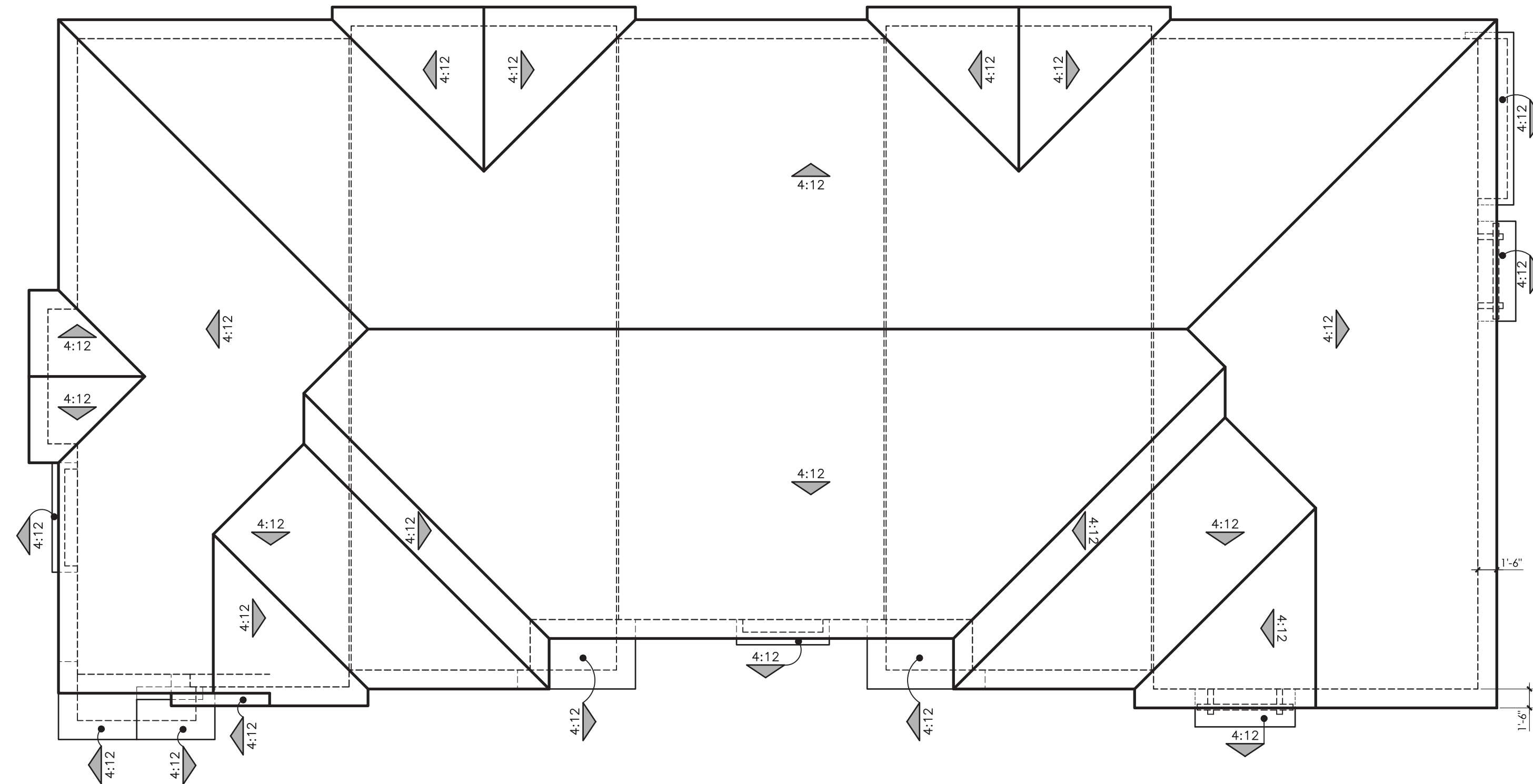


FIRST FLOOR PLAN

601A BUILDING COMPOSITE (6-PLEX)
FLOOR PLAN

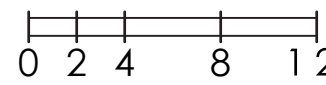
OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS





OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

601A BUILDING COMPOSITE (6-PLEX)
ROOF PLAN



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BASELINE & PALMETTO
FONTANA, CA

ALLEY LOADED

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A-3

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PLANNING + ARCHITECTURE



PLAN 4R PLAN 3 PLAN 2
FRONT PLAN 3R PLAN 1



PLAN 4R
LEFT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
POT SHELF:	FOAM
TRIM:	STUCCO OVER RIGID FOAM



PLAN 1 PLAN 3R PLAN 2
REAR PLAN 3 PLAN 4R



PLAN 1 PLAN 1
RIGHT

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

COLOR SCHEME 1
601A BUILDING COMPOSITE (6-PLEX)
SPANISH ELEVATIONS

0 2 4 8 12

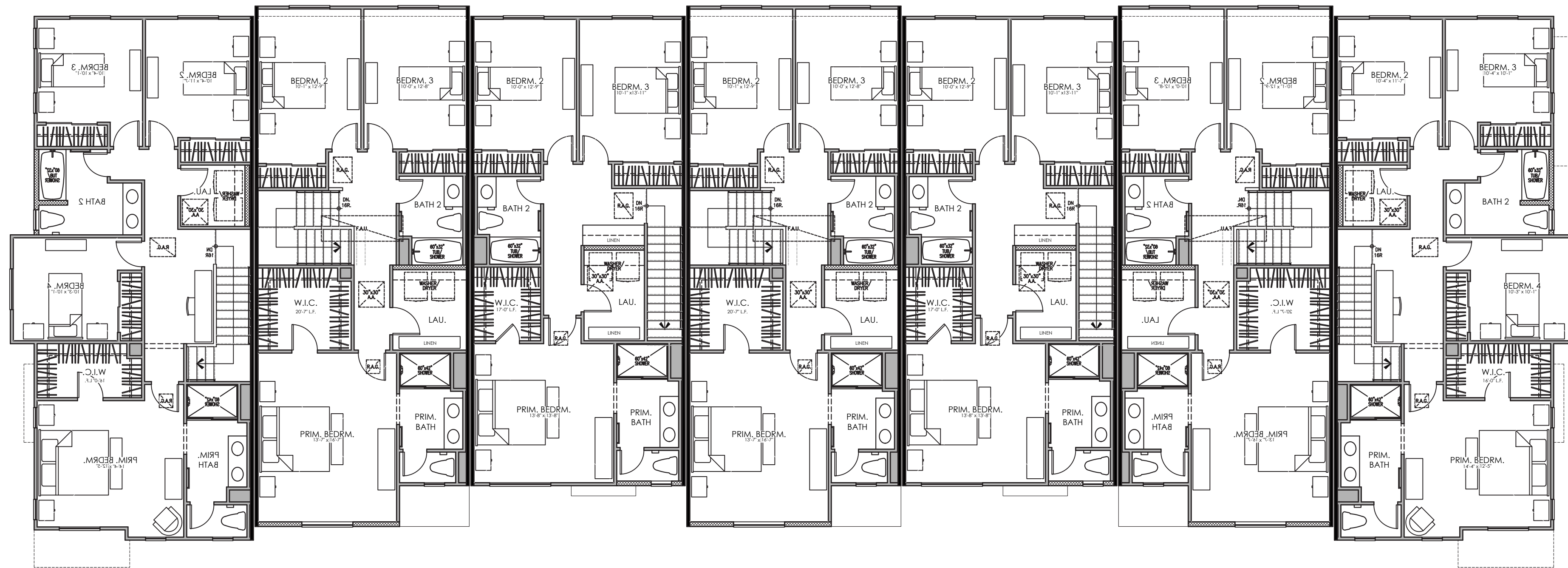
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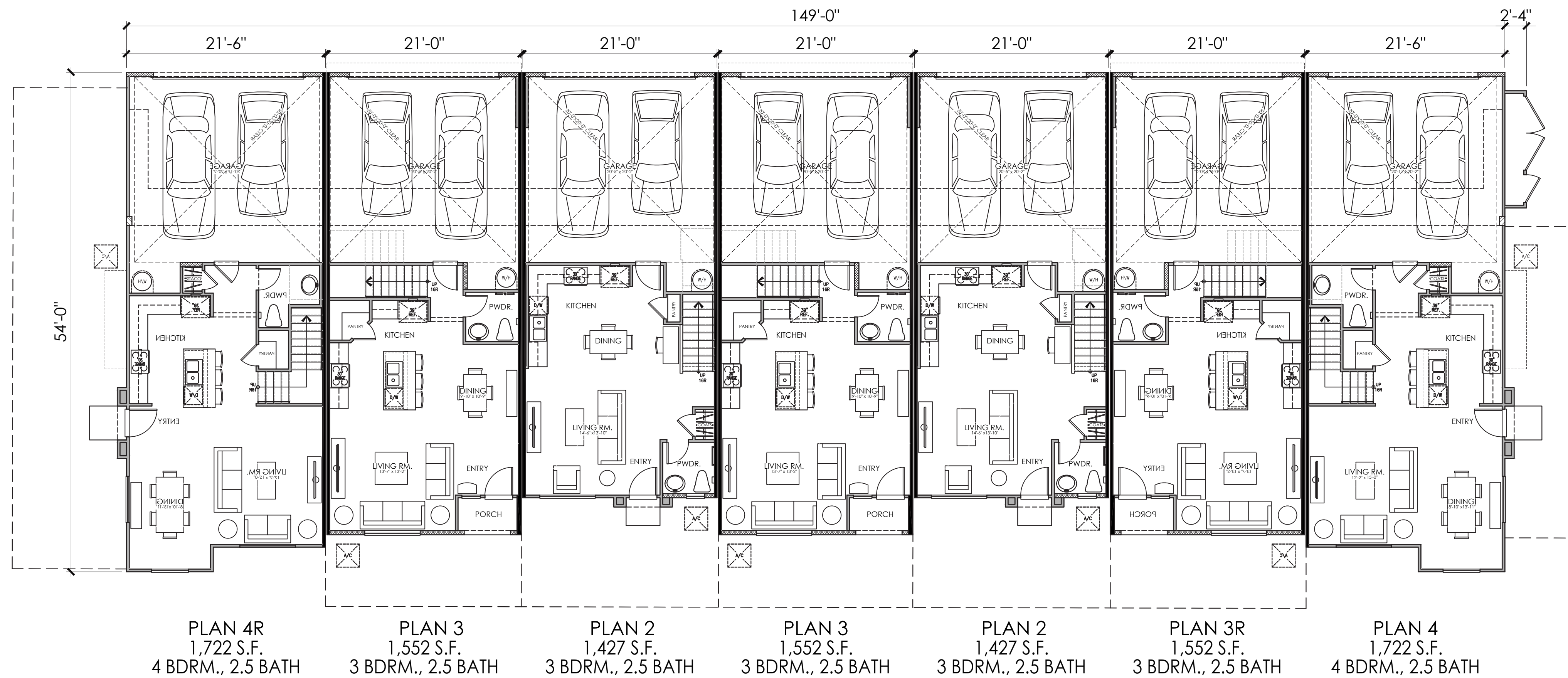
ALLEY LOADED

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

701A BUILDING COMPOSITE (7-PLEX)
FLOOR PLAN

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

0 2 4 8 12

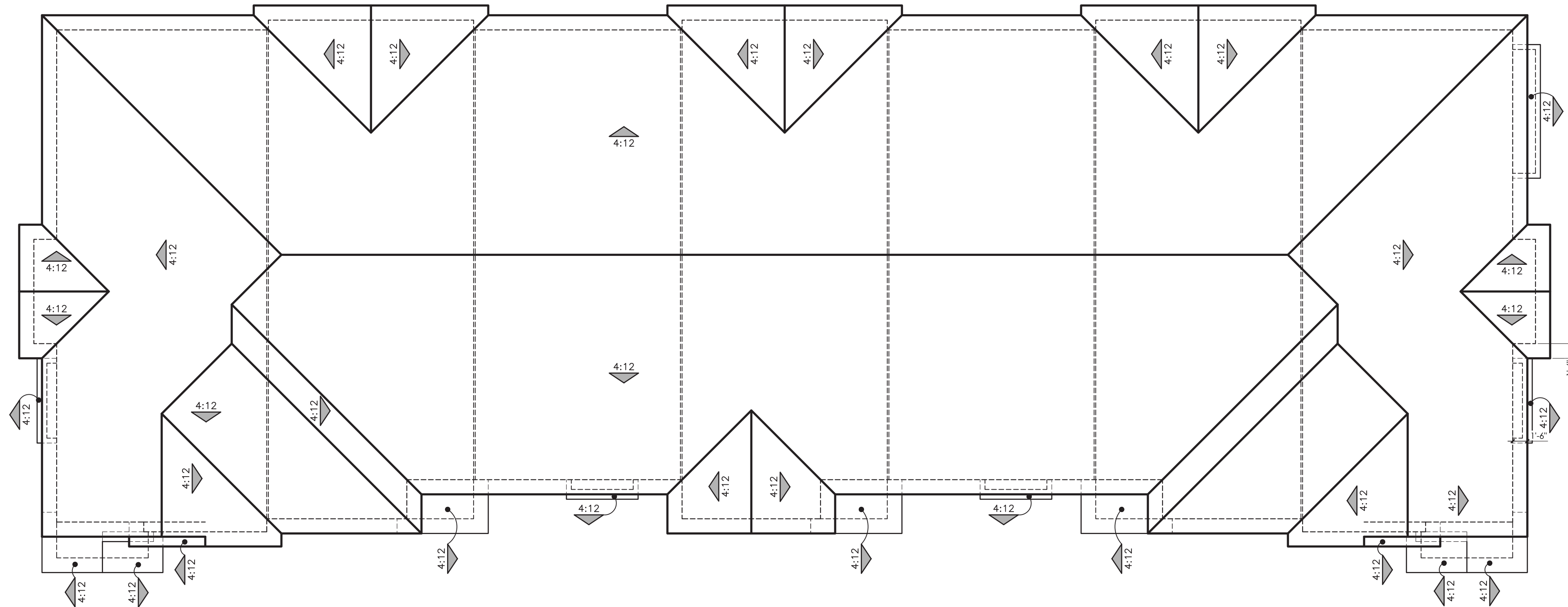
MV Investments, Inc.

BASELINE & PALMETTO
FONTANA, CA

ALLEY LOADED

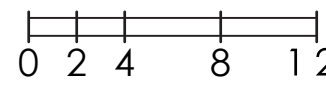
06/24/2026
A-5

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OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

701A BUILDING COMPOSITE (7-PLEX)
ROOF PLAN



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FONTANA, CA

ALLEY LOADED

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PLAN 4R

PLAN 3

PLAN 2

PLAN 3
FRONT

PLAN 2

PLAN 3R

PLAN 4



PLAN 4R
LEFT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
POT SHELF:	FOAM
TRIM:	STUCCO OVER RIGID FOAM



PLAN 4

PLAN 3R

PLAN 2

PLAN 3

PLAN 2

PLAN 3

PLAN 4R

REAR

COLOR SCHEME 1

701A BUILDING COMPOSITE (7-PLEX)

SPANISH ELEVATIONS



PLAN 4
RIGHT

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

0 2 4 8 12

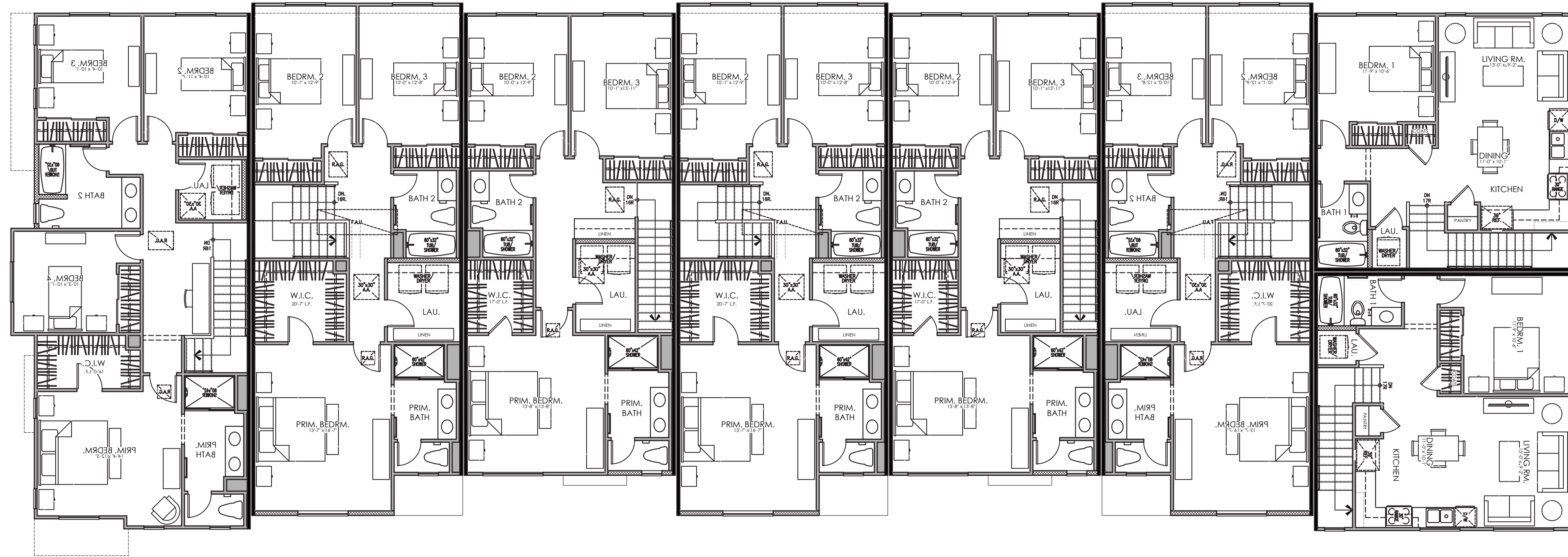
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BASELINE & PALMETTO
FONTANA, CA

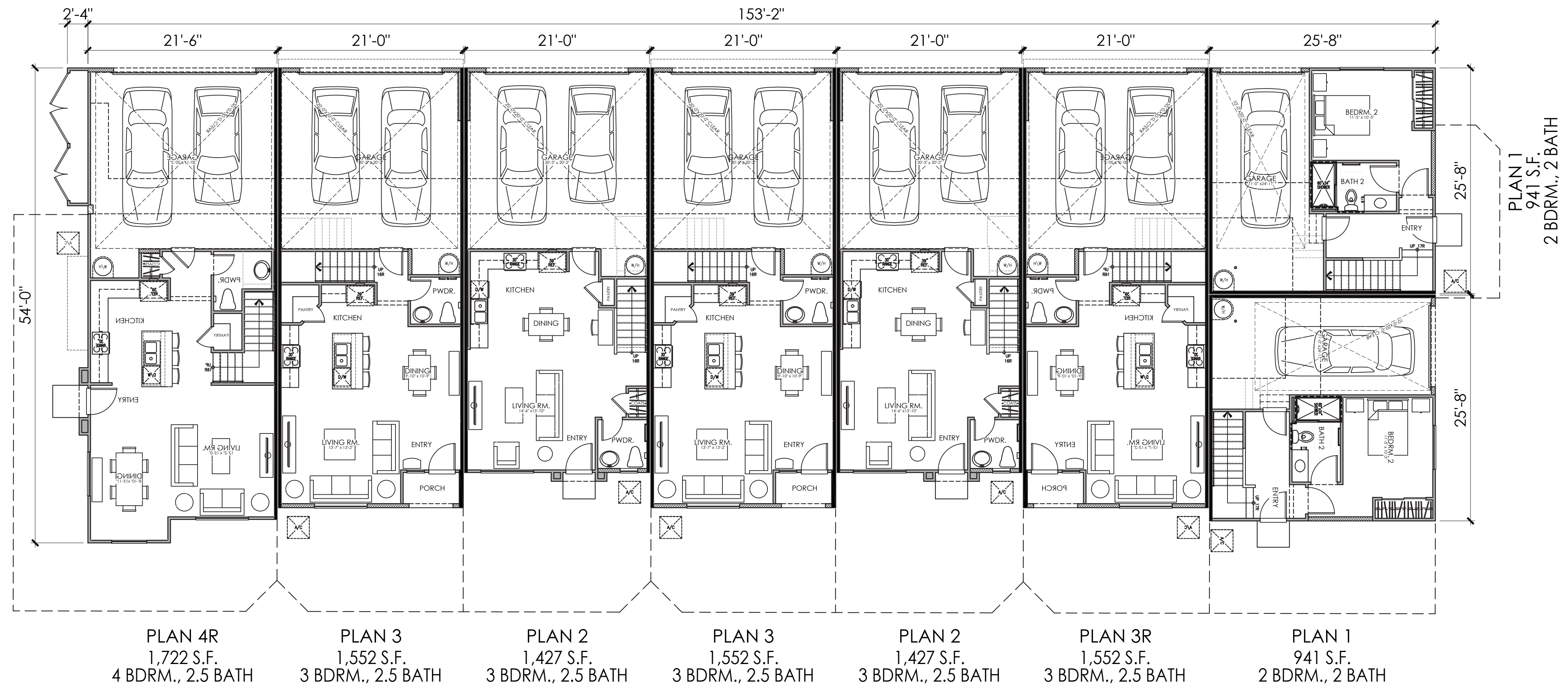
ALLEY LOADED

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

801A BUILDING COMPOSITE (8-PLEX)
FLOOR PLAN

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

0 2 4 8 12

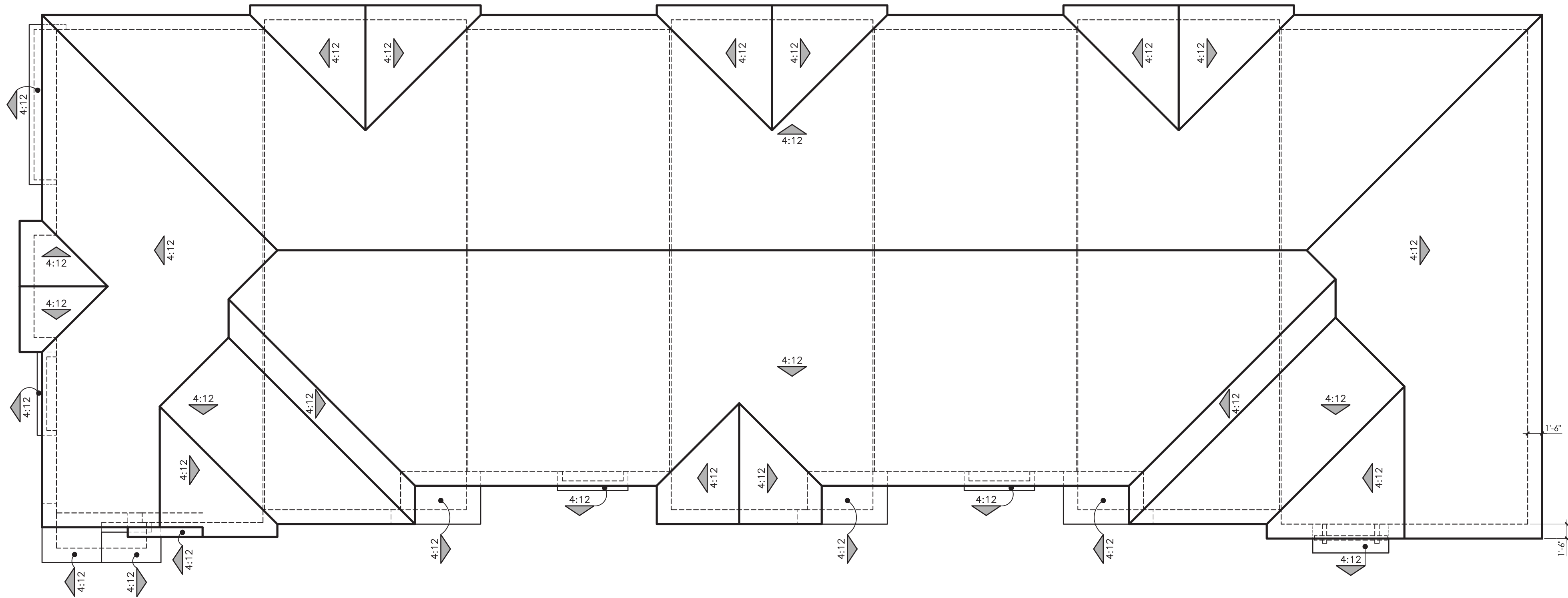
MV Investments, Inc.

BASELINE & PALMETTO
FONTANA, CA

ALLEY LOADED

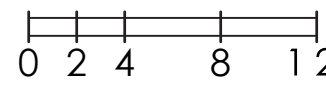
06/24/2026
A-8

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OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

801A BUILDING COMPOSITE (8-PLEX)
ROOF PLAN



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BASELINE & PALMETTO
FONTANA, CA

ALLEY LOADED

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PLAN 4R PLAN 3 PLAN 2 PLAN 3
FRONT PLAN 2 PLAN 3R PLAN 1



PLAN 4R
LEFT

MATERIALS LEGEND
(WHERE OCCURS)
FRONT DOOR: FIBERGLASS
GARAGE DOOR: METAL SECTIONAL
ROOF: CONCRETE "S" TILE
FASCIA: 2x6 WOOD
WALL: STUCCO
WINDOWS: VINYL W/ GRIDS
SHUTTERS: SIMULATED WOOD
POT SHELF: FOAM
TRIM: STUCCO OVER RIGID FOAM



PLAN 1 PLAN 3 PLAN 2 PLAN 3 PLAN 2 PLAN 3 PLAN 4R

REAR

COLOR SCHEME 1

801A BUILDING COMPOSITE (8-PLEX)
SPANISH ELEVATIONS



PLAN 1 PLAN 1

RIGHT

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS



UNIT 1.0
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	353 SQ. FT.
SECOND FLOOR AREA	588 SQ. FT.
TOTAL DWELLING	941 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	306 SQ. FT.

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

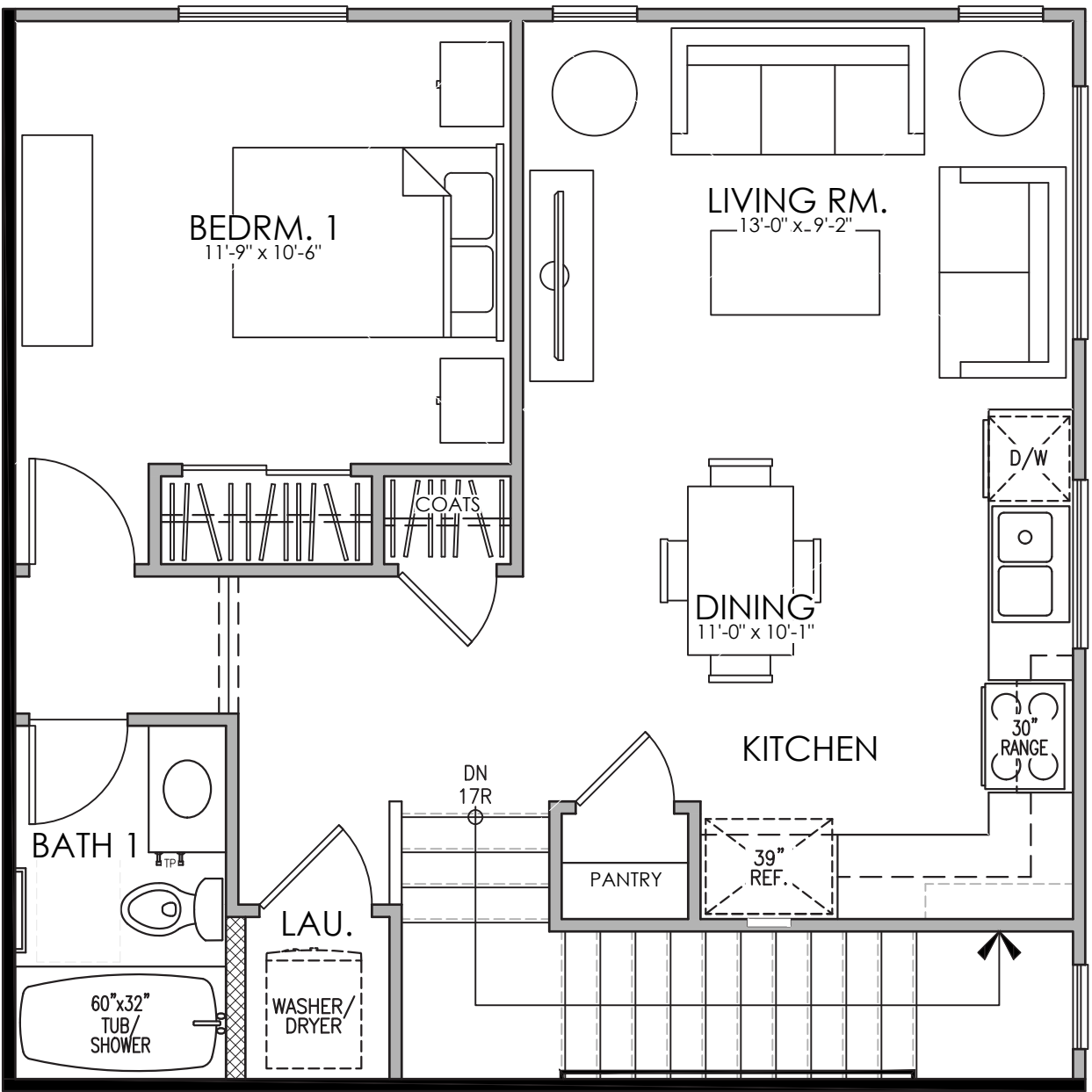
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FONTANA, CA

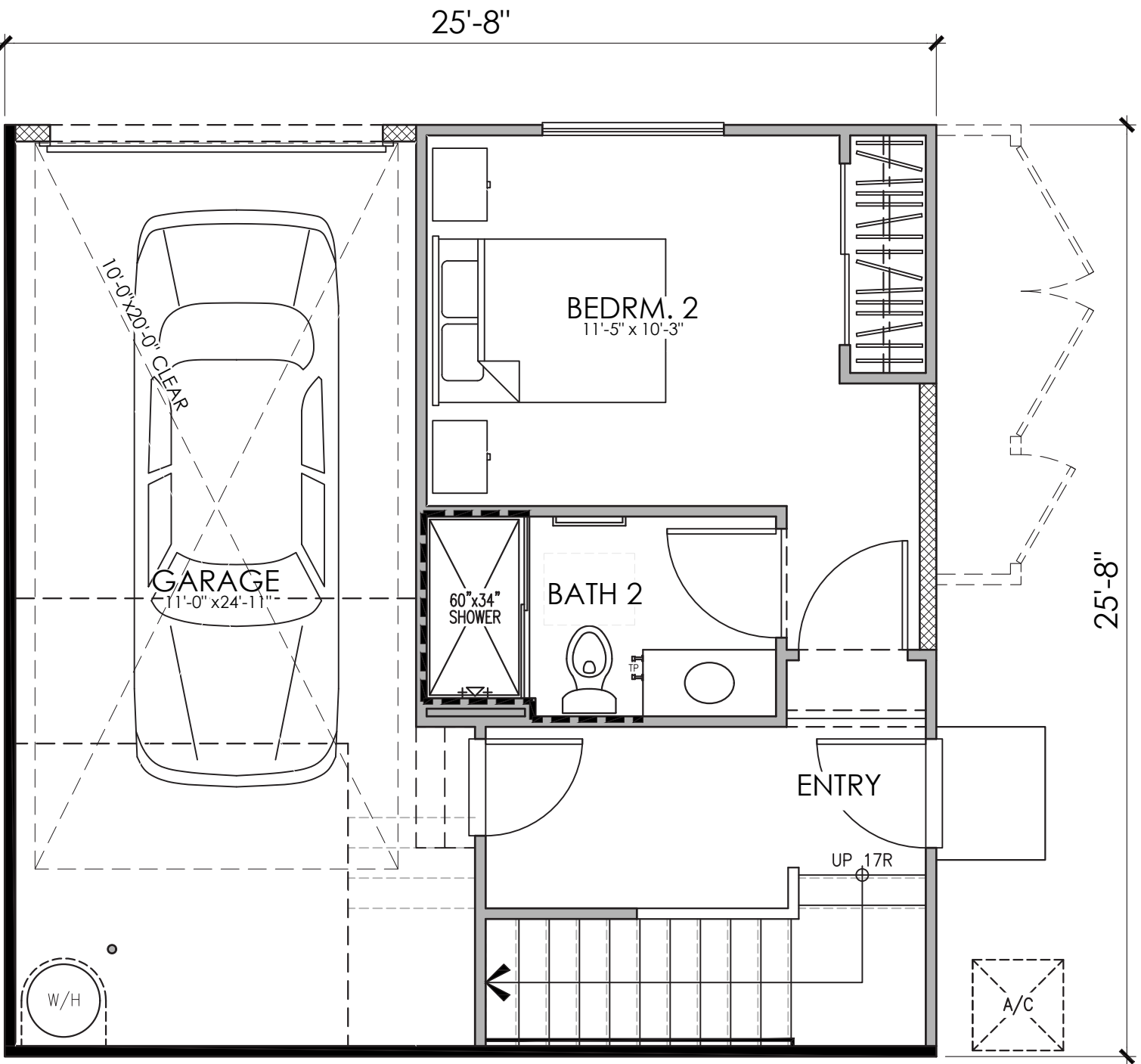
ALLEY LOADED

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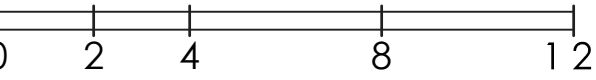


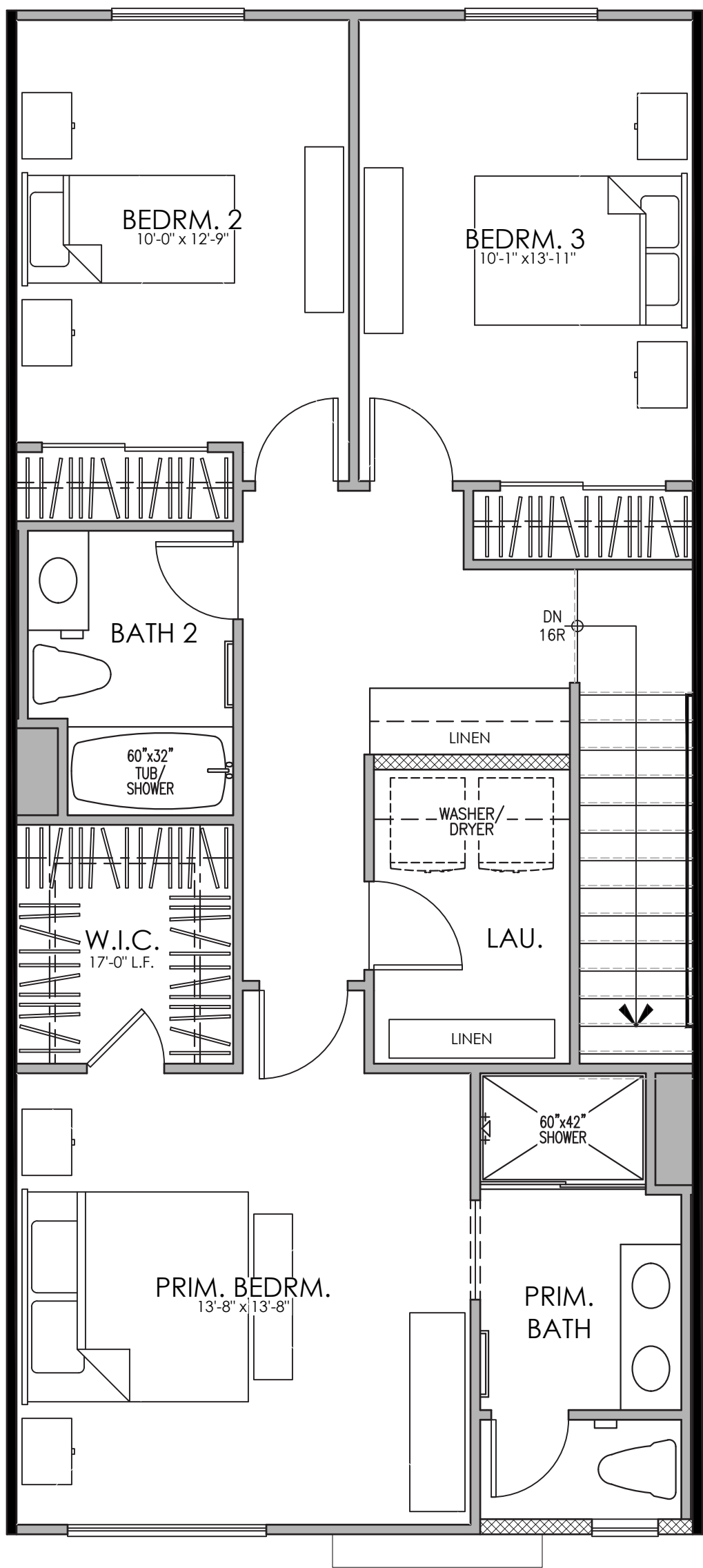
SECOND FLOOR



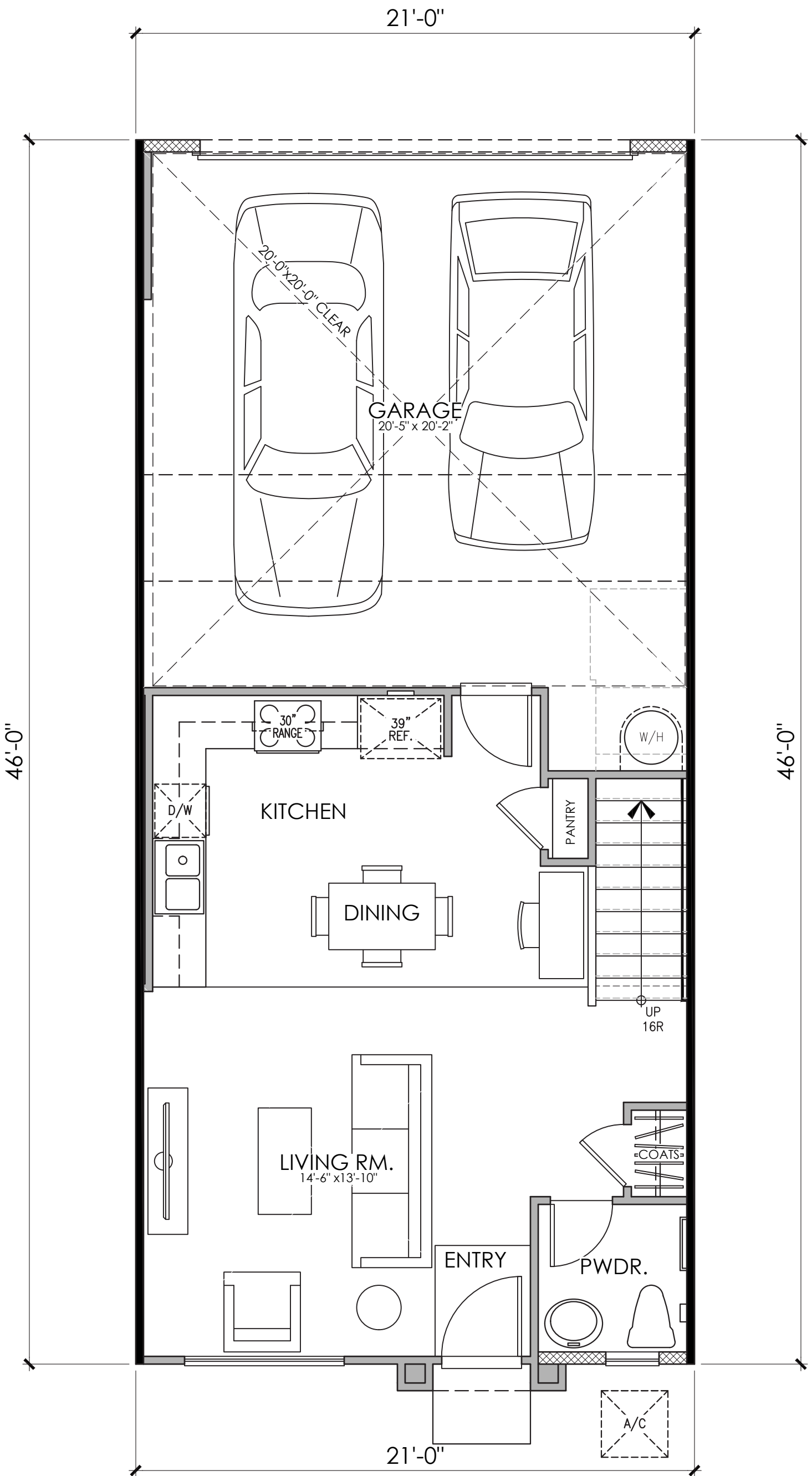
FIRST FLOOR

PLAN 1
2 BEDROOM, 2 BATH
FLOOR PLAN





SECOND FLOOR



FIRST FLOOR

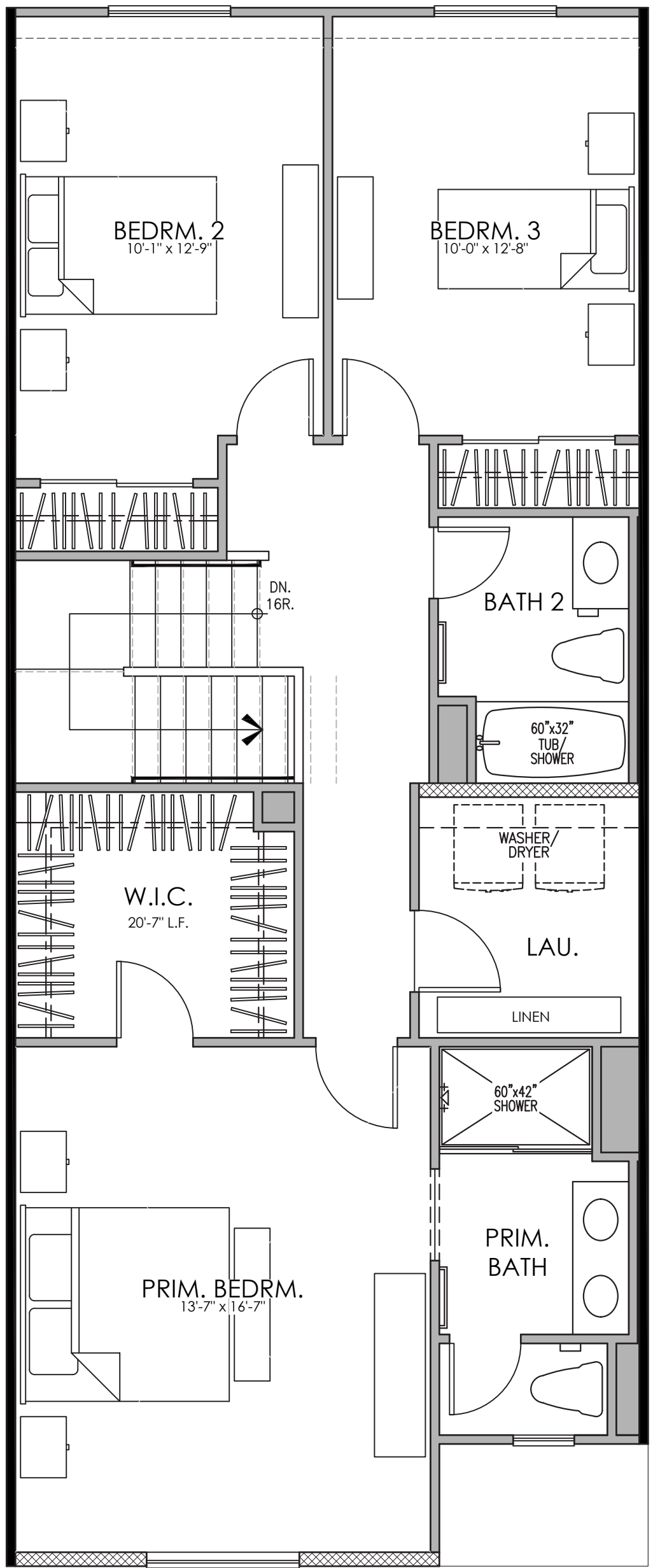
PLAN 2
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	517 SQ. FT.
SECOND FLOOR AREA	910 SQ. FT.
TOTAL DWELLING	1,427 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	449 SQ. FT.

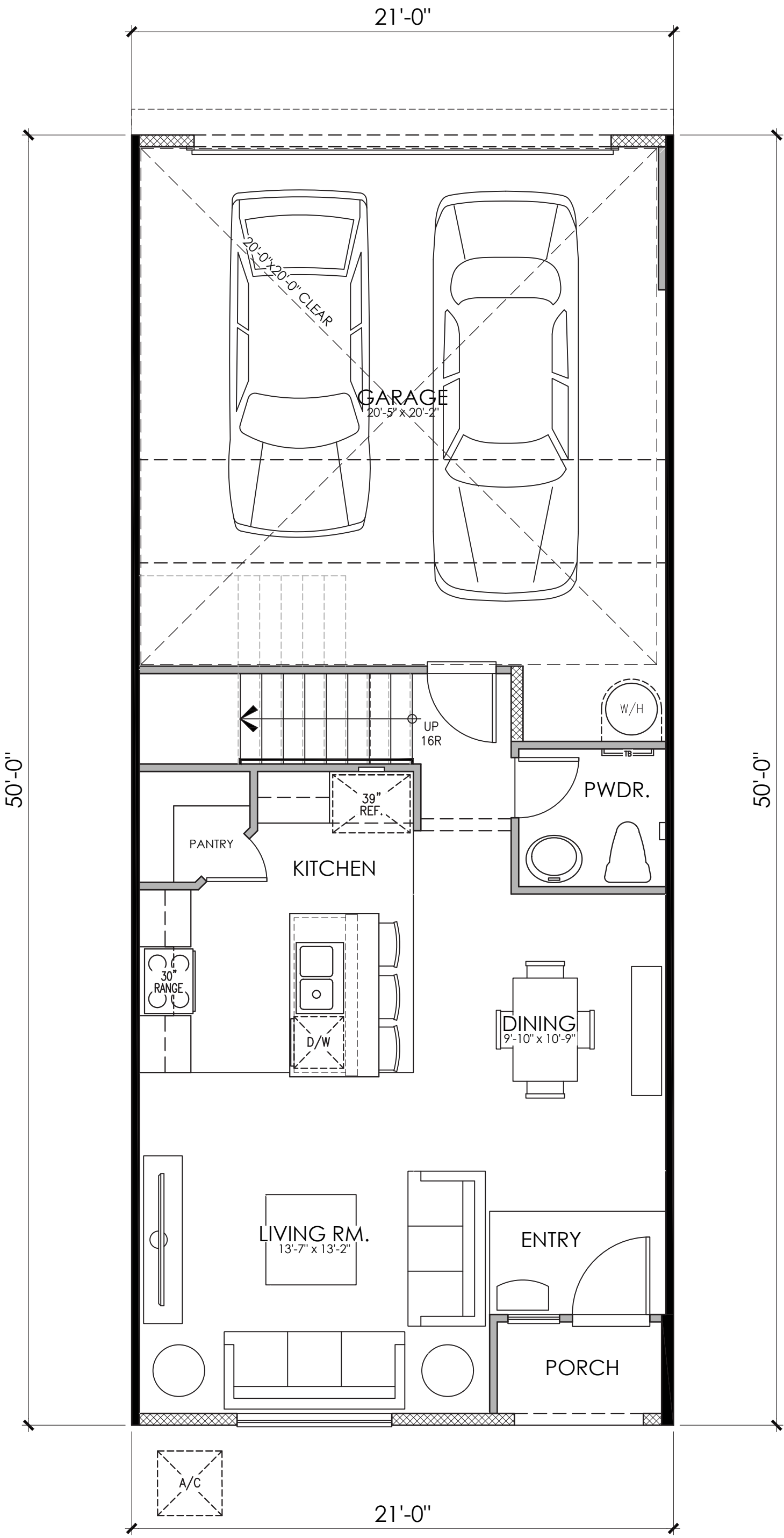
OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

PLAN 2
 3 BEDROOM, 2.5 BATH
 FLOOR PLAN





SECOND FLOOR



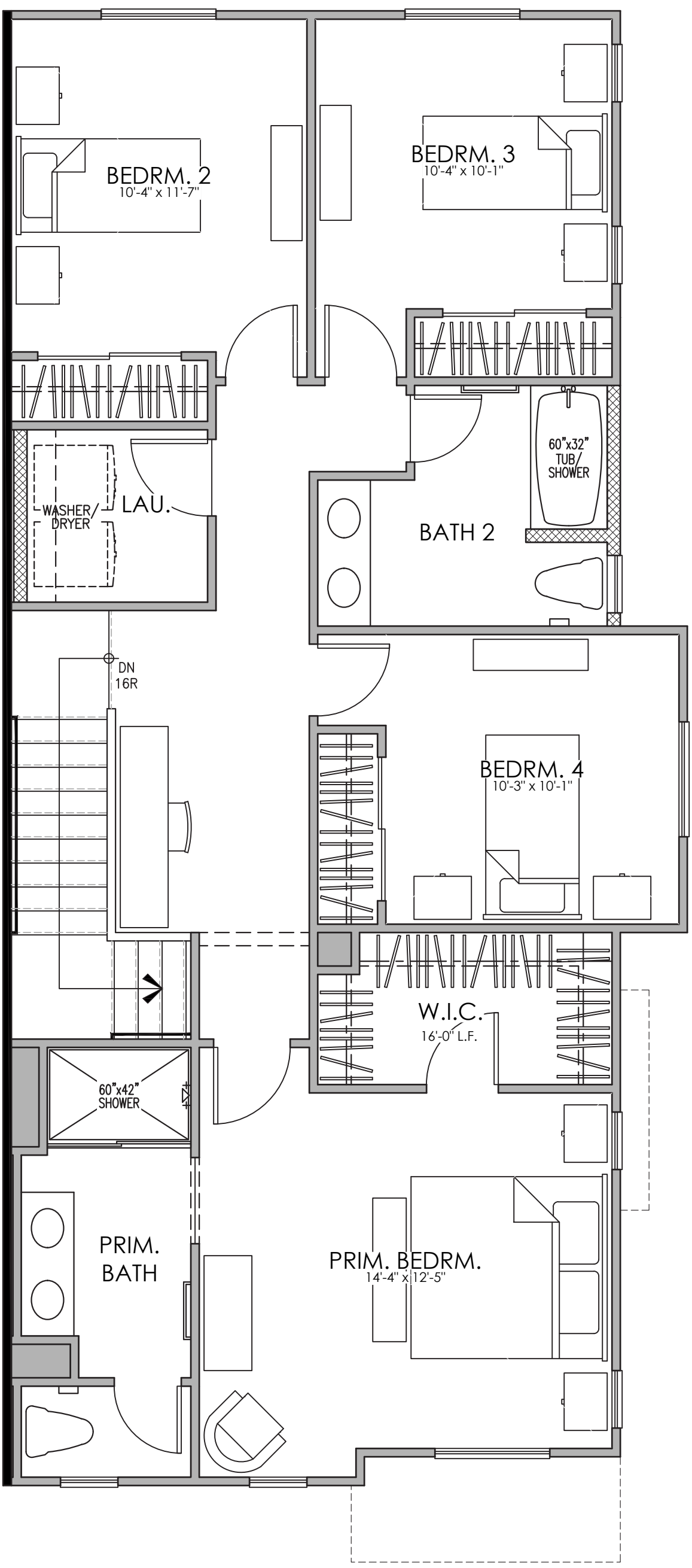
FIRST FLOOR

PLAN 3
3 BEDROOM, 2.5 BATH
FLOOR PLAN

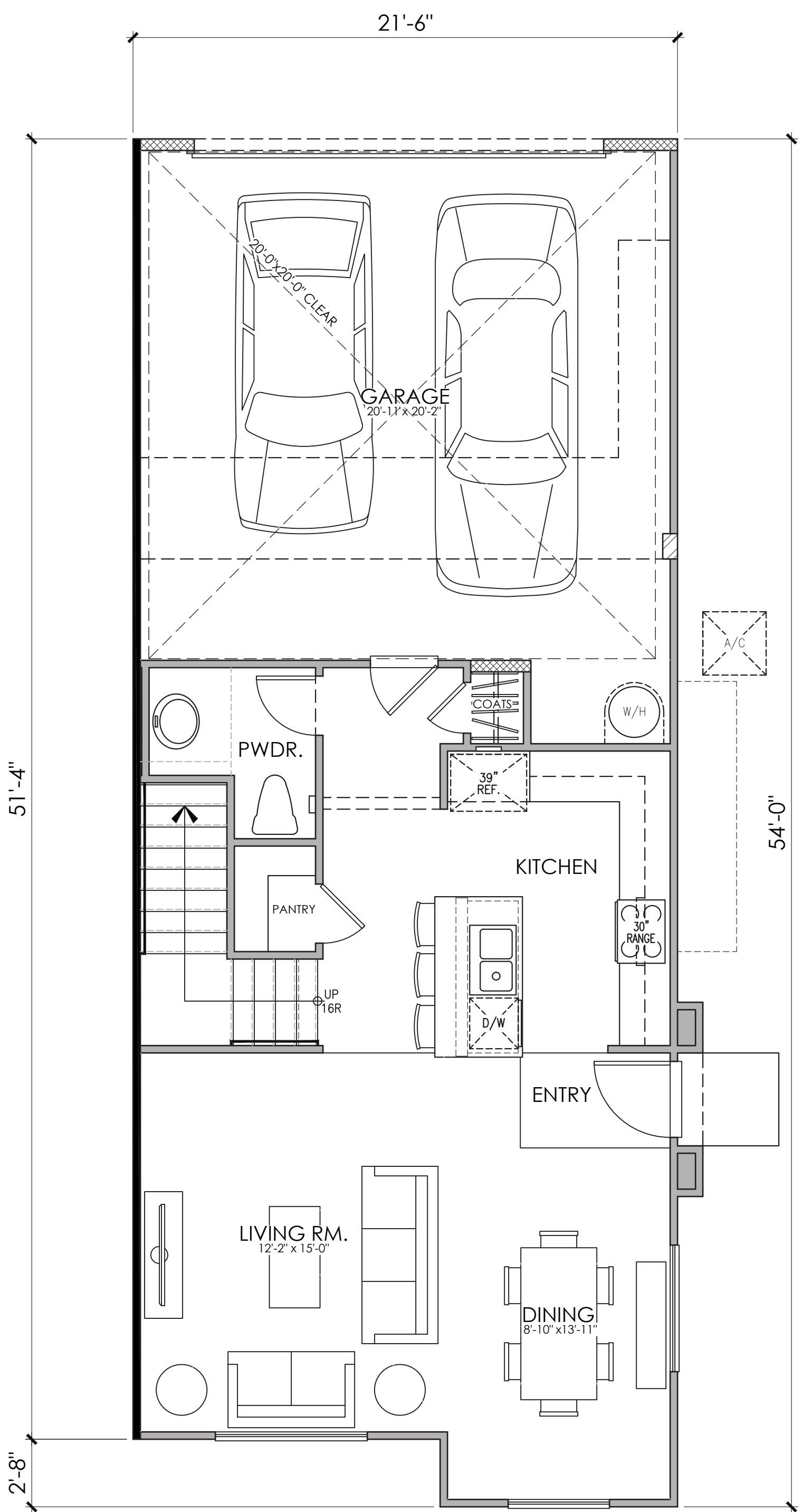
PLAN 3
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	573 SQ. FT.
SECOND FLOOR AREA	979 SQ. FT.
TOTAL DWELLING	1,552 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	449 SQ. FT.
PORCH	27 SQ. FT.

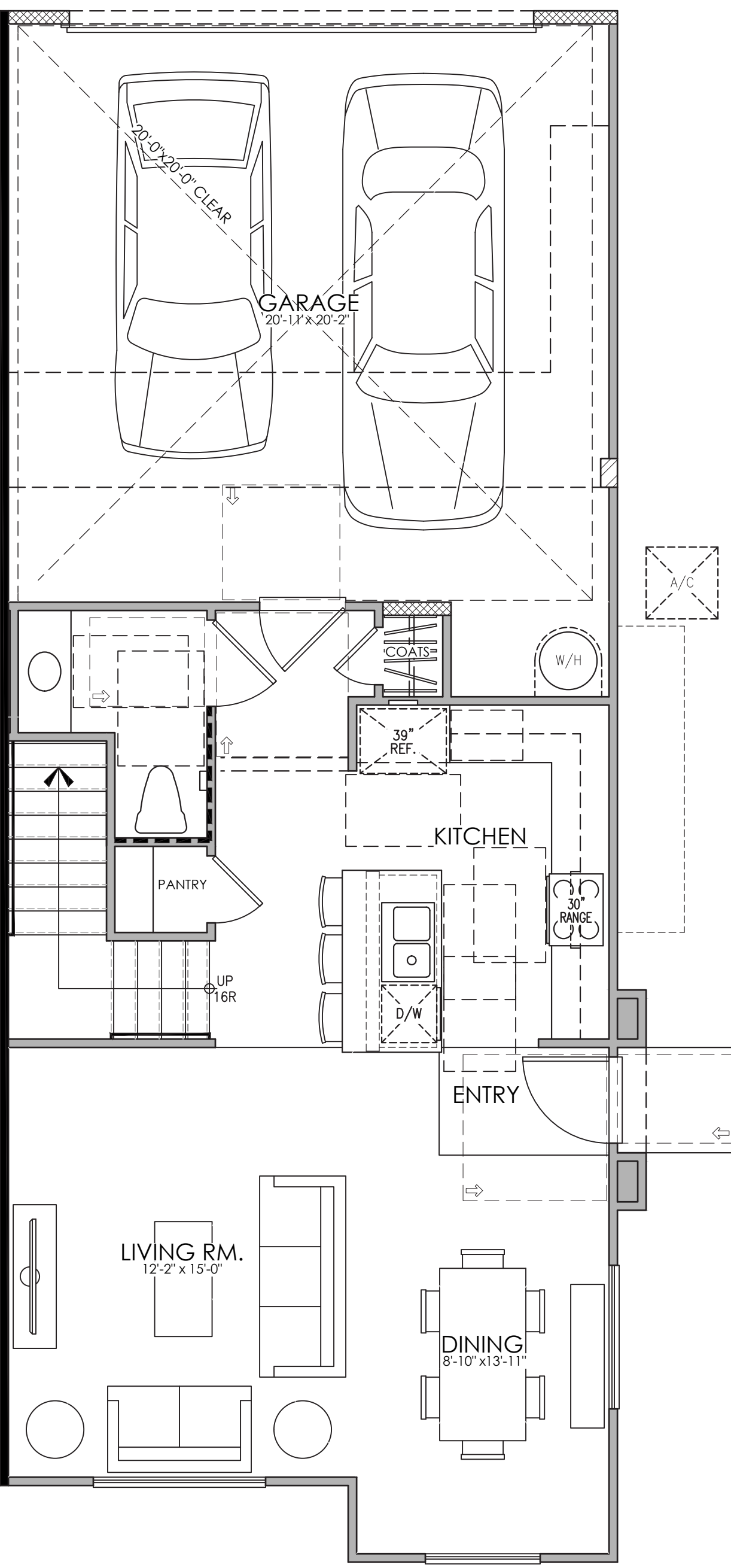
OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS



SECOND FLOOR



FIRST FLOOR



ADAPTABLE

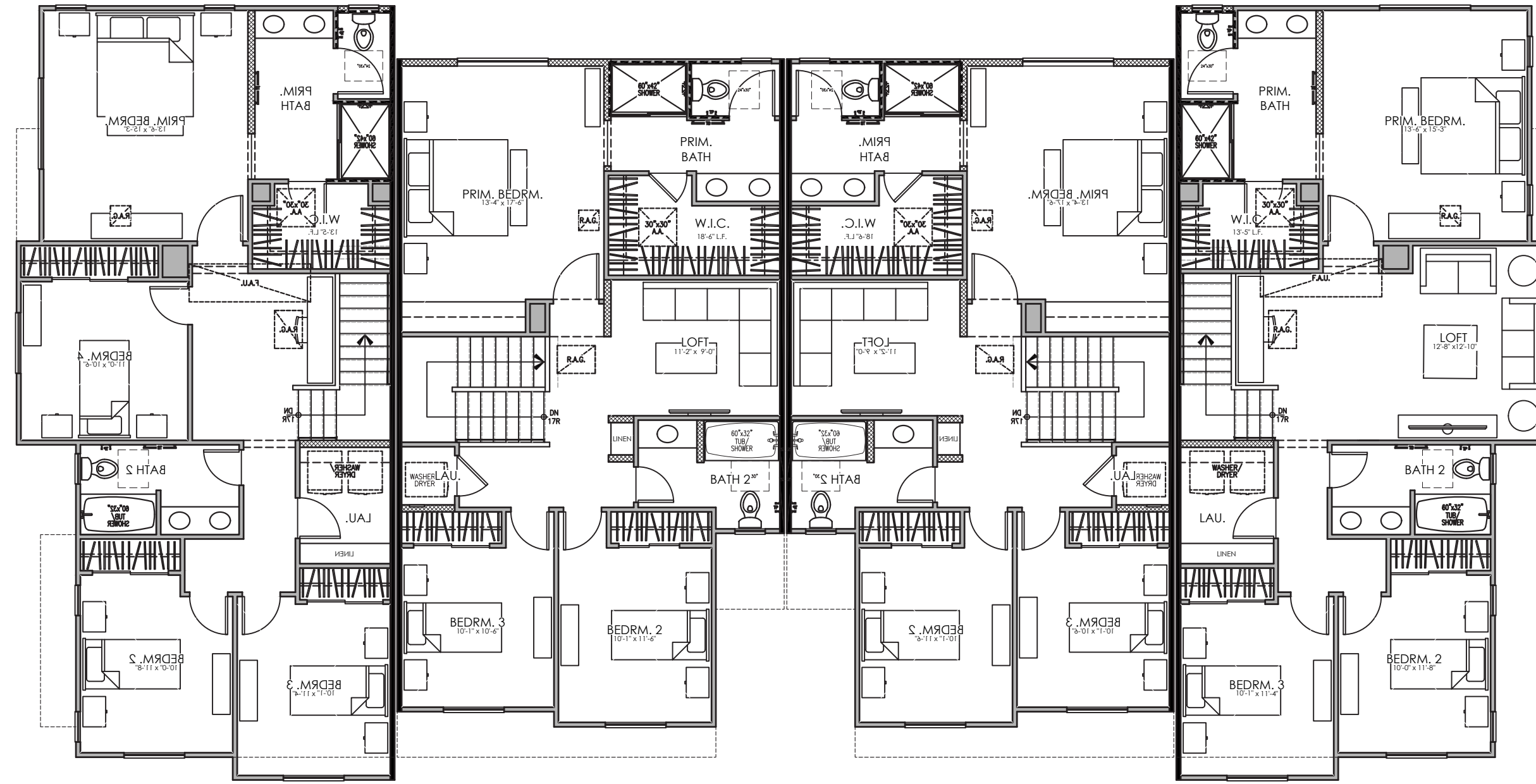
PLAN 4
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	667 SQ. FT.
SECOND FLOOR AREA	1,055 SQ. FT.
TOTAL DWELLING	1,722 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	462 SQ. FT.

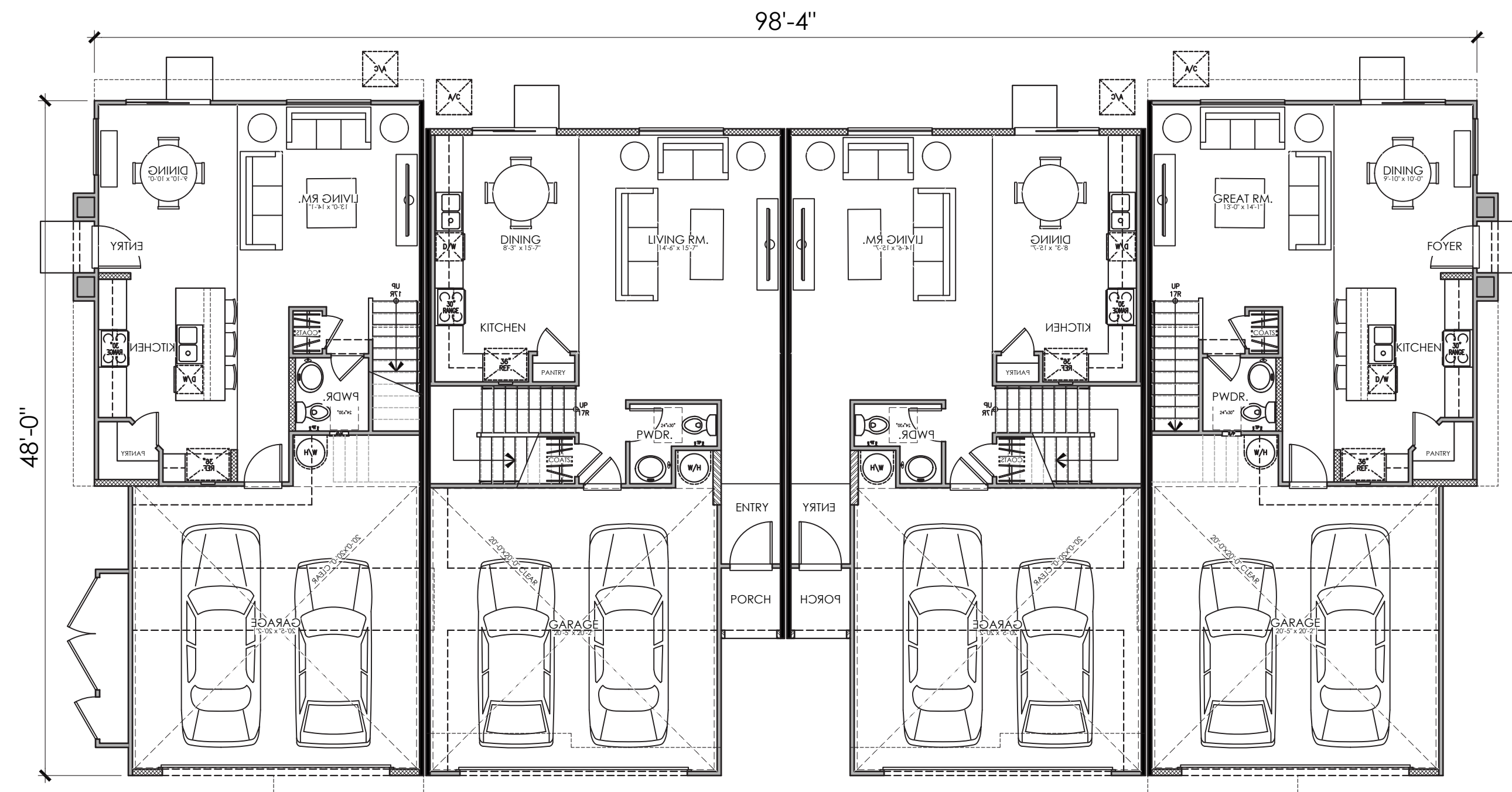
OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

PLAN 4
 4 BEDROOM, 2.5 BATH
 FLOOR PLAN





SECOND FLOOR PLAN



PLAN 3R
1,704 S.F.
4 BDRM., 2.5 BATH

PLAN 1
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 1R
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 2
1,704 S.F.
3 BDRM., 2.5 BATH, LOFT

FIRST FLOOR PLAN

400A BUILDING COMPOSITE (4-PLEX) FLOOR PLAN

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

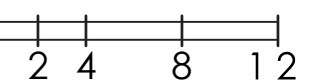
MV Investments, Inc.

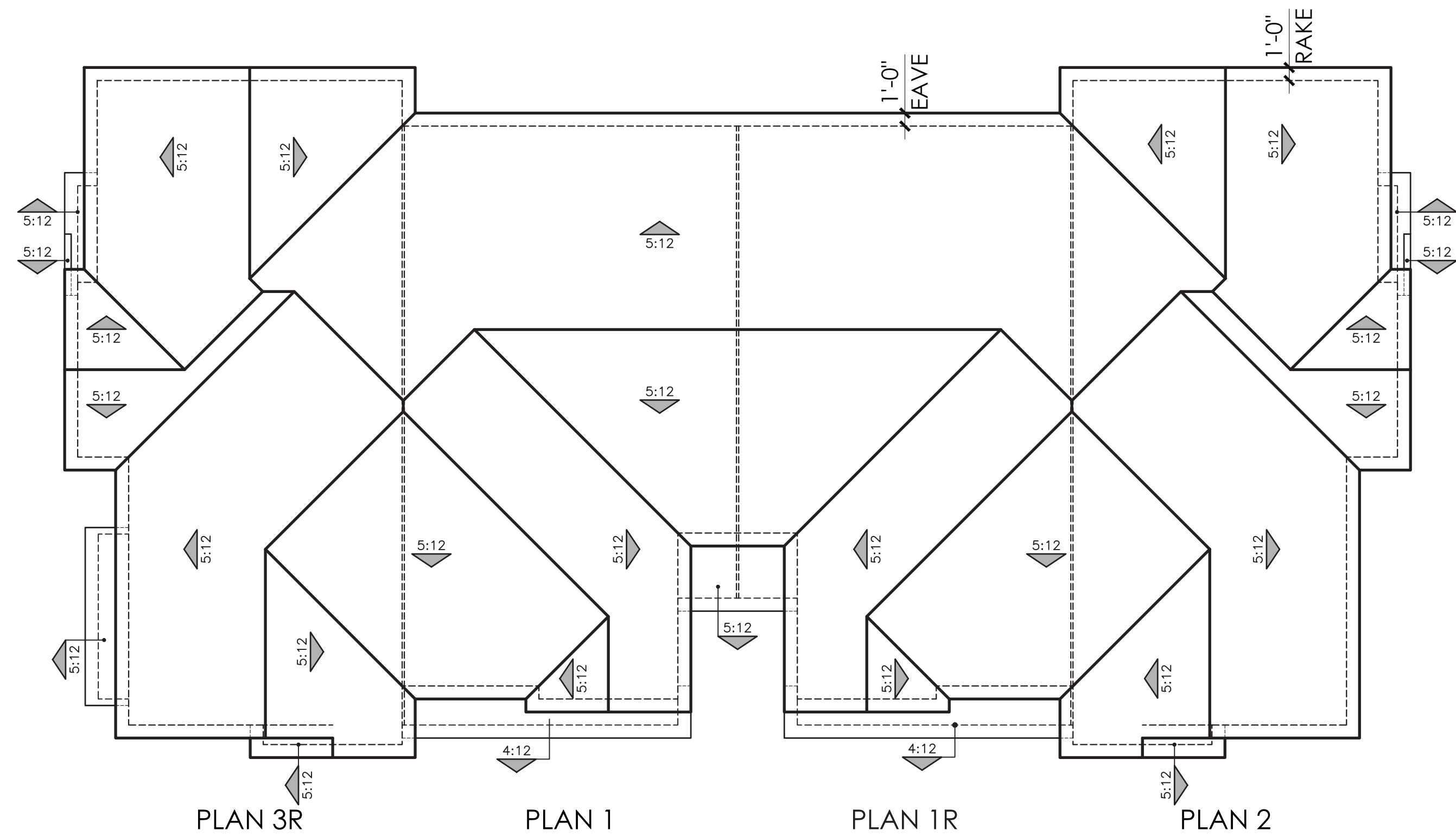
BASELINE & PALMETTO
FONTANA, CA

FRONT LOADED

06/24/2026
A-15

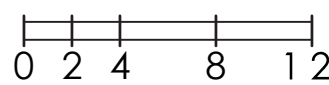
Kevin L. Crook
Architect
Inc
#25039
PLANNING + ARCHITECTURE





OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

400A BUILDING COMPOSITE (4-PLEX)
ROOF PLAN



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BASELINE & PALMETTO
FONTANA, CA

FRONT LOADED

06/24/2026
A-16

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PLAN 3R

PLAN 1

FRONT

PLAN 1R

PLAN 2



PLAN 2
RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	4" LAP SIDING
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM



PLAN 2

PLAN 1R

REAR

PLAN 1

PLAN 3R

COLOR SCHEME 2

400A BUILDING COMPOSITE (4-PLEX)

COTTAGE ELEVATIONS



PLAN 3R
LEFT

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

0 2 4 8 12

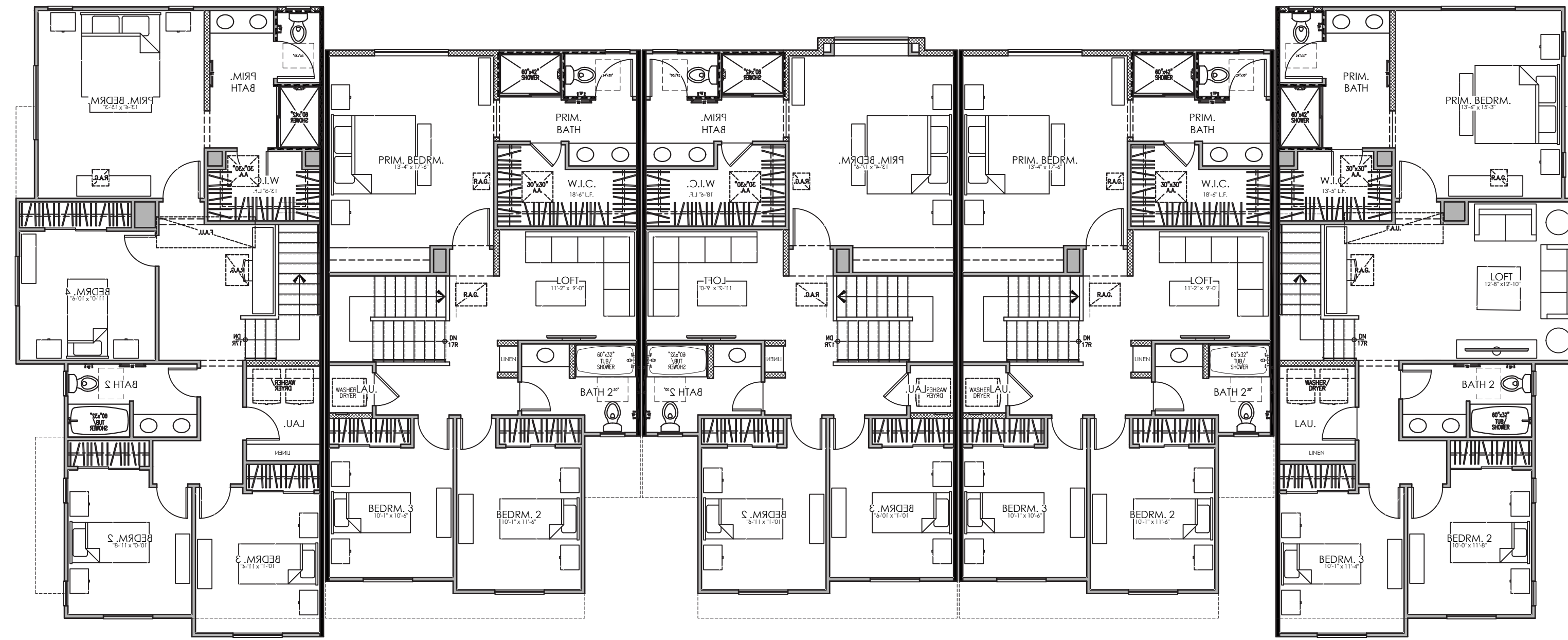
MV Investments, Inc.

BASELINE & PALMETTO
FONTANA, CA

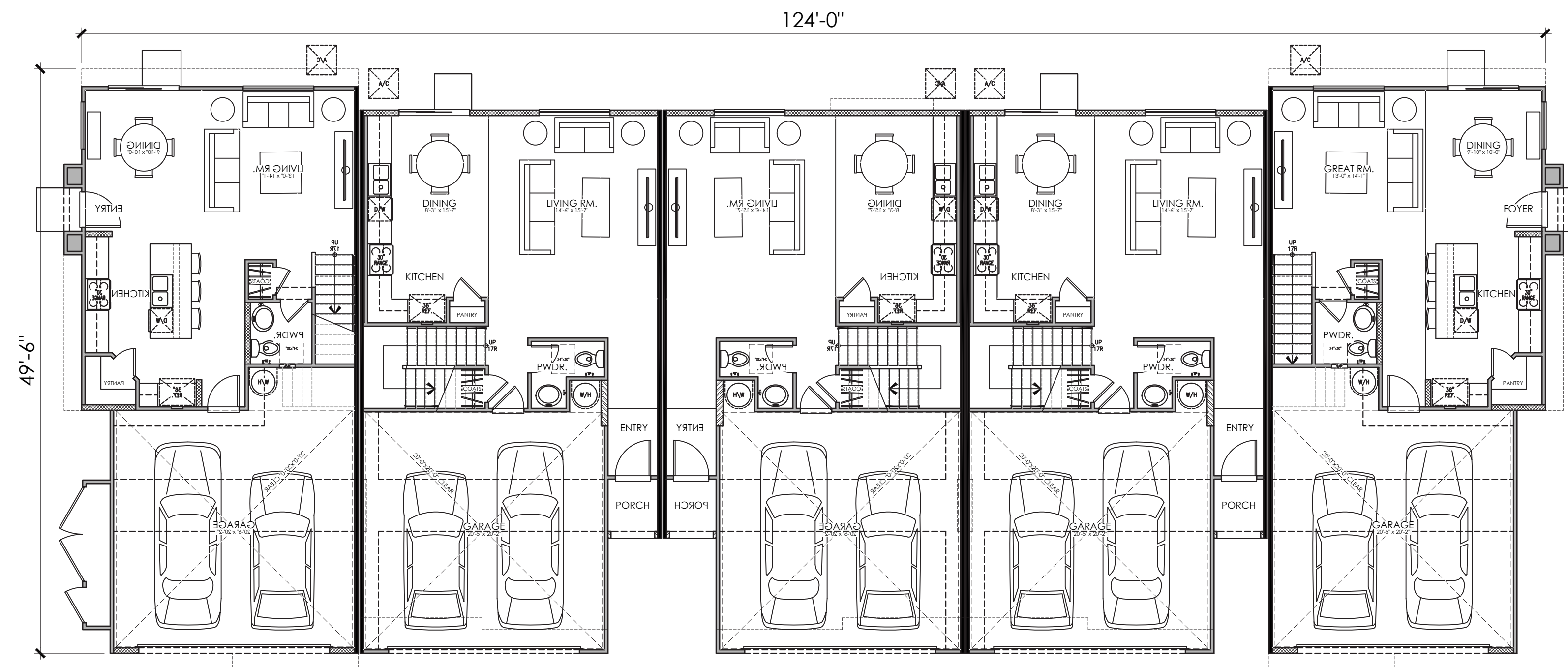
FRONT LOADED

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SECOND FLOOR PLAN



PLAN 3R
1,704 S.F.
3 BDRM., 2.5 BATH, LOFT

PLAN 1
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 1R
1,658 S.F.
3 BDRM., 2.5 BATH
FIRST FLOOR PLAN

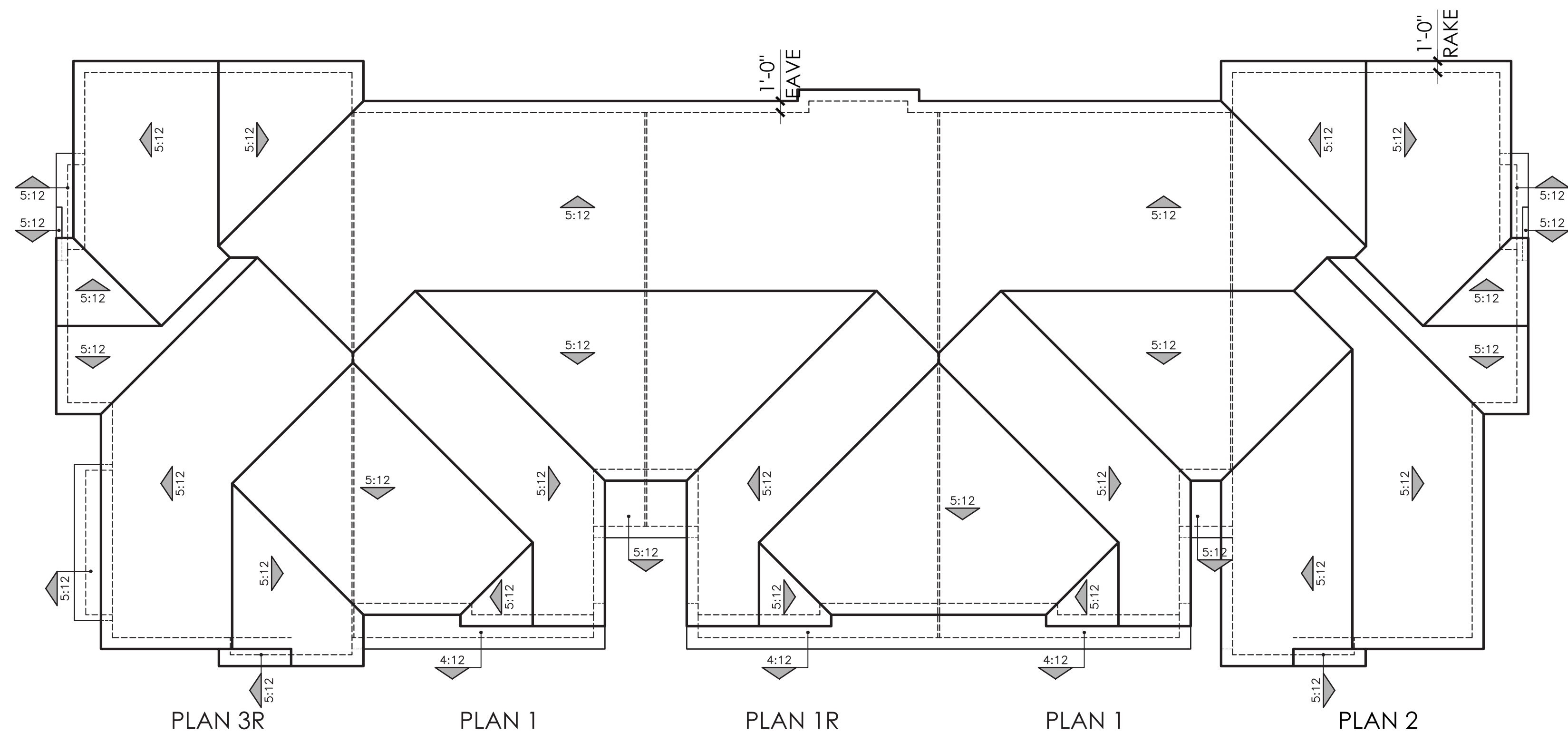
PLAN 1
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 2
1,704 S.F.
3 BDRM., 2.5 BATH

500A BUILDING COMPOSITE (5-PLEX) FLOOR PLAN

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

0 2 4 8 12



500A BUILDING COMPOSITE (5-PLEX) ROOF PLAN

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

0 2 4 8 12

MV Investments, Inc.

BASELINE & PALMETTO
FONTANA, CA

FRONT LOADED

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PLAN 3R

PLAN 1

PLAN 1R
FRONT

PLAN 1

PLAN 2



PLAN 2
RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	4" LAP SIDING
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM



PLAN 2

PLAN 1

PLAN 1R
REAR

PLAN 1

PLAN 3R
COLOR SCHEME 2



PLAN 3R
LEFT

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

500A BUILDING COMPOSITE (5-PLEX)
COTTAGE ELEVATIONS

0 2 4 8 12

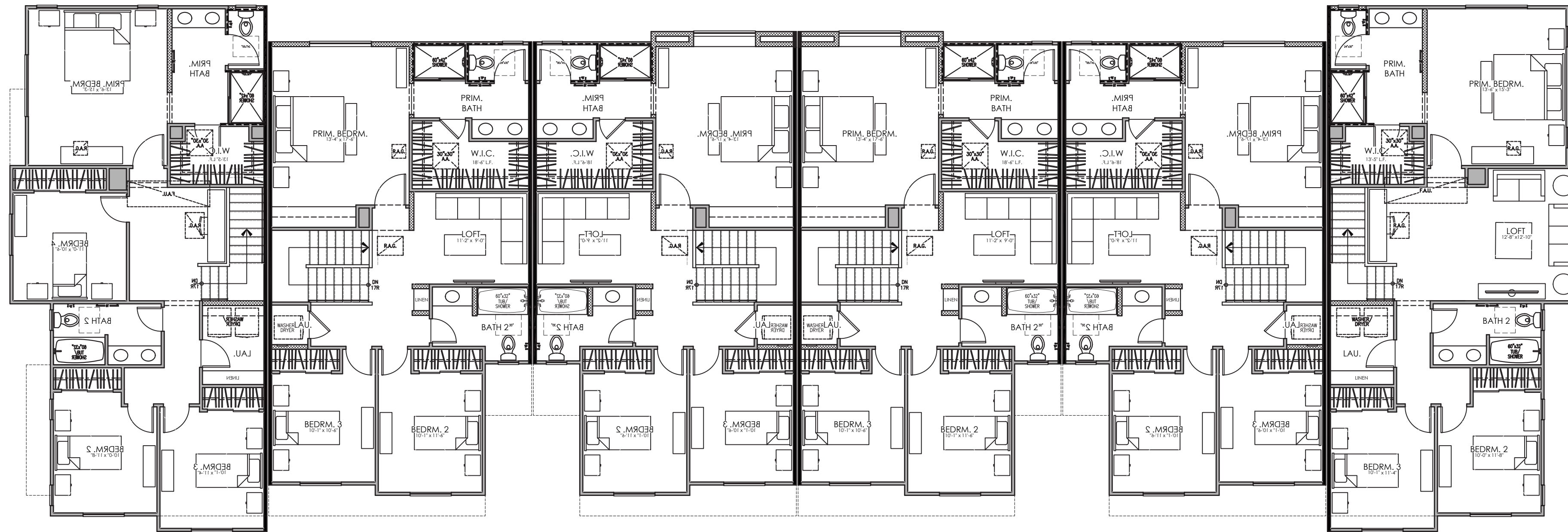
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BASELINE & PALMETTO
FONTANA, CA

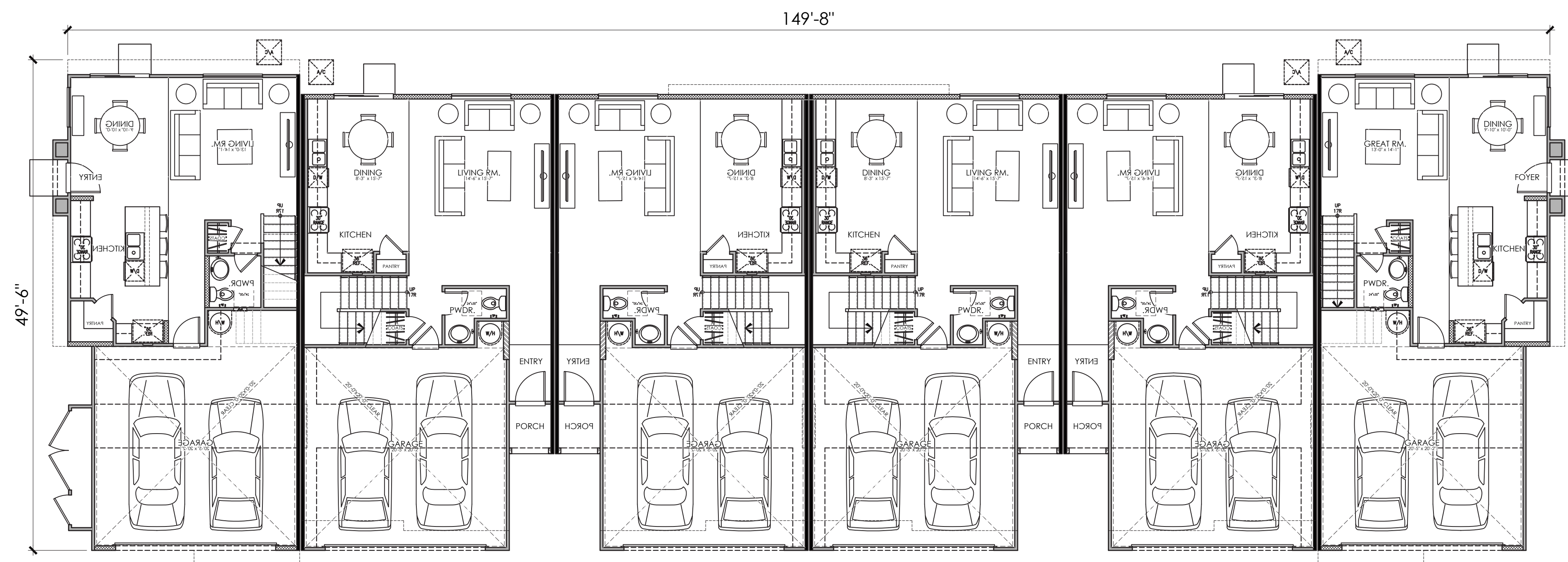
FRONT LOADED

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SECOND FLOOR PLAN



PLAN 3R
1,704 S.F.
4 BDRM., 2.5 BATH

PLAN 1
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 1R
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 1
1,658 S.F.
3 BDRM., 2.5 BATH

PLAN 1R
1,660 S.F.
3 BDRM., 2.5 BATH

PLAN 2
1,704 S.F.
3 BDRM., 2.5 BATH, LOFT

FIRST FLOOR PLAN

600A BUILDING COMPOSITE (6-PLEX) FLOOR PLAN

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

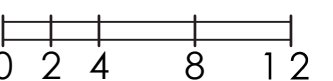
MV Investments, Inc.

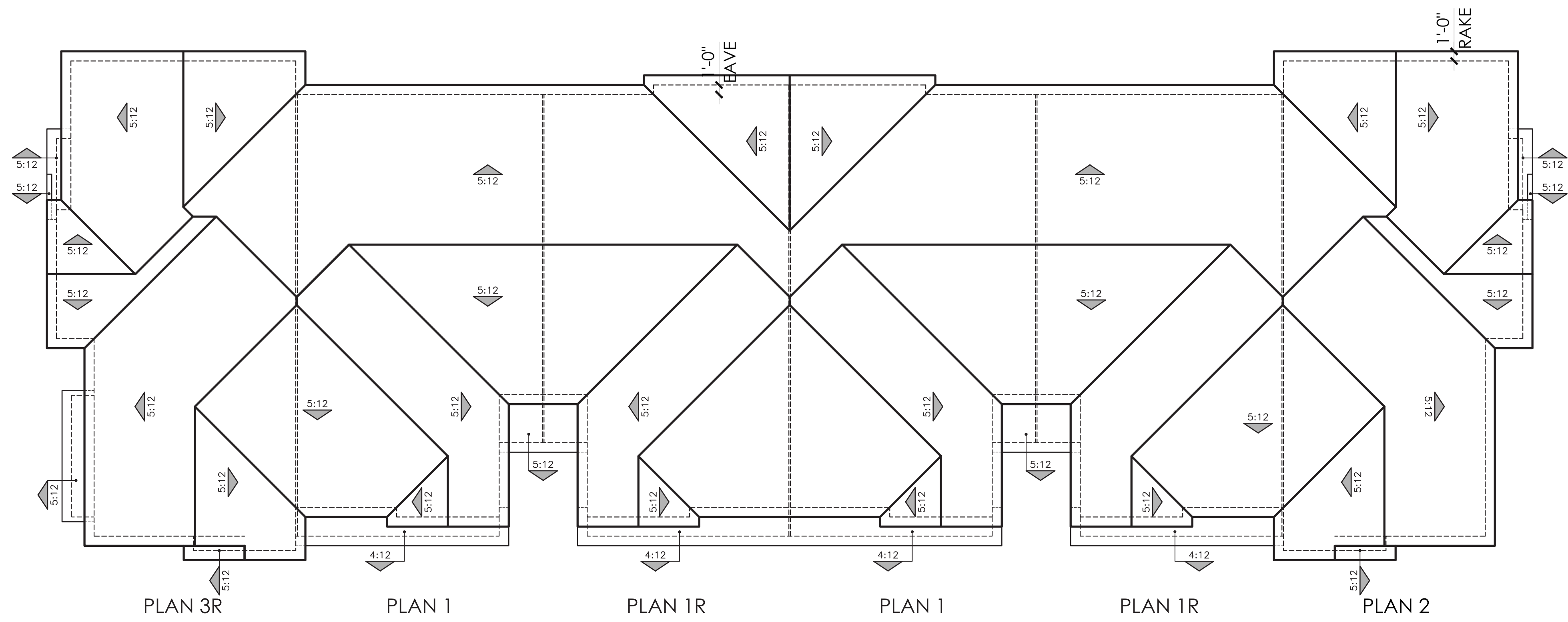
BASELINE & PALMETTO
FONTANA, CA

FRONT LOADED

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A-21

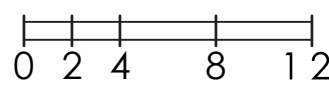
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OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

600A BUILDING COMPOSITE (6-PLEX) ROOF PLAN



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BASELINE & PALMETTO
 FONTANA, CA

FRONT LOADED

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PLAN 3R PLAN 1 PLAN 1R PLAN 1 PLAN 1R PLAN 2

FRONT



PLAN 2
RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	4" LAP SIDING
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM



PLAN 2 PLAN 1R PLAN 1 PLAN 1R PLAN 1 PLAN 3R

REAR

COLOR SCHEME 2



PLAN 3R
LEFT

OCCUPANCY: R3 TOWNHOME/U
SPRINKLER SYSTEM: NFPA 13D
CONSTRUCTION: VB
SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

600A BUILDING COMPOSITE (6-PLEX)

COTTAGE ELEVATIONS

0 2 4 8 12

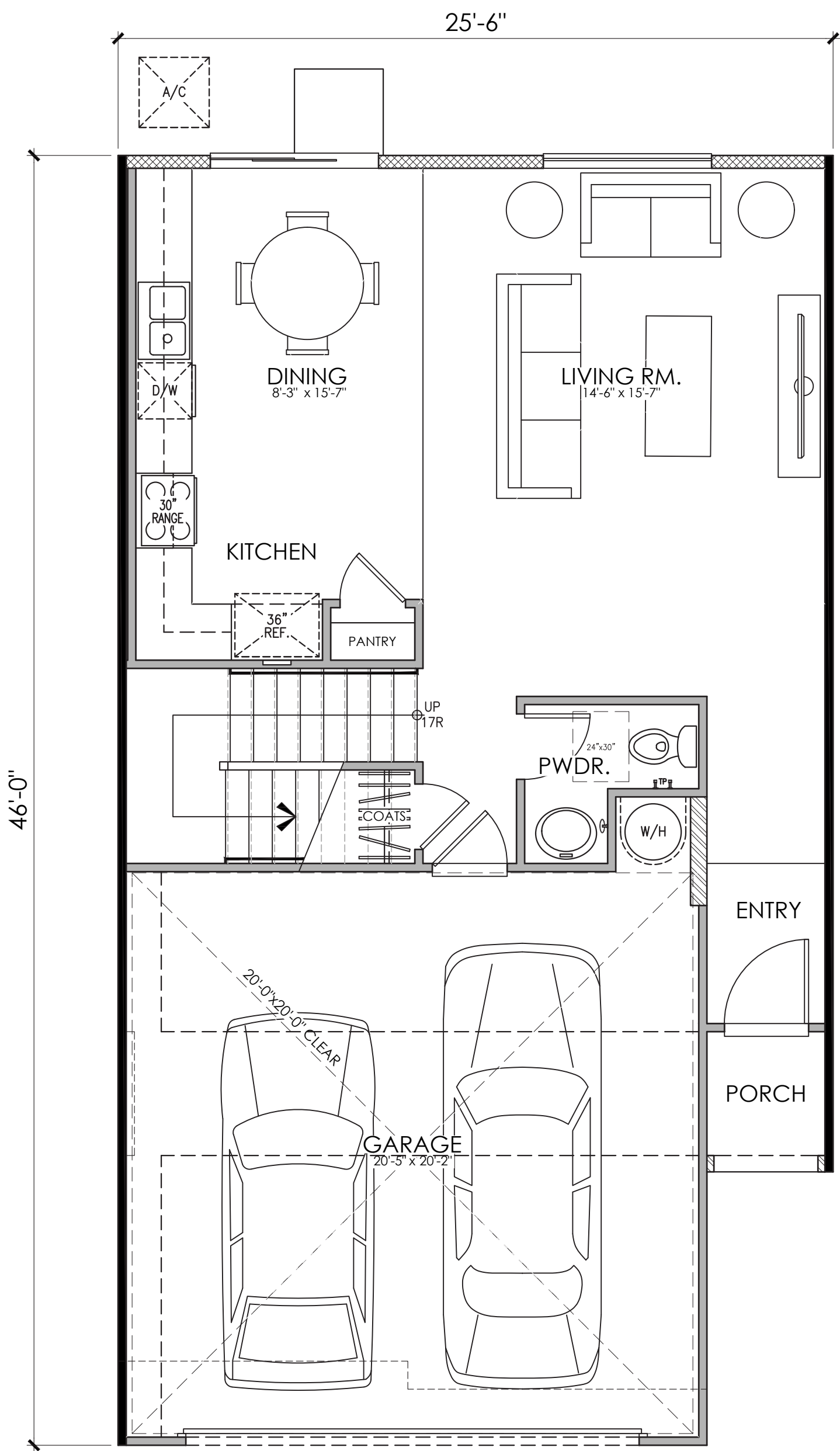
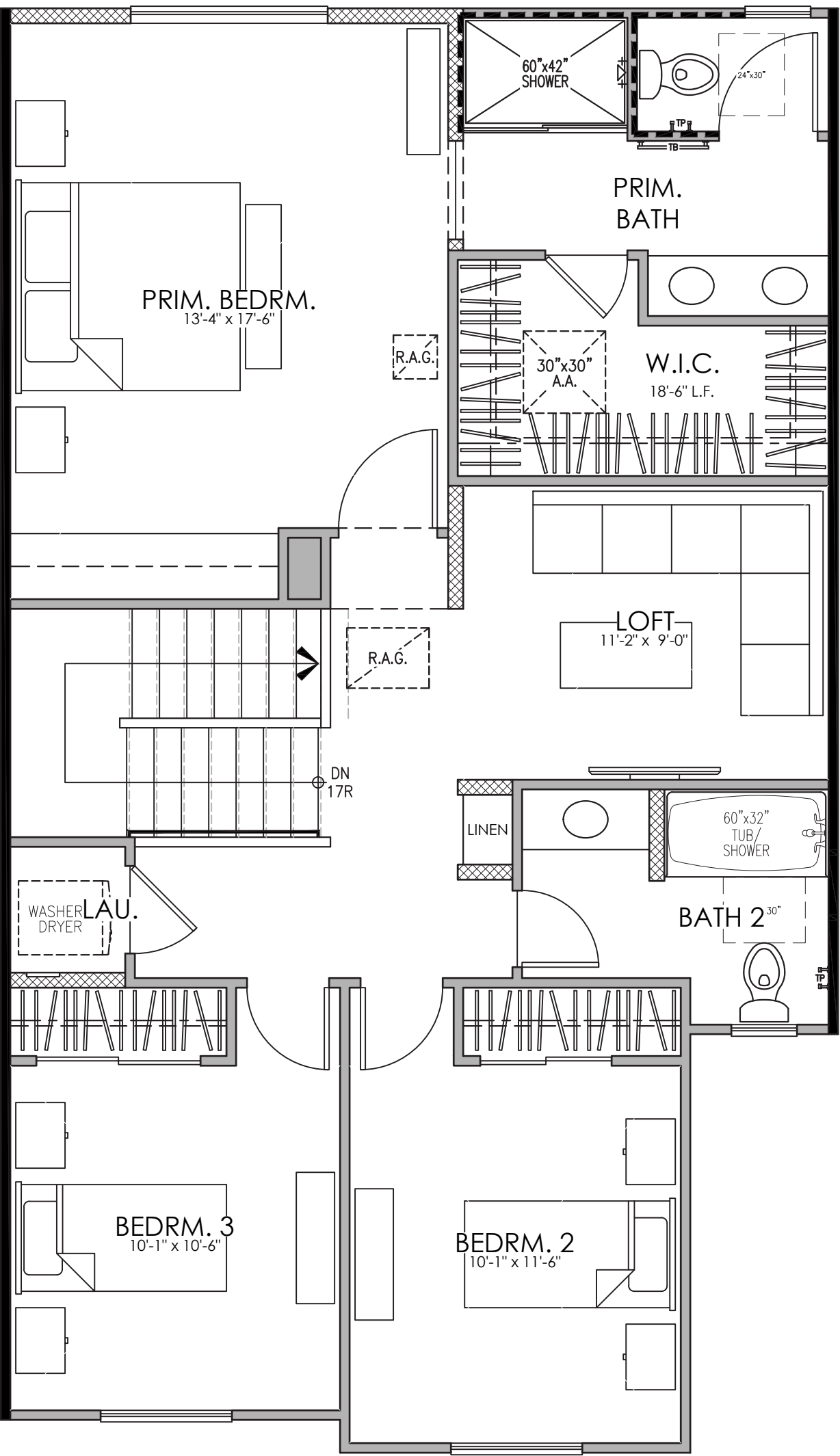
MV Investments, Inc.

BASELINE & PALMETTO
FONTANA, CA

FRONT LOADED

06/24/2026
A-23

Kevin L. Crook
Architect
Inc
#25039
PLANNING + ARCHITECTURE



PLAN 1
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	672 SQ. FT.
SECOND FLOOR AREA	986 SQ. FT.
TOTAL DWELLING	1,658 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	435 SQ. FT.
PORCH	22 SQ. FT.

OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

PLAN 1
 3 BEDROOM, 2.5 BATH
 FLOOR PLAN



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PLAN 2 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	608 SQ. FT.
SECOND FLOOR AREA	1,096 SQ. FT.
TOTAL DWELLING	1,704 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	466 SQ. FT.

OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

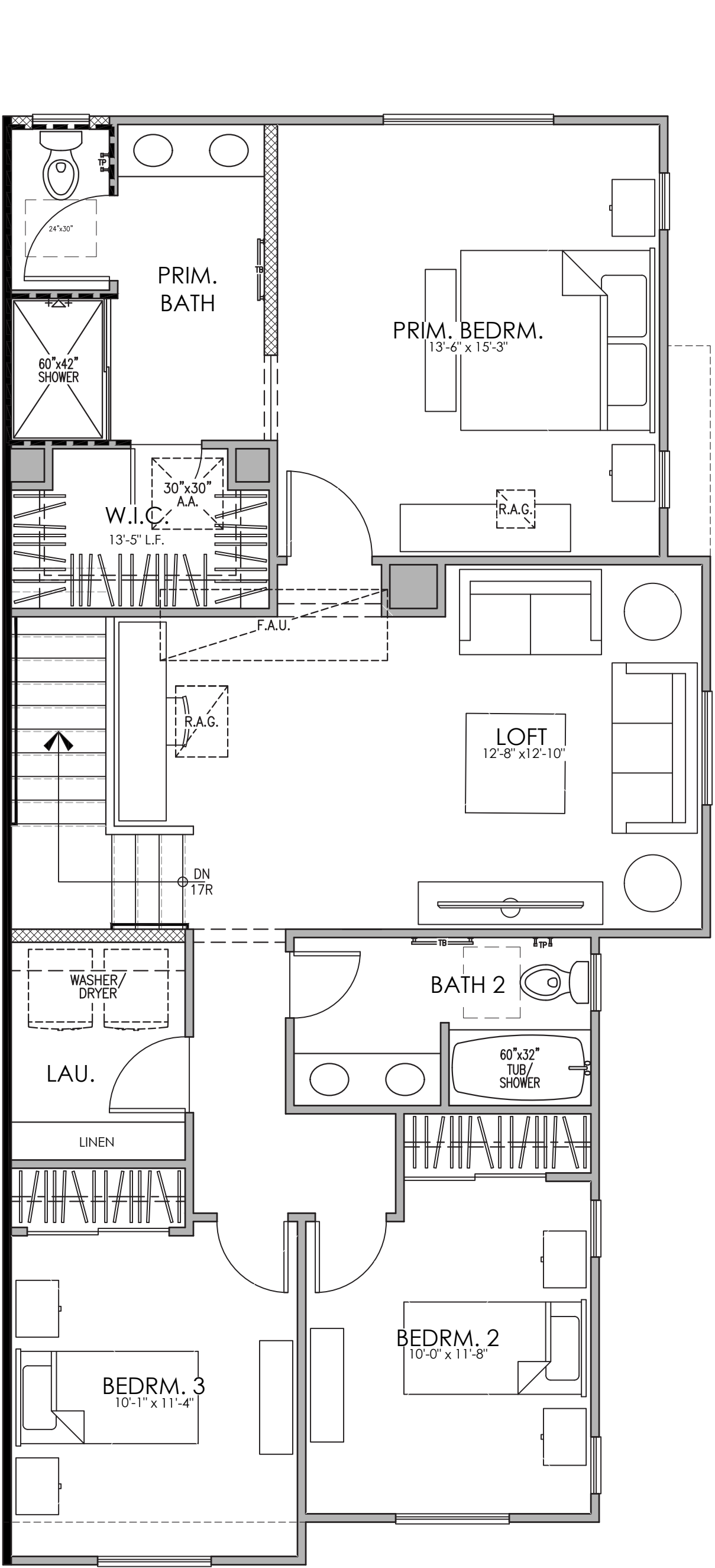
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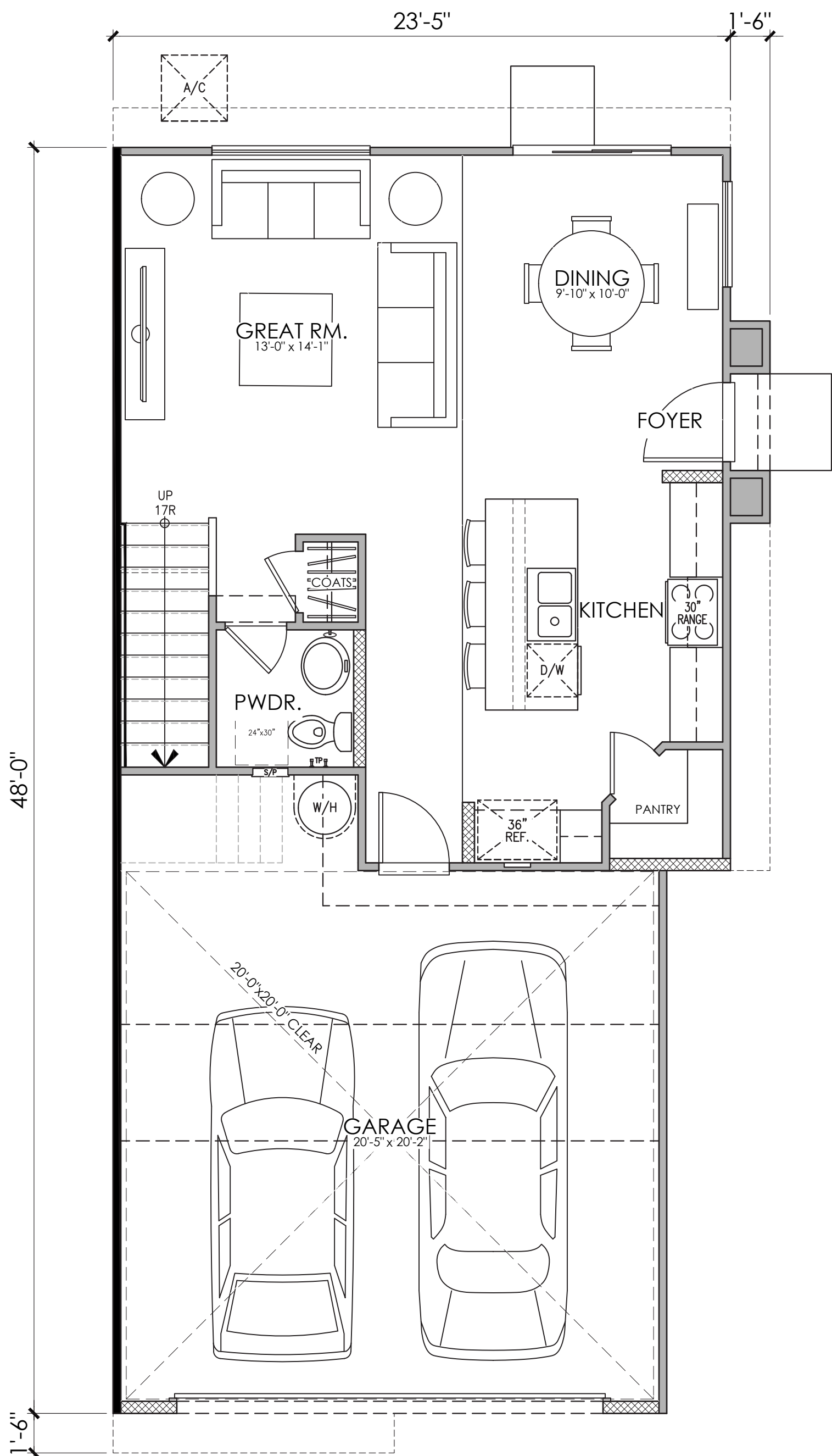
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06/24/2026
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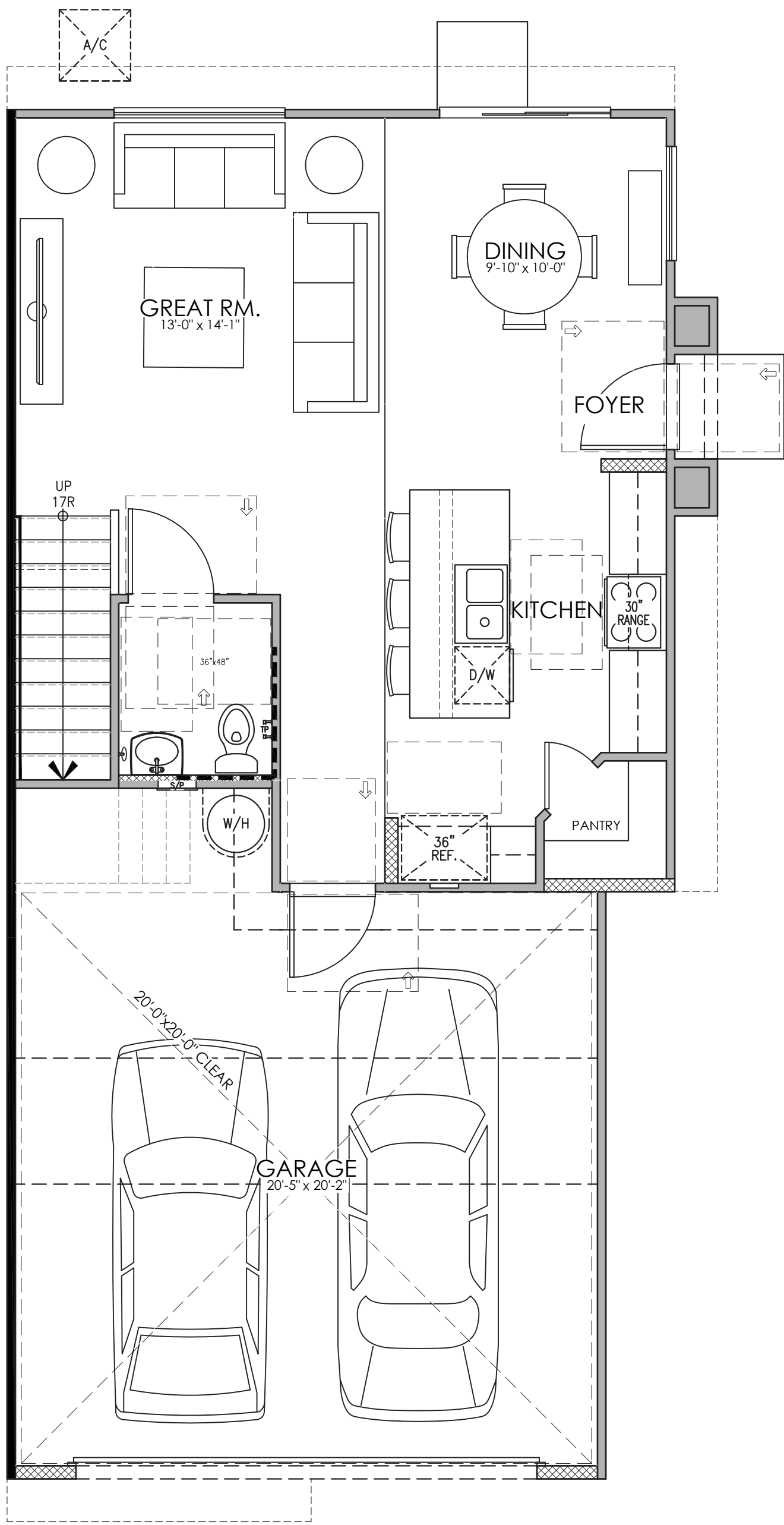
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SECOND FLOOR

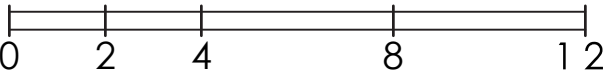


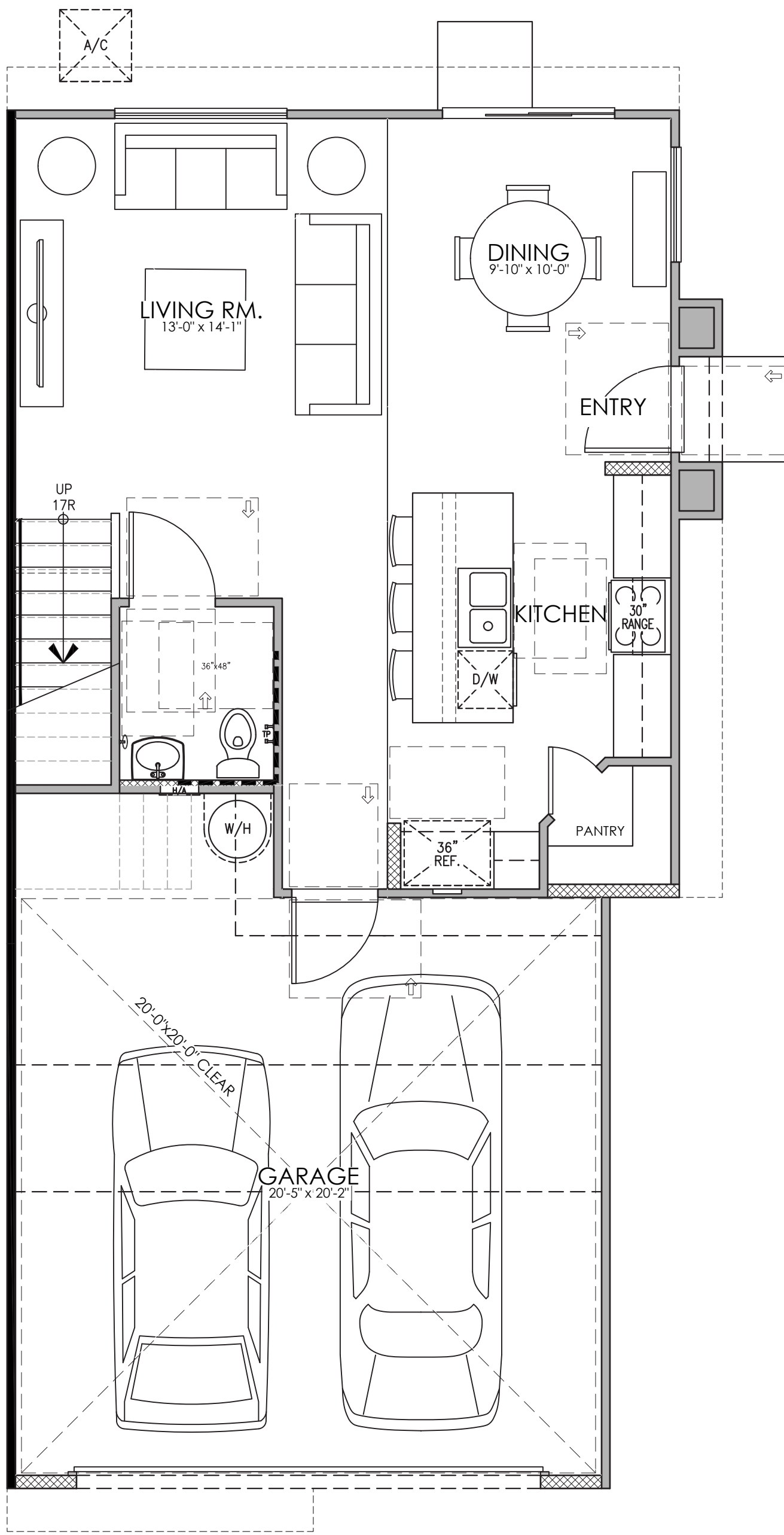
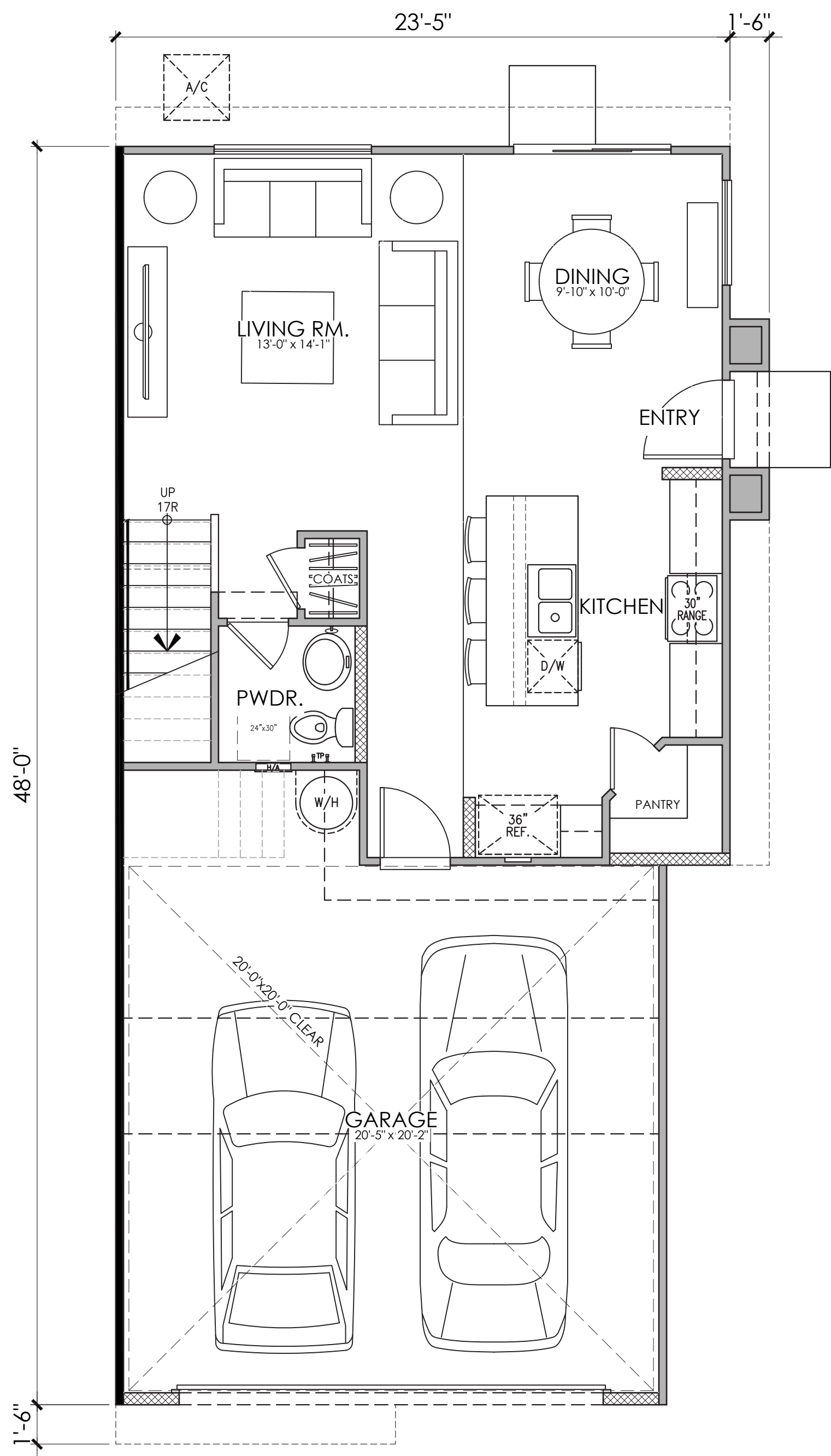
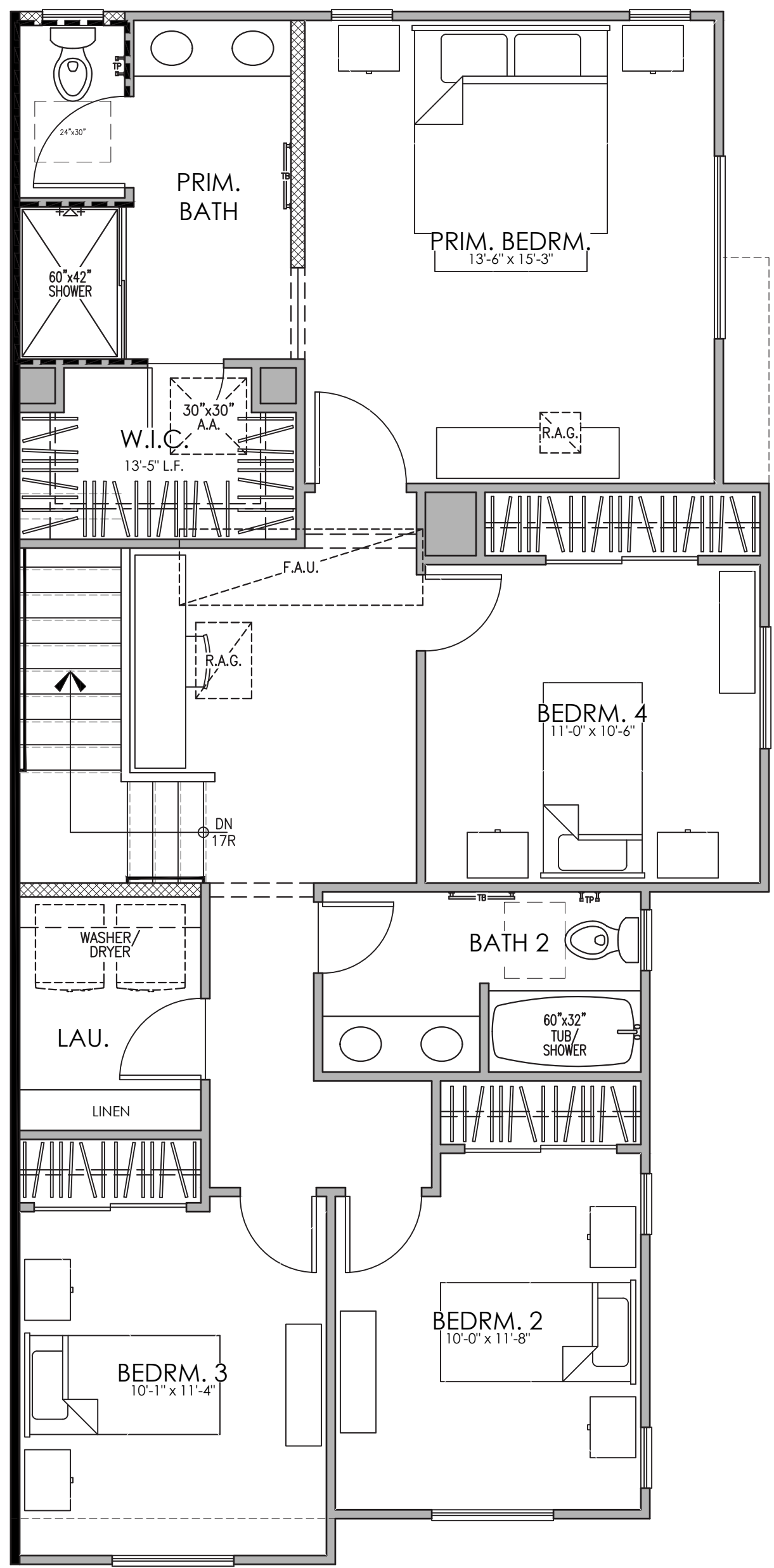
FIRST FLOOR



ADAPTABLE

PLAN 2
 3 BEDROOM, 2.5 BATH, LOFT
 FLOOR PLAN



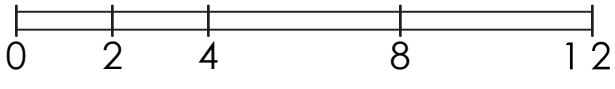


PLAN 3
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	608 SQ. FT.
SECOND FLOOR AREA	1,096 SQ. FT.
TOTAL DWELLING	1,704 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	466 SQ. FT.

OCCUPANCY: R3 TOWNHOME/U
 SPRINKLER SYSTEM: NFPA 13D
 CONSTRUCTION: VB
 SQUARE FOOTAGE MEASUREMENT TAKEN FROM OUTSIDE WALLS

PLAN 3
 4 BEDROOM, 2.5 BATH
 FLOOR PLAN



MV Investments, Inc.

BASELINE & PALMETTO
 FONTANA, CA

FRONT LOADED

06/24/2026
 A-26

Kevin L. Crook
Architect
 Inc
 #25039
 PLANNING + ARCHITECTURE

October 27, 2025

MONTE VISTA HOMES
Project: ***BASELINE & PALMETTO***
Fontana, California

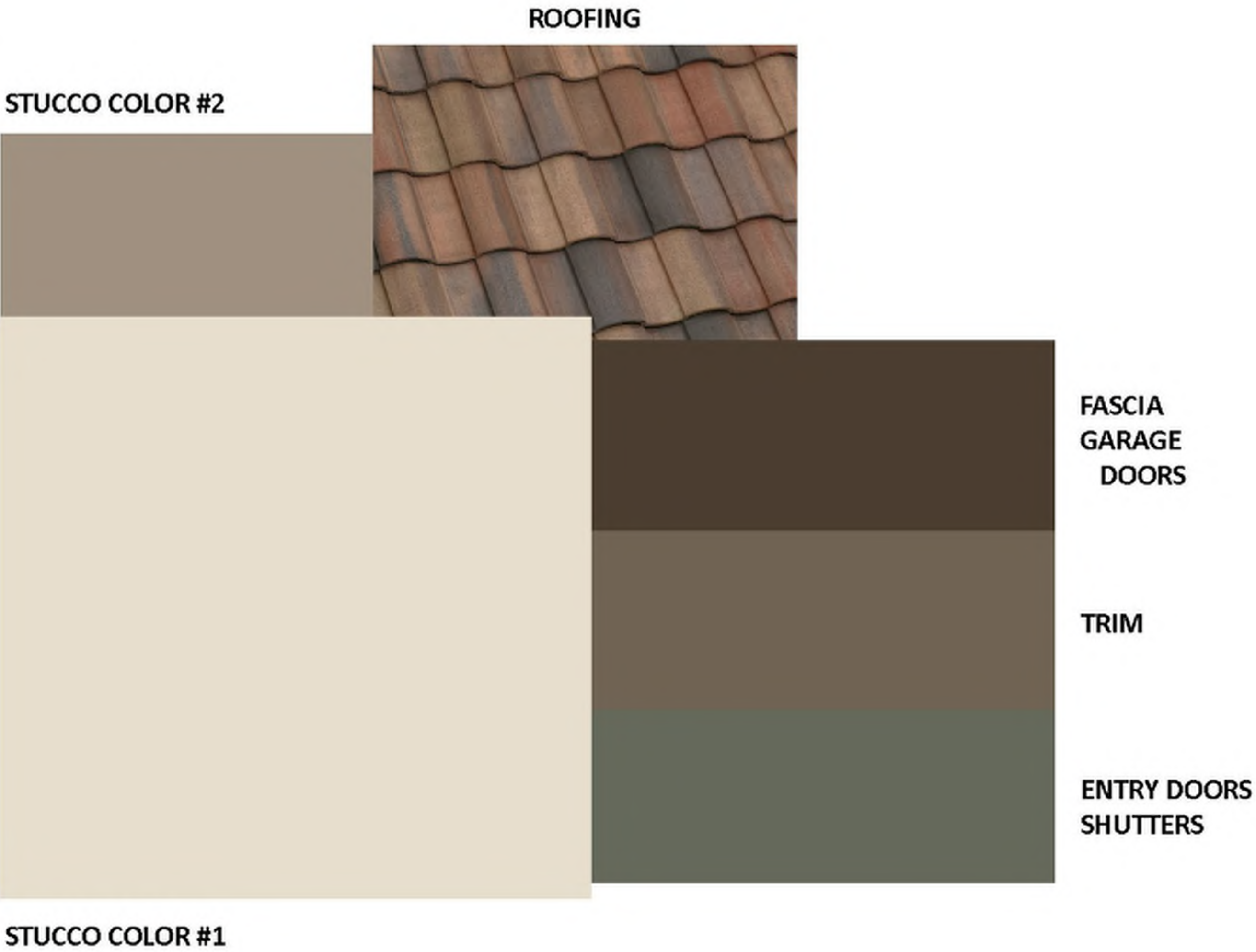
EXTERIOR COLORS AND MATERIALS

COLOR SCHEME 1 – STYLE: SPANISH ELEVATIONS ONLY

DESCRIPTION	COLOR (Finish)	MANUFACTURER
<i>ROOF MATERIAL:</i> Concrete 'S' Tile	SMC8402 SANTA CRUZ BLEND	EAGLE
<i>BIRDSTOP</i>	BLACK	EAGLE
<i>STUCCO COLOR #1</i>	Match Sherwin Williams SW9180 AGED WHITE	OMEGA
<i>STUCCO COLOR #2</i>	Match Sherwin Williams SW9174 MOTH WING	OMEGA
<i>TRIM COLOR #1</i> (applied to): Braces Eaves Fascia Garage Doors	SW9183 DARK CLOVE	SHERWIN WILLIAMS
<i>TRIM COLOR #2</i> (applied to): Corbels Mechanical Doors Potshel Stucco Over Foam Trim Wood Trim	SW7040 SMOKEHOUSE	SHERWIN WILLIAMS
<i>ACCENT COLOR</i> (applied to): Entry Doors Shutters	SW6187 ROSEMARY	SHERWIN WILLIAMS
<i>PRE FAB PIPES</i>	SW6061 TANBARK	SHERWIN WILLIAMS
<i>GUTTERS & DOWNSPOUTS</i>	MATCH ADJACENT COLOR	SHERWIN WILLIAMS

NOTE: MODIFICATIONS TO SPECIFICATIONS TO BE COORDINATED WITH COLOR DESIGNER
All Colors and Materials are recommendations based solely upon aesthetic value for the exclusive internal use by ABOVE MENTIONED BUILDER/DEVELOPER.
JCACD shall not be held liable for any errors or product failure on manufacturers or contractor/subcontractors part in the field (i.e. stucco, masonry, paint
manufacturers errors, painters, etc.). NOTE: PAINT MANUFACTURER DETERMINED BY BUILDER WILL MATCH ALL PAINT NOTED ABOVE. DESIGNER MUST
APPROVE MATCHES PRIOR TO APPLICATION IN FIELD. NOTE: ALL PAINT BREAKS TO BE TURNED AT INSIDE CORNERS.

COLOR SCHEME 1



BASELINE & PALMETTO

Fontana, California

Spanish Elevations

October 27, 2025

MONTE VISTA HOMES
Project: **BASELINE & PALMETTO**
Fontana, California

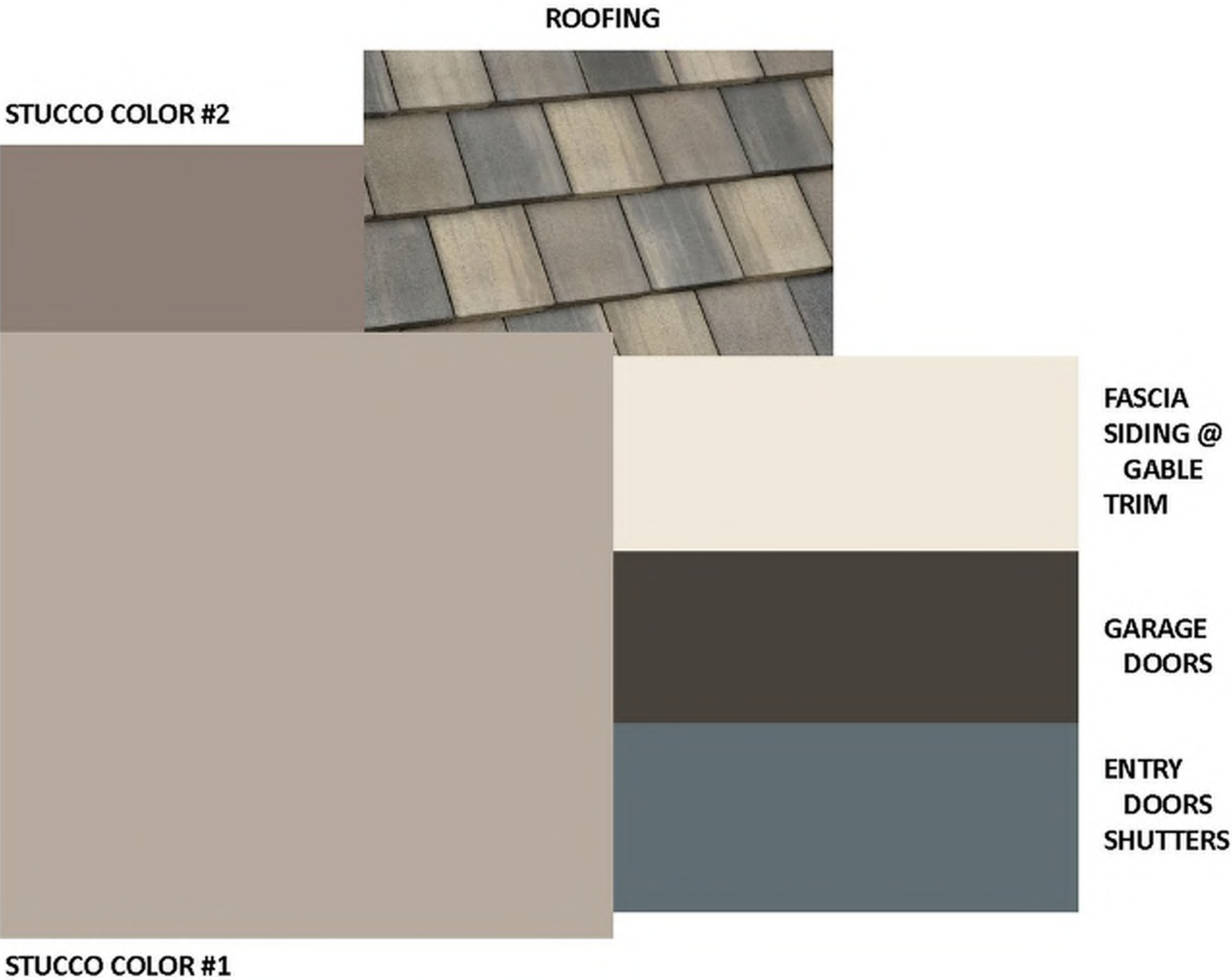
EXTERIOR COLORS AND MATERIALS

COLOR SCHEME 2 – STYLE: COTTAGE ELEVATIONS ONLY

DESCRIPTION	COLOR (Finish)	MANUFACTURER
ROOF MATERIAL: Concrete Flat Tile	SCB8827 TACOMA BLEND	EAGLE
STUCCO COLOR #1	Match Sherwin Williams SW6073 PERFECT GREIGE	OMEGA
STUCCO COLOR #2	Match Sherwin Williams SW6074 SPALDING GRAY	OMEGA
TRIM COLOR #1 (applied to): Corbels Eaves Fascia Mechanical Doors Siding @ Gable Stucco Over Foam Trim Wood Trim	SW7012 CREAMY	SHERWIN WILLIAMS
TRIM COLOR #2 (applied to): Garage Doors	SW7675 SEALSKIN	SHERWIN WILLIAMS
ACCENT COLOR (applied to): Entry Doors Shutters	SW7624 SLATE TILE	SHERWIN WILLIAMS
GUTTERS & DOWNSPOUTS	MATCH ADJACENT COLOR	SHERWIN WILLIAMS

NOTE: MODIFICATIONS TO SPECIFICATIONS TO BE COORDINATED WITH COLOR DESIGNER
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COLOR SCHEME 2



BASELINE & PALMETTO

Fontana, California

Cottage Elevations