

ATTACHMENT NO. 2 Proposed Apartment Complex For:
Awad Development
9172 Pepper Avenue, Fontana, CA 92335



Pepper Ave. View

OWNER: AWAD DEVELOPMENT
CONTACT: ABDEL AWAD (909) 519-3416 abdelawad30@gmail.com

PROJECT ADDRESS: 9172 PEPPER AVENUE, FONTANA, CA 92335

ARCHITECT: ANDRESEN ARCHITECTURE INC. 17087 ORANGE WAY FONTANA, CA 92335
CONTACT: FLORY SMITH (909) 355-6688 flory.smith@aafirm.com

CIVIL: HP ENGINEERING, INC. 1485 CRESTVIEW ROAD, REDLANDS, CA. 92374
CONTACT: HENRY POQUIZ (909) 335-8239

LANDSCAPING: LANDSCAPE DYNAMICS
CONTACT: SARA ZOLL (951) 264-8185 sarazoll@landscapedynamics.net

SOIL: SAMPSON AND ASSOCIATES
CONTACT: MOHAMMAD SAMIEE (909) 522-7067 mohsamiee@msn.com

APN: 0193-101-07
ZONING: FORM-BASED CODE / MULTI-FAMILY GROUP R-2/U
OCCUPANCY: TYPE B
CONSTRUCTION: TYPE B
FIRE SPRINKLERS: REQUIRED

PROJECT DESCRIPTION: PROPOSED (18) 2 STORY, 3 BEDROOM, TOWNHOME APARTMENTS WITH TUCK-UNDER GARAGES, TRASH ENCLOSURE, PERIMETER SCREEN WALLS, SITE LIGHTING, BBQ AND TRELLIS AREA

ARCHITECTURE STYLE: TUSCAN

LOT SIZE: 38,394.88 SF. (0.88 AC.)

BUILDING FOOTPRINT: 19,816 SF.
LOT COVERAGE: 52%

NET LOT SIZE: 18,579 SF.
LANDSCAPE AREA: 6,625 SF. (36%)
HARDSCAPE AREA: 11,954 SF. (64%)

MINIMUM DENSITY ALLOWED: 12 DWELLING UNIT / ACRE
0.88 x 12 = 10 UNITS MIN
39 DWELLING UNIT / ACRE
0.88 x 39 = 34 UNITS MAX.

MAXIMUM DENSITY ALLOWED: 18 UNITS

UNITS PROPOSED: MULTIPLEX
FRONTAGE TYPE: DOORYARD

TYP. UNIT AREA - TYPE A (16 UNITS):
2-STORY, 3 BED, 2 1/2 BATH
1ST FLOOR 590 SF.
2ND FLOOR 962 SF.
TOTAL 1,542 SF.
GARAGE 430 SF.
COVERED ENTRY 69 SF.

TYP. UNIT AREA - TYPE B (2 UNITS):
2-STORY, 3 BED, 2 1/2 BATH
1ST FLOOR 676 SF.
2ND FLOOR 842 SF.
TOTAL 1,518 SF.
GARAGE 430 SF.
COVERED ENTRY 80 SF.

FRONTAGE COVERAGE REQ.: 50% MINIMUM
FRONTAGE COVERAGE PROVIDED: 76'-0" > 50%

MAXIMUM HEIGHT ALLOWED: 3 STORIES / 40'-0"
MAXIMUM HEIGHT PROVIDED: 2 STORIES / 26'-1"

PARKING: 1.5 SPACES REQ./UNIT (18 X 1.5) REQUIRED 27 SPACES
TOTAL: 27 SPACES REQUIRED

2 GARAGE SPACES / UNIT PROVIDED: 36 SPACES
TOTAL: 36 SPACES PROVIDED

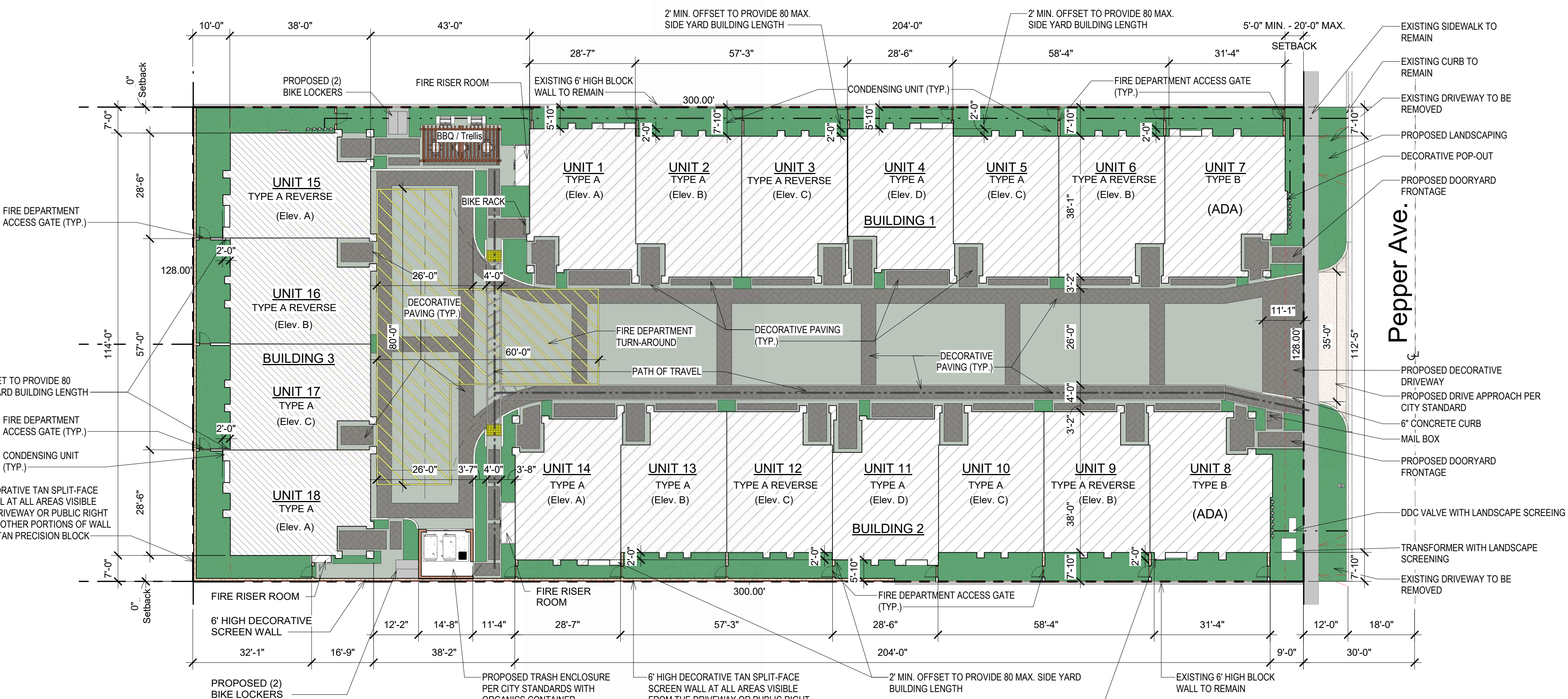
REQUIRED BICYCLE SPACE (CSBCS 4.106.9.1)
1 SPACE / 4 UNITS (18 UNITS / 4) 5 SPACES REQUIRED

20% SHORT-TERM = 1 SPACE 3 BICYCLE RACKS PROVIDED
80% LONG TERM = 4 SPACES 4 BICYCLE LOCKERS PROVIDED
7 BICYCLE SPACES PROVIDED

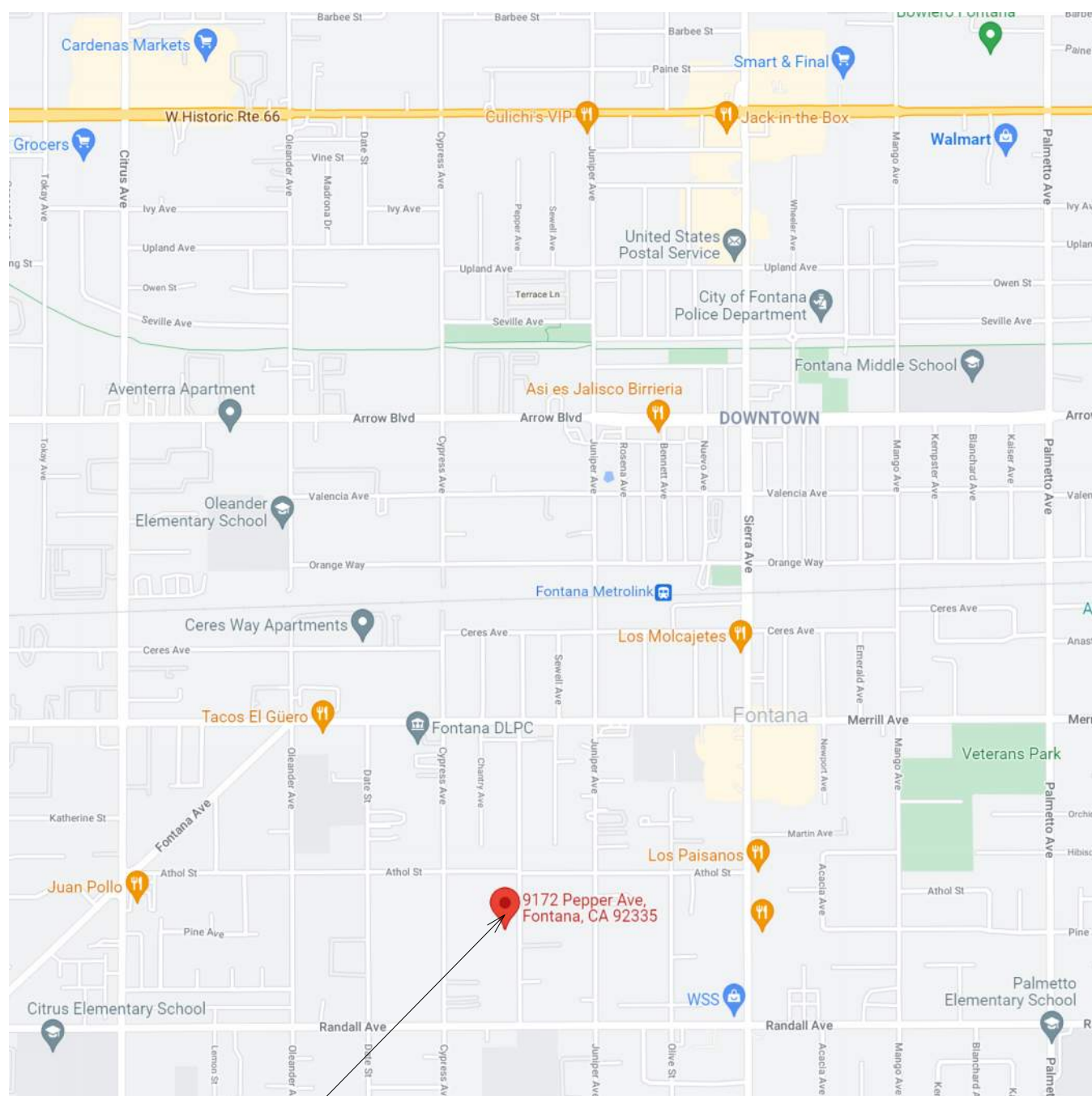
PRIVATE OPEN SPACE REQ. 64 SF / UNIT MIN. (8 MIN. DIM.)
PRIVATE OPEN SPACE PROV. 93 SF MIN.



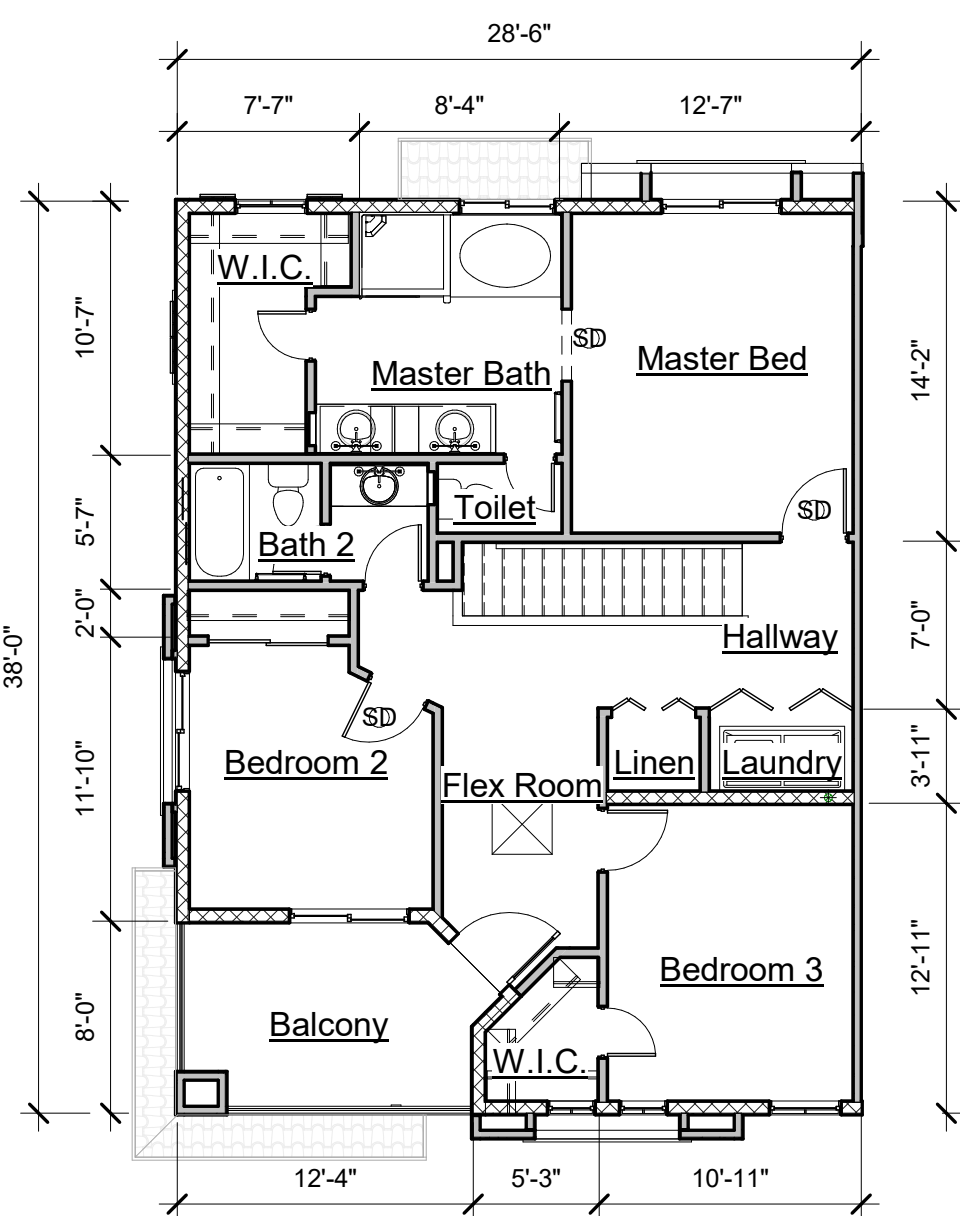
Decorative Concrete Pattern



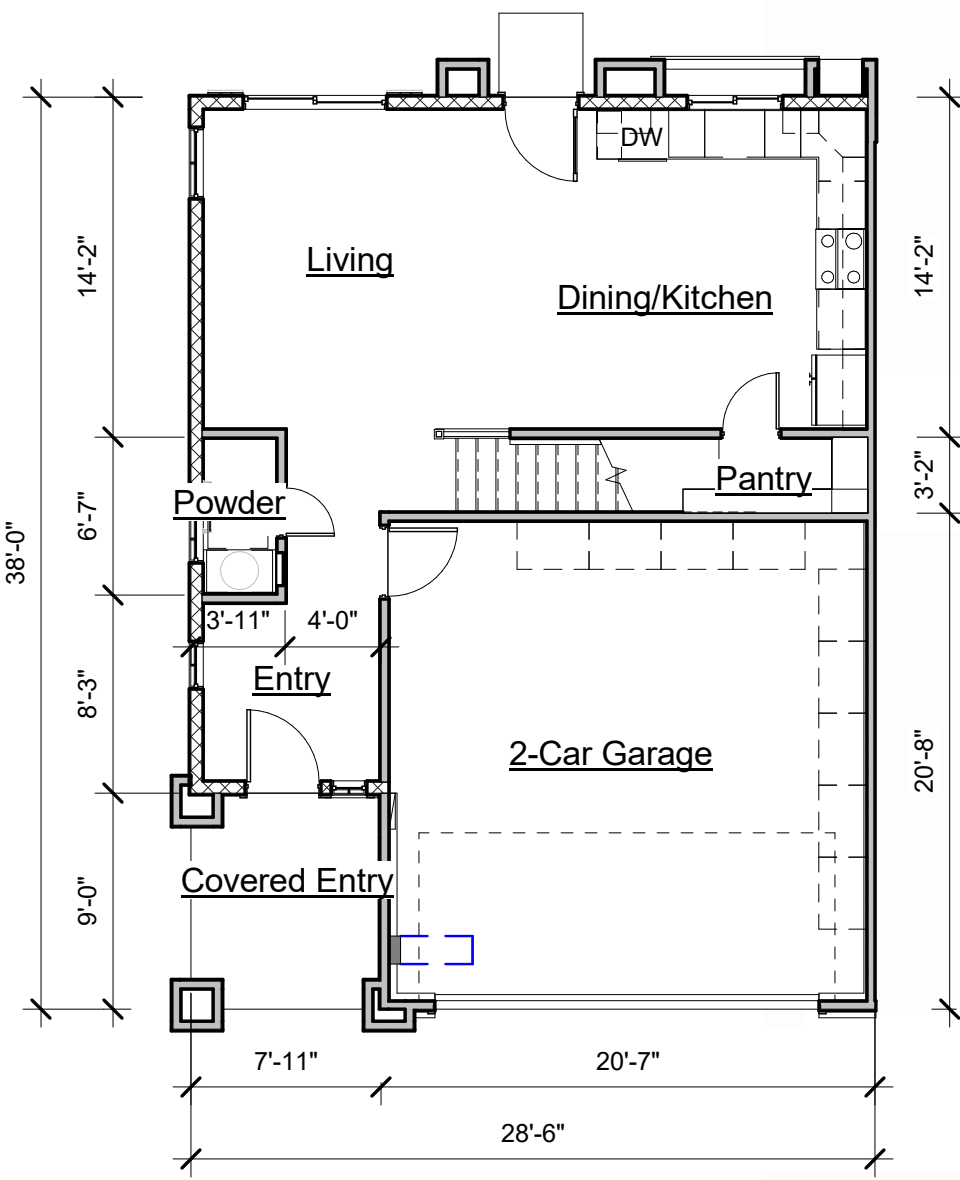
Site Plan
1" = 20'-0"



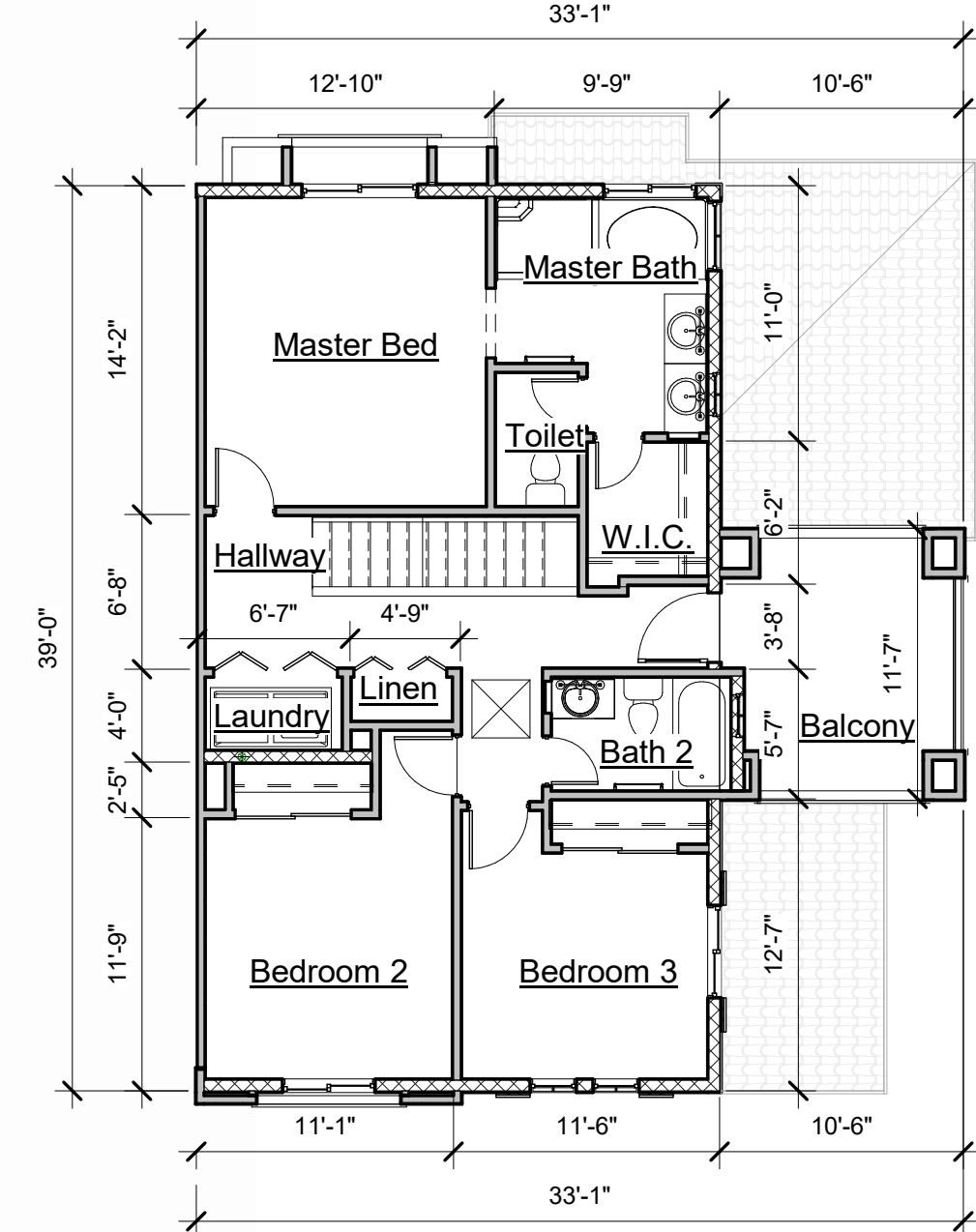
Vicinity Map



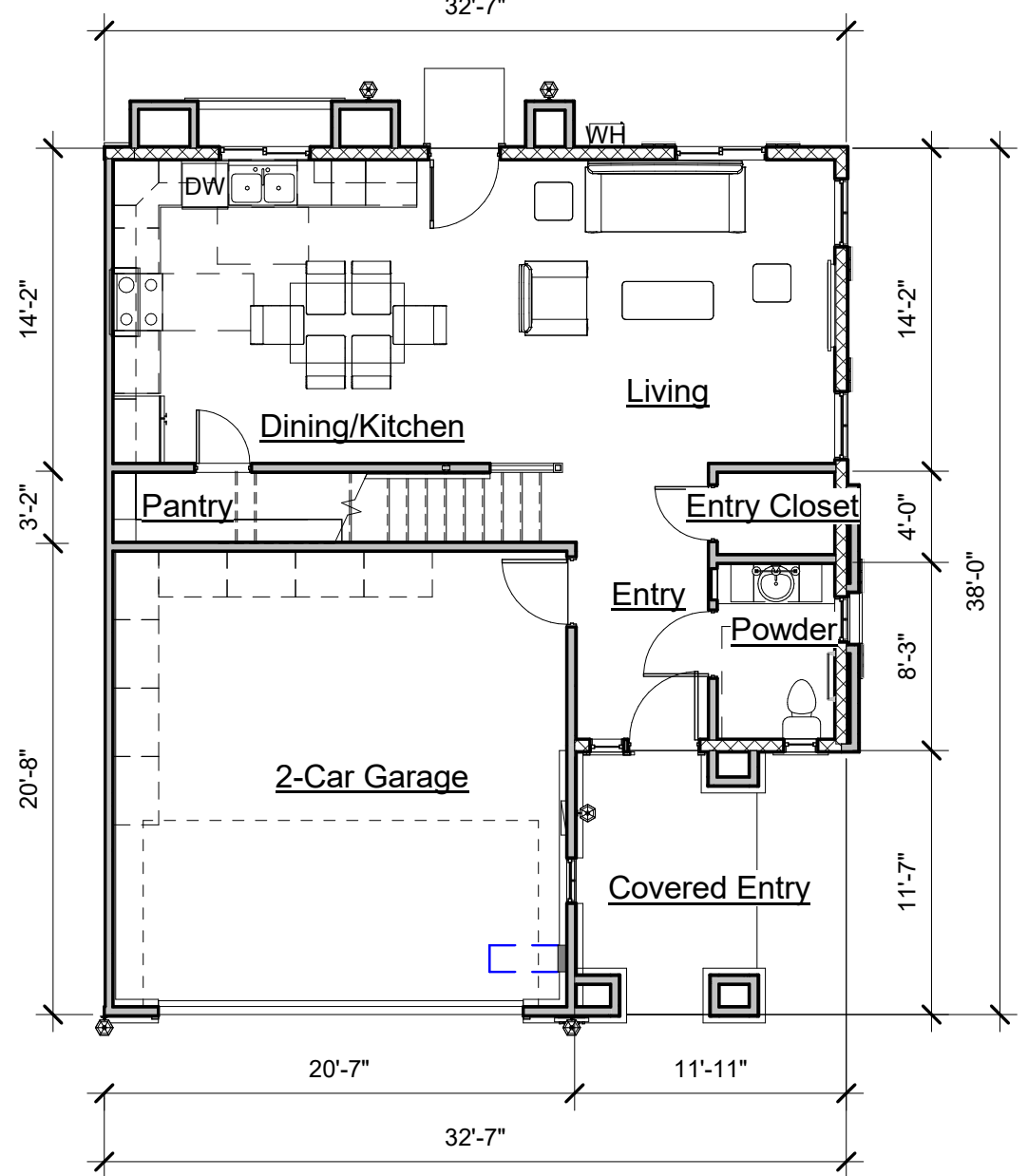
Type A - Second Floor Plan
1/8" = 1'-0"



Type A - First Floor Plan
1/8" = 1'-0"



Type B - Second Floor Plan Adaptable
1/8" = 1'-0"



Type B - First Floor Plan Adaptable
1/8" = 1'-0"

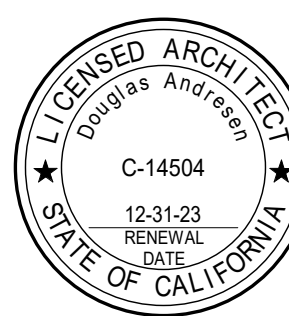
Sequence of Drawings - DR	
Number	Description
PL1	Site Plan
PL2	Floor Plans & Elev. - Bldg. 1, 2
PL3	Floor Plans & Elev. - Bldg. 3
PL4	Amenities
PL5	3D Views
1 of 1	Conceptual Grading Plan
1 of 2	Preliminary Landscape Plan

BUILDING AREAS:	
BUILDING 1&2:	
FIRST FLOOR:	4,266 SF
SECOND FLOOR:	6,524 SF
GARAGE:	2,912 SF
COVERED PORCH:	519 SF
BALCONY:	709 SF
ELECTRICAL ROOM:	143 SF
TOTAL BUILDING AREA:	14,964 SF
BUILDING 3:	
FIRST FLOOR:	2,384 SF
SECOND FLOOR:	3,788 SF
GARAGE:	1,664 SF
COVERED PORCH:	284 SF
BALCONY:	396 SF
ELECTRICAL ROOM:	11 SF
TOTAL BUILDING AREA:	8,527 SF

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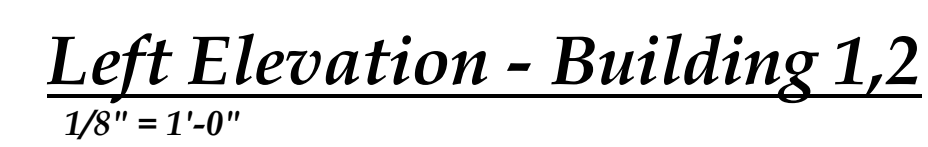
31 Oct. 2023

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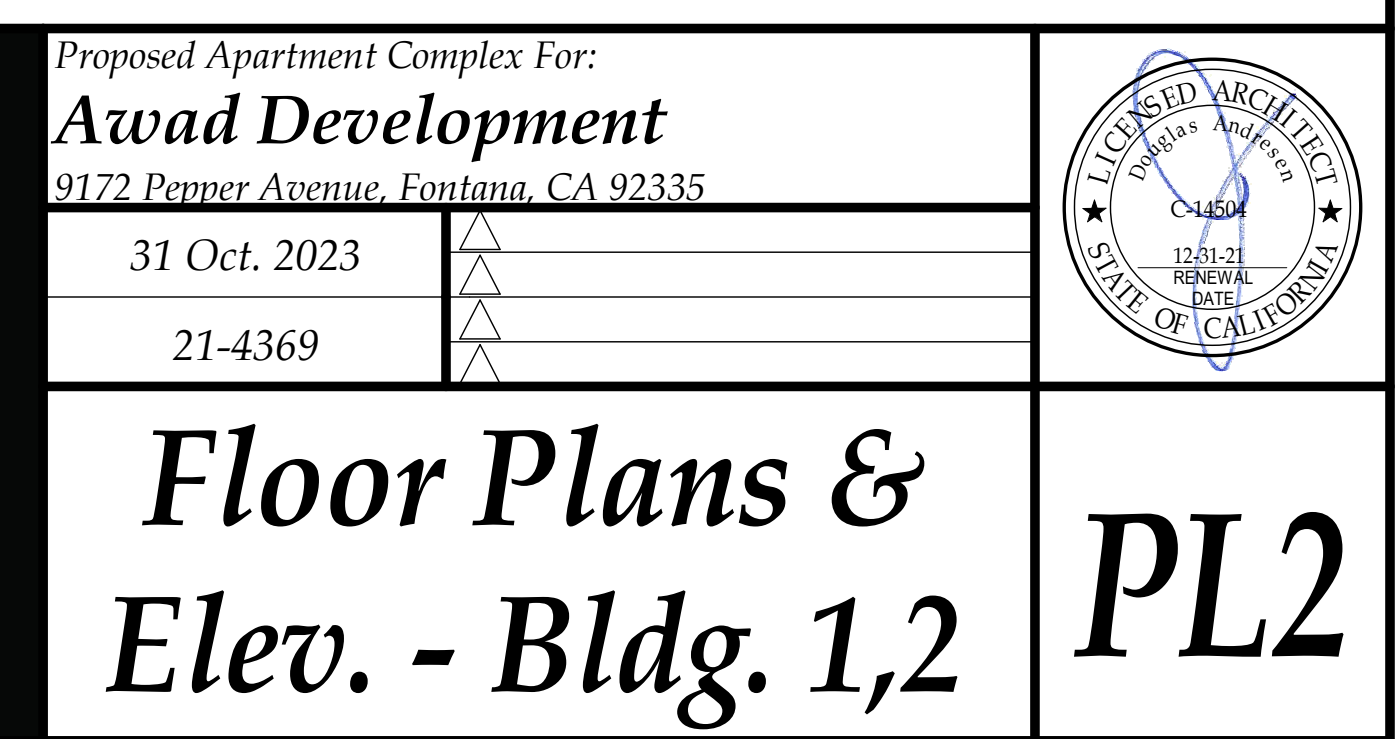
Site Plan

PL1

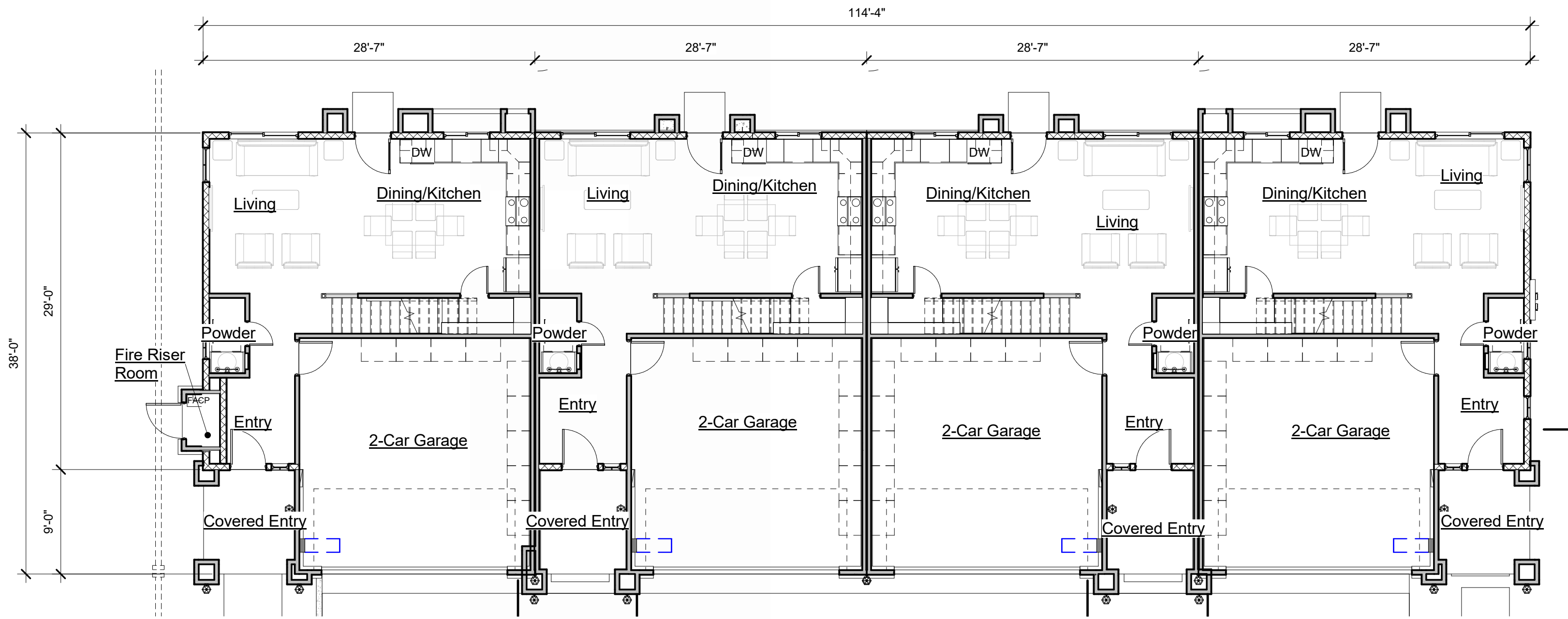


The roof plan illustrates a building with a complex, multi-gabled roof. The plan is oriented with North at the top. The roof is divided into several sections, each labeled with its type: 'VALLEY', 'RIDGE', and 'HIP'. Dimensions are provided for several sections, including 4,000' x 12,000' and 4,000' x 12,000'. The plan shows a series of interconnected roof sections, with some sections being larger than others. The overall shape of the roof is irregular, with multiple peaks and valleys. The plan is a technical drawing, likely used for construction or architectural purposes.

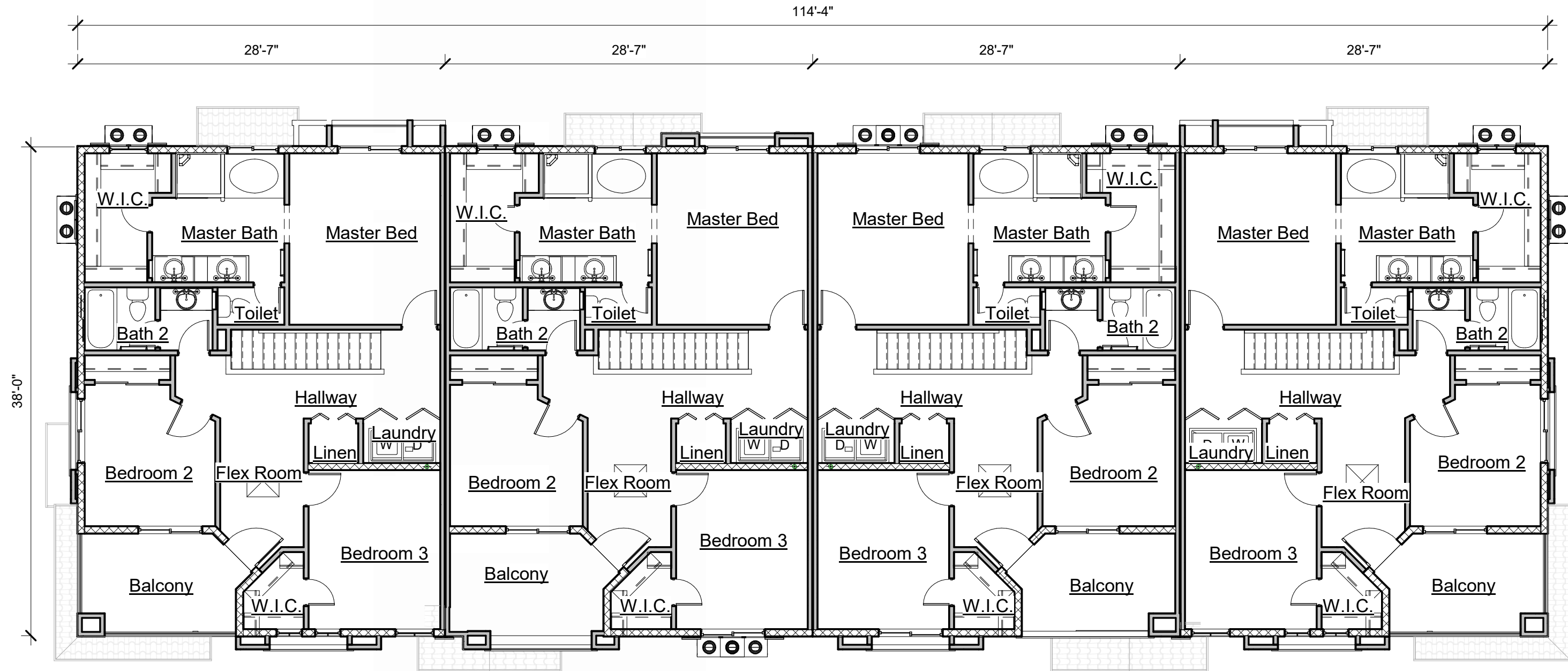
Roof Plan - Building 1,2
1/16" = 1'-0"



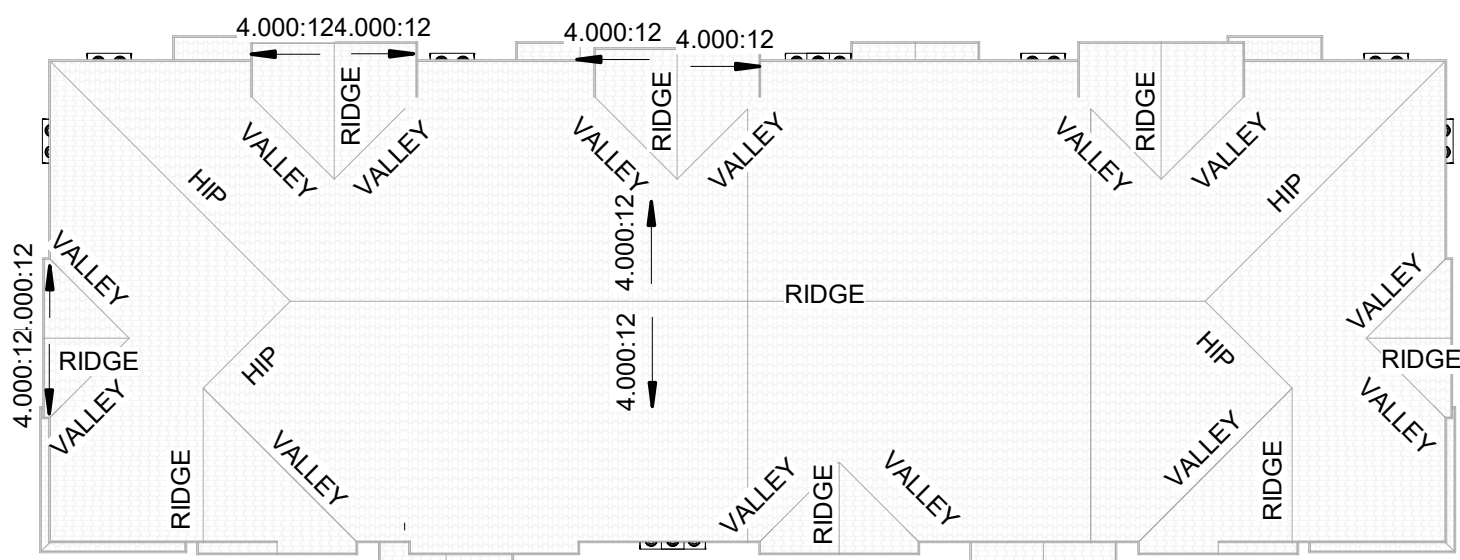
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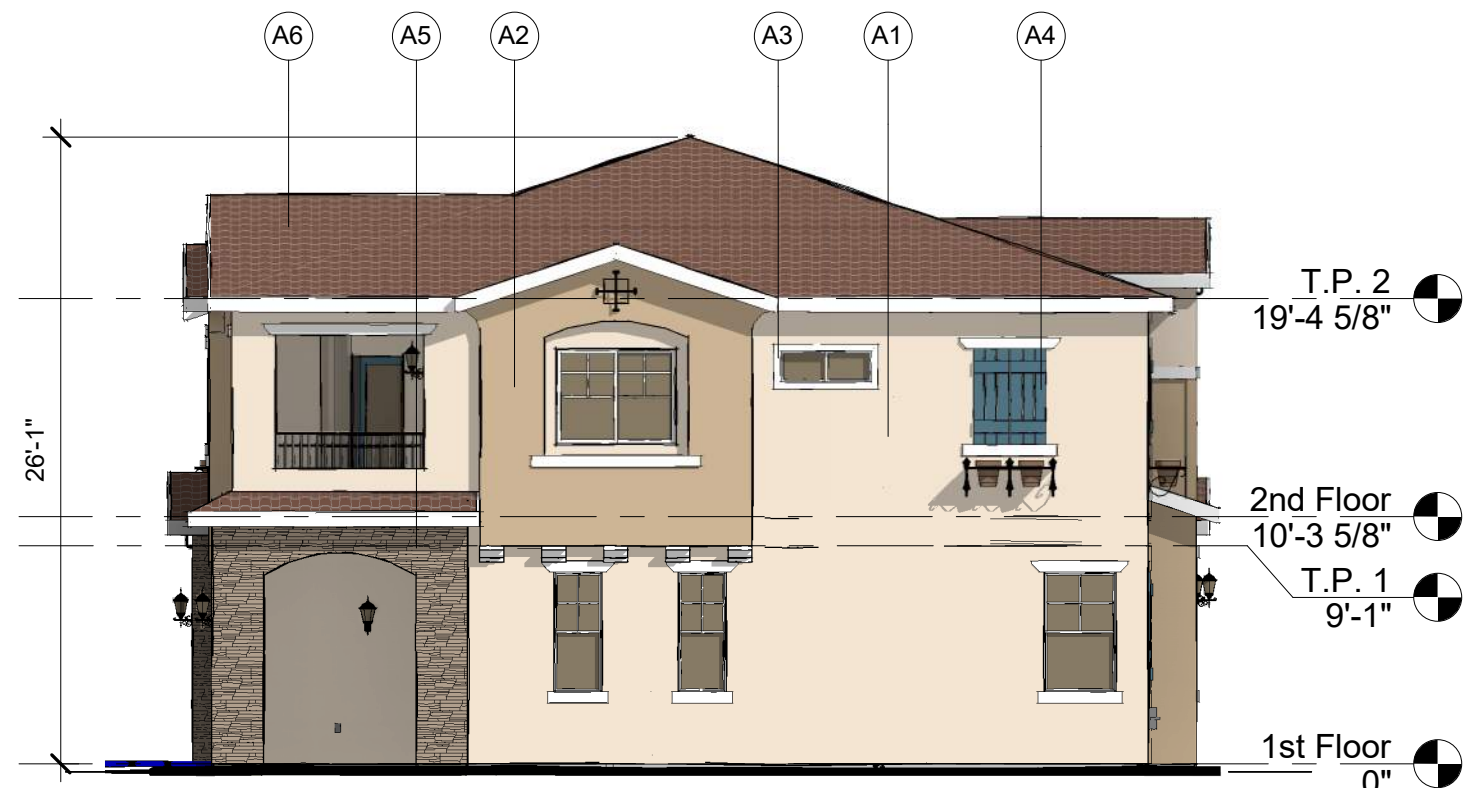
First Floor Plan Typ. - Building 3
1/8" = 1'-0"



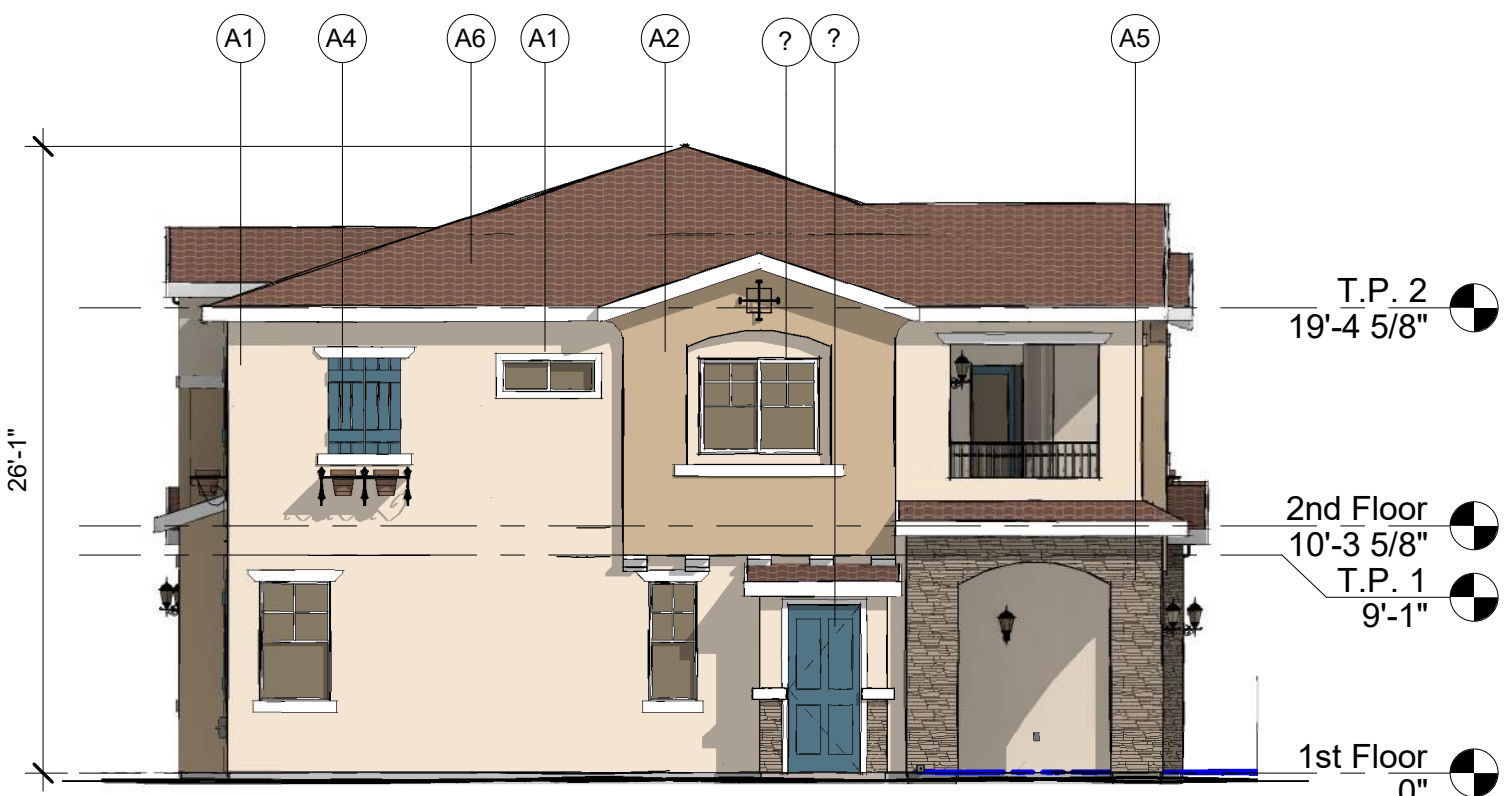
Second Floor Plan Typ. - Building 3
1/8" = 1'-0"



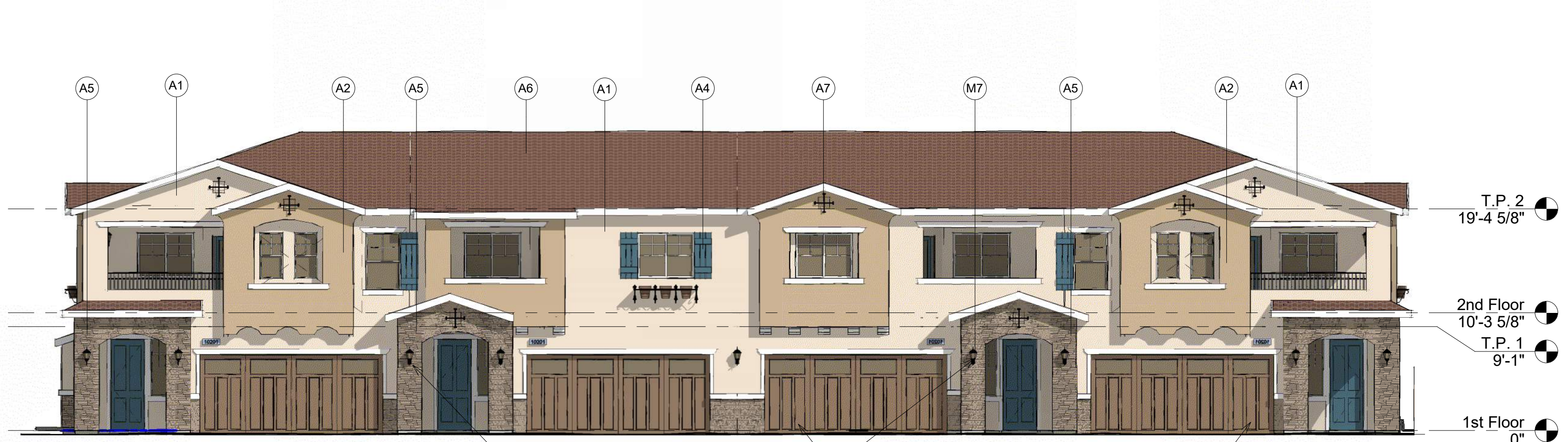
Roof Plan - Building 3
1/16" = 1'-0"



Right Elevation - Building 3
1/8" = 1'-0"



Left Elevation - Building 3
1/8" = 1'-0"



Front Elevation - Building 3
1/8" = 1'-0"



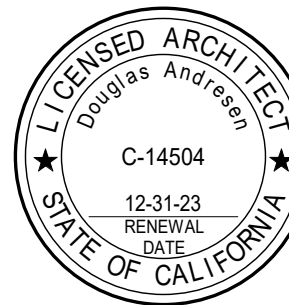
Rear Elevation - Building 3
1/8" = 1'-0"

Material Legend				
Mark	Material	Manufacturer	Material Color	Product #
A1	MAIN COLOR	DUNN EDWARDS	"SHORTBREAD"	DE6134
A2	ACCENT COLOR	DUNN EDWARDS	"TERRACOTTA SAND"	DEW136
A3	FASCIA/TRIM	DUNN EDWARDS	"WHITE"	DEW380
A4	SHUTTERS / ENTRY DOOR	DUNN EDWARDS	"SAN MIGUEL BLUE"	DET569
A5	STONE VENEER	BORAL	"MOJAVE"	COUNTRY LEDGESTONE PROFILE
A6	ROOFING TILES	BORAL	"CASA GRANDE BLEND"	BARCELONA PROFILE
A7	WROUGHT IRON RAILING / DETAILS			

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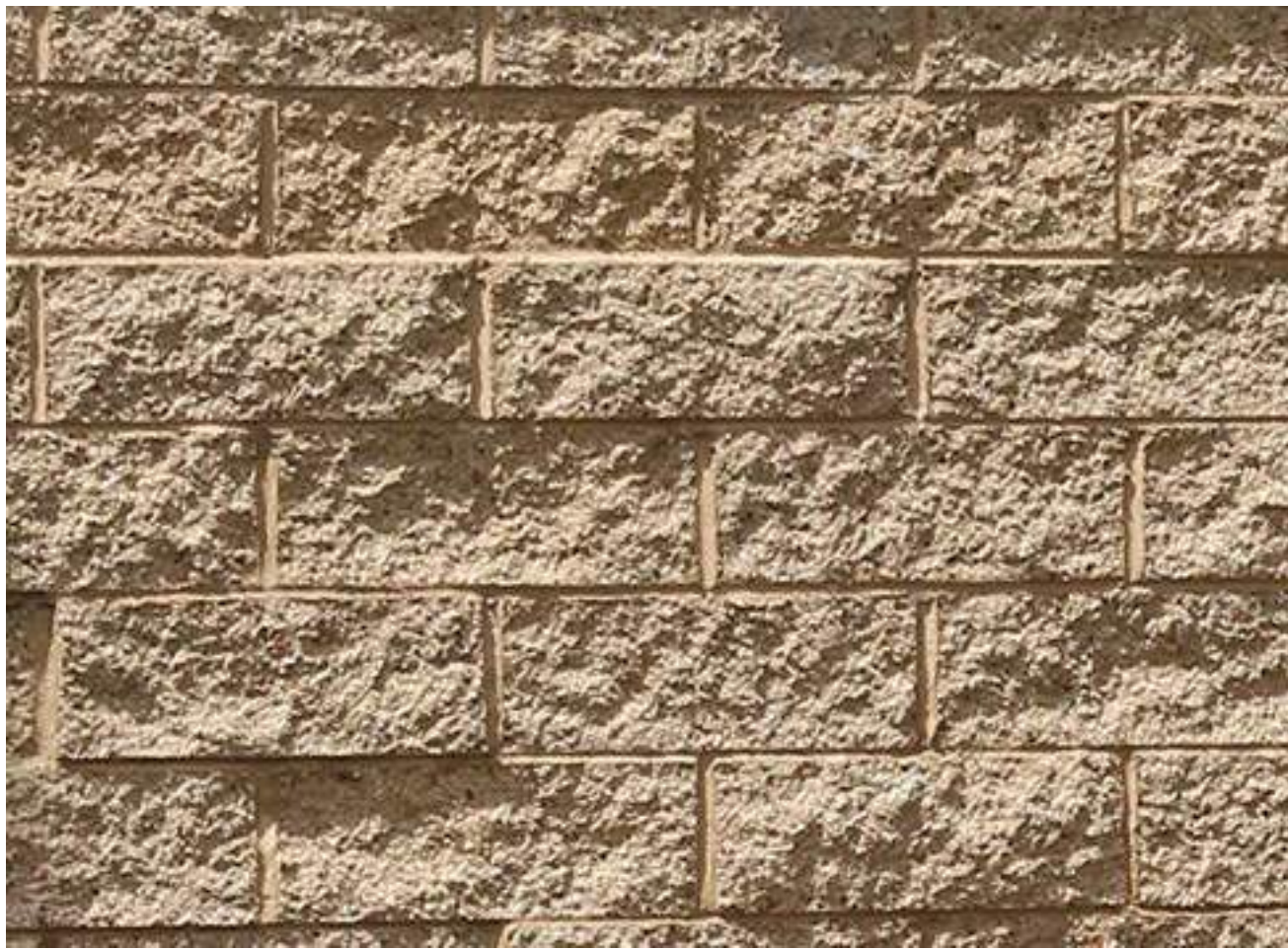
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Floor Plans &
Elev. - Bldg. 3

PL3

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TAN SPLIT-FACE BLOCK WALL

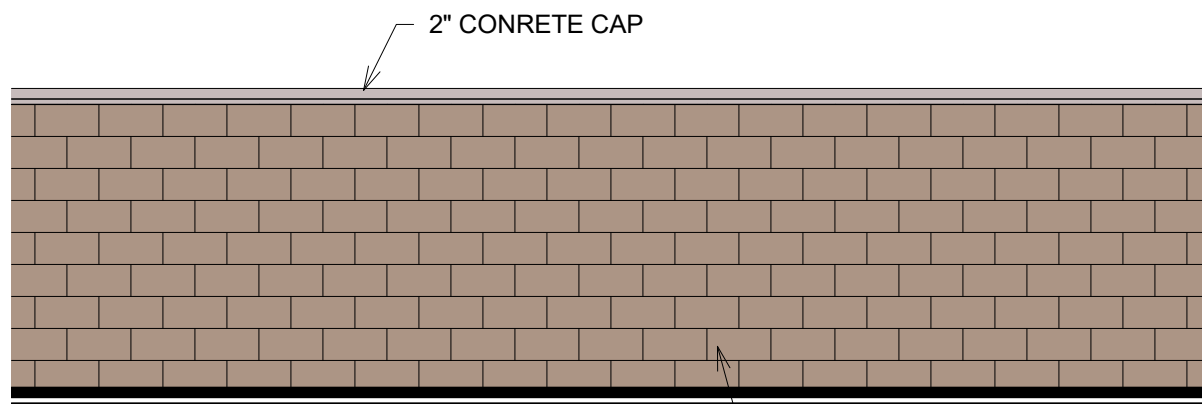


3 BBQ Area



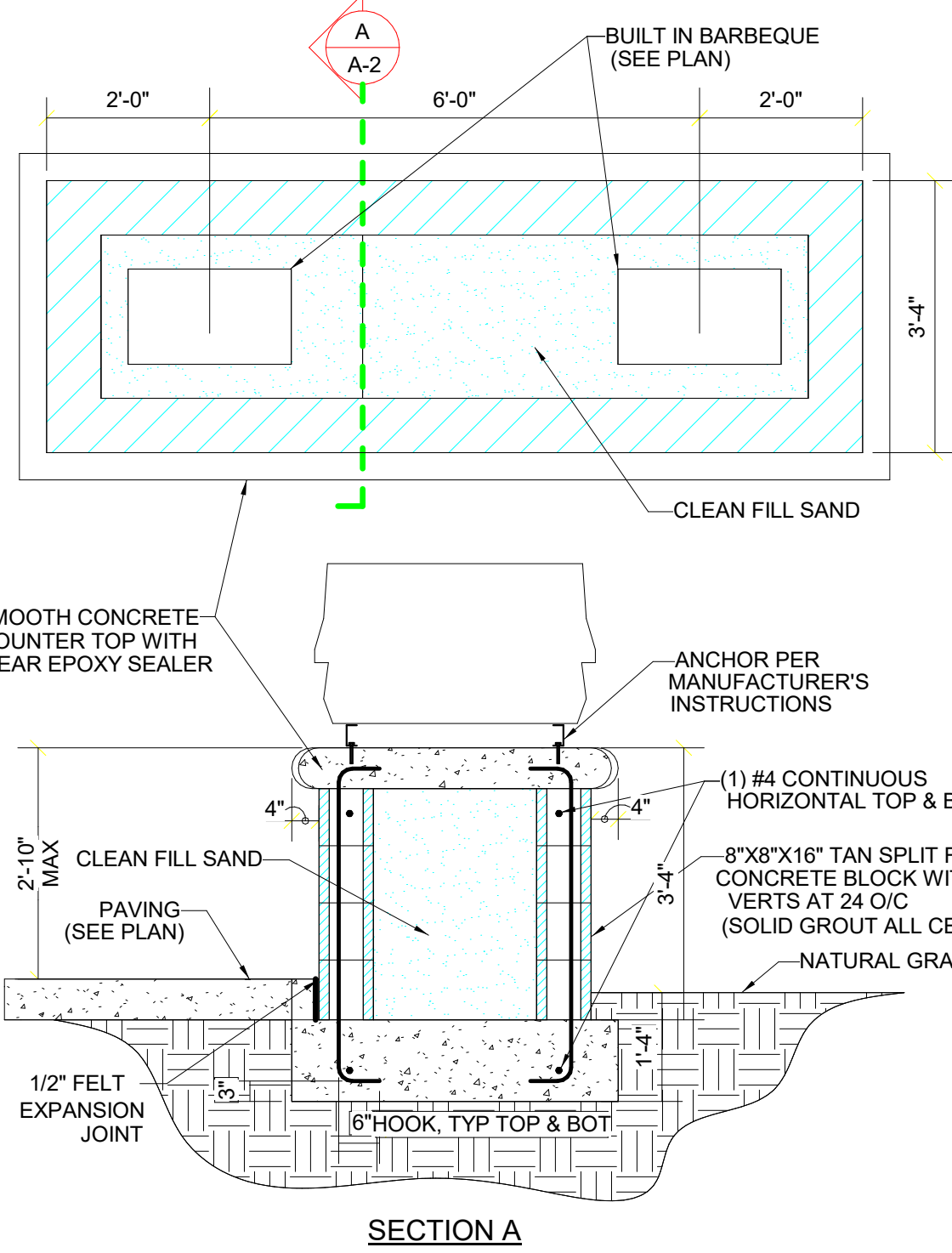
TAN PRECAST CONCRETE CAP

4 Block Wall Material



2" CONCRETE CAP
6" HIGH DECORATIVE TAN SPLIT-FACE
SCREEN WALL

5 Block Wall



2 Barbeque
1/2" = 1'-0"

Standard
Specifications

Model: 537-1052
thepark
CAND FACILITIES
CATALOG



Product Details:
Capacity: 1 door/1 Bike
Materials: Locker shall be manufactured of molded fiberglass reinforced plastic composite with a smooth "X" and "Y" pattern on stippled walls and top, with smooth door frame and stippled door. Material shall be E-glass and polyester resin at 35% ratio.
Tensile Strength: 18,000 psi. Locker shall be one piece with no external or internal frame and no seams or joints on tops or side walls. Material shall withstand over 300 lb/sqft on roof and 200 lb/sqft on walls/doors.
No On Site Assembly Required.
Roof shall be crowned for water run-off and all corners shall have a smooth radiused finish. Finish of UV stabilized gelcoat does not need painting, allows solvent removal of graffiti and is resistant to impact and UV damage.
Please allow 5ft clearance for door
High quality custom continuous door hinge will not rust. All fasteners on locking system shall be zinc plated or better. Locker shall anchor in all four corners through base flanges using expansion anchors. See last page for anchoring details.
2 Standard Lock Options (No Charge)
Fort Lock 7 pin tumbler Pop Out "T" handle locks with three keys and removable lock cylinders. Internal locking hardware consists of three plated hardened steel cams controlling an extruded aluminum locking bar which engages the door frame over three foot span.
Heavy duty stainless steel Padlock/U-Lock handle will accommodate high security Padlocks and U-Locks. For U-Locks from 1/2" to 3/4" Diameter. Padlocks and U-Locks not included.

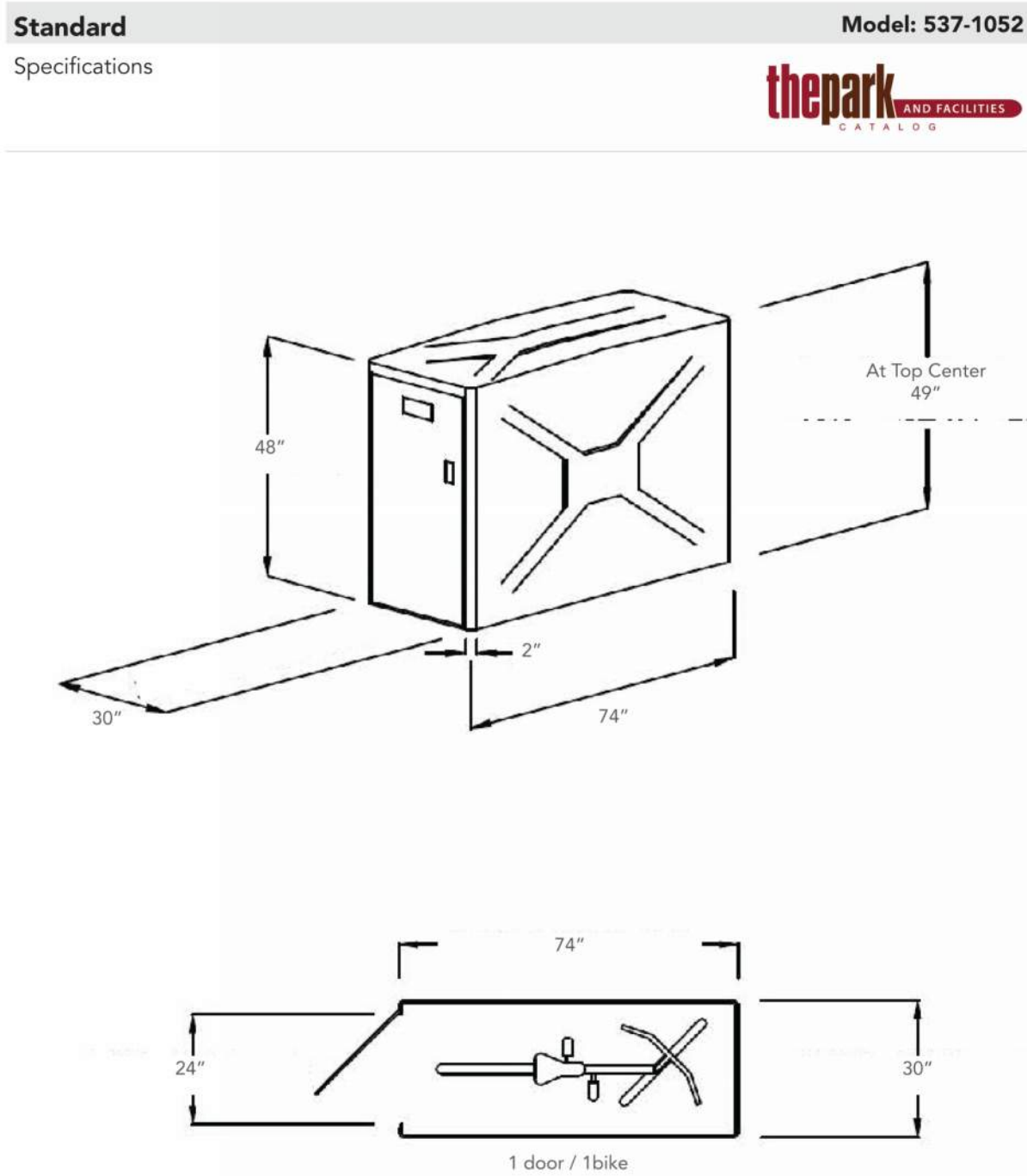
Standard
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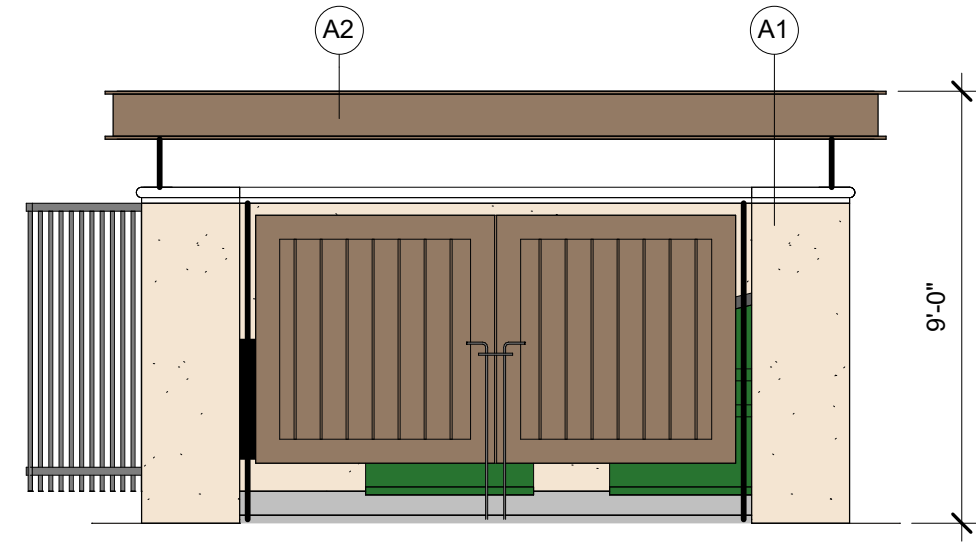


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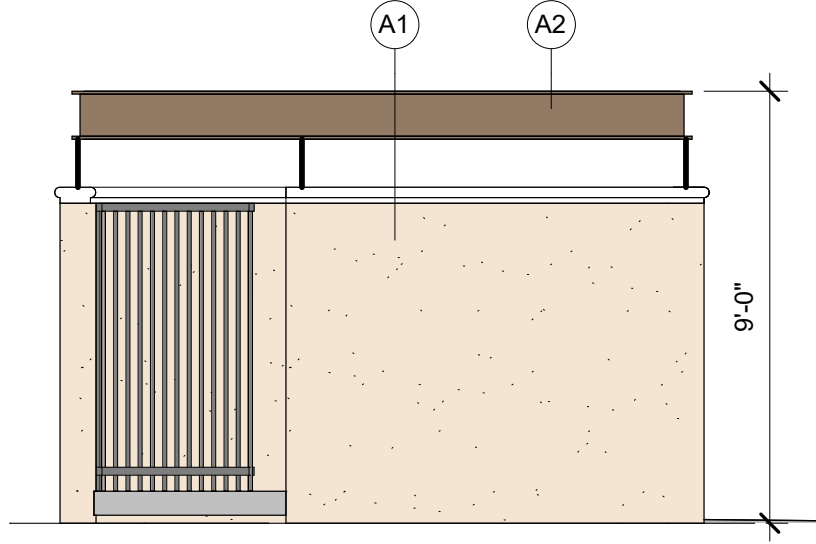
*Subject to change without notice



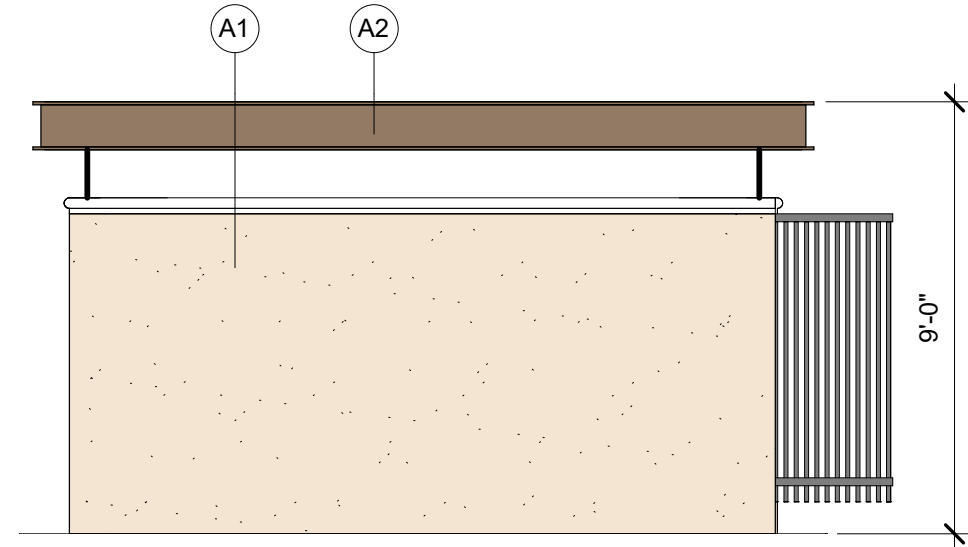
*Subject to change without notice



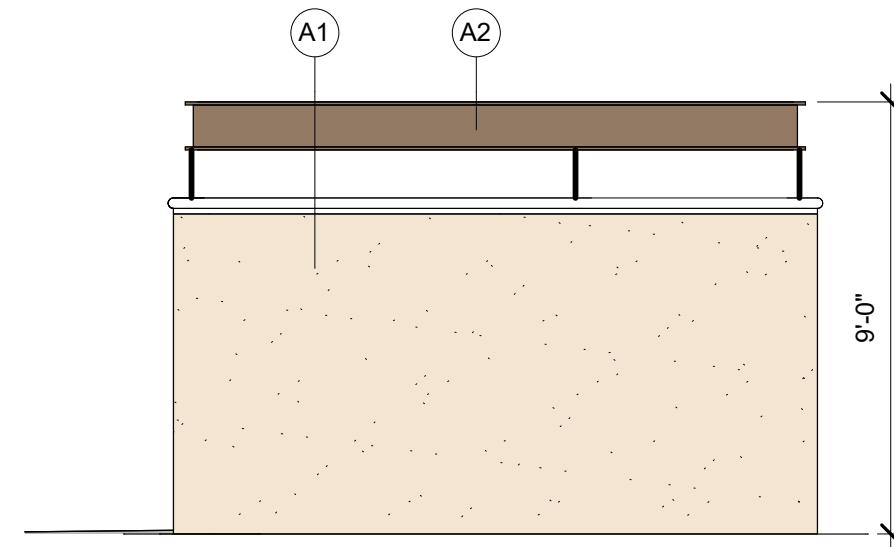
Trash Enclosure - North Elevation
1/4" = 1'-0"



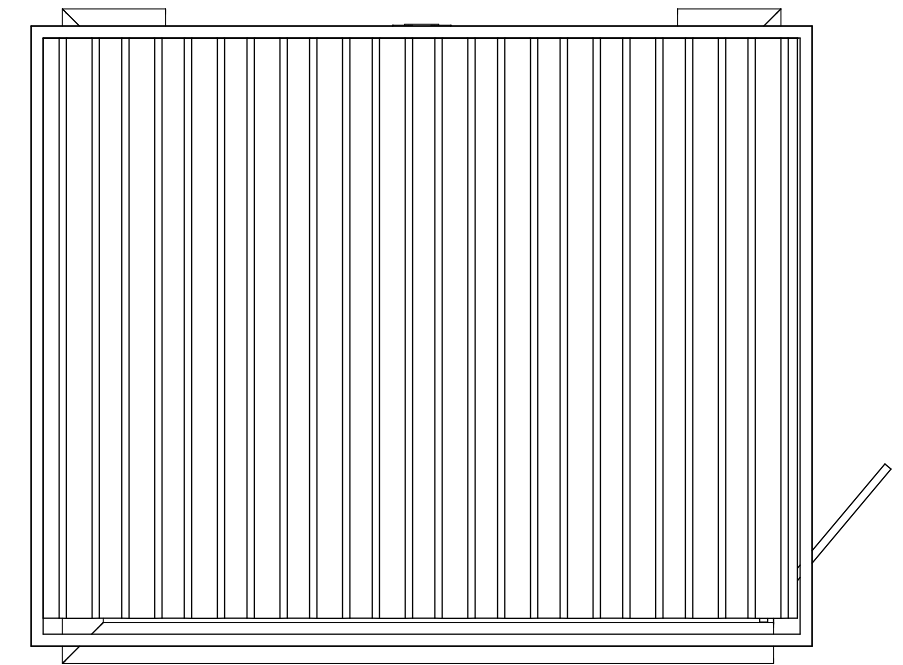
Trash Enclosure - East Elevation
1/4" = 1'-0"



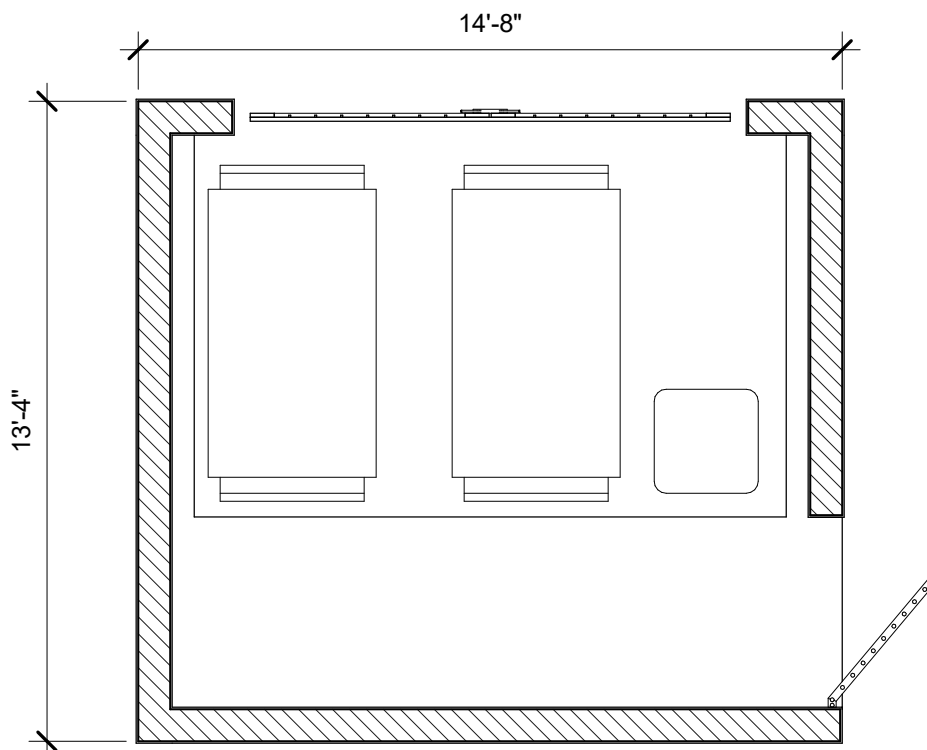
Trash Enclosure - South elevation
1/4" = 1'-0"



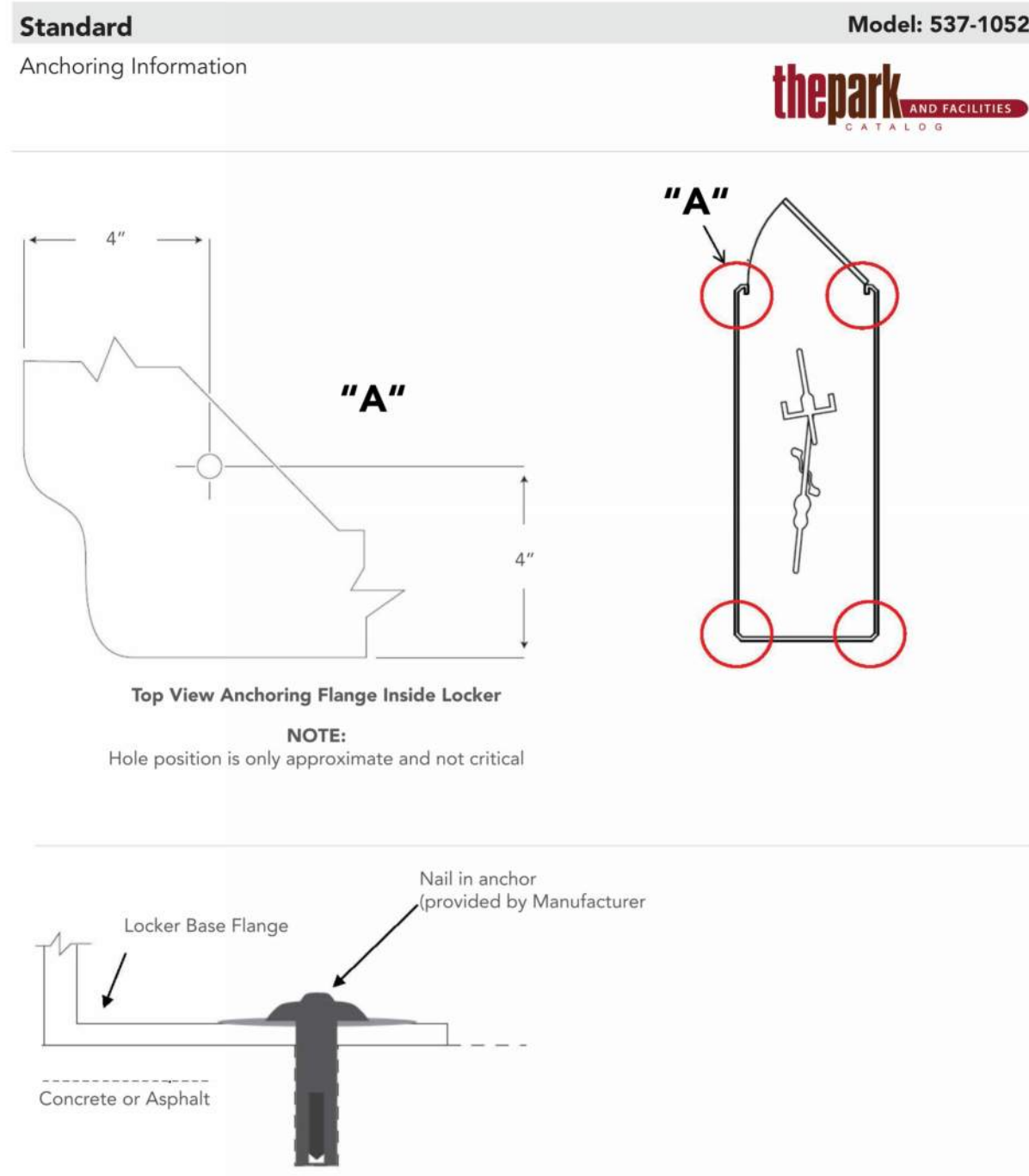
Trash Enclosure - West Elevation
1/4" = 1'-0"



Trash Enclosure Roof Plan
1/4" = 1'-0"



Trash Enclosure Floor Plan
1/4" = 1'-0"



*Subject to change without notice

Material Legend				
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A1	MAIN COLOR	DUNN EDWARDS	"SHORTBREAD"	DE6134
A2	ACCENT COLOR	DUNN EDWARDS	"TERRACOTTA SAND"	DE6136
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A5	STONE VENEER	BORAL	"MOJAVE"	COUNTRY LEDGESTONE PROFILE
A6	ROOFING TILES	BORAL	"CASA GRANDE BLEND"	BARCELONA PROFILE
A7	WROUGHT IRON RAILING / DETAILS			

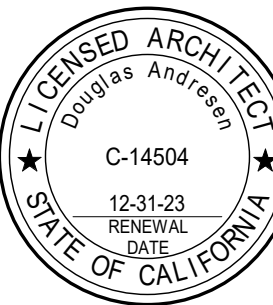
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21-4369

Amenities

PL4



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Aerial View



Pepper Ave. - Front View

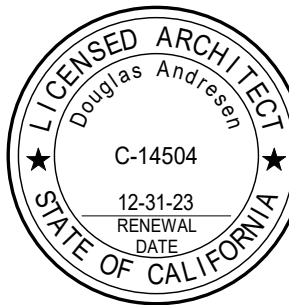


Pepper Ave. - Perspective View



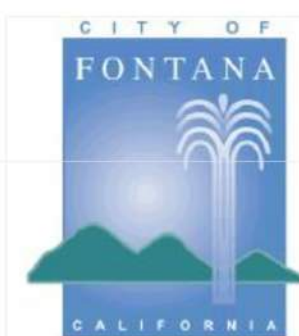
Side View

Proposed Apartment Complex For: Awad Development 9172 Pepper Avenue, Fontana, CA 92335	
31 Oct. 2023	▲
21-4369	▲



3D Views

PL5



City of Fontana
Department of Engineering

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 55.6 (San Bernardino)

Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
A-1 LW SHRUBS	0.3	DRIP	0.81	0.37	6440	2,383	82,147
A-2 DR. SWALE	0.3	DRIP	0.81	0.37	631	233	8,032
A-3 TREES	0.4	DRIP	0.81	0.49	123	60	2,068
				Totals	7,194	2,676	
Special Landscape Areas							
				1			
				1			
				1			
				Totals	7,194	2,676	
						ETWU Total	92,247
						Maximum Allowed Water Allowance (MAWA) ^e	136,395

^aHydrozone #/Planting Description
E-1 1' foot lawn
2) low water use plantings
3) medium water use plantings

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion
factor that converts acre-
inches per acre per year to gallons per square foot per
year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA)
+ ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-
inches per acre per year to gallons per square foot per
year. LA is the total landscape area in square feet. SLA
is the total special landscape area in square feet,
and ETAF is .55 for residential areas and 0.45 for non-
residential areas.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area (B)	2,676
Total Area (A)	7,194
Average ETAF (B ÷ A)	0.37
All Landscape Areas	
Total ETAF x Area (B+D)	2,676
Total Area (A+C)	7,194
Site-wide ETAF (B+D) ÷ (A+C)	0.37

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Signed: Date: 10/3/2022

Plant Legend

Symbol Botanical / Common Name Container Water Use Height

Trees

	Cupressus sempervirens 'Monshell' Tiny Tower Italian cypress	Evergreen	15 gallon Standard	Low	9'-12' 2'
	Pistacia chinensis Chinese Pistache	Deciduous	24" Box Standard	Mod.	25'-35' 25'-35'

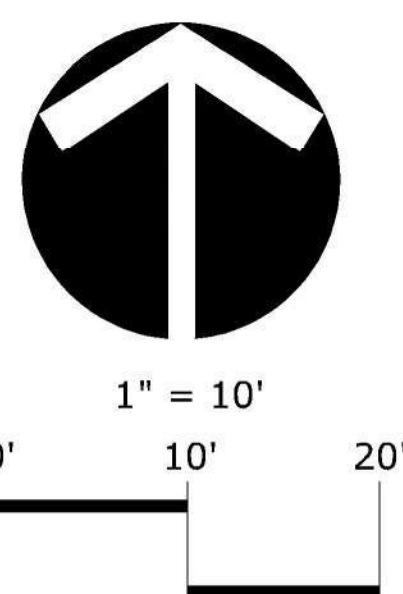
Shrubs, Accents and Groundcovers

	Callistemon 'Little John' Dwarf Bottlebrush	5 gallon	Low	3'-4' 2'-4'
	Lantana x 'New Gold' New Gold Lantana	5 gallon	Low	2'-3' 4'-6'
	Lantana camara Bandana Pink Lantana	1 gallon	Low	1'-3' 1'-2'
	Senecio serpens Blue Chalksticks	1 gallon	Low	1'-2' 1'-2'

Drainage swale

	Baccharis pilularis 'Pigeon Point' Dwarf Coyote Bush	1 gallon	Low	1'-2' 6'-8'
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All planters to receive 3" layer shredded bark mulch, except where otherwise shown.



DIAL TOLL FREE
1-800-227-2600
AT LEAST THREE DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF
SOUTHERN CALIFORNIA



Oct. 3, 2022

DESCRIPTION: JOB NO. 565

SHEET

1 of 1