

Proposed 7 Single Family Residences For:
New Legacy Corporation
Fontana Avenue, Fontana, CA 92335

OWNER: NEW LEGACY CORPORATION
P.O. BOX #1917,
RANCHO CUCAMONGA, CA 91729

CONTACT: JOSE CARCELEN
(951) 992-6903
jc8020@msn.com

PROJECT ADDRESS: FONTANA AVENUE, FONTANA, CA 92335

ARCHITECT: ANDRESEN ARCHITECTURE INC.
17087 ORANGE WAY
FONTANA, CA 92335
(909) 355-6688
doug.andresen@aafirm.com

CIVIL ENG.: CORNERSTONE LAND SURVEYING, INC.
20730 KNOB PLACE
PERRIS, CA 92570
STEFAN C. LANTHIER, PE, PLS - PRESIDENT
(951) 736-0200
stefan@cornersurveyor.com

LANDSCAPE ARCHITECT: RICHARD POPE & ASSOCIATES
1585 S. D STREET, SUITE 202
SAN BERNARDINO, CA 92408
RICHARD POPE
(909) 889-5568
richardpopeassociates.la@gmail.com

APN:(DEVELOPED) 0193-021-06, 07, 08, 50, 51, 52 & 53

ZONING: R1

OCCUPANCY: GROUP R-3 / U

CONSTRUCTION: TYPE V-B

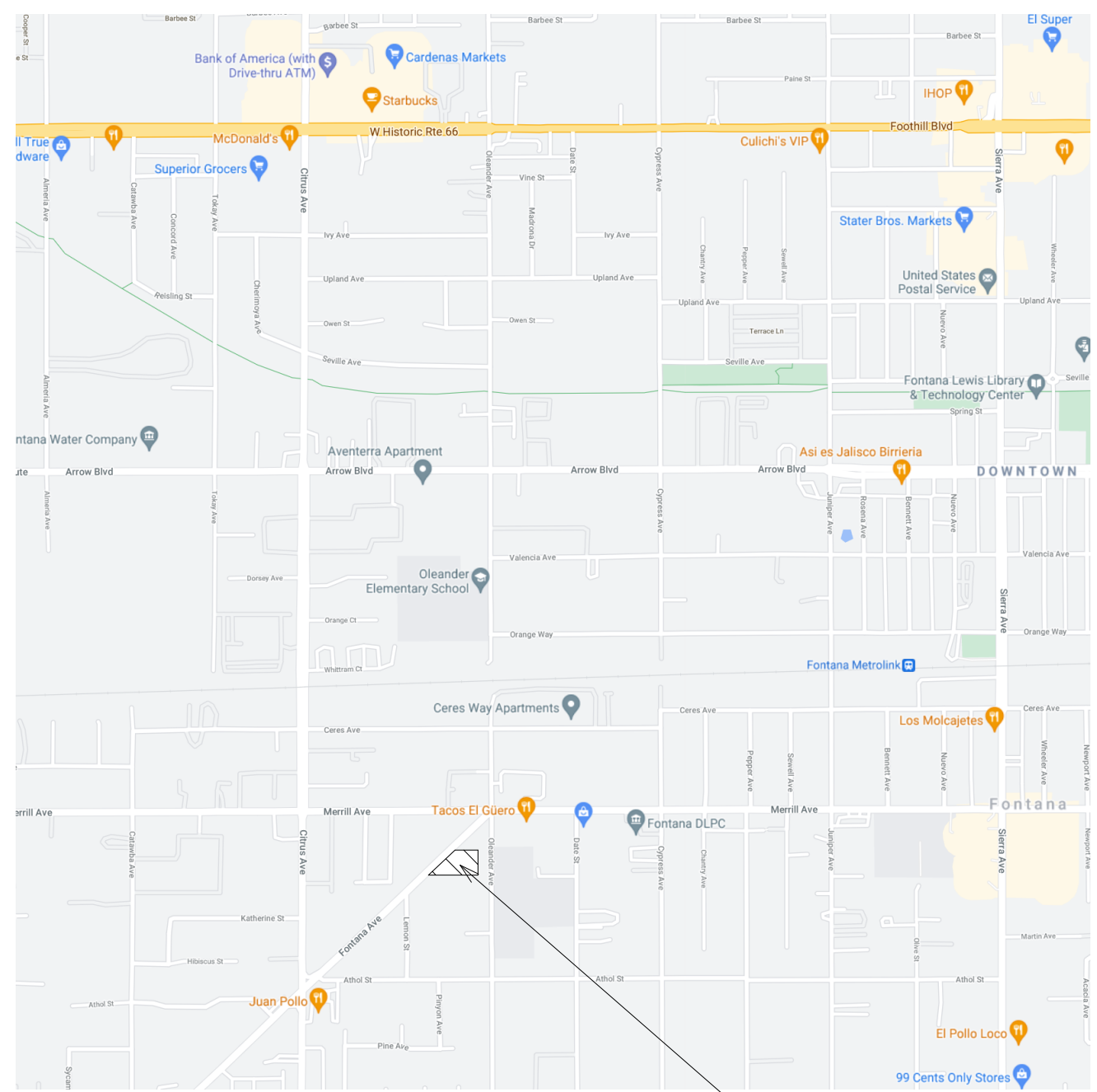
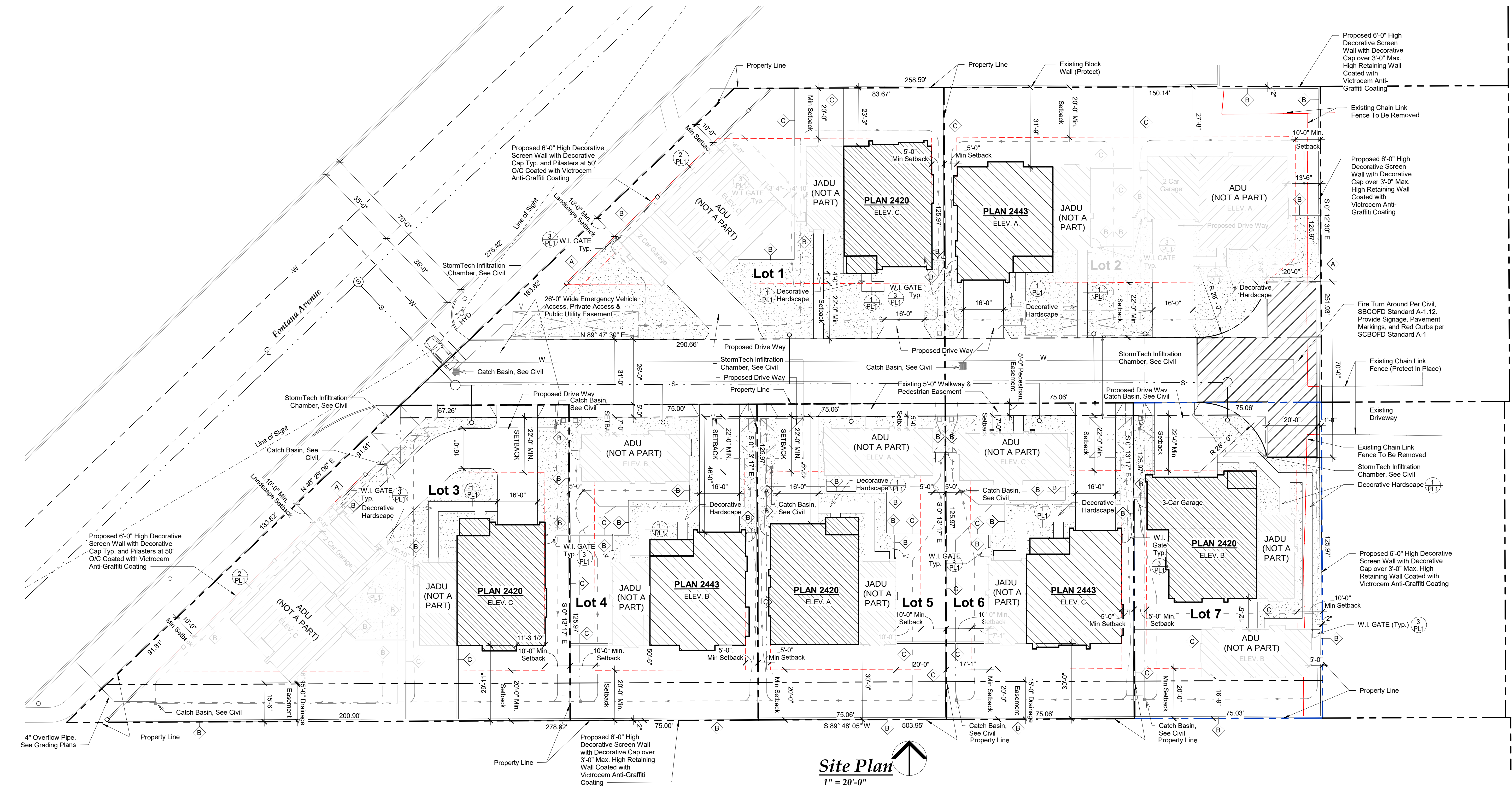
FIRE SPRINKLERS: AN AUTOMATIC FIRE SPRINKLER SYSTEM
COMPLYING WITH NFPA 13 AND FIRE DEPARTMENT
STANDARDS IS REQUIRED. A FIRE SPRINKLER
CONTRACTOR SHALL SUBMIT THREE (3) SETS OF
DETAILED PLANS TO THE FIRE DEPARTMENT FOR REVIEW
AND APPROVAL. THE PLANS SHALL INCLUDE HYDRAULIC
CALCULATIONS AND MANUFACTURER SPECIFICATION
SHEETS. THE REQUIRED FEES SHALL BE PAID AT THE TIME
OF PLAN SUBMITTAL SBCFD STANDARD 903.

ALLOWABLE AREA:

EASEMENTS:

PROJECT DESCRIPTION: PROPOSED 7 SINGLE FAMILY RESIDENCES

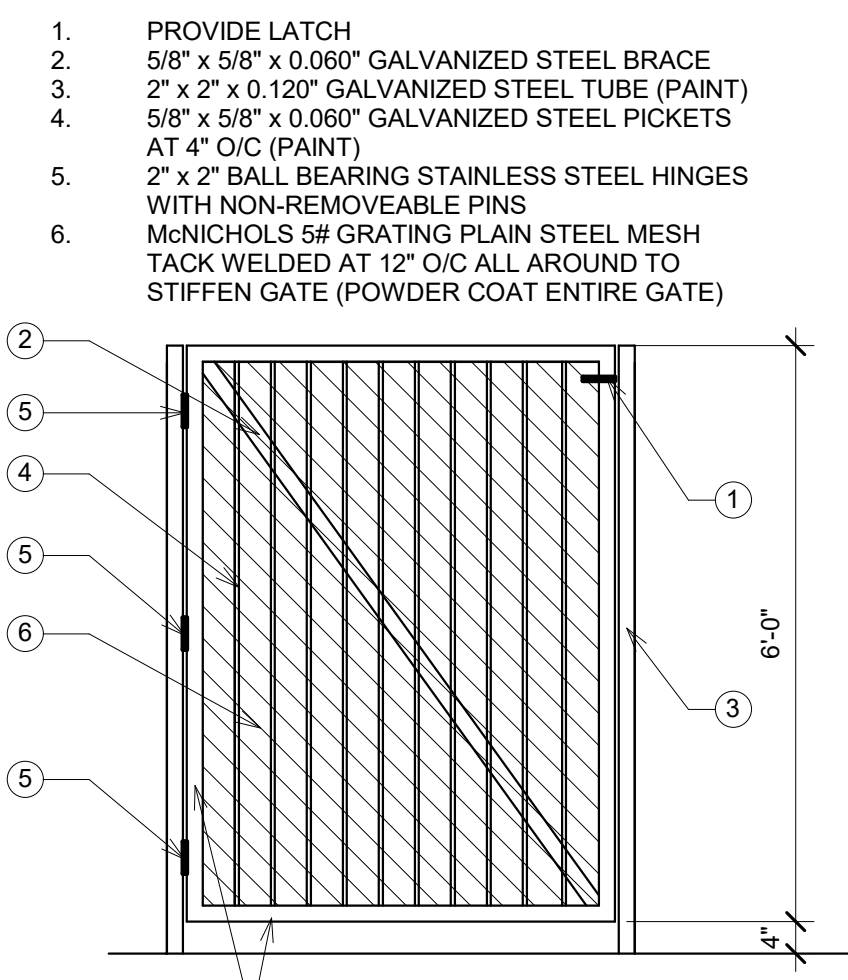
PLAN 2420		
FIRST FLOOR	1,170 SQ. FT.	1,240 SQ. FT.
SECOND FLOOR	1,170 SQ. FT.	1,240 SQ. FT.
TOTAL FLOOR AREA		2,410 SQ. FT.
2-CAR GARAGE	455 SQ. FT.	
COVERED ENTRY	90 SQ. FT.	
TOTAL NON-CONDITIONED SPACE	545 SQ. FT.	
TOTAL FOOTPRINT		1,715 SQ. FT.
PLAN 2420 (3-CAR GARAGE)		
FIRST FLOOR	1,170 SQ. FT.	1,240 SQ. FT.
SECOND FLOOR	1,170 SQ. FT.	1,240 SQ. FT.
TOTAL FLOOR AREA		2,410 SQ. FT.
3-CAR GARAGE	634 SQ. FT.	
COVERED ENTRY	90 SQ. FT.	
TOTAL NON-CONDITIONED SPACE	724 SQ. FT.	
TOTAL FOOTPRINT		1,894 SQ. FT.
PLAN 2443		
FIRST FLOOR	1,088 SQ. FT.	1,382 SQ. FT.
SECOND FLOOR	1,088 SQ. FT.	1,382 SQ. FT.
TOTAL FLOOR AREA		2,470 SQ. FT.
2-CAR GARAGE	467 SQ. FT.	
COVERED ENTRY	104 SQ. FT.	
TOTAL NON-CONDITIONED SPACE	571 SQ. FT.	
TOTAL FOOTPRINT		1,659 SQ. FT.



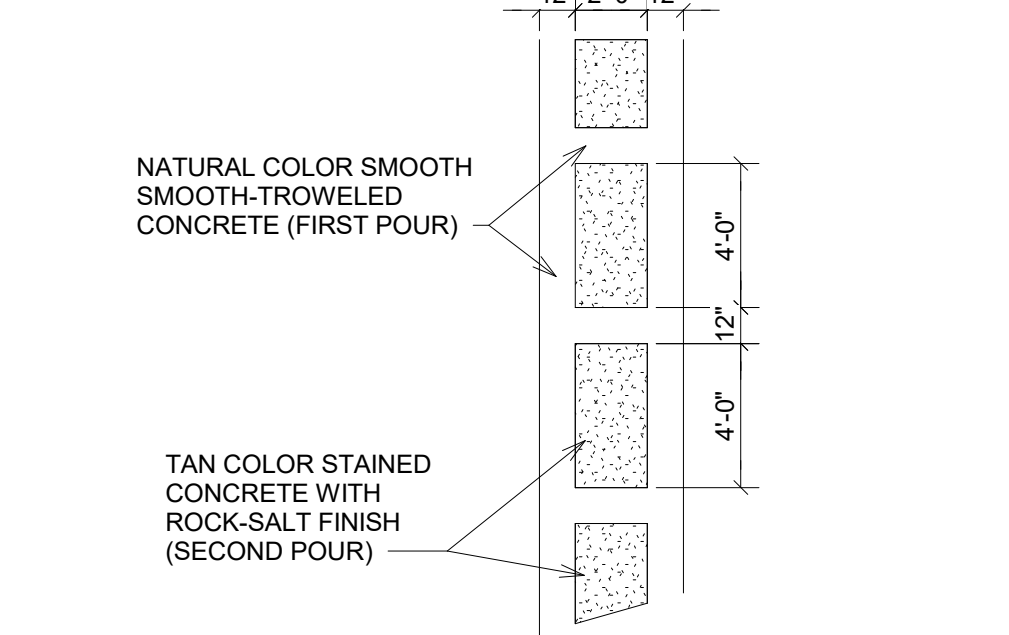
Wall Schedule Per Lot				
Lot Number	Wall Type	Type	Length	Height
1	A	Decorative Screen Wall on Both Sides	27 LF	6'-0"
2	A	Decorative Screen Wall on Both Sides	60 LF	6'-0"
3	A	Decorative Screen Wall on Both Sides	20 LF	6'-0"
5	A	Decorative Screen Wall on Both Sides	22 LF	6'-0"
A			128 LF	
1	B	Decorative Screen Wall on the Outside	131 LF	6'-0"
2	B	Decorative Screen Wall on the Outside	132 LF	6'-0"
3	B	Decorative Screen Wall on the Outside	371 LF	6'-0"
4	B	Decorative Screen Wall on the Outside	170 LF	6'-0"
5	B	Decorative Screen Wall on the Outside	137 LF	6'-0"
6	B	Decorative Screen Wall on the Outside	97 LF	6'-0"
7	B	Decorative Screen Wall on the Outside	193 LF	6'-0"
B			1231 LF	
1	C	Precision Screen Wall	92 LF	6'-0"
2	C	Precision Screen Wall	70 LF	6'-0"
3	C	Precision Screen Wall	62 LF	6'-0"
4	C	Precision Screen Wall	91 LF	6'-0"
5	C	Precision Screen Wall	159 LF	6'-0"
6	C	Precision Screen Wall	123 LF	6'-0"
7	C	Precision Screen Wall	73 LF	6'-0"
C			689 LF	
Grand total			2029 LF	

- NOTE:**
- ALL EXTERIOR LIGHTING SHALL BE ORIENTED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFRINGE ONTO ADJOINING PROPERTIES.
 - ANY ARCHITECTURAL PROJECTIONS THAT EXTEND INTO A MINIMUM OF A FIVE-FOOT SETBACK SHALL BE FIRE RESISTIVE.
 - ALL BLOCK WALLS THAT ARE SEEN BY THE PUBLIC SHALL BE DECORATIVE TYPE BLOCK WITH A DECORATIVE PREFABRICATED BLOCK CAP.
 - ALL UTILITY BOXES INCLUDING THE GROUND MOUNTED ELECTRICAL TRANSFORMER SHALL BE SCREENED FROM PUBLIC VIEW BY LANDSCAPING.

Site Plan
1" = 20'-0"



3 Wrought Iron Gate
1/2" = 1'-0"



1 Decorative Pattern Walkway
3/16" = 1'-0"

2 Decorative Block Wall
3/8" = 1'-0"

Sequence of Drawings - DR	
Number	Description
PL1	Site Plan
PL1.1	Renderings
PL2	Plan 2420 Floor Plan
PL2.1	Plan 2420 Elevations
PL2.2	Plan 2420 Elevations
PL2.3	2420 Floor Plan (3-Car Garage)
PL2.4	2420 Elevations (3-Car Garage)
PL3	Plan 2443 Floor Plan
PL3.1	Plan 2443 Elevations
PL3.2	Plan 2443 Elevations
1 of 6	Sheet Index Map
2 of 6	Preliminary Grading Plan (Lot 1)
3 of 6	Preliminary Grading Plan (Lot 2)
4 of 6	Preliminary Grading Plan (Lots 3-4)
5 of 6	Preliminary Grading Plan (Lots 5-7)
6 of 6	Sections
1 of 1	Conceptual Landscape Plan

Lot Coverage Schedule			
Lot #	Plan Name	Lot Area	Lot Coverage (%)
1	2420	18,958 SF	1,715 SF 9
2	2443	18,911 SF	1,659 SF 9
3	2420	16,889 SF	1,715 SF 10
4	2443	9,447 SF	1,659 SF 18
5	2420	9,454 SF	1,715 SF 18
6	2443	9,454 SF	1,659 SF 18
7	2420 (3-Car Garage)	9,453 SF	1,894 SF 20
		92,567 SF	

Proposed 7 Single Family Residences For:
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Fontana Avenue, Fontana, CA 92335

9 Jun, 2022

20-3969

12-31-23
RENEWAL
DATE

C-14504

Site Plan
PL1

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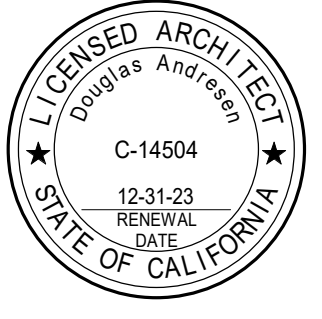
Birds Eye View



Street View



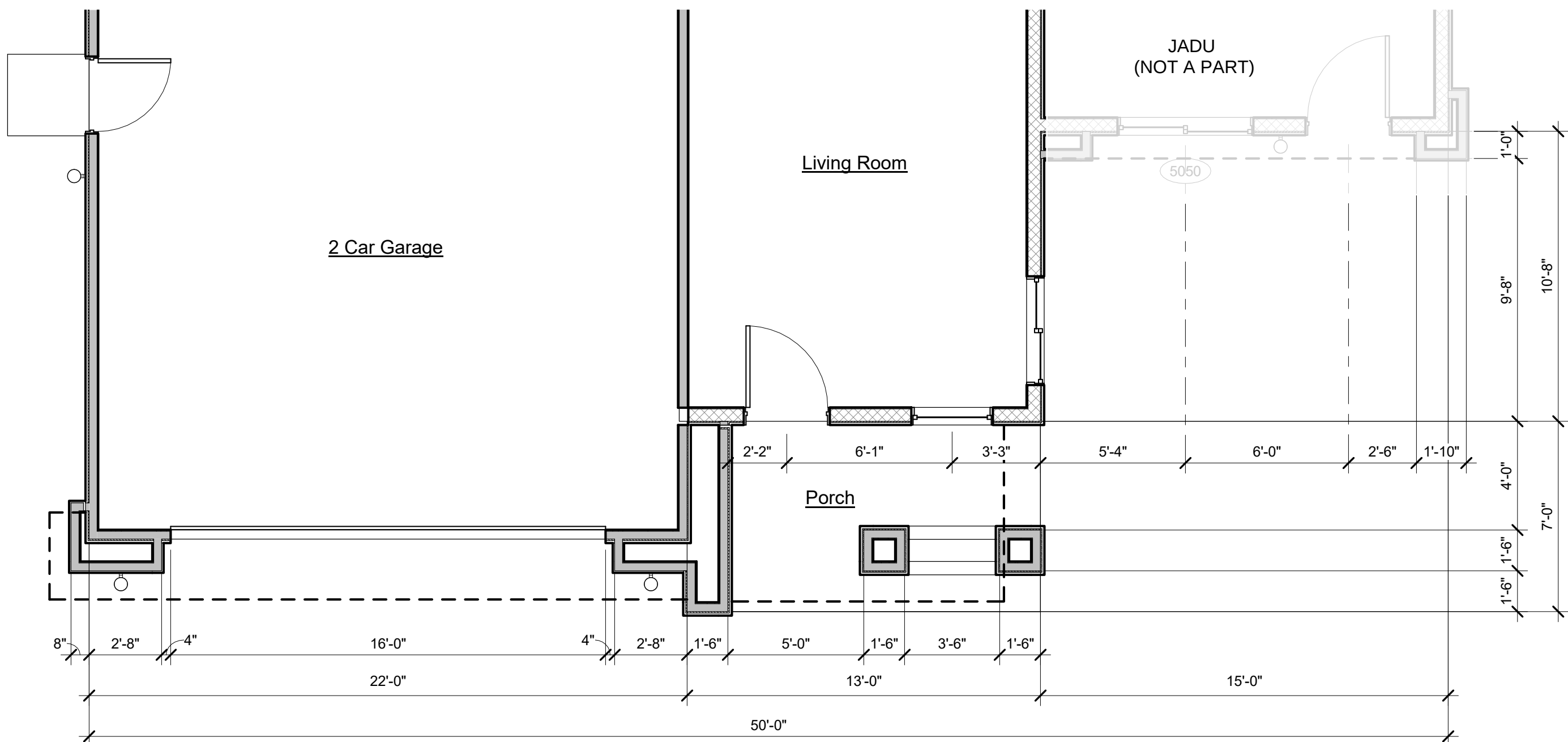
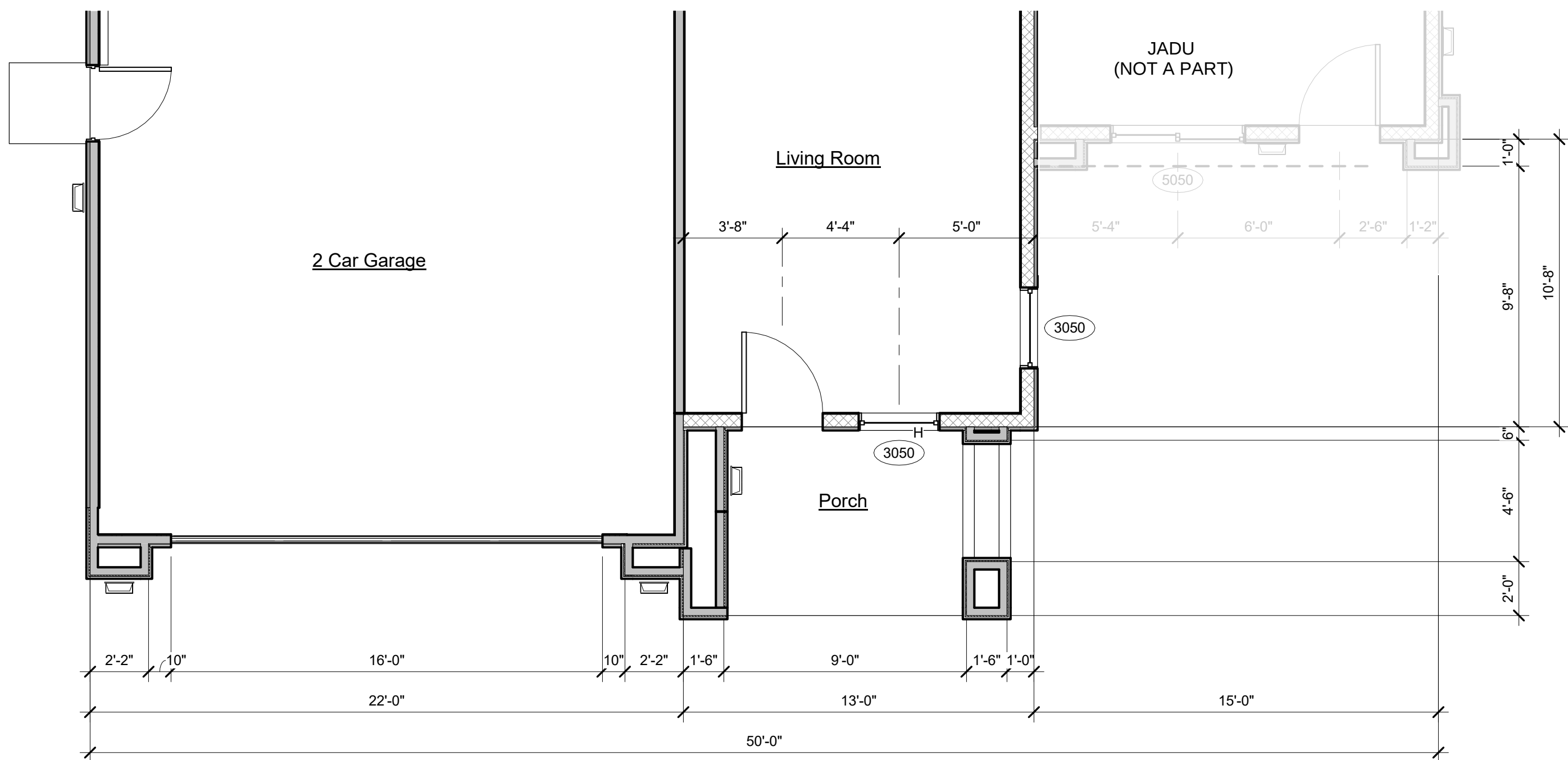
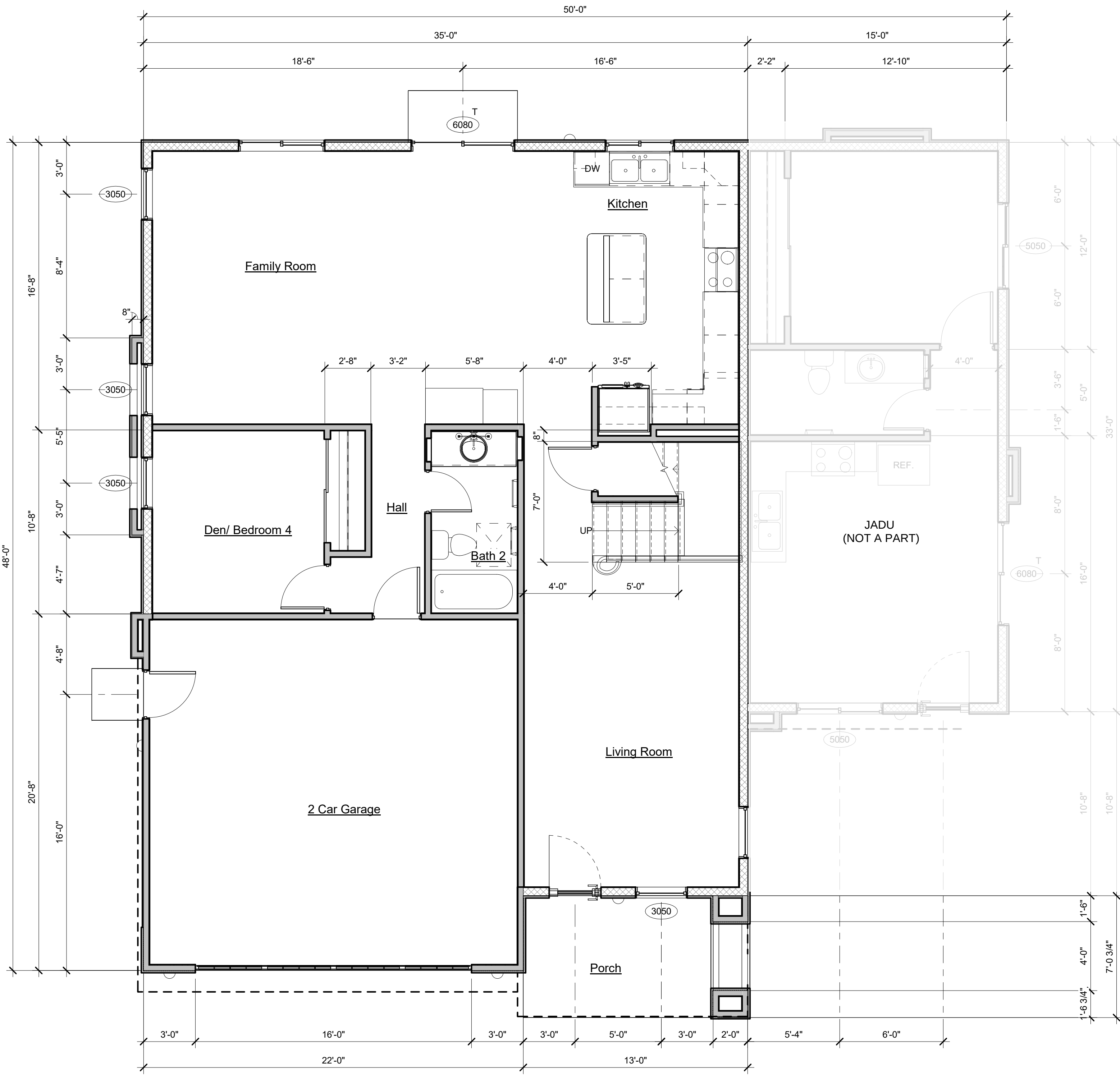
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Proposed 7 Single Family Residences For: New Legacy Corporation Fontana Avenue, Fontana, CA 92335		
9 Jun. 2022	▲▲	
20-3969	▲▲	
Renderings		PL1.1

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 - 2.

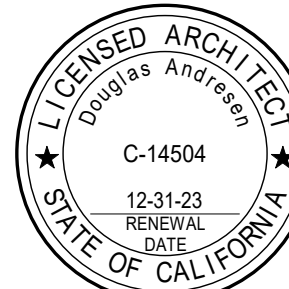


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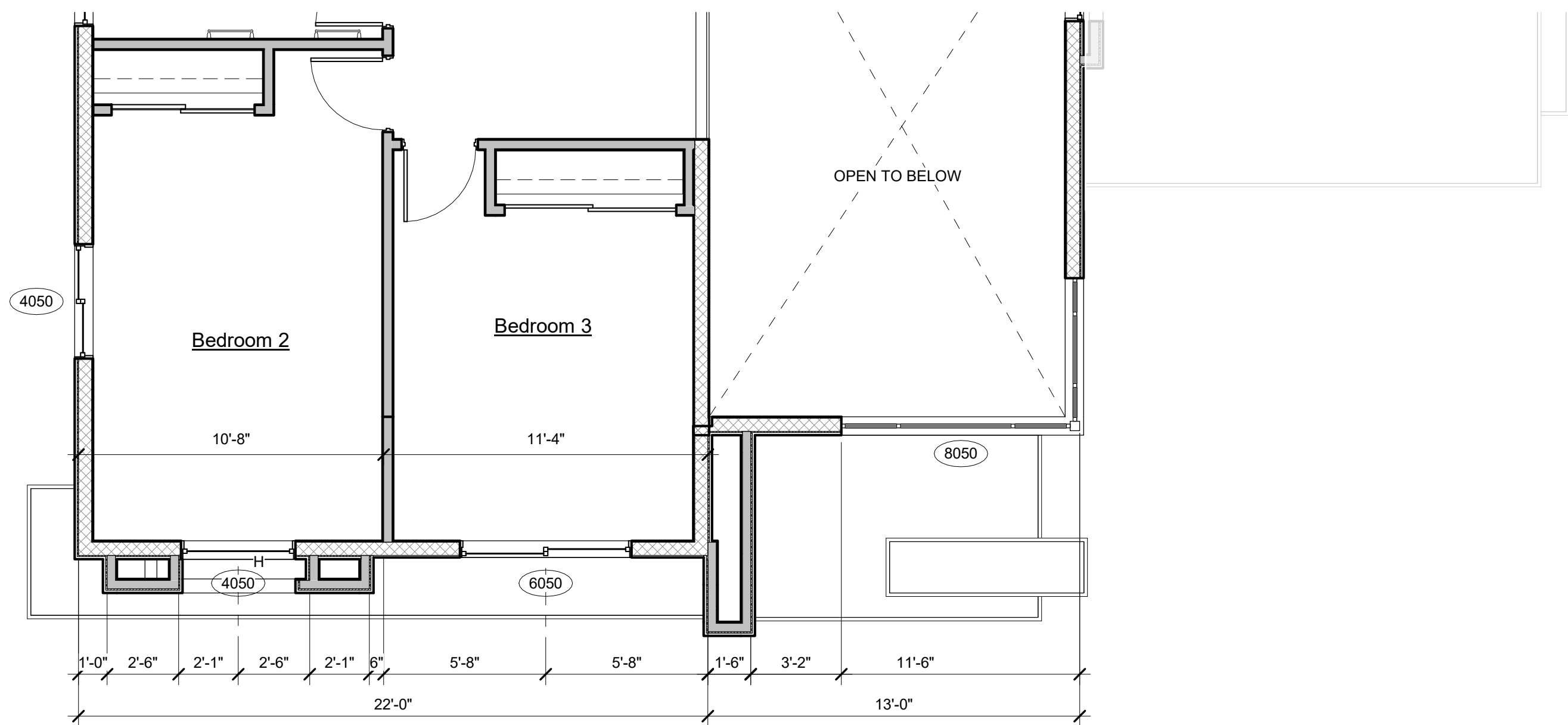
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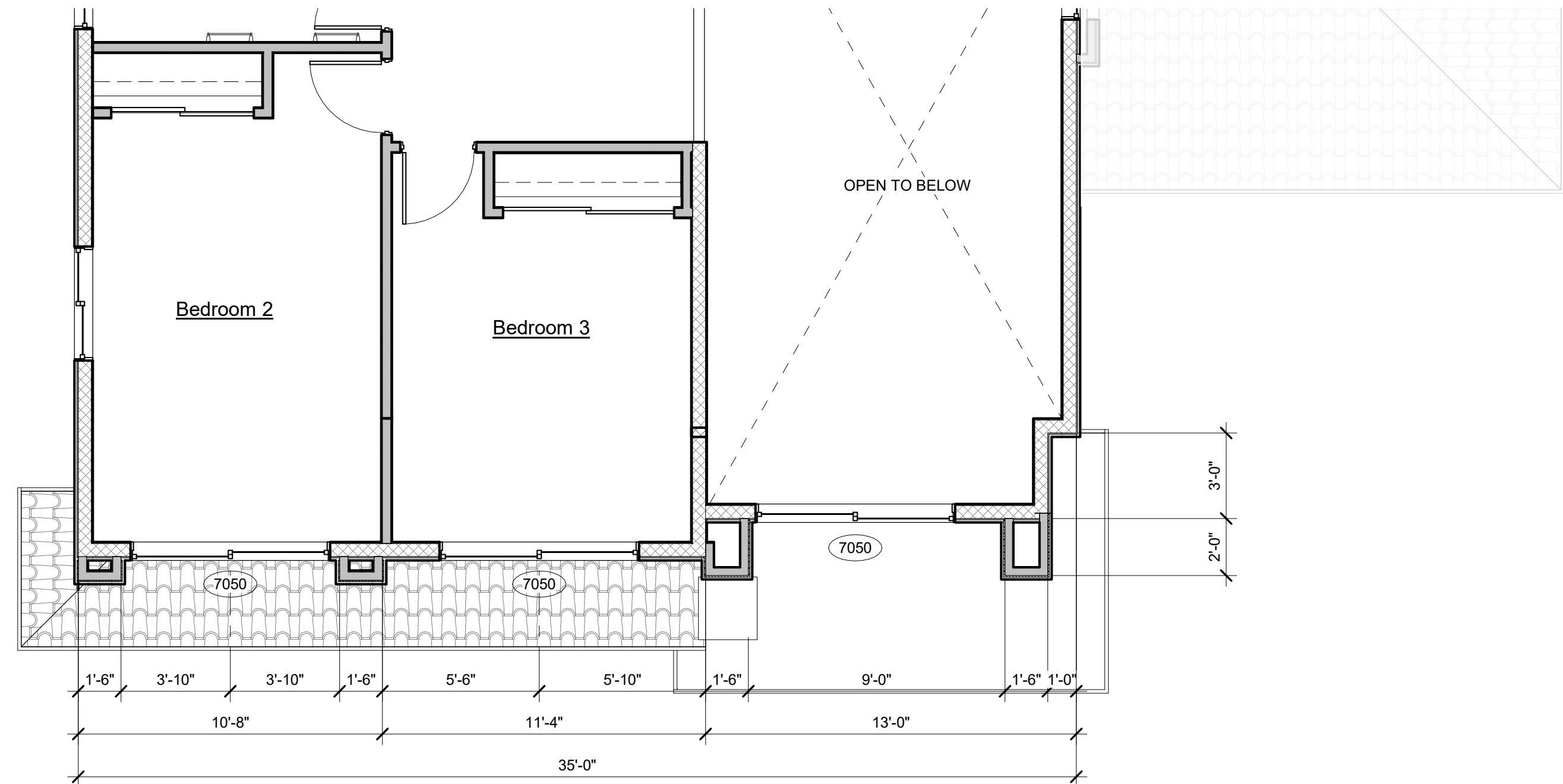


Plan 2420
Floor Plan

PL2



Second Floor Elev. B
1/4" = 1'-0"



Second Floor Elev. C
1/4" = 1'-0"



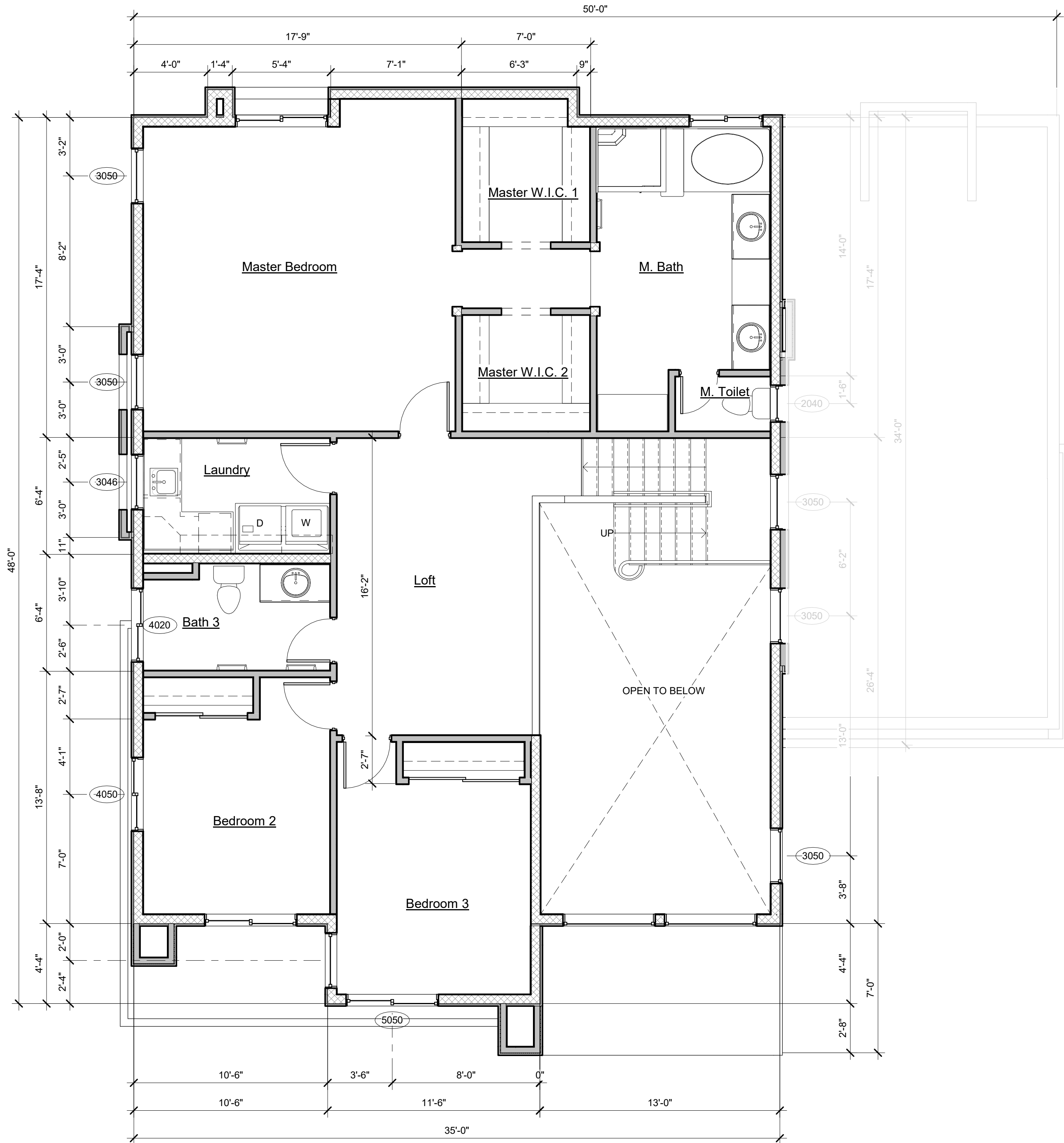
Front Elevation A with JADU
1/4" = 1'-0"



Rear Elevation A
1/8" = 1'-0"



Right Elevation A
1/8" = 1'-0"



Second Floor Elev. A
1/4" = 1'-0"



3D View - Elev. - A

Material Legend A				
Mark	Material	Manufacturer	Material Color	Product #
A1	MAIN STUCCO	DUNN EDWARDS	CARRARA	DET049
A2	ARTISAN SHIPLAP SIDING	DUNN EDWARDS	WOODED ACRE	DE6130
A3	VENEER - STONE/VENEER	CULTURED STONE	COUNTRY LEDGESTONE	ECHO RIDGE PROFILE
A4	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002
A5	FASCIA & TRIM	DUNN EDWARDS	BLACK	DEA002



Left Elevation A
1/8" = 1'-0"

Exterior Lighting



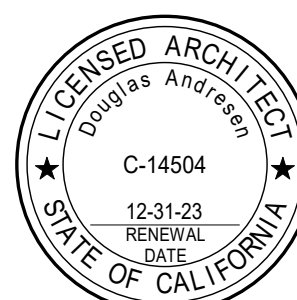
Masonite - Front Doors w/Glass



Proposed 7 Single Family Residences For:
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Plan 2420
Elevations

PL2.1

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Front Elevation C
1/4" = 1'-0"



Front Elevation B
1/4" = 1'-0"

Material Legend C				
Mark	Material	Manufacturer	Material Color	Product #
C1	MAIN STUCCO	DUNN EDWARDS	COOL DECEMBER	DEW383
C2	HORIZONTAL SIDING	SHERWIN WILLIAMS	COOL DECEMBER	DEW383
C3	ACCENT HORIZONTAL SIDING	DUNN EDWARDS	GOLDEN GATE	DEC739
C4	VENEER - STONE/VENEER	CULTURED STONE	SCULPTED ASHLAR	GROUSE
C5	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002
C6	ROOFING - CONCRETE TILE	BORAL	CHARCOAL BLEND	SAXONY 900 SLATE
C7	FASCIA & TRIM	DUNN EDWARDS	BLACK	DEA002

Material Legend B				
Mark	Material	Manufacturer	Material Color	Product #
B1	MAIN STUCCO	DUNN EDWARDS	CARRARA	DET649
B2	FIBER CEMENT LAP SIDING	JAMES HARDIE	GRAY SLATE	
B3	VENEER - STONE/VENEER	CULTURED STONE	PRO-FIT ALPINE LEDGESTONE	BLACK MOUNTAIN PROFILE
B4	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002
B5	FASCIA & TRIM	DUNN EDWARDS	BLACK	DEA002



Right Elevation C
1/8" = 1'-0"



3D View - Elev. - B



Right Elevation B
1/8" = 1'-0"

Exterior Lighting



Rear Elevation C
1/8" = 1'-0"



Rear Elevation B
1/8" = 1'-0"

Masonite - Front Doors w/Glass



Left Elevation C
1/8" = 1'-0"



3D View - Elev. - C



Left Elevation B
1/8" = 1'-0"

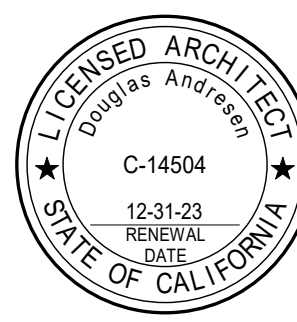


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Proposed 7 Single Family Residences For:
New Legacy Corporation
Fontana Avenue, Fontana, CA 92335

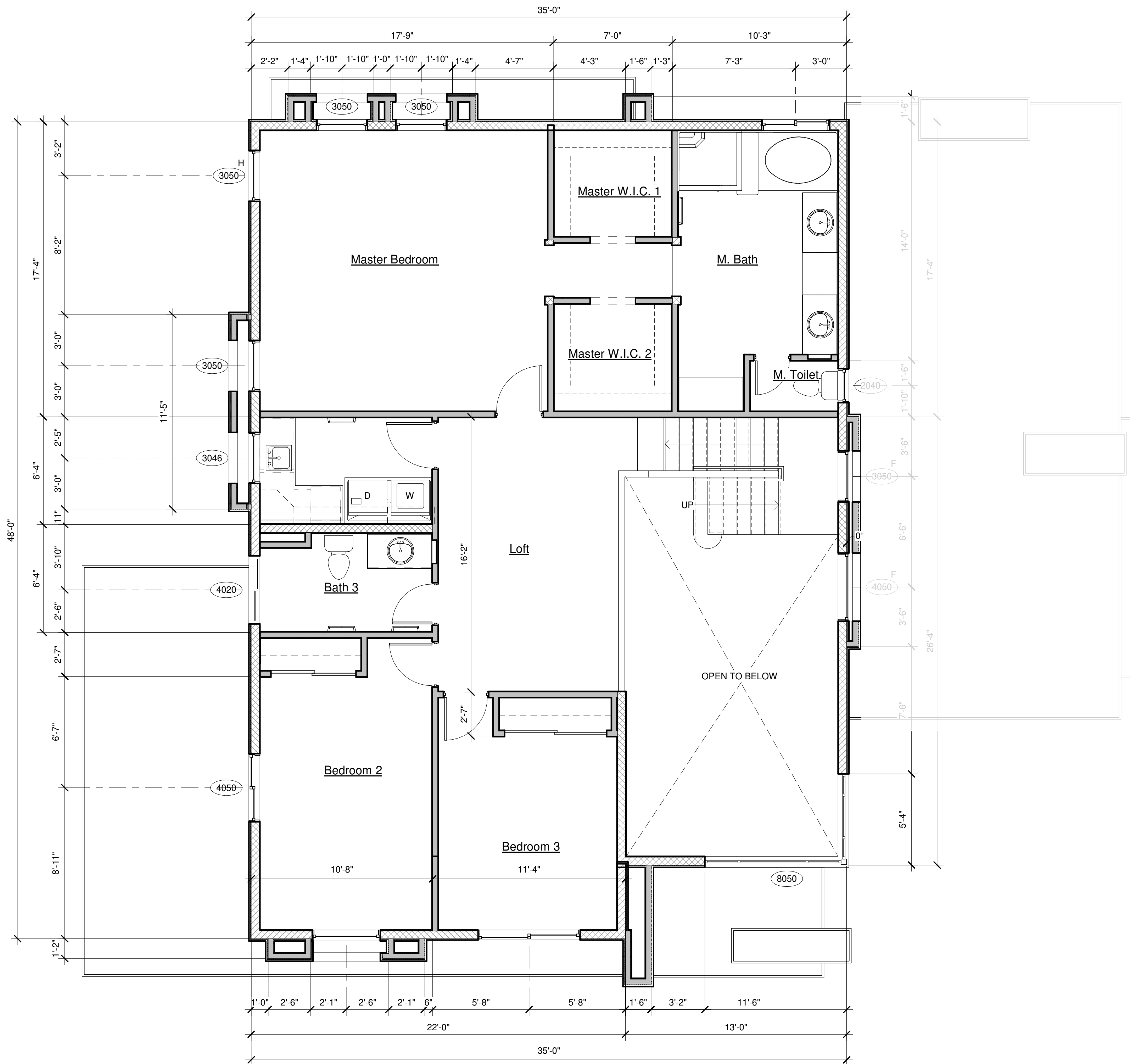
9 Jun. 2022

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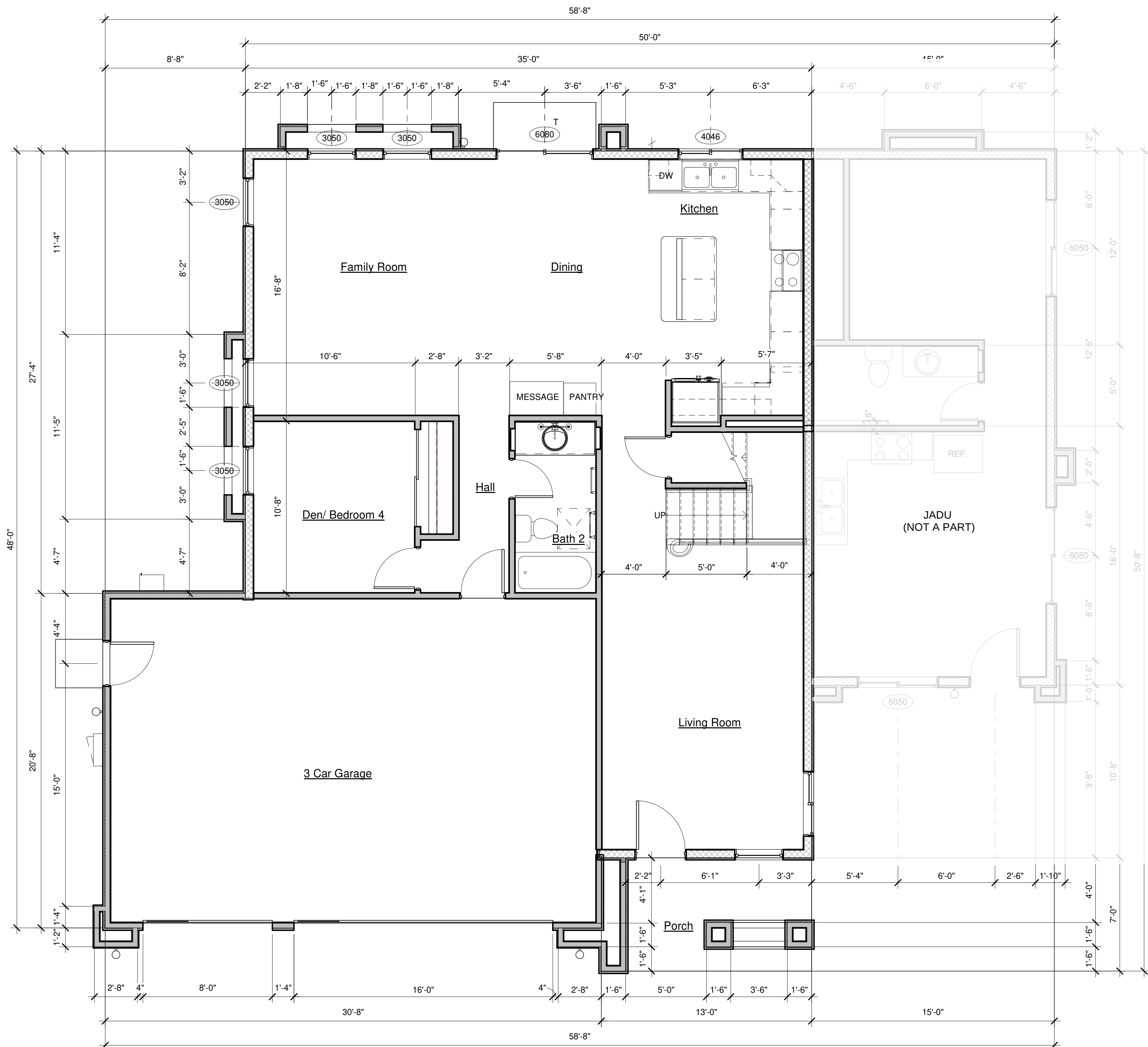


Plan 2420
Elevations

PL2.2



Second Floor Elev. B (3-Car Garage)
1/4" = 1'-0"



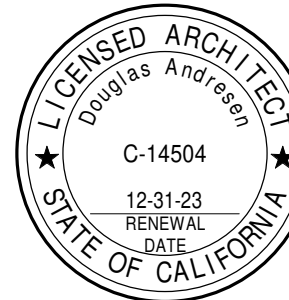
First Floor Elev. B (3-Car Garage)
1/4" = 1'-0"



Proposed 7 Single Family Residences For:
New Legacy Corporation
Fontana Avenue, Fontana, CA 92335

5 May, 2022

20-3969



2420 Floor Plans
(3-Car Garage)

PL2.3

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Front Elevation B (3-Car Garage)
1/4" = 1'-0"

Material Legend B				
Mark	Material	Manufacturer	Material Color	Product #
B1	MAIN STUCCO	DUNN EDWARDS	CARRARA	DET649
B2	FIBER CEMENT LAP SIDING	JAMES HARDIE	GRAY SLATE	-
B3	VENEER - STONE VENEER	CULTURED STONE	PRO-FIT ALPINE LEDGESTONE	BLACK MOUNTAIN PROFILE
B4	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002
B5	FASCIA & TRIM	DUNN EDWARDS	BLACK	DEA002



3D View - Elev. - B (3-Car Garage)



Right Elevation B (3-Car Garage)
1/8" = 1'-0"



Rear Elevation B (3-Car Garage)
1/8" = 1'-0"



Left Elevation B (3-Car Garage)
1/8" = 1'-0"

Exterior Lighting



Masonite - Front Doors w/Glass

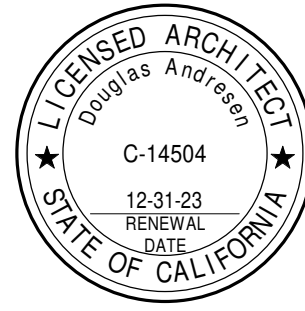




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Proposed 7 Single Family Residences For:
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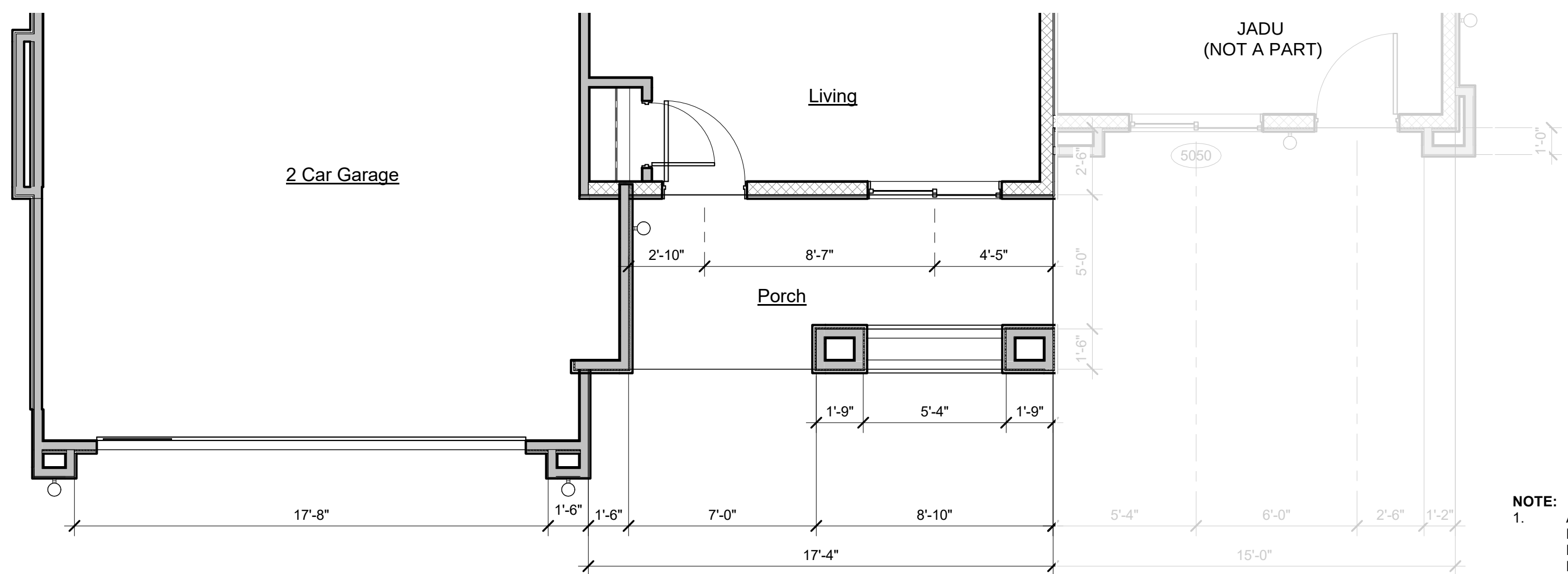
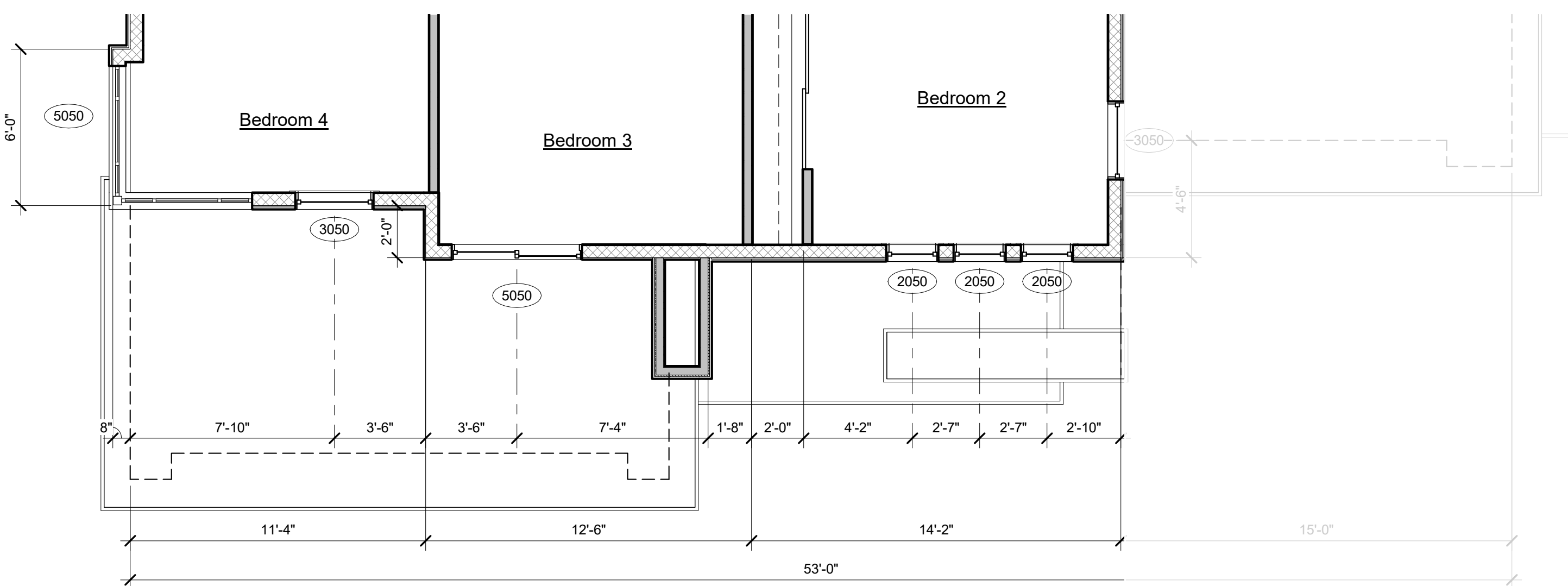
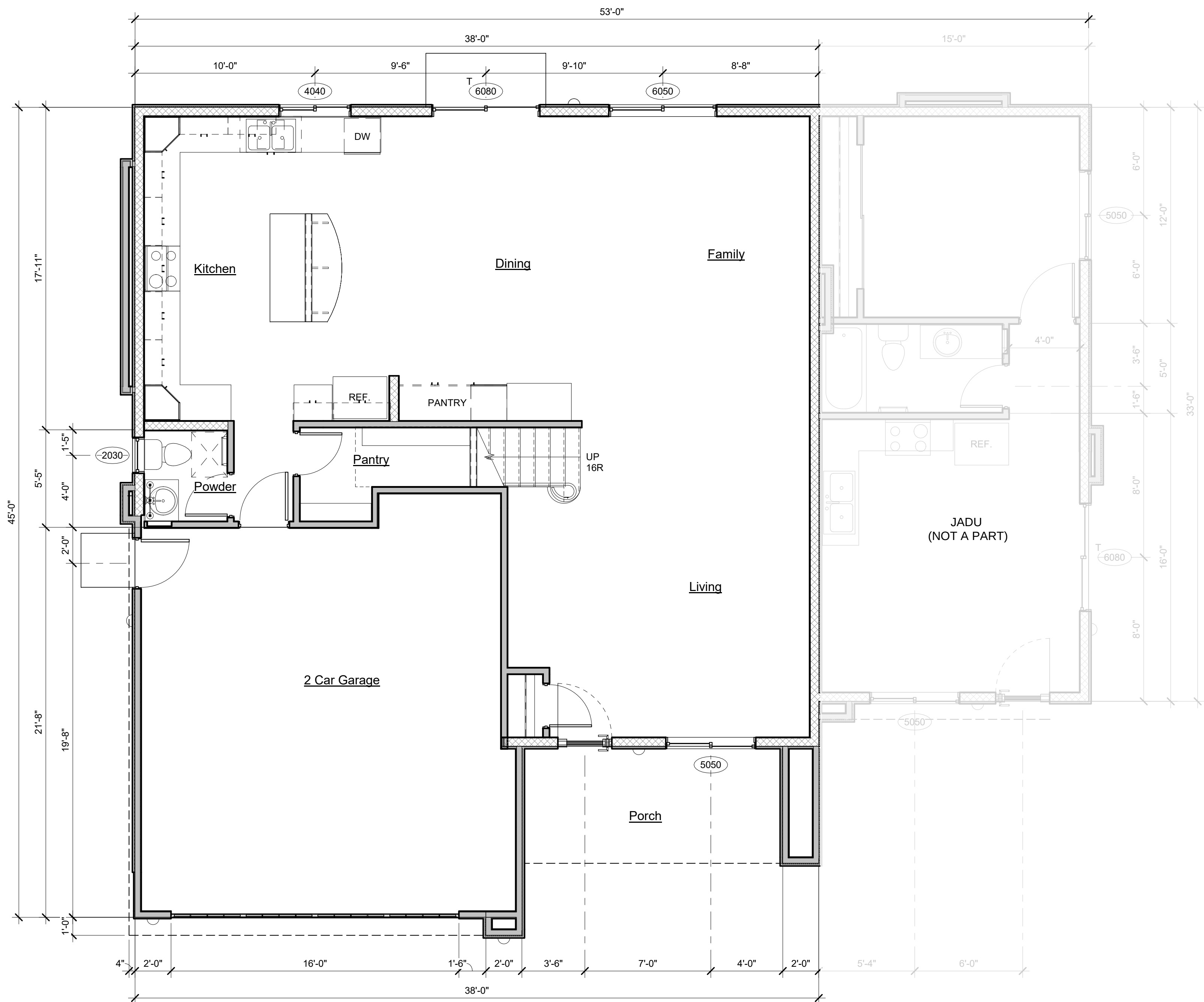
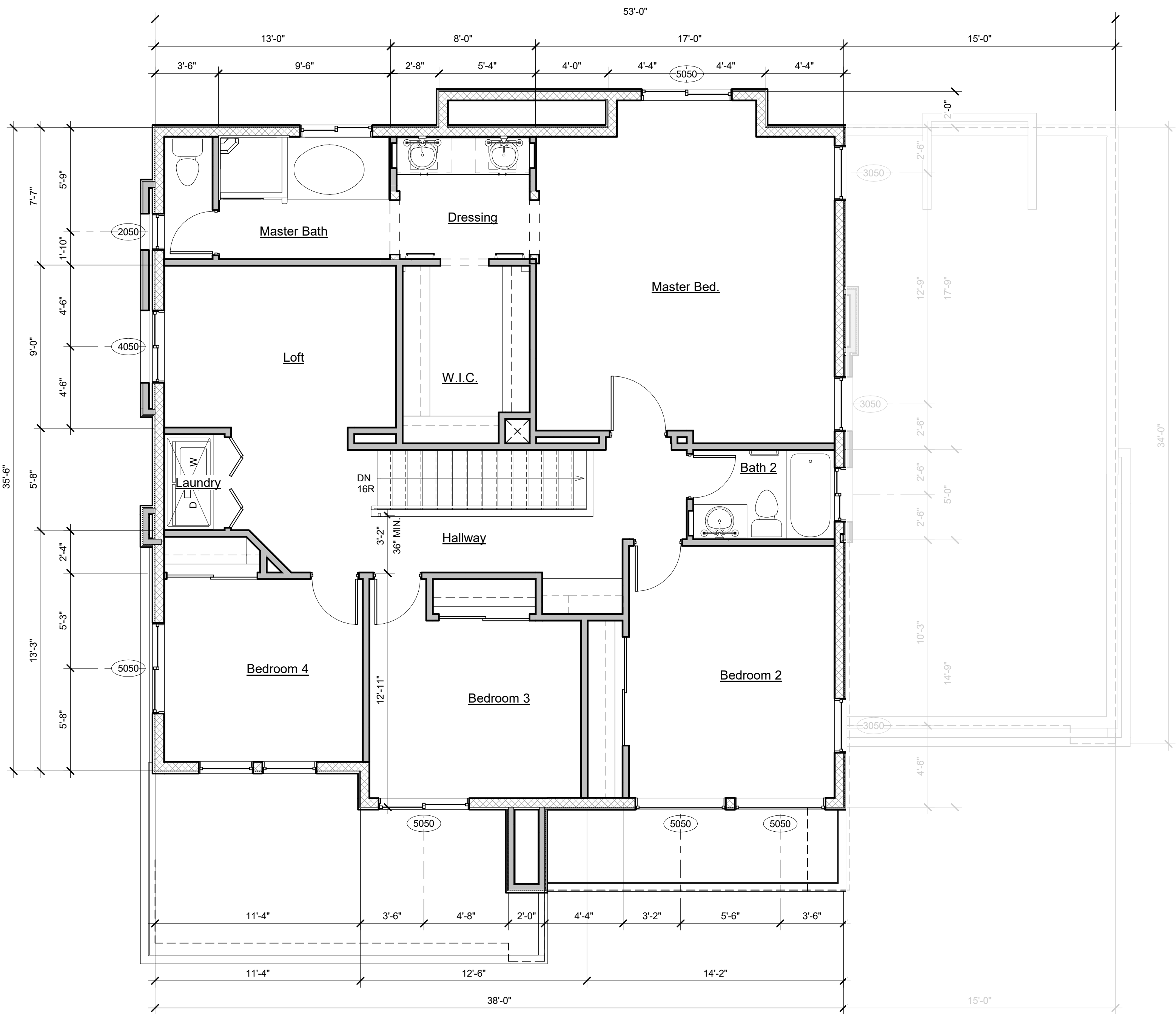
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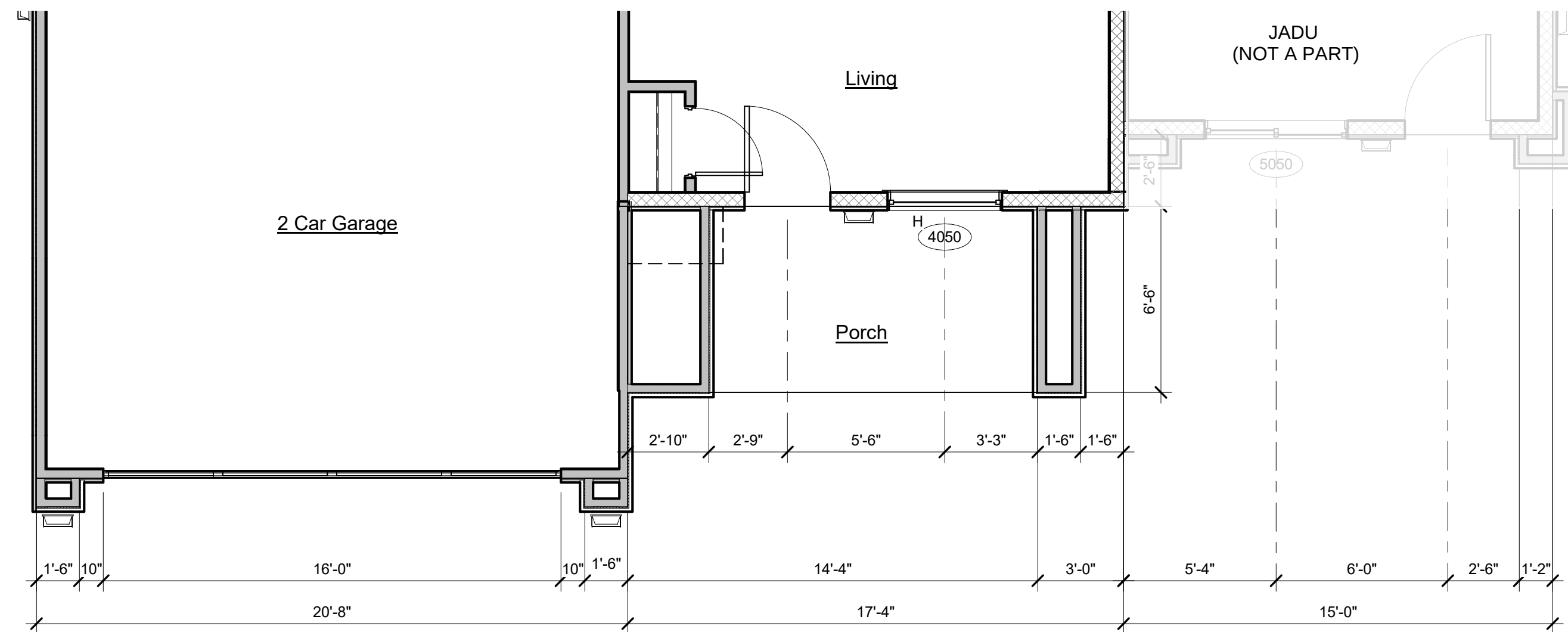
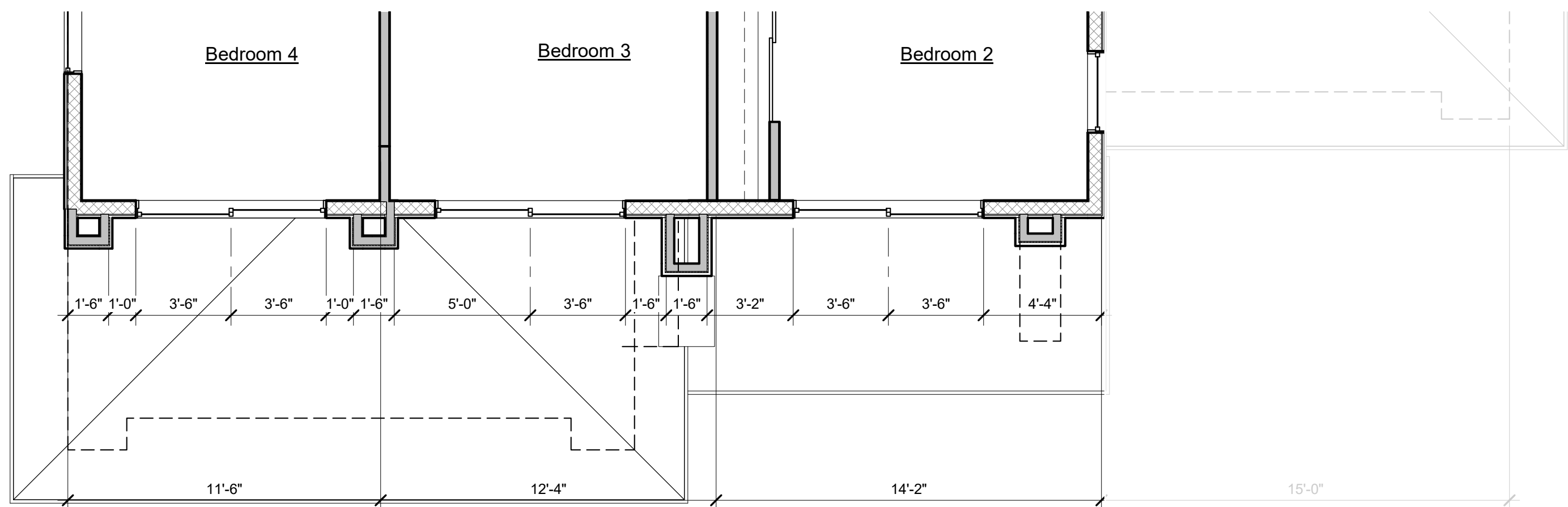
**2420 Elevations
(3-Car Garage)**

PL2.4

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- NOTE:
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 2. ANY ARCHITECTURAL PROJECTIONS THAT EXTEND INTO A MINIMUM OF A FIVE-FOOT SETBACK SHALL BE FIRE RESISTIVE

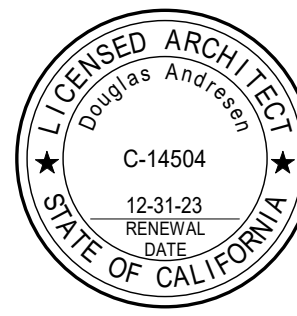


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Proposed 7 Single Family Residences For:
New Legacy Corporation
Fontana Avenue, Fontana, CA 92335

9 Jun. 2022

20-3969



Plan 2443
Floor Plan

PL3

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Front Elevation B
1/4" = 1'-0"



Front Elevation A
1/4" = 1'-0"

Material Legend B				
Mark	Material	Manufacturer	Material Color	Product #
B1	MAIN STUCCO	DUNN EDWARDS	CARRARA	DET649
B2	FIBER CEMENT LA P SIDING	JAMES HARDIE	GRAY SLATE	-
B3	VENEER - STONE/VENEER	BORAL	PRO-FIT ALPINE LEDGESTONE	BLACK MOUNTAIN PROFILE
B4	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002
B5	FASCIA & TRIM	DUNN EDWARDS	BLACK	DEA002



Right Elevation - B
1/8" = 1'-0"



Rear Elevation - B
1/8" = 1'-0"



Left Elevation - B
1/8" = 1'-0"

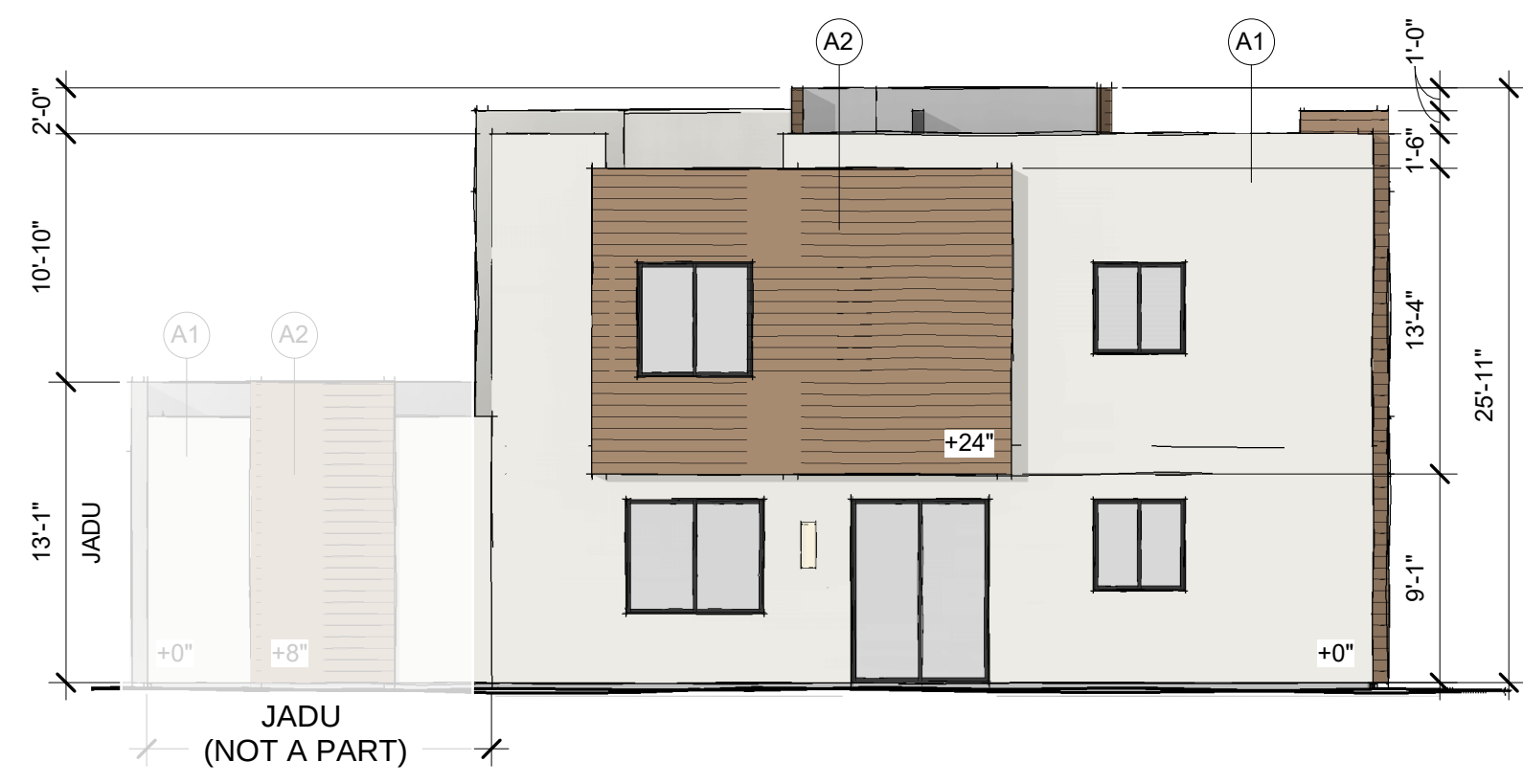


3D View - Elev. A

Material Legend A				
Mark	Material	Manufacturer	Material Color	Product #
A1	MAIN STUCCO	DUNN EDWARDS	CARRARA	DET649
A2	ARTISAN SHIPLAP SIDING	DUNN EDWARDS	WOODED ACRE	DE6130
A3	VENEER - STONE/VENEER	CULTURED STONE	COUNTRY LEDGESTONE	ECHO RIDGE PROFILE
A4	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002



Right Elevation - A
1/8" = 1'-0"



Rear Elevation - A
1/8" = 1'-0"



Left Elevation - A
1/8" = 1'-0"



3D View - Elev. B

Exterior Lighting



Masonite - Front Doors w/Glass

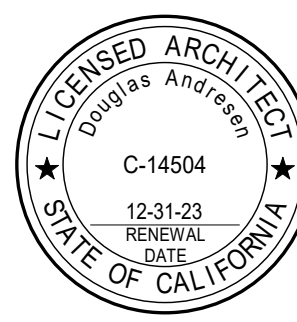


ELEVATION A 36 IN. X 96 IN. CLEVELLE 4 LITE EQUAL MODERN EXTERIOR DOORS FRONT DOOR WITH NO BRICKMOLD MASONITE
ELEVATION B 36 IN. X 96 IN. BELLEVILLE SIDE SQUARE LITES PRIMED SMOOTH FIBERGLASS FRONT DOOR MASONITE
ELEVATION C 36 IN. X 96 IN. CRAFTSMAN 6 LITE PRIMED SMOOTH FIBERGLASS PREHUNG FRONT DOOR WITH NO BRICKMOLD MASONITE



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Plan 2443
Elevations

PL3.1

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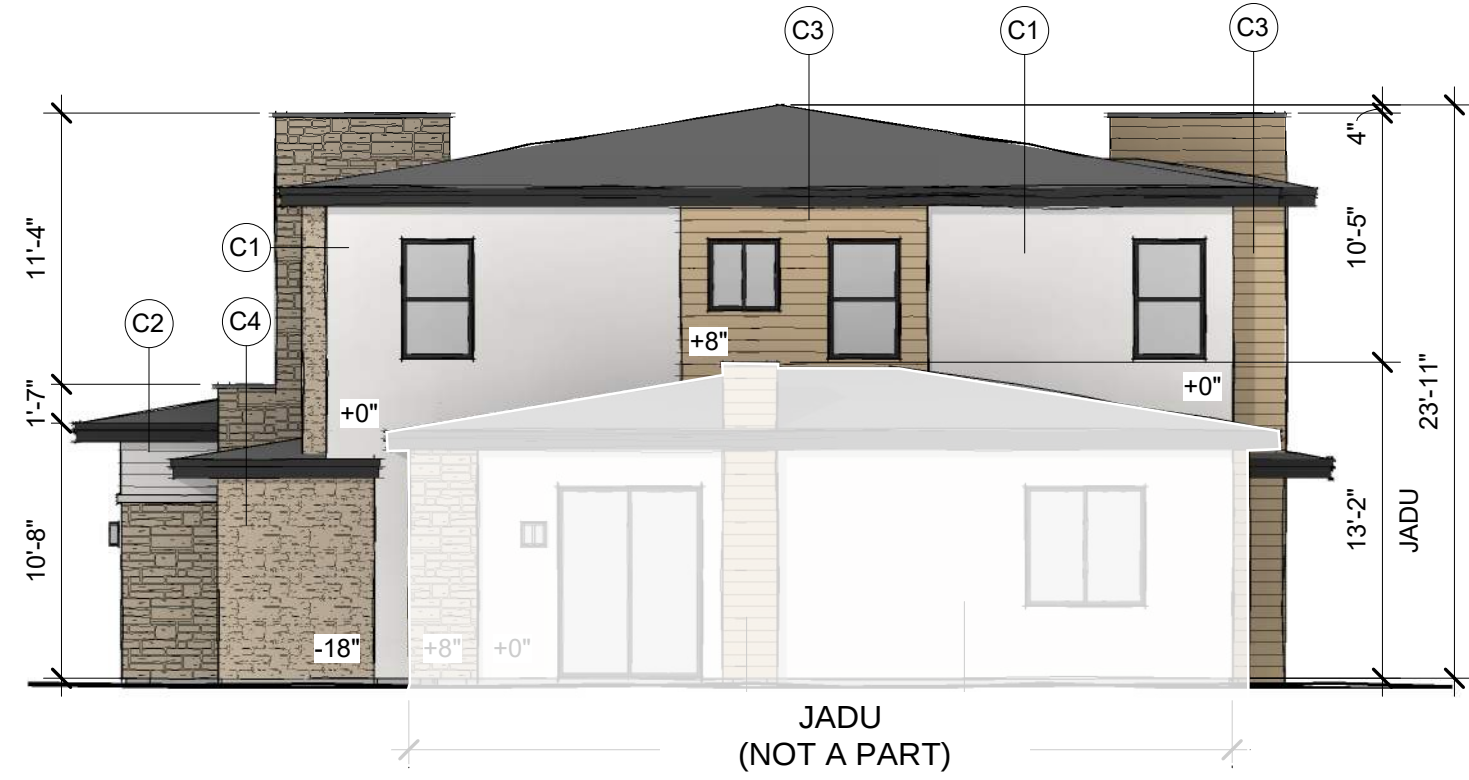


3D View - Elev. C

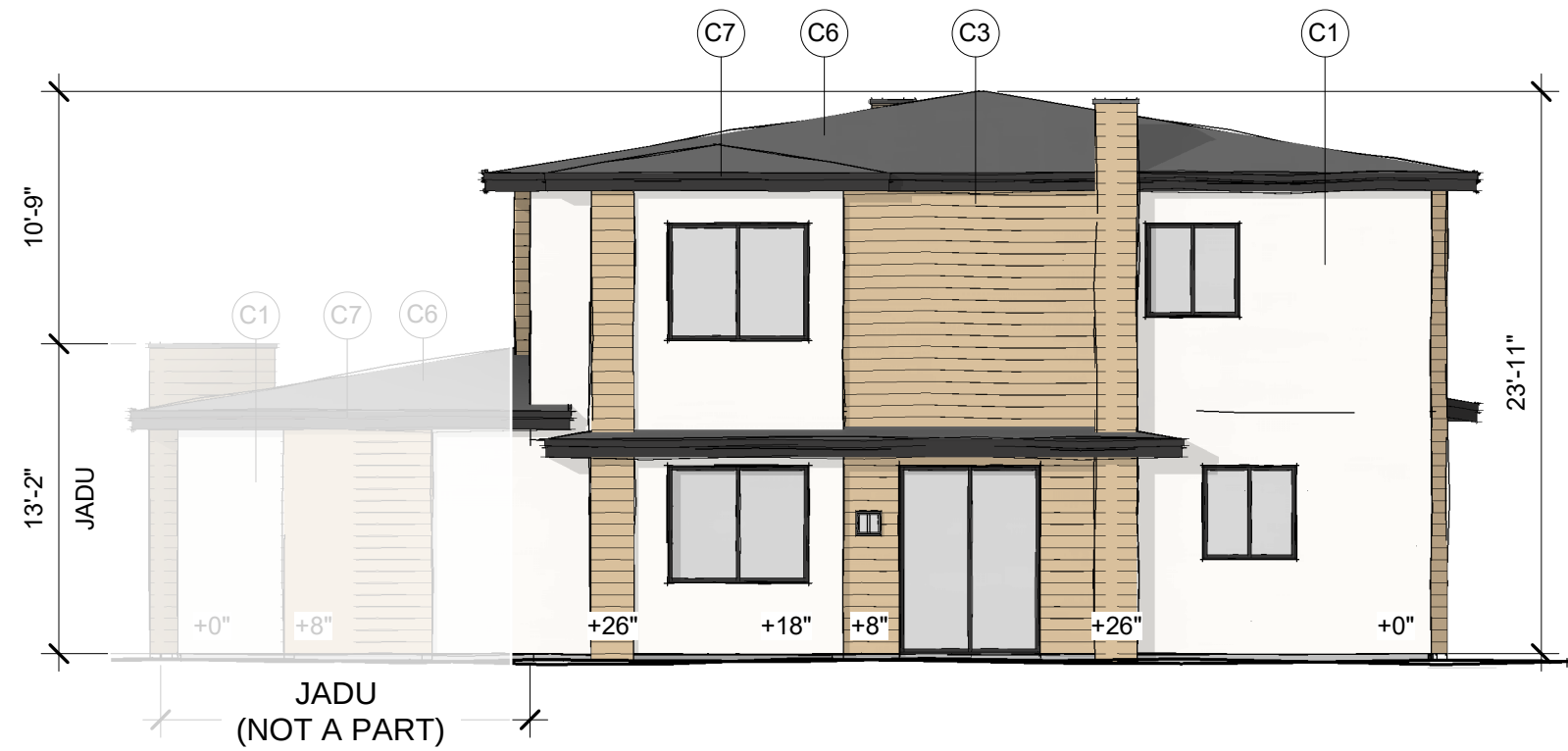


Front Elevation - C
1/4" = 1'-0"

Material Legend C				
Mark	Material	Manufacturer	Material Color	Product #
C1	MAIN STUCCO	DUNN EDWARDS	COOL DECEMBER	DEW383
C2	MAIN HORIZONTAL SIDING	DUNN EDWARDS	COOL DECEMBER	DEW383
C3	ACCENT HORIZONTAL SIDING	DUNN EDWARDS	GOLDEN GATE	DEC739
C4	VENEER - STONEVENEER	CULTURED STONE	SCULPTED ASHLAR	GROUSE
C5	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002
C6	ROOFING - CONCRETE TILE	BORAL	CHARCOAL BLEND	ECHO RIDGE PROFILE



Right Elevation C
1/8" = 1'-0"



Rear Elevation C
1/8" = 1'-0"



Left Elevation C
1/8" = 1'-0"

Exterior Lighting



Masonite - Front Doors w/Glass





ANDRESEN
ARCHITECTURE
INC.
17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

Proposed 7 Single Family Residences For:
New Legacy Corporation
Fontana Avenue, Fontana, CA 92335

9 Jun. 2022

20-3969

PLAN 2443

Elevations

PL3.2

LICENSED ARCHITECT
Douglas Andresen
C-14504
12-31-23
EXPIRATION
STATE OF CALIFORNIA

GRADING NOTES

1. ALL WORK SHALL CONFORM TO THE CITY OF FONTANAS' CITY STANDARDS AND SPECIFICATIONS, CURRENT EDITION SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND AS DIRECTED BY CITY ENGINEER AND THESE PLANS.
2. INSPECTION OF GRADING SHALL BE IN ACCORDANCE WITH ENGINEERING GRADING REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, 2016 EDITION.
3. A GRADING PERMIT FROM THE CITY OF FONTANA SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF GRADING.
4. AN ENCROACHMENT PERMIT FROM THE CITY OF FONTANA ENGINEERING SERVICES DEPARTMENT SHALL BE OBTAINED PRIOR TO ANY GRADING WITHIN RIGHT-OF-WAY OR CONSTRUCTION OF THE DRIVEWAY.
5. ON-SITE SUB-BASE OR BASE WITHIN TRAVEL AREA MUST BE COMPACTED TO A RELATIVE DENSITY OF 95%
6. AREA TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED BY THE SOIL ENGINEER PRIOR TO PLACING FILL.
7. ALL GRADING WORK SHALL BE DONE WHILE TAKING ANY REASONABLE NECESSARY STEPS TO PREVENT CREATION OF A NUISANCE INCLUDING BUT NOT LIMITED TO SPILLAGE, DUST, EROSION, AND NOISE CONTROL.
8. THE LOCATION OF EXISTING SURFACE AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO SURFACE AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO ANY EXCAVATION (1-800-227-2600)
9. ANY IMPROVEMENTS INSTALLED WITHOUT INSPECTION BY ENGINEERING SERVICES DEPARTMENT WILL BE SUBJECT TO REMOVAL.
10. INSPECTIONS REQUIRE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA, RELOCATION AND COSTS OF ANY AND ALL UTILITIES INVOLVED. CONTRACTOR MUST INFORM THE CITY OF FONTANA ENGINEERING SERVICE DEPARTMENT OF CONSTRUCTION SCHEDULING AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
12. ALL UNDERGROUND FACILITIES WITHIN STREET SECTIONS SHALL BE IN PLACE PRIOR TO BASE COARSE INSTALLATION WITH TRENCH COMPACTION TESTED AND APPROVED.
13. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ONSITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING EARTHWORK.
14. NOTHING IN THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM OBTAINING NECESSARY PERMITS AS REQUIRED BY THE CITY OF FONTANA MUNICIPAL CODE, OR THAT OF OTHER GOVERNING AGENCIES.
15. CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY COMPANIES WHERE APPURTENANCES ARE WITHIN RIGHT-OF-WAY AND/OR OBSTRUCTING CONSTRUCTION SO THAT THEY MAY BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
16. ANY CHANGE IN THE WORK SHOWN HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF FONTANA ENGINEER.
17. A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION WHERE SPECIFIC ELEVATIONS ARE REQUIRED.
18. APPROVAL OF THESE PLANS BY THE CITY OR ITS AGENTS DOES NOT RELIEVE THE DESIGN ENGINEER AND THE APPLICANT FROM THE RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST BY THE CITY, THE APPROPRIATE PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
19. DUST CONTROL: AS SOON AS THE GRADING IS COMPLETED ON EACH SECTION, A TEMPORARY SPRINKLER SYSTEM SHALL BE SET UP AND THE AREA SEEDED WITH A COVER CROP SUCH AS BARLEY RYE OR SUDAN GRASS, DEPENDING ON THE SEASON. THE SOWING RATE SHALL NOT BE LESS THAN 150 LBS. PER ACRE FOR BARLEY AND RYE GRASS AND 32 LBS. FOR SUDAN GRASS. WATERING SHALL CONTINUE UNTIL A GROWTH OF 8" MIN. HAS BEEN OBTAINED AND THE COVER CROP IS UNIFORM THROUGHOUT THE AREA. THIS SHALL APPLY TO ANY AREA DISTURBED BY THE DEVELOPER, CONTRACTOR SUBCONTRACTOR OR ANY OTHERS PERFORMING WORK RELATED TO THE PROJECT. ALL STOCK PILE BORROW SITES AND HAUL ROADS SHALL BE TREATED IN A SIMILAR MANNER.
20. AFTER CLEARING, EXISTING GROUND SHALL BE SCARIFIED TO MINIMUM OF 6" ON ENTIRE SITE UNTIL THE SURFACE IS FREE FROM UNEVEN FEATURES THAT WOULD TEND TO PREVENT UNIFORM COMPACTION BY THE EQUIPMENT USED.
21. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERING GRADING REQUIREMENTS OF THE CALIFORNIA BUILDING CODE 2016 EDITION, AND THE RECOMMENDATIONS OF THE SOILS REPORT:
- DATED: JUNE 29, 2018
PREPARED BY: NORCAL ENGINEERING
22. THE CONTRACTORS SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE REQUESTING FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION.
23. THE CITY OF FONTANA ENGINEERING SERVICES DEPT. WILL NOT GIVE ANY ASSURANCE THAT THIS PLAN IS COMPLETE AND THAT IT WILL MATCH EXISTING FIELD CONDITIONS.
24. ASPHALTIC CONCRETE PAVING SHALL BE FURNISHED IN ACCORDANCE WITH SECTION 39 OF STANDARD SPECIFICATIONS, STATE OF CALIFORNIA. EXCEPT AS FOLLOWS:
- A) THE COMBINED MINERAL AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED FOR 3/4 INCH MINIMUM GRADING FOR THE BASE COURSE, AND 1/2 INCH MINIMUM GRADING FOR THE SURFACE COURSE. THE BITUMINOUS BINDER TO BE MIXED WITH THE MINERAL AGGREGATE SHALL BE STEAM REFINED. PAVING ASPHALT (PG 70-10) CONFORMING TO SECTION 92 OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA SHALL BE USED.
- B) ASPHALT CONCRETE PAVING SHALL BE DONE IN TWO LIFTS, FOR 4 INCHES THICKNESS. THE FIRST LIFT SHALL BE 2 1/2 INCHES WITH 3/4 INCH MAXIMUM MEDIUM GRADING. THE SECOND LIFT SHOULD BE 1 1/2 INCH WITH 1/2 INCH MAXIMUM MEDIUM GRADING.
25. PRIOR TO CONSTRUCTION OF ASPHALT CONCRETE PAVEMENT, AN APPLICATION OF WEED KILLER (CONTROL) SHALL BE APPLIED TO TOP OF CLASS II AB.
26. GRADING PLAN SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES:
- A. 2016 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS
B. 2016 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS
C. CITY OF FONTANA ORDINANCES AND REGULATIONS

NOTES:

1. A PAD CERTIFICATION, A COMPACTION REPORT, AND ANY OTHER REQUIRED DOCUMENTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH GRADING INSPECTION. BUILDER SHALL PROVIDE THE BUILDING INSPECTOR WITH A FINAL PRECISE GRADING CERTIFICATE FROM THE ENGINEER OF RECORD PRIOR TO BUILDING'S FINAL INSPECTION.

RESIDENTIAL IMPROVEMENT PLAN
AT S/E CORNER OF FONTANA AVENUE AND LEMON ST.
PRELIMINARY GRADING PLAN

SCOPE OF WORK:

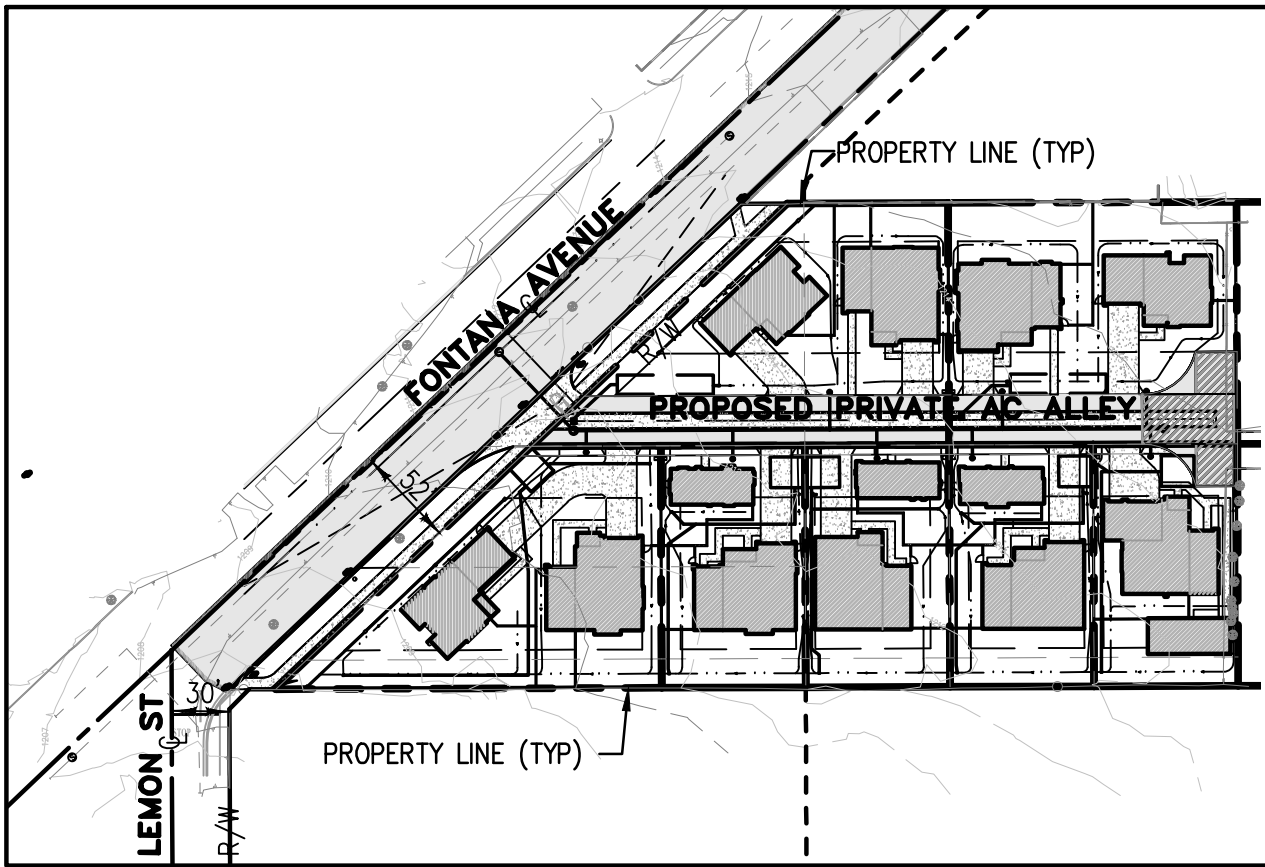
1. CONSTRUCT ROUGH GRADING OF 7 RESIDENTIAL LOTS
2. CONSTRUCT ASPHALT-CONCRETE ALLEY WITH CONCRETE SWALE.
3. CONSTRUCT CATCH BASINS, STORM DRAIN PIPES
WATER AND SEWER SYSTEM.

DISTURBED AREAS:

IMPERVIOUS AREAS:	
PAVED AREAS (ALLEY INCLUDING CONCRETE SWALE)	10,357 SF
FUTURE BUILDING AREAS	25,390 SF
TOTAL IMPERVIOUS AREA =	
35,747 SF	
PERVIOUS AREAS:	
UNPAVED LOT AREAS	51,025 SF
FUTURE PAVER AREAS & FUTURE SIDEWALK (DRIVEWAY AND WALKWAYS)	5,474 SF
TOTAL PERVIOUS AREA =	
56,499 SF	

TOTAL # OF LOTS = 7

LOT 1 = 18,957 SF
LOT 2 = 18,911 SF
LOT 3 = 9,453 SF
LOT 4 = 9,454 SF
LOT 5 = 9,454 SF
LOT 6 = 9,447 SF
LOT 7 = 16,889 SF



INDEX MAP

1"=100'

SOILS ENGINEER:

NORCAL ENGINEERING.
10641 HUMBOLT STREET
LOS ALAMITOS, CA 90720
PH (562) 799-9469; FAX (562) 799-9459

CIVIL ENGINEER:

CORNERSTONE LAND SURVEYING INC.
20730 KNOB PLACE
PERRIS, CA 92570
PH (951) 736-0200 CL (949) 370-7099

SOILS AND GEOLOGIST CERTIFICATION

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE FOLLOWING GEOTECHNICAL REPORT FOR THIS PROJECT ENTITLED:

GEOTECHNICAL ENGINEERING INVESTIGATION PROPOSED RESIDENTIAL DEVELOPMENT SOUTHEAST CORNER OF FONTANA AVENUE AND LEMON ST. FONTANA, CALIFORNIA

DATE: JUNE 29, 2018

FIRM NAME: NORCAL ENGINEERING

BY: KEITH D. TUCKER

GEOTECHNICAL ENGINEER:

DATE:

PRELIM EARTHWORK ESTIMATE

ITEM	CUT (CY)	FILL (CY)	IMPORT (CY)
RAW	2,233	241	1,992

NOTE:

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM AND VERIFY HIS OWN ESTIMATES.

UNDERGROUND STRUCTURES

ALL UNDERGROUND STRUCTURES OF UTILITIES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT.

THE OWNER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH THE IMPROVEMENTS PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD THE UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, OR LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON THE RECORDS EXAMINED.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OF STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

NOTICE TO CONTRACTORS

CONTRACTOR AGREES THAT HE SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

ASSESSOR'S

PARCEL NUMBER:

0193-021-50, -51, -52, -53, -06, -07, & -08,

PREPARED FOR/

OWNER/SUBDIVIDER:

SECURED INCOME GROUP, INC.
ATTN: MR. MAX MCDERMOTT
17592 17TH STREET, SUITE 100
TUSTIN, CA. 92780
(714) 721-7788 OFFICE
(714) 368-0012 FAX

PROPERTY ADDRESS:

FONTANA AVE AND LEMON ST.

ZONING:

SINGLE FAMILY RESIDENTIAL

SHEET INDEX:

SHEET 1: TITLE SHEET
SHEET 2: ROUGH GRADING PLAN
SHEET 3: SECTION AND DETAILS
SHEET 4: EROSION CONTROL PLAN
SHEET 5: EROSION CONTROL DETAILS

LEGEND AND ABBREVIATION

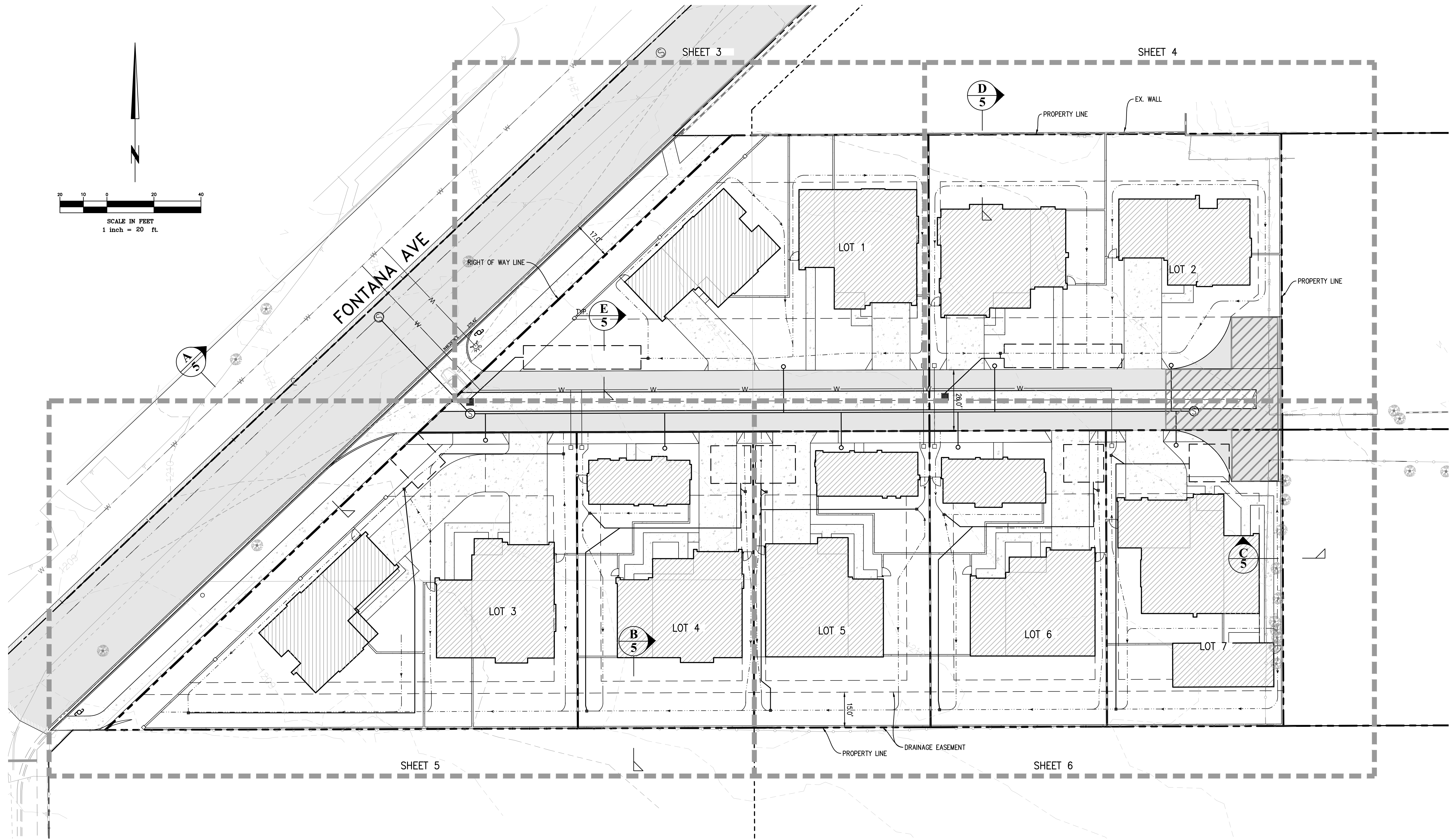
---	PARCEL MAP BOUNDARY LINE
----	DENOTES CENTERLINE
- - - -	DENOTES EXISTING RIGHT OF WAY
----	DENOTES EXISTING LOT LINE
----	DENOTES FLOWLINE
--- 12"W ---	DENOTES EXISTING WATER
--- 12"S ---	DENOTES EXISTING SEWER
--- 2'G ---	DENOTES EXISTING GAS
----	DENOTES EXISTING CHAIN LINK FENCE
----	DENOTES PROPOSED SITE WALL

○	EXISTING IRR. STAND PIPE
○	EXISTING POWER POLE
○	EXISTING HOSEBIB
○	EXISTING MAILBOX
○	SIGN
○	FOUND MONUMENT
○	EXISTING PALM
○	EXISTING TREE
EG	EXISTING GRADE
FG	FINISH GRADE
FL	FLOWLINE
FF	FINISH FLOOR
HP	HIGHPOINT
TO	TOP OF CURB
UNO	UNLESS NOTED OTHERWISE

---	DENOTES EXISTING OVERHEAD POWERLINE
----	EXISTING CONTOUR
----	DENOTES RESTRICTED ACCESS
○	SEWER MANHOLE
○	FIRE HYDRANT
○	EXISTING WATER VALVE
○	EXISTING WATER METER
○	EXISTING GAS METER
○	GAS VALVE
SD	DENOTES PROPOSED STORM DRAIN LINE
S	DENOTES PROPOSED SEWER LINE
W	DENOTES PROPOSED WATER LINE
S	DENOTES EXISTING SEWER LINE
W	DENOTES EXISTING WATER LINE

WDID:

BENCHMARK: CITY OF FONTANA BENCHMARK NO. 28 ELEVATION = 1222.41 FT. BEING A MAG. NAIL IN TOP OF CURB LOCATED AT THE EOR AT THE NE CORNER OF THE INTERSECTION OF MERRILL AVENUE AND OLEANDER AVENUE.		Cornerstone Land Surveying Inc. ALL T.A. - Topographic - Boundary - Construction - Environmental 20730 KNOB PLACE PERRIS, CA 92570 PH (951) 736-0200 CL (949) 370-7099		DIGAlert DIAL BEFORE YOU DIG TWO WORKING DAYS BEFORE YOU DIG TOLL FREE 1-800-227-2600 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT		REV.		REVISION DESCRIPTION		ENGR.		DATE		CITY		DATE		SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.		Prepared Under The Supervision Of : Stefan C. Lanthier Date : 02/28/23 RCE: 59052		CITY OF FONTANA, CALIFORNIA TITLE SHEET		DRAWN BY: GATSAM		DESIGNED BY: GATSAM		CHECKED BY: SOL		APN 0193-021-50, -51,-52,-53,-06, -07, & -08 N/E FONTANA AVENUE AND LEMON STREET APPROVED BY: CITY ENGINEER R.C.E. 51152		AS SHOWN DATE: 2/28/2023 DRAWING NO.: 1/7	
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BENCHMARK:
CITY OF FONTANA BENCHMARK NO. 28
ELEVATION = 1222.41 FT. BEING A MAG NAIL
IN TOP OF CURB LOCATED AT THE EOR AT
THE NE CORNER OF THE INTERSECTION OF
MORILL AVENUE AND CLELAND AVENUE.

BASIS OF BEARINGS:
BASIS OF BEARINGS IS THE CENTERLINE OF
CLELAND AVENUE WHICH BEARS N0-12-30W
PER RSB 72/97.

Cornerstone
Land Surveying Inc.
A.L.T.A. - Topographic - Boundary - Construction - Environmental
20730 KNOB PLACE
FIDELITY, CA 92570
PH (951) 736-0200 CL (949) 370-7099



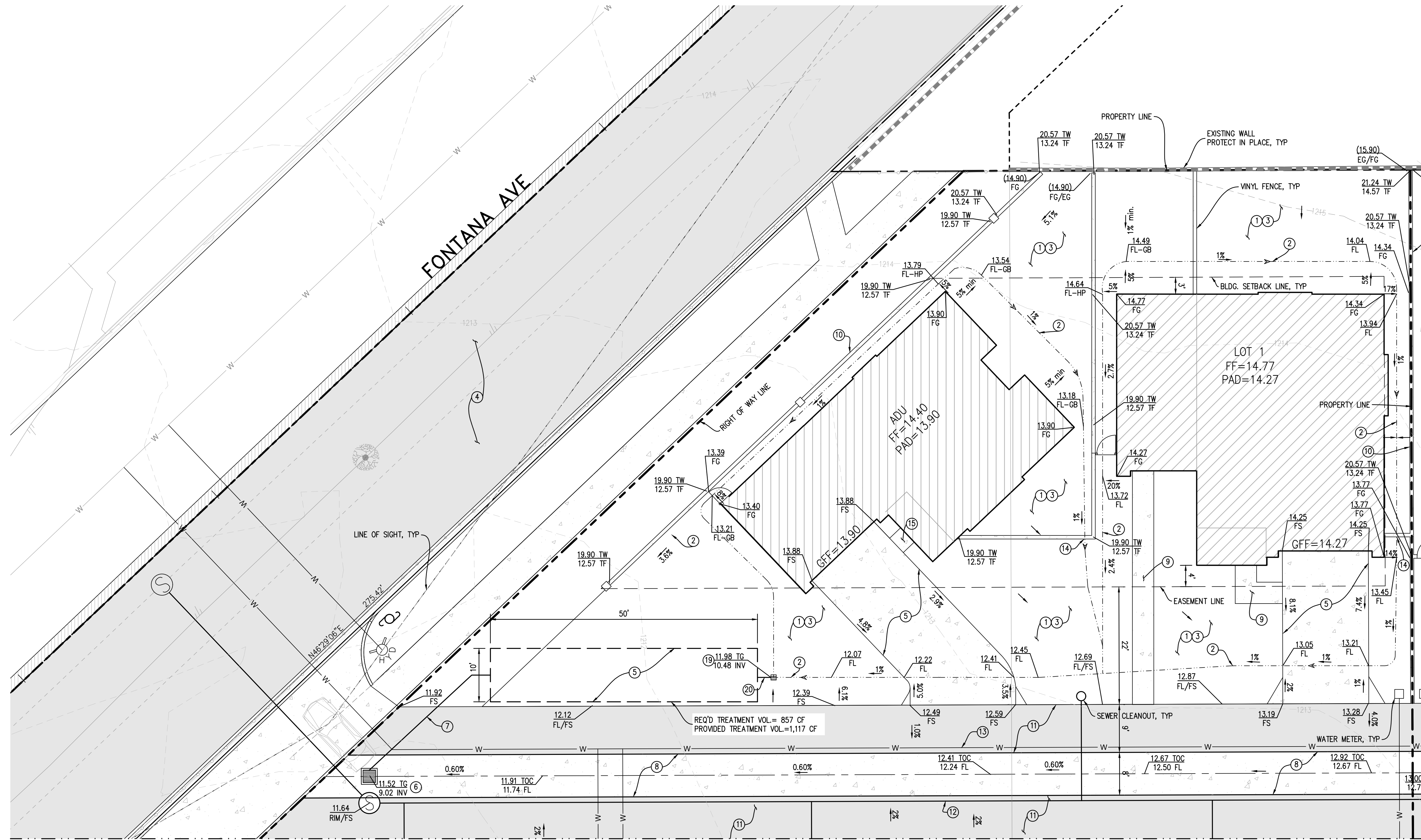
REV.	REVISION DESCRIPTION	ENGR.	DATE	CITY	DATE

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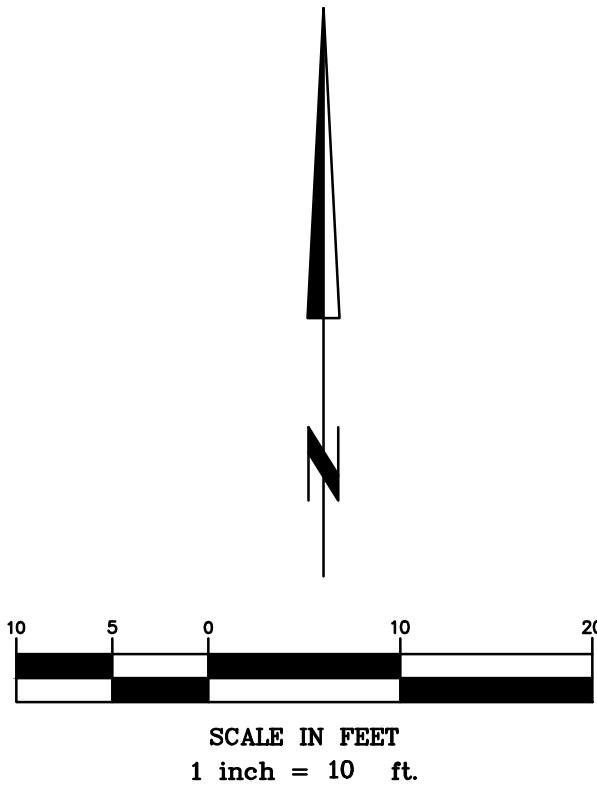
Prepared Under The Supervision Of :
Stefan Lanthier Date : 02/28/23
STEFAN C. LANTHIER RCE: 59052

CITY OF FONTANA, CALIFORNIA			
SHEET INDEX MAP			
DRAWN BY: GATS&M	APN 0193-021-50, -51, -52, -53, -06, -07, & -08	AS SHOWN	DATE:
DESIGNED BY: GATS&M	N/E FONTANA AVENUE AND LEMON STREET	2/28/2023	
CHECKED BY: SQL	APPROVED BY:	DRAWING NO.:	2/7
	CITY ENGINEER	R.C.E. 51152	



**GRADING & DRAINAGE
CONSTRUCTION NOTES**

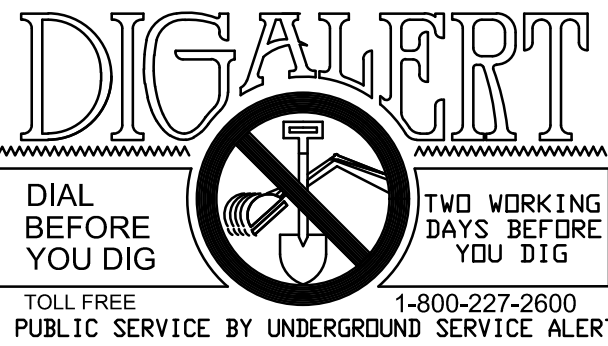
- 1 GRADE THIS AREA PER PLAN AND PER SOILS REPORT RECOMMENDATION.
- 2 CONSTRUCT EARTH SWALE PER DETAILS ON SHEET 3.
- 3 REMOVE TOP 1' TO 2' AND SCARIFY EXPOSED SURFACE BY 12" PER SOILS REPORT.
- 4 CONSTRUCT ST. IMPROVEMENTS PER SEPARATE PLAN. SEE TYP ST. SECTION HEREON.
- 5 CONSTRUCT PORTLAND CEMENT CONCRETE DRIVEWAY (6" THICK) OVER 6" THICK COMPACTED AGGREGATE BASE. PROVIDE #4 REBAR AT 18" O.C. EACH WAY AND EXPANSION AND CONTROL JOINTS PER DETAIL _ ON SHEET _.
- 6 INSTALL PRECAST 18"x18" BROOKS CATCH BASIN OR EQUAL.
- 7 INSTALL 8" DIA. PVC STORM DRAIN PIPE (SCHED. 80).
- 8 CONSTRUCT 8" WIDE P.C.C. CONCRETE SWALE PER DETAILS ON SHEET 3. INSTALL EXPANSION AND CONTROL JOINTS PER DETAILS ON SHEET 3.
- 9 CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE WALK.
- 10 CONSTRUCT CMU WALL.
- 11 CONSTRUCT 6.5" THICK ASPHALT-CONCRETE PAVEMENT OVER 12" MIN. OF 95% COMPACTED NATIVE SUBGRADE.
- 12 CONSTRUCT SEWER IMPROVEMENTS PER SEPARATE PLANS.
- 13 CONSTRUCT WATER IMPROVEMENTS PER SEPARATE PLANS.
- 14 PROVIDE WALL OPENING (REMOVE 1 CMU BLOCK) TO PROVIDE DRAINAGE.
- 15 CONSTRUCT PORTLAND CEMENT CONCRETE STEPS PER ARCH PLANS.
- 16 REMOVE AND DISPOSE EX. FENCE.
- 19 CONSTRUCT 12"x12" AREA DRAIN BY NDS OR APPROVED EQUAL.
- 20 INSTALL 4" PVC SD PIPE (SCHED. 40) OR APPROVED EQUAL.
- 22 INSTALL STORMTECH MC-7200 CHAMBER WITH INSPECTION PORT PER SECTION 'E' ON SHEET 7 AND PER MANUFACTURER'S SPECIFICAT



BENCHMARK:
CITY OF FONTANA BENCHMARK NO. 28
ELEVATION = 1222.41 FT. BEING A MAG NAIL
IN TOP OF CURB LOCATED AT THE EOR AT
THE NE CORNER OF THE INTERSECTION OF
MORILL AVENUE AND CLELAND AVENUE.

BASIS OF BEARINGS:
BASIS OF BEARINGS IS THE CENTERLINE OF
CLELAND AVENUE WHICH BEARS N0-12-30W
PER RSB 72/97.

Cornerstone
Land Surveying Inc.
A.L.T.A. • Topographic • Boundary • Construction • Environmental
20730 KNOB PLACE
FIDELITY, CA 92570
PH (951) 736-0200 CL (949) 370-7099



REV.	REVISION DESCRIPTION	ENGR.	DATE	CITY	DATE

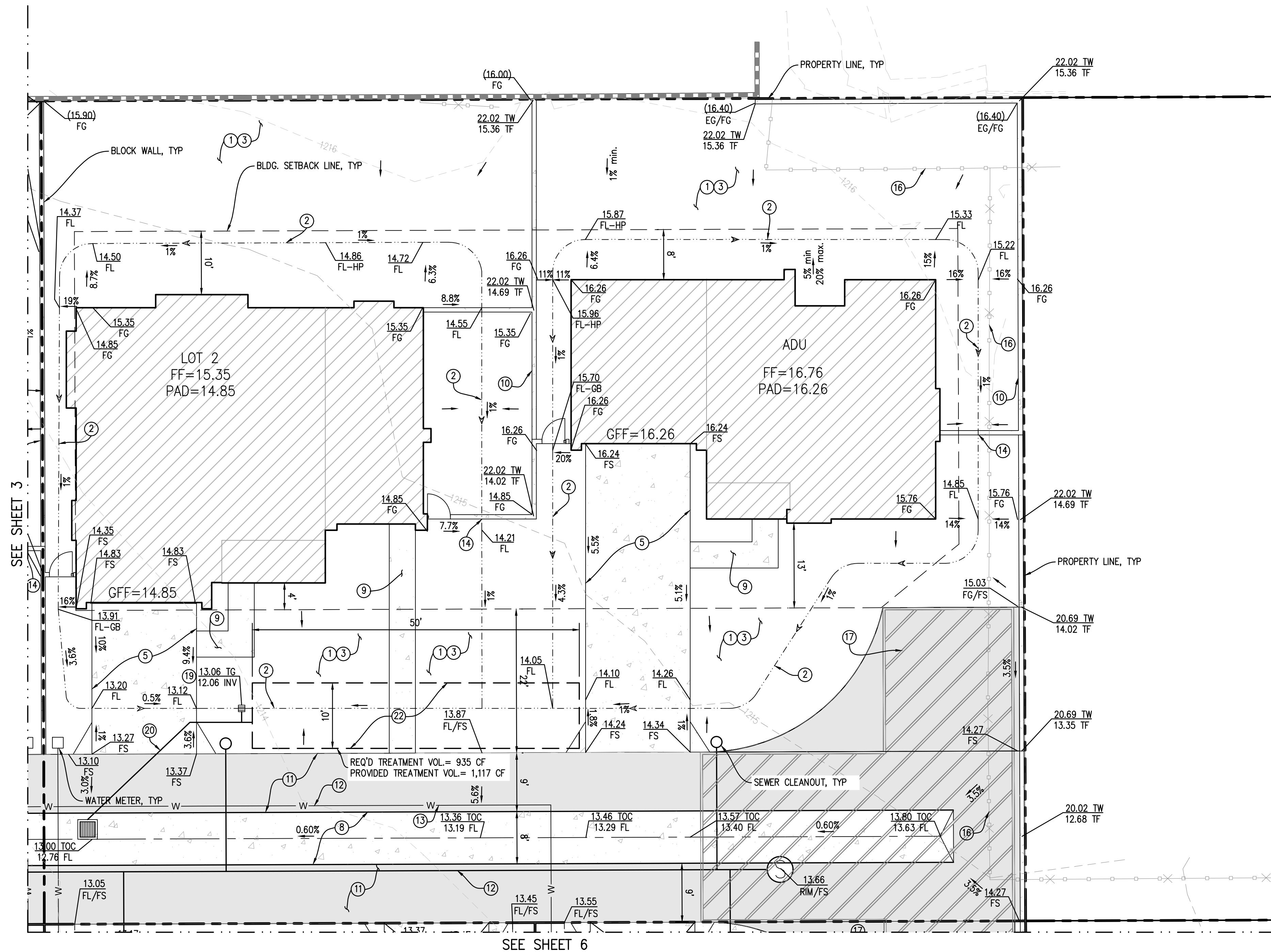
SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



Prepared Under The Supervision Of :
Stefan C. Lanthier Date : 02/28/23
STEFAN C. LANTHIER RCE: 59052

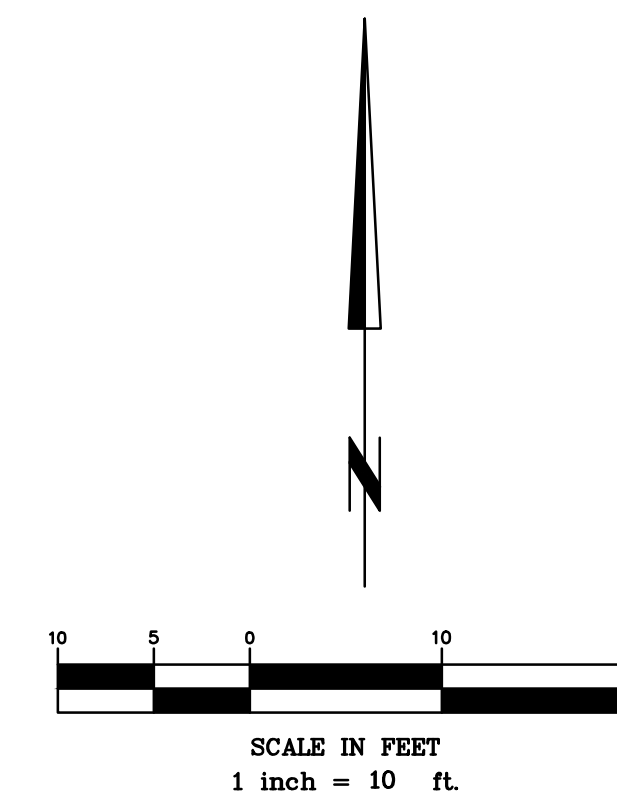
**CITY OF FONTANA, CALIFORNIA
PRELIMINARY GRADING PLAN (LOT 1)**

DRAWN BY: GAT&M	APN 0193-021-50, -51, -52, -53, -06, -07, & -08	AS SHOWN
DESIGNED BY: GAT&M	N/E FONTANA AVENUE AND LEMON STREET	DATE: 2/28/2023
CHECKED BY: SCL	APPROVED BY: _____	DRAWING NO.: 3/7
	CITY ENGINEER R.C.E. 51152	



GRADING & DRAINAGE CONSTRUCTION NOTES

- ① GRADE THIS AREA PER PLAN AND PER SOILS REPORT RECOMMENDATION.
- ② CONSTRUCT EARTH SWALE PER DETAILS ON SHEET 3.
- ③ REMOVE TOP 1' TO 2' AND SCARIFY EXPOSED SURFACE BY 12" PER SOILS REPORT.
- ⑤ CONSTRUCT PORTLAND CEMENT CONCRETE DRIVEWAY (6" THICK) OVER 6" THICK COMPACTED AGGREGATE BASE. PROVIDE #4 REBAR AT 18" O.C. EACH WAY AND EXPANSION AND CONTROL JOINTS PER DETAIL _ ON SHEET _.
- ⑧ CONSTRUCT 8' WIDE P.C.C. CONCRETE SWALE PER DETAILS ON SHEET 3. INSTALL EXPANSION AND CONTROL JOINTS PER DETAILS ON SHEET 3.
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- ⑫ CONSTRUCT SEWER IMPROVEMENTS PER SEPARATE PLANS.
- ⑬ CONSTRUCT WATER IMPROVEMENTS PER SEPARATE PLANS.
- ⑭ PROVIDE WALL OPENING (REMOVE 1 CMU BLOCK) TO PROVIDE DRAINAGE.
- ⑯ REMOVE AND DISPOSE EX. FENCE.
- ⑰ PAINT STRIPING PER ARCH. PLANS.
- ⑲ CONSTRUCT 12"x12" AREA DRAIN BY NDS OR APPROVED EQUAL.
- ⑳ INSTALL 4" PVC SD PIPE (SCHED. 40) OR APPROVED EQUAL.
- ㉔ INSTALL STORMTECH MC-7200 CHAMBER WITH INSPECTION PORT PER SECTION 'E' ON SHEET 7 AND PER MANUFACTURER'S SPECIFICAT



BENCHMARK:
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THE NE CORNER OF THE INTERSECTION OF
MORILL AVENUE AND CLELAND AVENUE.

BASIS OF BEARING:
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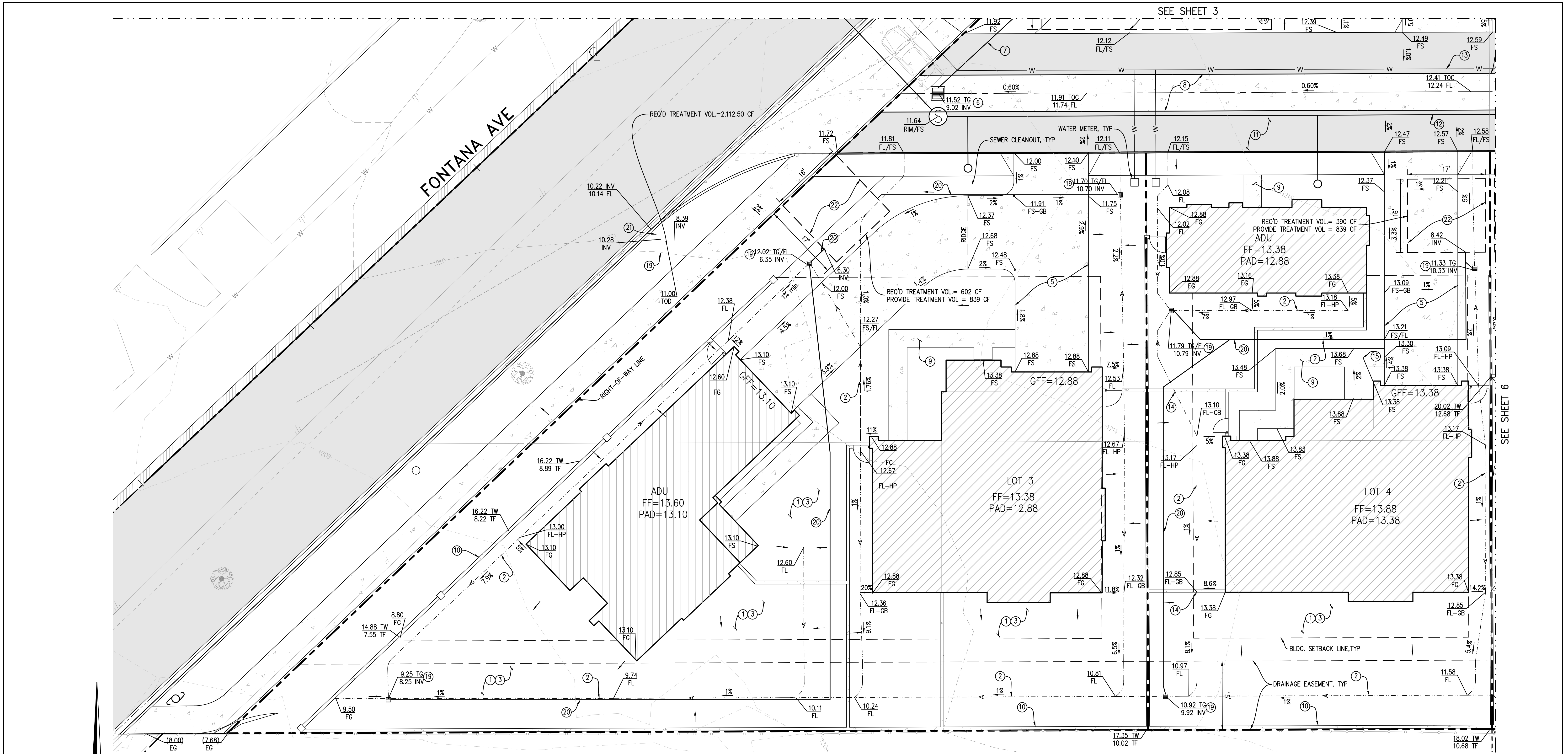
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Prepared Under The Supervision Of :
Stefan C. Lanthier Date : 02/28/23
STEFAN C. LANTHIER RCE: 59052

CITY OF FONTANA, CALIFORNIA PRELIMINARY GRADING PLAN (LOT 2)

DRAWN BY: GATS&M	APN 0193-021-50, -51, -52, -53, -06, -07, & -08	AS SHOWN
DESIGNED BY: GATS&M	N/E FONTANA AVENUE AND LEMON STREET	DATE: 2/28/2023
CHECKED BY: SCL	APPROVED BY: _____	DRAWING NO.: 4/7
	CITY ENGINEER R.C.E. 51152	



GRADING & DRAINAGE CONSTRUCTION NOTES

- GRADE THIS AREA PER PLAN AND PER SOILS REPORT RECOMMENDATION.
- CONSTRUCT EARTH SWALE PER DETAILS ON SHEET 3.
- REMOVE TOP 1' TO 2' AND SCARIFY EXPOSED SURFACE BY 12" PER SOILS REPORT.
- CONSTRUCT PORTLAND CEMENT DRIVEWAY (6" THICK) OVER 6" THICK COMPACTED AGGREGATE BASE. PROVIDE #4 REBAR AT 18" O.C. EACH WAY AND EXPANSION AND CONTROL JOINTS PER DETAIL - ON SHEET -
- INSTALL 8" DIA. PVC STORM DRAIN PIPE (SCHED. 80).

- CONSTRUCT 8" WIDE P.C.C. CONCRETE SWALE PER DETAILS ON SHEET 3. INSTALL EXPANSION AND CONTROL JOINTS PER DETAILS ON SHEET 3.
- CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE WALL.
- CONSTRUCT CMU WALL.
- CONSTRUCT 6.5" THICK ASPHALT-CONCRETE PAVEMENT OVER 12" MIN. OF 95% COMPACTED NATIVE SUBGRADE.
- CONSTRUCT SEWER IMPROVEMENTS PER SEPARATE PLANS.
- CONSTRUCT WATER IMPROVEMENTS PER SEPARATE PLANS.
- PROVIDE WALL OPENING (REMOVE 1 CMU BLOCK) TO PROVIDE DRAINAGE.
- CONSTRUCT PORTLAND CEMENT CONCRETE STEPS PER ARCH PLANS.

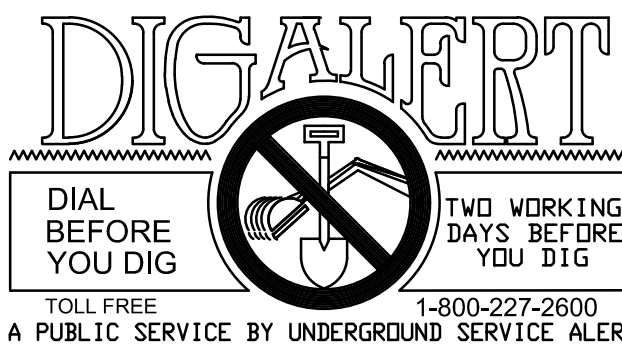
- REMOVE AND DISPOSE EX. FENCE.
- PAINT STRIPING PER ARCH. PLANS.
- REMOVE AND DISPOSE EX. TREE AND ITS ROOT SYSTEM
- CONSTRUCT 12"x12" AREA DRAIN BY NDS OR APPROVED EQUAL
- INSTALL 4" PVC SD PIPE (SCHED. 40) OR APPROVED EQUAL.
- CONSTRUCT UNDER SIDEWALK DRAIN PER CITY STD.
- INSTALL STORMTECH MC-7200 CHAMBER WITH INSPECTION PORT PER SECTION 'E' ON SHEET 7 AND PER MANUFACTURER'S SPECIFICATIONS.

SCALE IN FEET
1 inch = 10 ft.

BENCHMARK:
CITY OF FONTANA BENCHMARK NO. 28
ELEVATION = 1229.41 FT. BEING A MAG NAIL
IN TOP OF CURB LOCATED AT THE EOR AT
THE NE CORNER OF THE INTERSECTION OF
MORILL AVENUE AND CLELAND AVENUE.

BASIS OF BEARINGS:
BASIS OF BEARINGS IS THE CENTERLINE OF
CLELAND AVENUE WHICH BEARS N0-12-30W
PER RSB 72/97.

Cornerstone
Land Surveying Inc.
A.L.T.A. - Topographic - Boundary - Construction - Environmental
20730 KNOB PLACE
FIDELIS, CA 92570
PH (951) 736-0200 CL (949) 370-7099



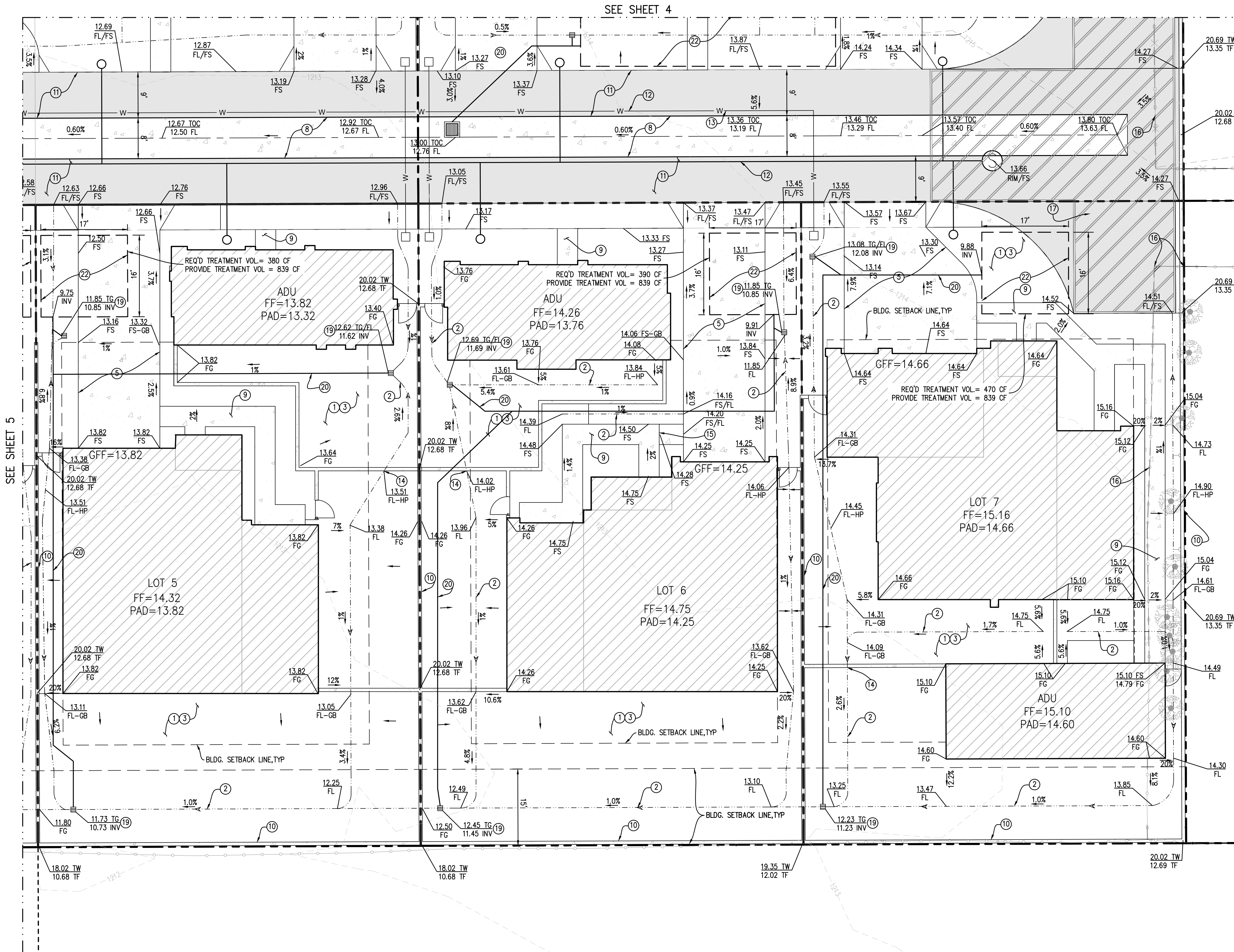
REV.	REVISION DESCRIPTION	ENGR.	DATE	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



Prepared Under The Supervision Of :
Stefan C. Lanthier Date : 02/28/23
RCE: 59052

CITY OF FONTANA, CALIFORNIA PRELIMINARY GRADING PLAN (LOTS 3-4)			
DRAWN BY: GAT&M	APN 0193-021-50, -51, -52, -53, -06, -07, & -08	AS SHOWN	DATE: 2/28/2023
DESIGNED BY: GAT&M	N/E FONTANA AVENUE AND LEMON STREET	APPROVED BY:	DRAWING NO.: 5/7
CHECKED BY: SCL	CITY ENGINEER	R.C.E. 51152	



GRADING & DRAINAGE CONSTRUCTION NOTES

- 1 GRADE THIS AREA PER PLAN AND PER SOILS REPORT RECOMMENDATION.
- 2 CONSTRUCT EARTH SWALE PER DETAILS ON SHEET 3.
- 3 REMOVE TOP 1' TO 2' AND SCARIFY EXPOSED SURFACE BY 12" PER SOILS REPORT.
- 5 CONSTRUCT PORTLAND CEMENT DRIVEWAY (6" THICK) OVER 6" THICK COMPACTED AGGREGATE BASE. PROVIDE #4 REBAR AT 18" O.C. EACH WAY AND EXPANSION AND CONTROL JOINTS PER DETAIL _ ON SHEET _
- 8 CONSTRUCT 8' WIDE P.C.C. CONCRETE SWALE PER DETAILS ON SHEET 3. INSTALL EXPANSION AND CONTROL JOINTS PER DETAILS ON SHEET 3.
- 9 CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE WALK.
- 10 CONSTRUCT CMU WALL.
- 11 CONSTRUCT 6.5" THICK ASPHALT-CONCRETE PAVEMENT OVER 12" MIN. OF 95% COMPACTED NATIVE SUBGRADE.
- 12 CONSTRUCT SEWER IMPROVEMENTS PER SEPARATE PLANS.
- 13 CONSTRUCT WATER IMPROVEMENTS PER SEPARATE PLANS.
- 14 PROVIDE WALL OPENING (REMOVE 1 CMU BLOCK) TO PROVIDE DRAINAGE.
- 15 CONSTRUCT PORTLAND CEMENT CONCRETE STEPS PER ARCH PLANS.
- 16 REMOVE AND DISPOSE EX. FENCE.
- 17 PAINT STRIPING PER ARCH. PLANS.
- 18 REMOVE AND DISPOSE EX. TREE AND ITS ROOT SYSTEM
- 19 CONSTRUCT 12"x12" AREA DRAIN BY NDS OR APPROVED EQUAL
- 20 INSTALL 4" PVC SD PIPE (SCHED. 40) OR APPROVED EQUAL.
- 22 INSTALL STORMTECH MC-7200 CHAMBER WITH INSPECTION PORT PER SECTION 'E' ON SHEET 7 AND PER MANUFACTURER'S SPECIFICATIONS.

BENCHMARK:
CITY OF FONTANA BENCHMARK NO. 28
ELEVATION = 1224.41 FT. BEING A MAG NAIL
IN TOP OF CURB LOCATED AT THE EOR AT
THE NE CORNER OF THE INTERSECTION OF
MORILL AVENUE AND CLELAND AVENUE.

BASIS OF BEARINGS:
BASIS OF BEARINGS IS THE CENTERLINE OF
CLELAND AVENUE WHICH BEARS N0-12-30W
PER RSB 72/97.

Cornerstone
Land Surveying Inc.
A.L.T.A. • Topographic • Boundary • Construction • Environmental
20730 KNOB PLACE
PO BOX 91
FIDELITY, CA 92570
PH (951) 736-0200 CL (949) 370-7099



REV.	REVISION DESCRIPTION	ENGR.	DATE	CITY	DATE

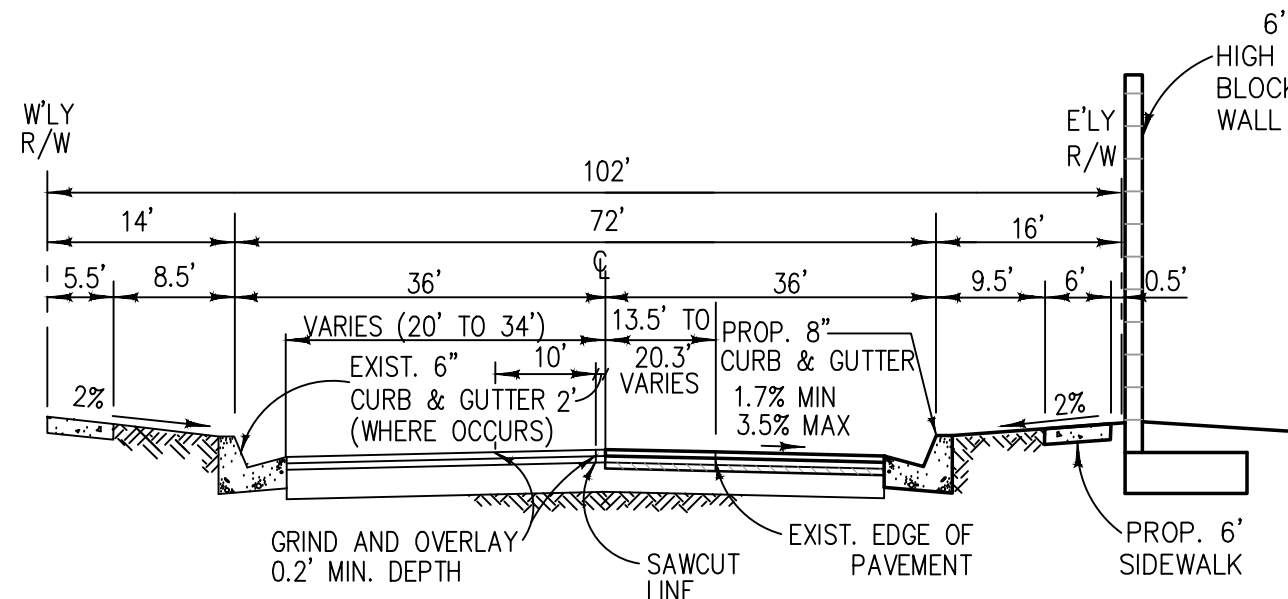
SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



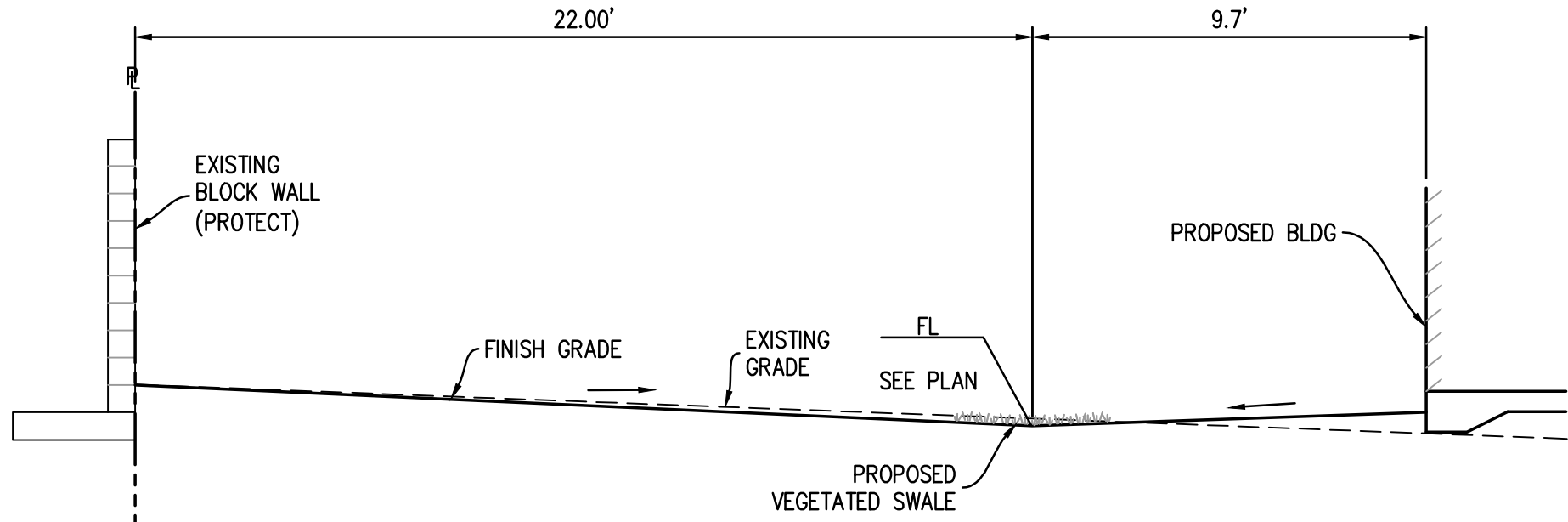
Prepared Under The Supervision Of :

Stefan C. Lanthier Date : 02/28/23
STEFAN C. LANTHIER RCE: 59052

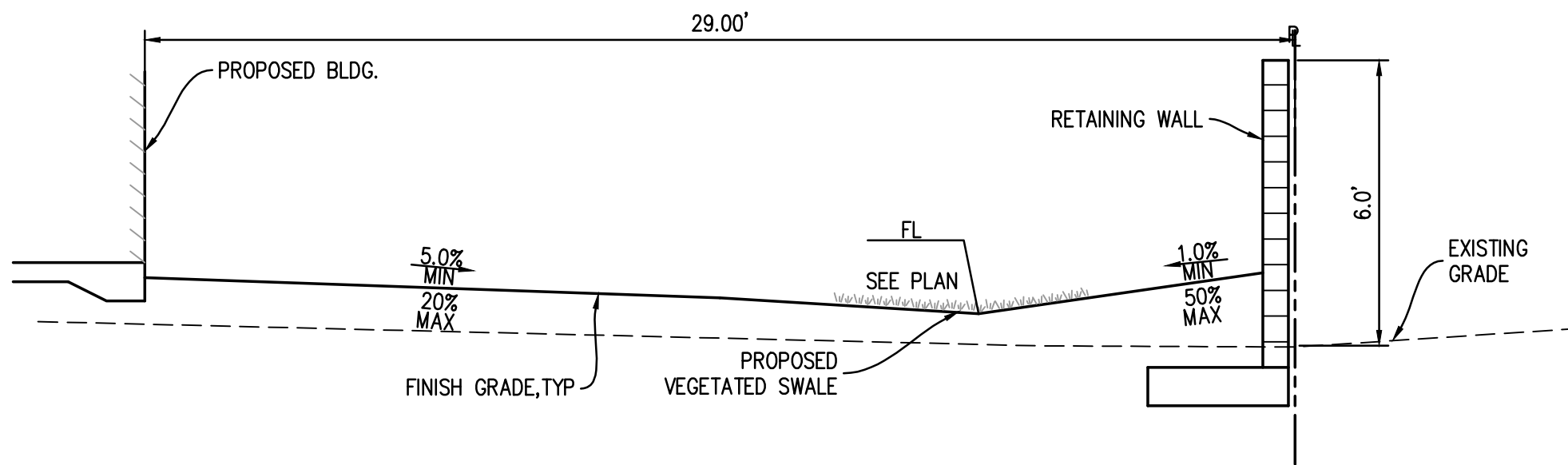
CITY OF FONTANA, CALIFORNIA PRELIMINARY GRADING PLAN (LOTS 5-7)			
DRAWN BY: GATS&M	APN 0193-021-50, -51, -52, -53, -06, -07, & -08	AS SHOWN	DATE: 2/28/2023
DESIGNED BY: GATS&M	N/E FONTANA AVENUE AND LEMON STREET	APPROVED BY:	DRAWING NO.: 6/7
CHECKED BY: SQL	CITY ENGINEER	R.C.E. 51152	



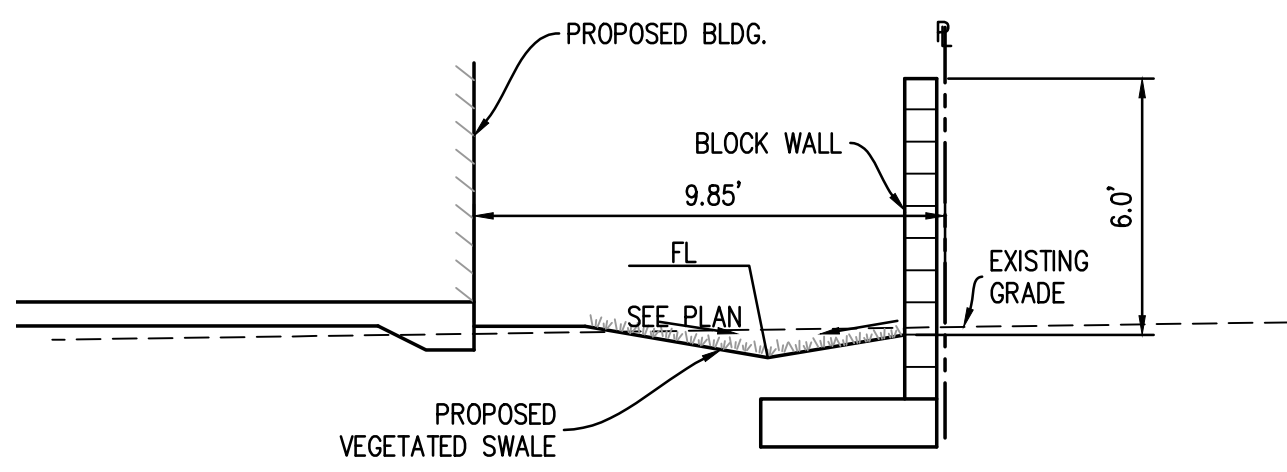
FONTANA AVE
SECTION 'A'
NTS



SECTION 'D'
NTS



SECTION 'B'
NTS

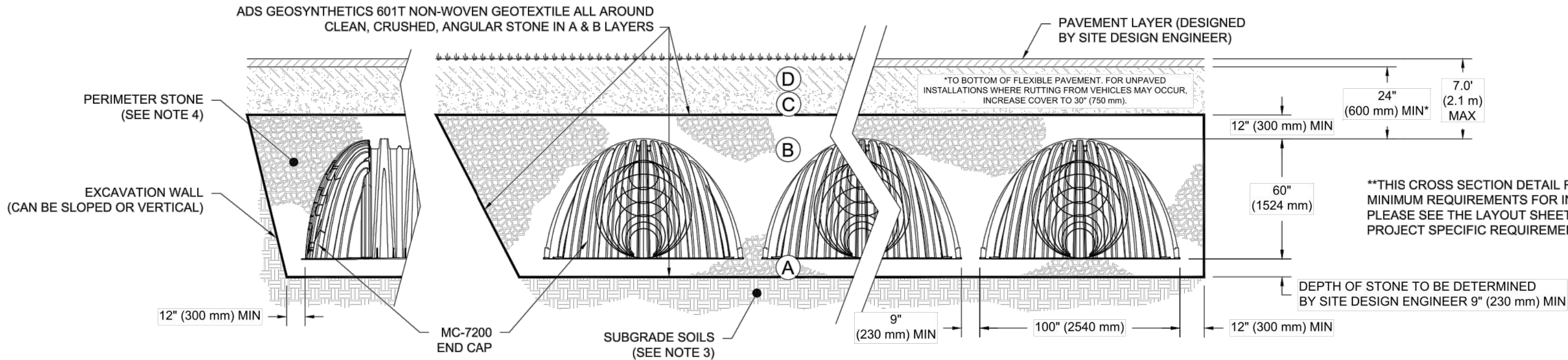


SECTION 'C'
NTS

ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



* FOR COVER DEPTHS GREATER THAN 7.0' (2.1 m) PLEASE CONTACT STORMTECH

NOTES:

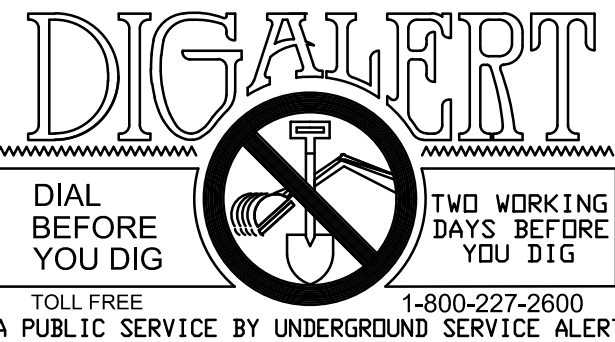
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
- MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT²%. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SECTION 'E' (TYP. STORMWATER CHAMBER SECTION)
NTS

BENCHMARK:
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ELEVATION = 1229.41 FT. BEING A MAG NAIL
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MORILL AVENUE AND CLELAND AVENUE.

BASIS OF BEARINGS:
BASIS OF BEARINGS IS THE CENTERLINE OF
CLELAND AVENUE WHICH BEARS NO-12-30W
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REV.	REVISION DESCRIPTION	ENGR.	DATE	CITY	DATE

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Prepared Under The Supervision Of :

Stefan C. Lanthier Date : 02/28/23
STEFAN C. LANTHIER RCE: 59052

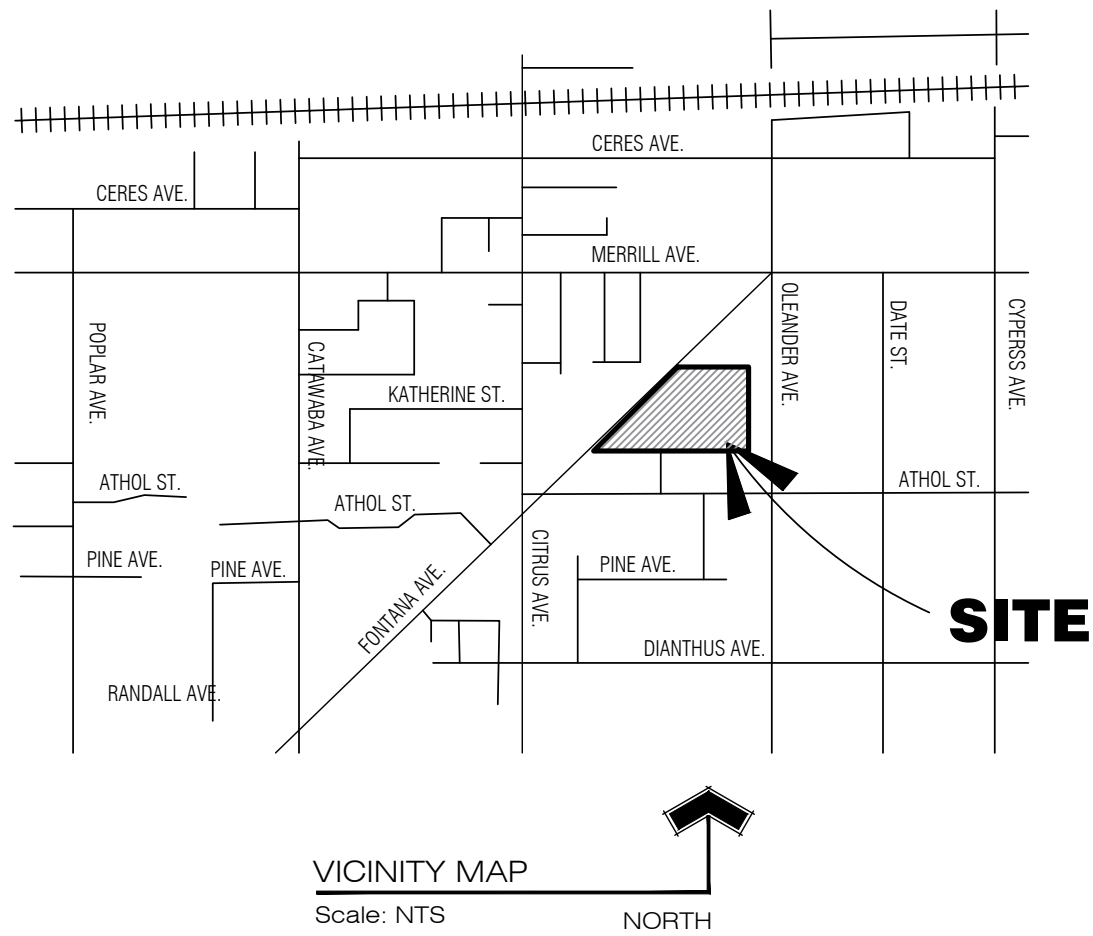
CITY OF FONTANA, CALIFORNIA
SECTIONS

DRAWN BY: GATS&M	APN 0193-021-50, -51, -52, -53, -06, -07, & -08	AS SHOWN
DESIGNED BY: GATS&M	N/E FONTANA AVENUE AND LEMON STREET	DATE: 2/28/2023
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	CITY ENGINEER	R.C.E. 51152

7 HOMES

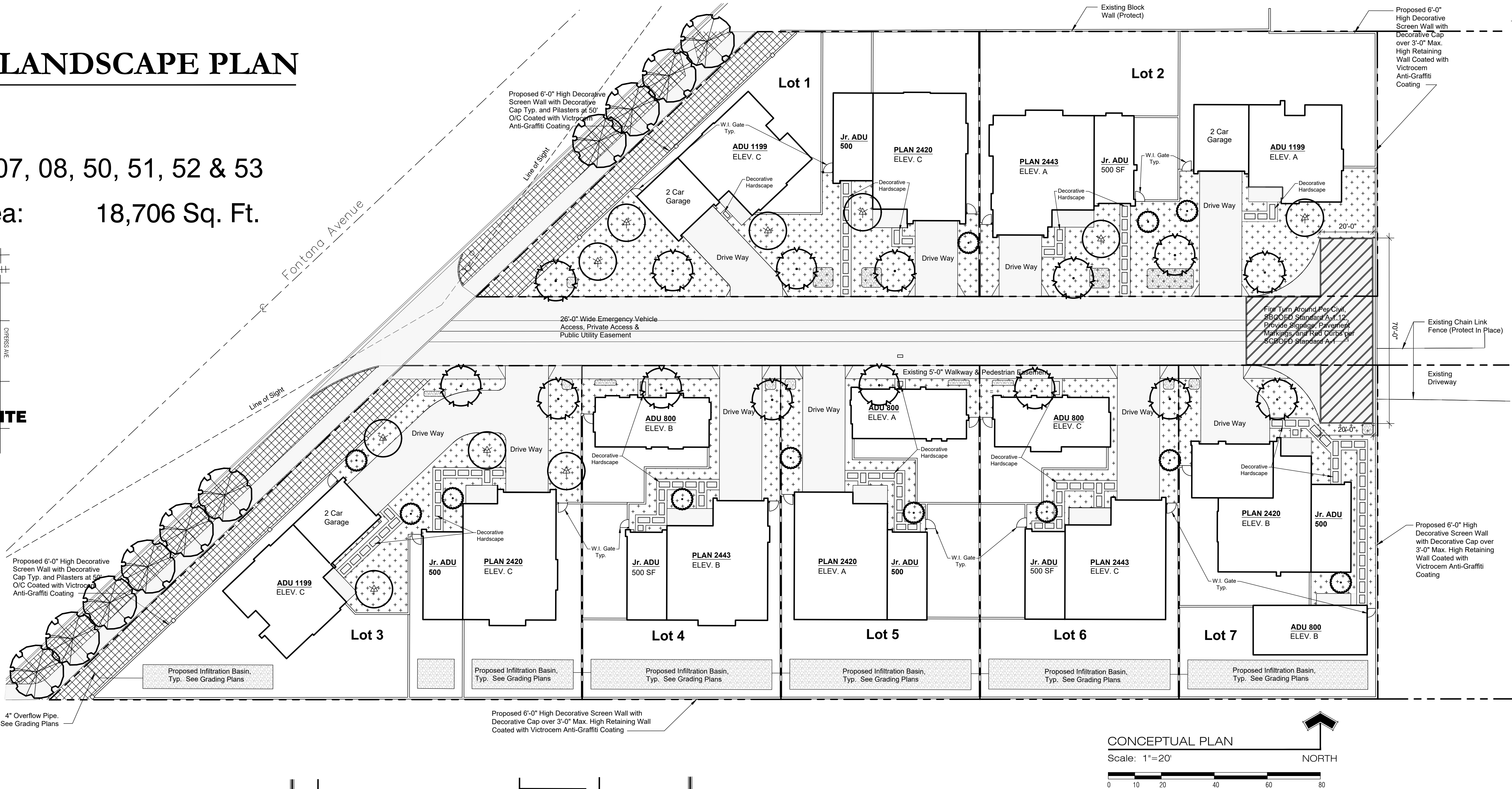
CONCEPTUAL LANDSCAPE PLAN

Fontana Ave.
Fontana, CA 92335
APN: 0193-021-06, 07, 08, 50, 51, 52 & 53
Total Landscape Area: 18,706 Sq. Ft.



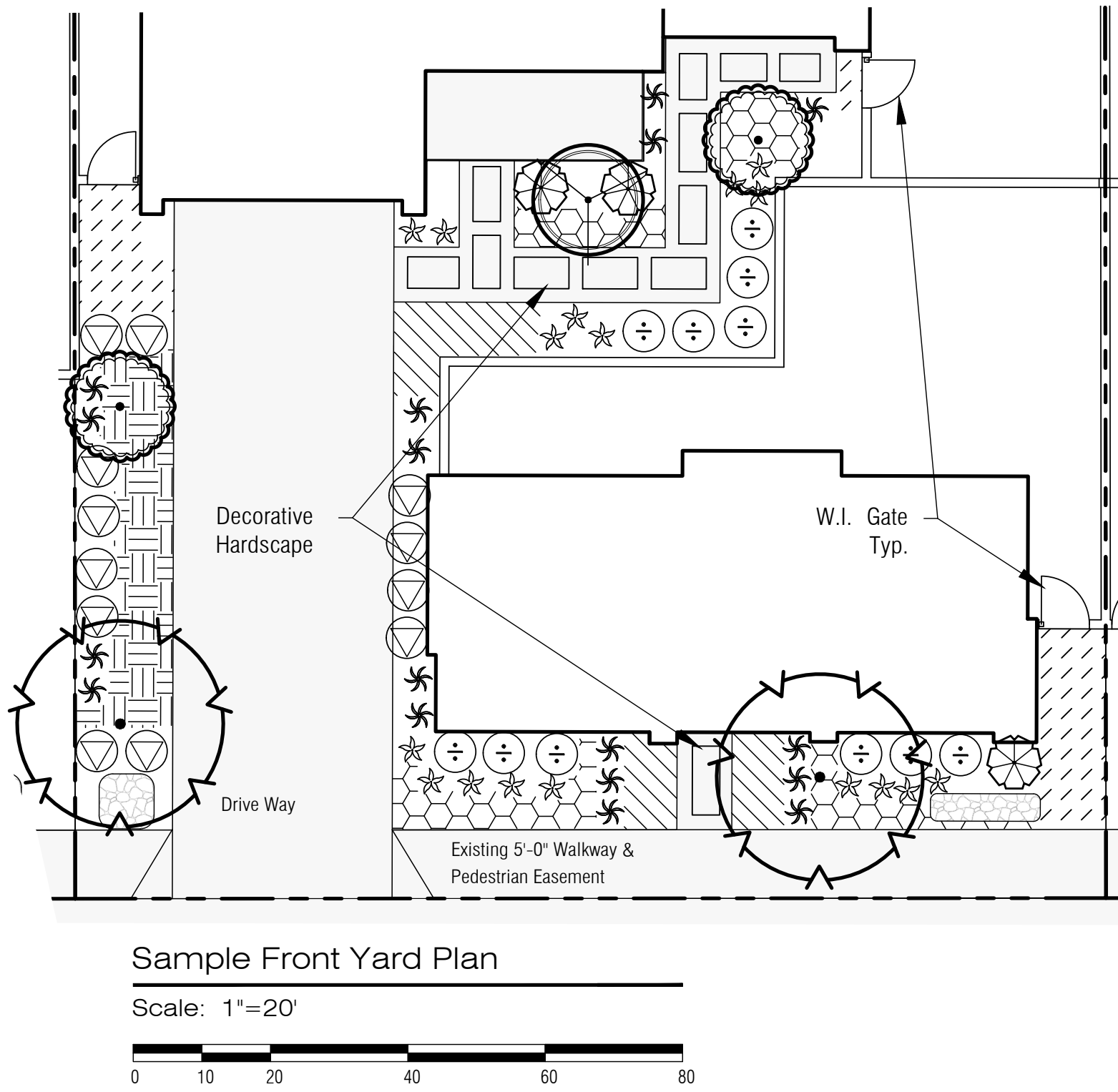
LAWN AREA SHALL BE A NO MORE THAN 25% OF THE TOTAL LANDSCAPE AREA.

ALL UTILITY BOXES SHALL BE SCREENED FROM PUBLIC VIEW. SHRUBS SHALL BE PLACED AROUND ALL ABOVE GROUND UTILITIES IN A MANOR TO SCREEN FROM PUBLIC VIEW BUT TO ALLOW ACCESS FOR MAINTENANCE.



Sample Front Yard Planting Legend

Trees for reference only. See over all legend.					
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS IV WATER USAGE INTENDED MATURE SIZE (H x W)
	2	15 Gal.	Lagerstroemia indica	Crepe Myrtle	Mod 15' H, Ø 15'
	2	15 Gal.	Psidium cattleianum	Strawberry Guava	Mod 18' H, Ø 8'
	1	15 Gal.	Citrus 'Dwarf Orange'	Dwarf Orange Tree	Mod 9'H, Ø 8'
			Citrus 'Dwarf Lemon'	Dwarf Lemon Tree	
	3	15 Gal.	Tecoma stans	Yellow Trumpet Flower	Low 5' H, Ø 5'
	17	5 Gal.	Aloe vera 'Barbadoes'	Barbados Aloe	Low 2' H, Ø 2'
	17	5 Gal.	Anigozanthos flavidus 'Bushranger'	Dwarf Red Kangaroo Paw	Low 4' H, Ø 2'
	3	5 Gal.	Callistemon viminalis 'Little John'	Dwarf Bottlebrush	Low 3' H, Ø 4'
	11	5 Gal.	Rosa floribunda 'Iceberg'	White Shrub Rose	Mod 4' H, Ø 3'
	12	5 Gal.	Salvia chamaedryoides	Germander Sage	Low 2' H, Ø 3'
	102 Sq. Ft.	Flats 12" o.c.	Lampranthus aurantiacus 'Glaucus'	Yellow Trailing Ice Plant	Low 8" H, Ø 12-18"
	123 Sq. Ft.	Flats 12" o.c.	Phyla nodiflora	Lippia Grass	Low 2" H, Ø 2'
	134 Sq. Ft.	Flats 12" o.c.	Ruschia lineolata 'Nana'	Dwarf Carpet of Stars	Low 2" H, Ø 2'
	134 Sq. Ft.		3" Layer of Decomposed Granite		



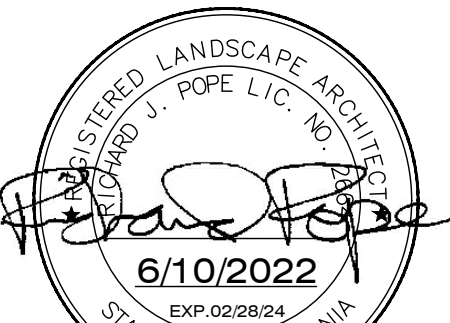
Planting Legend

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS IV WATER USAGE INTENDED MATURE SIZE (H x W)
	10	15 Gal.	Chilopsis linearis	Desert Willow	Low 20' H, Ø 20'
	15	15 Gal.	Lagerstroemia indica	Crepe Myrtle	Mod 15' H, Ø 15'
	10	15 Gal.	Citrus 'Orange'	Orange Tree	Mod 18'H, Ø 14'
			Citrus 'Lemon'	Lemon Tree	
	13	15 Gal.	Psidium cattleianum	Strawberry Guava	Mod 18' H, Ø 8'
	13,360 Sq. Ft.		Front Yard Landscape Areas		
	6,032 Sq. Ft.		Community Facilities District Landscape Area		

- NOTE:
- ALL BLOCK WALLS THAT ARE SEEN BY THE PUBLIC SHALL BE DECORATIVE TYPE BLOCK WITH A DECORATIVE PREFABRICATED BLOCK CAP.
 - ALL UTILITY BOXES INCLUDING THE GROUND MOUNTED ELECTRICAL TRANSFORMER SHALL BE SCREENED FROM PUBLIC VIEW BY LANDSCAPING.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

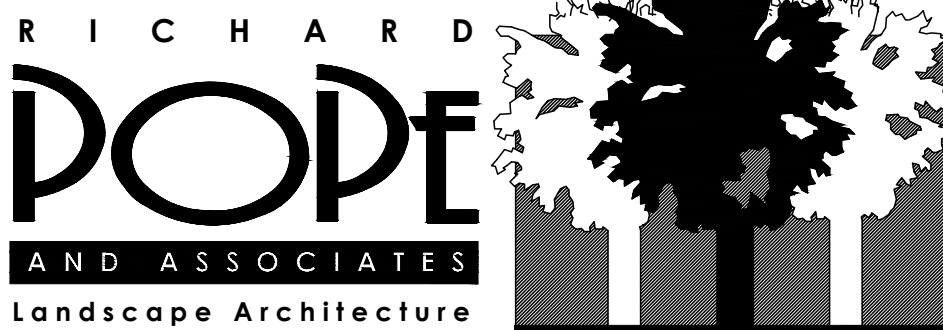
SIGN. DATE 6/10/2022



JOB: 21-21 LKD CKE
July 22, 2021

Applicant:

NEW LEGACY CORPORATION
P.O. BOX 1917
RANCHO CUCAMONGA, CA 91729
Contact: Jose Carcelen
Phone: (951) 922-6903
Email: jc8020@msn.com



1585 South 'D' Street, Suite 202
San Bernardino, CA 92408

phone: (909) 888-5568

e-mail: richardpopeassociates.la@gmail.com
Richard Pope, Landscape Architect CA# 2664