

City of Fontana

8353 Sierra Avenue
Fontana, CA 92335



Regular Agenda

Resolution No. PC 2025-047

Tuesday, December 2, 2025

6:00 PM

Grover W. Taylor Council Chambers

Planning Commission

Idilio Sanchez, Chair
Ricardo Quintana, Vice Chair
Joe Armendarez, Secretary
Dylan Keetle, Commissioner
Torrie Lozano, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. Meetings are held at the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335. To address the Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Council Chambers is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires accommodation to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at the City Clerk's Office.

Para traducción en Español, comuníquese con la oficina, "City Clerk" al (909) 350-7602.

The City of Fontana is committed to ensuring a safe and secure environment for its residents to engage with the government. No oversized bags or backpacks (size limit of 14"x14"x6") will be allowed inside the Council Chambers. All bags are subject to search. Face masks are prohibited in the Council Chambers, but clear masks will be provided upon request to accommodate individuals with medical needs, ensuring their safety and well-being. Before entering the Council Chambers, you may be subject to a metal detector screening. The City Manager retains the discretion to grant any exemptions. Fontana aims to provide safe buildings for our community members, employees, and visitors.

CALL TO ORDER/ROLL CALL:**A. Call To Order/Roll Call:****INVOCATION/PLEDGE OF ALLEGIANCE:****A. Invocation/Pledge of Allegiance:****PUBLIC COMMUNICATIONS:**

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

A. Public Communications:**CONSENT CALENDAR:**

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning

Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion.

CC-A Planning Commission Determination of General Plan conformance under Government Code section 65402 for the Vacation of a portion of Nuevo Avenue and portion of an unnamed Alley, located on the east side of Nuevo Avenue both between Arrow Blvd and Spring Street, pursuant to a CEQA exemption in accordance with CEQA Guidelines Section 15061(b)(3). [25-0662](#)

RECOMMENDATION:

Staff recommends that the Planning Commission consider the location, purpose, and extent of the proposed real property vacation described herein as required under Government Code Section 65402(a) and adopt Resolution No. PC 2025-047 finding that the proposed vacation, abandonment, and disposition is in conformance with the City's General Plan, determining that the project is exempt under CEQA Guidelines Section 15061(b)(3) and directing staff to file a Notice of Exemption.

APPLICANT:

City of Fontana
8353 Sierra Avenue
Fontana, CA 92335

LOCATION:

The location of the proposed vacations are on the east side of Nuevo Avenue between Arrow Boulevard and Spring Street and portion of an unnamed alley north of Arrow Boulevard.

PROJECT PLANNER:

Travis Almgren, Associate Engineer

Attachments: [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Planning Commission Resolution](#)
[Exhibit A - Area of Vacation](#)
[Attachment No. 3 - Government Code](#)
[Attachment No. 4 - Notice of Exemption](#)

CC-B Approval of Minutes of November 18, 2025. [25-0669](#)

Attachments: [Draft Planning Commission Minutes of November 18, 2025.](#)

Approve Consent Calendar Items as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontanaca.gov. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

- (a) hearing opened
- (b) written communication
- (c) council/staff comments
- (d) applicant comments
- (e) oral - favor
- (f) oral - opposition
- (g) hearing closed

PH-A Master Case No. 25-0078 and Municipal Code Amendment No. 25-0010: Fontana Municipal Code amendments to Chapter 30 to modify Emergency Shelter Overlay District development standards and operating regulations and incorporate property located at 11109 Jasmine Street into the overlay district.

[25-0644](#)

RECOMMENDATION:

Based on the information in the staff report, staff recommends that the Planning Commission approve Resolution No. PC 2025- ____; and,

1. Determine that the proposed ordinance is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Sections 15060(c), 15378, and 15061(B)(3) (the common-sense exemption), and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA, in that the ordinance is covered by the rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment, and also by the common sense exemption which provides that, where it can be determined with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA; and,

2. Approve a resolution recommending that the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No.

25-0010 to amend Chapter 30 of the Municipal Code.**APPLICANT:**

City of Fontana
8353 Sierra Ave.
Fontana, CA 92335

LOCATION:

11109 Jasmine Street (APN: 0238-111-53) and citywide

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

Attachments: [Attachment No. 1 - Planning Commission Resolution](#)
[Attachment No. 2 - Notice of Exemption](#)
[Attachment No. 3 - Public Hearing Notice](#)

PH-B Master Case No. 22-000124-R1; Design Review (DRP) No. 22-00057-R1 - A request for revisions to a previously approved design review (DR No. 22-00057). The revisions include modifications to the elevations, increase in the number and size of the 2-bedroom units, reduction in the number of 1-bedroom units, reduction in the square footage of the recreational room and landscaping area, and increase in the size of the carport, porte cochere, and trellis areas, for a previously approved 66-unit senior apartment complex within two (2) buildings, and associated site improvements, on approximately 2.0 acres, pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15332

[25-0680](#)

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-____, and

1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption, and

2. Approve Design Review (DRP) No. 22-00057-R1

APPLICANT:

Andresen Architecture Inc.
Flory Smith
17087 Orange Way
Fontana, CA 92335

LOCATION:

The project site is located at 16180 Baseline Avenue, (APN: 0240-031-31)

PROJECT PLANNER:

Salvador Quintanilla, Senior Planner

Attachments: [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Project Plans](#)
[Attachment No. 3 - Planning Commission Resolution](#)
[Attachment No. 4 - Notice of Exemption](#)
[Attachment No. 5 - Public Hearing Notice](#)

UNFINISHED BUSINESS:

A. None

NEW BUSINESS:

A. None

DIRECTOR COMMUNICATIONS:

A. Director Communications:

DA -A Upcoming cases scheduled for City Council and Planning Commission. [25-0670](#)

An update of future City Council agenda items for December 9, 2025 for the Planning Commission's information.

An update of future Planning Commission agenda items for December 16, 2025 for the Planning Commission's information.

Attachments: [Upcoming Items CC Memo](#)
[Upcoming Items PC Memo](#)

COMMISSION COMMENTS:

A. Planning Commission Remarks:**WORKSHOP:****A. None****ADJOURNMENT:****A. Adjournment**

Adjourn to the next Regular Planning Commission Meeting on December 16, 2025, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0662
Agenda #: CC-A

Agenda Date: 12/2/2025
Category: Consent Calendar

FROM:

Engineering

TITLE:

Planning Commission Determination of General Plan conformance under Government Code section 65402 for the Vacation of a portion of Nuevo Avenue and portion of an unnamed Alley, located on the east side of Nuevo Avenue both between Arrow Boulevard and Spring Street, pursuant to a CEQA exemption in accordance with CEQA Guidelines Section 15061(b)(3).

RECOMMENDATION:

Staff recommends that the Planning Commission consider the location, purpose, and extent of the proposed real property vacation described herein as required under Government Code Section 65402(a) and adopt Resolution No. PC 2025-047 finding that the proposed vacation, abandonment, and disposition is in conformance with the City's General Plan, determining that the project is exempt under CEQA Guidelines Section 15061(b)(3) and directing staff to file a Notice of Exemption.

APPLICANT:

City of Fontana
8353 Sierra Avenue
Fontana, CA 92335

LOCATION:

The location of the proposed vacations are on the east side of Nuevo Avenue between Arrow Boulevard and Spring Street and portion of an unnamed alley north of Arrow Avenue.

REQUEST:

Determination by the Planning Commission that the vacation and abandonment, and disposition of Nuevo Avenue & unnamed alley described herein is consistent with the goals and policies of the City of Fontana General Plan and that adoption of Resolution No. PC 2025-047 is exempt from CEQA review.

PROJECT PLANNER:

Travis Almgren, Associate Engineer

BACKGROUND INFORMATION:

Before the City Council takes action to vacate a public right-of-way, the Planning Commission as the City's designated planning agency must first find that the proposed vacation is consistent with the City's General Plan pursuant to Government Code section 65402.

Specifically, Government Code Section 65402 provides that if a general plan or part thereof has been

adopted, then no real property shall be acquired by dedication or otherwise for street, square, park or other public purposes, and no real property shall be disposed of, no street shall be vacated or abandoned, and no public building or structure shall be constructed or authorized, if the adopted general plan or part thereof applies thereto, until the location, purpose and extent of such acquisition or disposition, such street vacation or abandonment, or such public building or structure have been submitted to and reported upon by the Planning Commission as to conformity with said adopted general plan or part thereof, and that the Planning Commission shall render its report as to conformity with said adopted general plan or part thereof within forty (40) days after the matter was submitted to it, or such longer period of time as may be designated by the City Council.

Therefore, the Planning Commission must determine whether the proposed vacation, abandonment and proposed disposition are consistent with the City's General Plan.

PROJECT DESCRIPTION:

The City intends to vacate the portion of Nuevo Avenue roadway and Alley depicted in Exhibit "A" of the attached resolution. The vacation restores ownership to the last owner on record before the street was dedicated to the City. The Planning Commission must determine whether the vacation is consistent with the City's General Plan.

ANALYSIS:

The City has portions of rights-of-way located on a portion of Nuevo Avenue and a portion of an unnamed Alley, located on the east side of Nuevo Avenue between Arrow Blvd and Spring Street, as depicted in Exhibit "A" of the attached Resolution. The effect of vacating a right-of-way is to revert the land in fee to the underlying landowners. Upon the vacation of the right-of-way, fee title will revert to the current property owners adjacent to the existing rights-of-way. The City no longer has a use for this right-of-way as they are not part of the City's General Plan Community Mobility and Circulation Element. Vacation and abandonment of the right-of-way will allow the roadway and unnamed alley areas to be available to establish and expand economic development.

Government Code section 65402 provides that the City's disposal of the real property shall be submitted to and reported upon by the planning agency with respect to conformity with the adopted General Plan. Accordingly, staff has analyzed whether the proposed vacation and disposition conform with the City's adopted General Plan.

General Plan Consistency, Vacation and Abandonment

The proposed vacations are consistent with:

- General Plan, Economy, Education, and Workplace Development Element (Chapter 13), Section E, Policies and Actions to Achieve the Goals, Goal No. 1, 2nd policy, reads: "Support initiatives for entrepreneurship in potential growth."
The vacation will support developers and business owners' ability to establish and expand business in Fontana.

General Plan Consistency, Disposition

The proposed disposition is consistent with:

- General Plan, Economy, Education, and Workplace Development Element (Chapter 13), Section E, Policies and Actions to Achieve the Goals, Goal 1, which reads: "Promote a

diversified economy that builds on existing sectors and develops, attracts and retains future job-creating sectors.”

The disposition of this area will allow the city to vacate underutilized land, as well as attract and retain future businesses and create additional jobs. By authorizing the vacation, this underutilized land can be used toward economic development.

CEQA

The proposed action by the Planning Commission is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) (the common-sense exemption) and Sections No. 3.01, 3.07, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA in that the activity is covered by the common-sense exemption which states that CEQA only applies to project that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA review. The vacation and abandonment of right will not involve nor approve any physical change nor any reasonably foreseeable future change. Therefore, no environmental review is required and staff is directed to file a Notice of Exemption.

CONCLUSION:

Based on the General Plan and Zoning criteria cited above, staff concludes that vacation and abandonment of the subject property are consistent with the City of Fontana General Plan.

MOTION:

Approve staff's recommendation.

ATTACHMENTS:

Attachment No. 1 - Vicinity Map

Attachment No. 2 - Planning Commission Resolution No. PC 2025-047

Exhibit A - Area of Vacation

Attachment No. 3 - Government Code

Attachment No. 4 - Notice of Exemption



VICINITY MAP

DATE: December 2, 2025

CASE: General Plan Consistency Determination

RESOLUTION NO. PC 2025-047

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA, CALIFORNIA, PURSUANT TO STATE CEQA GUIDELINES SECTION 15061(B)(3), MAKING CERTAIN FINDINGS REQUIRED UNDER CALIFORNIA GOVERNMENT CODE SECTION 65402 FOR THE VACATION OF NUEVO AVENUE ON THE EAST SIDE OF NUEVO AVENUE BETWEEN ARROW BOULEVARD AND SPRING STREET, AND PORTION OF AN UNNAMED ALLEY NORTH OF ARROW BOULEVARD, AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION.

WHEREAS, the City of Fontana (the “City”) possesses a right-of-way easement over certain real property located on the east side of Nuevo Avenue between Arrow Blvd and Spring Street and portion of unnamed alley north of Arrow Boulevard (the “Property”), as more particularly depicted in Exhibit A attached hereto and incorporated herein; and

WHEREAS, the City proposes to vacate the property to allow the land to be more effectively utilized; and

WHEREAS, Government Code Section 65402(a) states that a local agency may not vacate a street or property within the City until the location, purpose and extent of the vacation, abandonment, or disposition have been reported upon by the planning agency of the city regarding the conformity with the General Plan; and

WHEREAS, the Fontana City Council adopted the City of Fontana 2018-2035 General Plan (General Plan) on November 13, 2018; and

WHEREAS, vacation of the Property aligns with the objectives of Goal Number 1 and Goal Number 3 of the General Plan’s Community Mobility and Circulation Element which provides for a comprehensive and balanced transportation system and multimodal accessibility and transportation planning, as well as accommodating freight movement; and

WHEREAS, vacation of the Property aligns with the objectives of Goal Number 1 of the General Plan’s Economy, Education, and Workplace Development Element, which supports initiatives for entrepreneurship in potential growth; and

WHEREAS, vacation of the Property aligns with the objectives of Goal Number 1 of the General Plan’s Economy, Education, and Workplace Development Element in that it promotes a diversified economy that builds on existing sectors and develops, attracts and retains future job-creating sectors; and

ATTACHMENT NO. 2

Page 1 of 4

WHEREAS, the purpose of this Resolution is for the Planning Commission of the City of Fontana ("Planning Commission") to make a determination of General Plan conformance in accordance with California Government Code Section 65402(a); and

WHEREAS, the Planning Commission has considered the entire administrative record, including the staff report and oral and written testimony from interested persons; and

WHEREAS, on December 2, 2025, the Planning Commission reviewed the General Plan conformance findings.

NOW THEREFORE, BE IT RESOLVED by the Planning Commission:

SECTION 1. Recitals: the forgoing recitals are true, correct and incorporated herein.

SECTION 2. CEQA. Compliance with the California Environmental Quality Act. As the decision-making body for the Project, the Planning Commission finds that this Resolution is not subject to the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Section 15061(b)(3) (the activity does not have the potential for causing a significant effect on the environment and Sections No. 3.01, 3.07, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. A determination that a vacation or disposition is consistent with a City's adopted General Plan has no potential for resulting in physical change to the environment, directly or indirectly. The vacation and abandonment of streets and disposition will not involve nor approve any physical change to the environment nor any reasonably foreseeable future change. Therefore, no environmental review is required and staff is directed to file a Notice of Exemption.

SECTION 3. General Plan Conformance. Based upon the entire record before it, the Planning Commission finds that vacation of the Property is consistent with the goals, objectives, and policies of the General Plan. there is substantial evidence supporting a finding that the proposed vacation, abandonment and disposition of the Property, in accordance with the details listed in the above recitals, is consistent with the goals, objectives, and policies of the General Plan.

Community Mobility and Circulation Element Policy: Chapter 9, Section E: Policies and Actions to Achieve the Goals, Goal No. 1: "The City of Fontana has a comprehensive and balanced transportation system and multimodal accessibility the top of citywide transportation planning, as well as accommodating freight movement."]

SECTION 4. Applicability of General Plan Conformance. The Planning Commission's General Plan conformance determination applies only to the vacation and disposition of the right-of-way as described in this Resolution, and to no other public street.

SECTION 5. Approval: Based on the foregoing, the Planning Commission hereby adopts this resolution and for purposes of reporting General Plan conformance pursuant to Government Code Section 65402 and finds that the proposed vacation for a portion of the east side of Nuevo Avenue between Arrow Blvd and Spring Street and portion of unnamed alley north of Arrow Blvd Avenue to be in conformance with the City of Fontana General Plan.

SECTION 6. Resolution Regarding Custodian of Record. The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

SECTION 8. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

SECTION 9. Effective Date. This Resolution shall become effective immediately upon adoption.

SECTION 10. Severability. If any provision of this Resolution or the application of any provision to any person or circumstance is held invalid, the remainder of this Resolution shall not be affected by such invalidity, and the provisions or applications of this Resolution are severable.

APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting of the Planning Commission held on the 2nd day of December, 2025.

City of Fontana

Idilio Sanchez, Chairperson

ATTEST:

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 2nd day of December, 2025, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

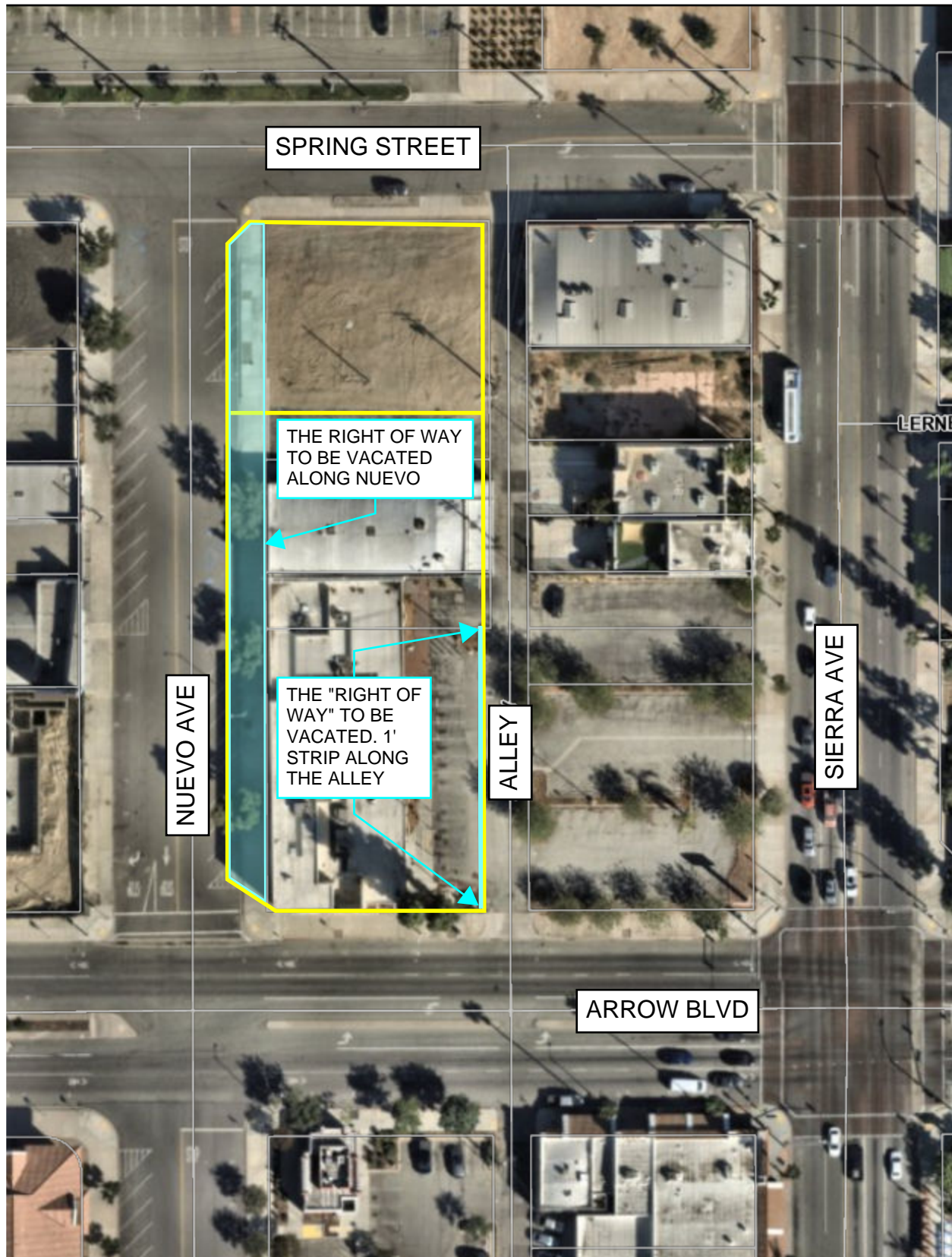
ABSTAIN:

Joseph Armendarez, Secretary

EXHIBIT A

CITY OF FONTANA

PLANNING DEPARTMENT



**AREA OF LAND
DISPOSITION/VACATION**

DATE: December 2, 2025
CASE: General Plan Consistency Determination



State of California

GOVERNMENT CODE

Section 65402

65402. (a) If a general plan or part thereof has been adopted, no real property shall be acquired by dedication or otherwise for street, square, park or other public purposes, and no real property shall be disposed of, no street shall be vacated or abandoned, and no public building or structure shall be constructed or authorized, if the adopted general plan or part thereof applies thereto, until the location, purpose and extent of such acquisition or disposition, such street vacation or abandonment, or such public building or structure have been submitted to and reported upon by the planning agency as to conformity with said adopted general plan or part thereof. The planning agency shall render its report as to conformity with said adopted general plan or part thereof within forty (40) days after the matter was submitted to it, or such longer period of time as may be designated by the legislative body.

If the legislative body so provides, by ordinance or resolution, the provisions of this subdivision shall not apply to: (1) the disposition of the remainder of a larger parcel which was acquired and used in part for street purposes; (2) acquisitions, dispositions, or abandonments for street widening; or (3) alignment projects, provided such dispositions for street purposes, acquisitions, dispositions, or abandonments for street widening, or alignment projects are of a minor nature.

(b) A county shall not acquire real property for any of the purposes specified in paragraph (a), nor dispose of any real property, nor construct or authorize a public building or structure, in another county or within the corporate limits of a city, if such city or other county has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, and a city shall not acquire real property for any of the purposes specified in paragraph (a), nor dispose of any real property, nor construct or authorize a public building or structure, in another city or in unincorporated territory, if such other city or the county in which such unincorporated territory is situated has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, until the location, purpose and extent of such acquisition, disposition, or such public building or structure have been submitted to and reported upon by the planning agency having jurisdiction, as to conformity with said adopted general plan or part thereof. Failure of the planning agency to report within forty (40) days after the matter has been submitted to it shall be conclusively deemed a finding that the proposed acquisition, disposition, or public building or structure is in conformity with said adopted general plan or part thereof. The provisions of this paragraph (b) shall not apply to acquisition or abandonment for street widening or alignment projects of a minor nature if the legislative body having the real property within its boundaries so provides by ordinance or resolution.

(c) A local agency shall not acquire real property for any of the purposes specified in paragraph (a) nor dispose of any real property, nor construct or authorize a public building or structure, in any county or city, if such county or city has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, until the location, purpose and extent of such acquisition, disposition, or such public building or structure have been submitted to and reported upon by the planning agency having jurisdiction, as to conformity with said adopted general plan or part thereof. Failure of the planning agency to report within forty (40) days after the matter has been submitted to it shall be conclusively deemed a finding that the proposed acquisition, disposition, or public building or structure is in conformity with said adopted general plan or part thereof. If the planning agency disapproves the location, purpose or extent of such acquisition, disposition, or the public building or structure, the disapproval may be overruled by the local agency.

Local agency as used in this paragraph (c) means an agency of the state for the local performance of governmental or proprietary functions within limited boundaries. Local agency does not include the state, or county, or a city.

(Amended by Stats. 1974, Ch. 700.)



NOTICE OF EXEMPTION

TO: <input type="checkbox"/> Office of Land Use and Climate Innovation State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6656
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	Planning Commission Determination of General Plan conformance for the Vacation of a portion of Nuevo Avenue and portion of an unnamed Alley.
2. Project Applicant (include address, telephone number and email address):	Chris Smethurst City of Fontana 8353 Sierra Avenue Fontana, CA 92335 csmethurst@fontanaca.gov (909)350-6649
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	East side of Nuevo Avenue between Arrow Blvd and Spring Street and portion of unnamed alley north of Arrow Boulevard east of Nuevo Avenue
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	Planning Commission Determination of General Plan conformance under Government Code section 65402 for the Vacation of a portion of Nuevo Avenue and portion of an unnamed Alley.

6. Name of Public Agency approving project:	City of Fontana
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	Chris Smethurst City of Fontana 8353 Sierra Avenue Fontana, CA 92335 csmethurst@fontanaca.gov (909)350-6649
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input checked="" type="checkbox"/> Other. Explanation:	CEQA Guidelines § 15061 (b)(3)
9. Reason why project was exempt:	It can be seen with certainty that there is no possibility that the general plan consistency determination may have a significant effect on the environment as the project will not involve nor approve any physical change nor any reasonably foreseeable future change that could cause a significant effect on the environment.

10. Lead Agency Contact Person: Telephone:	Travis Almgren. Associate Engineer 909-428-8814
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	

12. Was a public hearing held by the Lead Agency to consider the exemption? Yes ☐

No ☒

If yes, the date of the public hearing was: December 2, 2025

Date:

Signature

Name: David Hammer

Title: Engineering Manager

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0669
Agenda #: CC-B

Agenda Date: 12/2/2025
Category: Consent Calendar

FROM:
Planning

TITLE:
Approval of Minutes

RECOMMENDATION:
Approve the minutes of the Regular Planning Commission Meeting of November 18, 2025.

DISCUSSION:
The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of November 18, 2025. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:
Approve staff recommendation.



City of Fontana Planning Commission Minutes

Idilio Sanchez, Chair
Ricardo Quintana, Vice Chair
Joe Armendarez, Secretary
Torrie Lozano, Commissioner
Dylan Keetle, Commissioner

Tuesday, November 18, 2025	6:00 P.M.	Grover W. Taylor Council Chambers
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CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, November 18, 2025. Chair Sanchez called the meeting to order at 6:03 p.m.

Present: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, and Commissioner Lozano

Absent: Commissioner Keetle

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Chaplain Victor Arias, the Pledge of Allegiance was led by Chair Sanchez.

PUBLIC COMMUNICATIONS:**A. Public Communications:**

None.

CONSENT CALENDAR:**A. Planning Commission Determination of General Plan Consistency for property identified as Lettered Lots E and I, Assessor Parcel Numbers 0228-151-66-0000 and 0228-151-62-0000, pursuant to the State CEQA Guidelines Section 15303.**

Adopt **Resolution No. PC 2025-042** finding that the proposed disposition is in conformance with the City's General Plan, making CEQA findings pursuant to the State CEQA Guidelines Section 15303 and directing staff to file a Notice of Exemption.

B. Planning Commission Determination of General Plan Consistency under Government Code section 65402 for the Vacation, Abandonment and Disposition of a portion of Boyle Avenue, located on the south side of Boyle Avenue east of Citrus Avenue, pursuant to the State CEQA Guidelines Section 15061(b)(3).

Adopt **Resolution No. PC 2025-043** finding that the proposed vacation, abandonment, and disposition is in conformance with the City's General Plan, determining that the project is exempt under CEQA Guidelines Section 15061(b)(3) and directing staff to file a Notice of Exemption.

C. Approval of Minutes:

Approve the Regular Planning Commission Meeting Minutes of November 4, 2025.

ACTION: A Motion was made by Vice Chair Quintana and seconded by Commissioner Lozano and passed by a vote of 4-0 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, and Commissioner Lozano

Absent: Commissioner Keetle

Abstain: None

PH- A Master Case No. (MCN) 25-0056; Design Review (DRP) No. 25-0025; A request for the site and architectural review for a proposed mixed-use development

consisting of approximately 10,440 square feet of commercial space on the first floor and 30 transitional housing units on the second and third floors, with associated site improvements, on 3.16 acres, located at 16029 Arrow Boulevard (APNs: 0232-201-13), pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15332.

Cecily Session-Goins, Associate Planner, presented the staff report.

No written correspondence was received.

The applicant, Mark Nuaimi, on behalf of Water of Life Community Church, stated that he read and agreed to the Conditions of Approval, and described the transitional housing project, noting it will replace existing trailers and provide homeless clients with case-management services funded by first-floor commercial uses. The applicant outlined an anticipated groundbreaking in late summer 2026 and an opening in 2027. Chair Sanchez and Secretary Armendarez thanked the applicant and expressed support for the project and its service to the community.

No one spoke in favor or in opposition.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-044; and,

1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,
2. Approve Design Review (DRP) No.25-0025.

ACTION: Motion was made by Chair Sanchez and seconded by Secretary Armendarez and passed by a vote of 4-0 to approve Public Hearing Item "A"; adopt Resolution No. PC 2025-044 and approve Design Review (DRP) No.25-0025.

The motion carried by the following vote:

AYES: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, and Commissioner Lozano **NOES:** None; **ABSTAIN:** None; **ABSENT:** Commissioner Keetle.

PH-B Master Case No. (MCN) 24-0060: General Plan Amendment (GPA) No. 24-0004, Zoning District Map Amendment (ZCA) No. 24-0004, Tentative Tract Map No. 24-0009 (TTM No. 20712), Conditional Use Permit (CUP) No. 24-0023, and Design Review (DR) No. 24-0031; a request to change the General Plan Land Use Designation from Multi-Family Medium/High (R-MFMH) to Multi-Family Residential (R-MF), a request to change the zoning designation from Multi-Family Medium High Residential (R-4) to Multi-Family Residential (R-3), a request to subdivide 35 parcels to establish a condominium map and abandon a portion of Knox Avenue, a request to create a Planned Unit Development (PUD), and a request for site and architectural review of , a new 393 multi-family unit development with associated improvements on approximately 31.0 gross acres, located at APNs: 0228-051-01, -14, -15, -16, -17, -19, -20, and -21; 0228-052-01, -25, -26, and -27, 0228-061-02 through -14, -16, -17, -18, -20 through -25, and 0228-311-05, pursuant to an Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

Chair Sanchez opened the Public Hearing.

Alexia Barberena, Associate Planner, presented the staff report and noted two written correspondences received: a letter from the Department of Fish and Wildlife recommending adjustments to mitigation measures, of which staff will make minor biological measure modifications without introducing new impacts. Additionally, a letter from property owners along South/Jurupa Avenue near Sierra Avenue was received. Staff clarified that the Department's letter did not directly address the current action item and noted that general inquiries via phone and email were answered.

Staff and the Planning Commission discussed the facility's entrances and exits, focusing on the south entrance along Walnut Street. The Planner confirmed it is gated and set back approximately 120 feet from the street, while the north entrance has a larger setback.

The City Clerk's Department received two (2) written correspondence regarding this Item.

The applicant, Nolan Leggio, stated that he read and agreed to the Conditions of Approval and introduced his project team, including traffic, environmental, and civil engineering experts. He thanked city staff for their support in facilitating the project and expressed excitement to move forward with the project.

The following individual spoke in favor:

- Doug Jorritsma

The Public Hearing was closed.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-045, and forward a recommendation to the City Council to:

1. Adopt the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Program (MMRP), and direct staff to file a Notice of Determination; and,
2. Adopt a resolution approving General Plan Amendment (GPA) No. 24-0004; and,
3. Adopt an ordinance approving Zoning District Map Amendment (ZCA) No. 24-0004; and,
4. Adopt a resolution approving Tentative Tract Map (TTM) No. 24-0009 (TTM No. 20712), Conditional Use Permit (CUP) No. 24-0023, and Design Review (DRP) No. 24-0031.

ACTION: Motion was made by Vice Chair Quintana and seconded by Secretary Armendarez and passed by a vote of 4-0 to approve Public Hearing Item “B”; adopting Resolution No. PC 2025-045 with the minor mitigation modifications noted by staff.

The motion carried by the following vote:

AYES: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, and Commissioner Lozano **NOES:** None; **ABSTAIN:** None; **ABSENT:** Commissioner Keetle.

PH-C Master Case No. (MCN) 25-0082: General Plan Amendment (GPA) No. 25-0001 and Municipal Code Amendment (MCA) No. 25-0012: General Plan Amendment to modify the Community Mobility and Circulation Element to incorporate the updated truck route map and modify existing policies and actions, as well as add new policies and actions under Goals 2 and 7 of the Circulation Element to meet the requirements of Assembly Bill 98. Fontana Municipal Code amendments to Chapter 17 (Motor Vehicles and Traffic), Article X (Truck Routes) to modify the listed city commercial truck route system to be consistent with the proposed Community Mobility and Circulation Element amendments, pursuant to an Addendum to the General Plan Final Environmental Impact Report (FEIR).

Chair Sanchez opened the Public Hearing.

No written correspondence was received.

Ruben Hovanesian, Engineering Manager, presented the staff report.

No one spoke in favor or in opposition.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information contained in this staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2025-046, and forward a recommendation to the City Council to:

- 1. Adopt the Addendum to the City of Fontana General Plan Final Environmental Impact Report (FEIR), and direct staff to file a Notice of Determination; and,**
- 2. Adopt a resolution approving General Plan Amendment (GPA) No. 25-0001; and,**
- 3. Adopt an ordinance approving Municipal Code Amendment (MCA) No. 25-0012.**

ACTION: Motion was made by Secretary Armendarez and seconded by Commissioner Lozano and passed by a vote of 4-0 to approve Public Hearing Item “C” and adopt Resolution No. PC 2025-046.

The motion carried by the following vote:

AYES: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, and Commissioner Lozano **NOES:** None; **ABSTAIN:** None; **ABSENT:** Commissioner Keetle.

DIRECTOR COMMUNICATIONS:

A. Director Communications:

None.

COMMENTS:

A. Public Communication Commission Comments:

Commissioner Lozano expressed appreciation for the presenters—Miss Goins, Miss Barberena, Mr. Hovanesian—and the planning staff for their assistance in providing the information needed for the meeting. She also wished everyone a safe and happy Thanksgiving.

Secretary Armendarez acknowledged and thanked the entire planning commission and staff for their hard work in ensuring all information was thoroughly vetted and provided in a timely manner to support informed decision-making. He encouraged everyone to take time during Thanksgiving to reflect on what they are thankful for and to help others whenever possible, closing with well wishes for the evening and blessings for the nation.

Vice Chair Quintana highlighted the impressive projects presented at the meeting, including a housing development with amenities such as a pool, cabana, barbecue areas, bicycle and fitness areas, and a transitional housing project in partnership with Water of Life. He emphasized that these projects reflect the city and county's commitment to improving residents' lives, addressing homelessness, and supporting community development. He concluded by thanking staff for their presentations and wishing everyone a happy Thanksgiving.

Chair Sanchez thanked the staff for their efforts and hard work during the meeting. He requested that the meeting close in memory of all veterans, noting their sacrifices in securing the freedoms enjoyed by the community.

ADJOURNMENT:

Chair Sanchez adjourned the meeting at 6:43 p.m. to the next Regular Planning Commission Meeting on Tuesday, December 2, 2025, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

Susana Gallardo
Deputy City Clerk

**THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION
ON THE 2nd DAY OF DECEMBER 2025.**

Idilio Sanchez
Chair



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0644
Agenda #: PH-A

Agenda Date: 12/2/2025
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 25-0078 and Municipal Code Amendment No. 25-0010: Fontana Municipal Code amendments to Chapter 30 to modify Emergency Shelter Overlay District development standards and operating regulations and incorporate property located at 11109 Jasmine Street into the overlay district.

RECOMMENDATION:

Based on the information in the staff report, staff recommends that the Planning Commission approve Resolution No. PC 2025-____; and,

1. Determine that the proposed ordinance is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Sections 15060(c), 15378, and 15061(B)(3) (the common-sense exemption), and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA, in that the ordinance is covered by the rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment, and also by the common sense exemption which provides that, where it can be determined with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA; and,
2. Approve a resolution recommending that the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 25-0010 to amend Chapter 30 of the Municipal Code.

APPLICANT:

City of Fontana
8353 Sierra Avenue
Fontana, CA 92335

LOCATION:

11109 Jasmine Street (APN: 0238-111-53) and citywide

REQUEST:

Municipal Code Amendment (MCA) No. 25-0010 is a request to amend Chapter 30 to modify Emergency Shelter Overlay District regulations and development standards and place the overlay on the property located 11109 Jasmine Street (APN: 0238-111-53).

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

BACKGROUND INFORMATION:

The City of Fontana Zoning and Development Code along with other chapters of the Fontana Municipal Code regulate the development of commercial, industrial, and residential projects. Staff conducts ongoing reviews of the municipal code to determine where language within the code would benefit from updates, clarification, redefinition or additions to help streamline and facilitate the development process and commercial business activity.

PROJECT DESCRIPTION:

Municipal Code Amendment No. 25-0010 provides updates to Chapter 30 (Zoning and Development Code), as described below. A detailed list of the proposed amendments is provided within Exhibit "A" of the Planning Commission Resolution provided as Attachment No. 1.

ANALYSIS:

This request includes modifications to the Emergency Shelter Overlay District that will simplify and clarify the development standards and operating regulations for emergency shelters in the overlay district, including:

- The addition of specific standards regarding security surveillance systems for facilities in the overlay district;
- The removal of time limits for residents' stays;
- Limits on the provision of "walk in" services.

Additionally, the amendment will place the overlay district on the industrially zoned property at 11109 Jasmine Street (APN: 0238-111-53).

In summary, the amendments will provide clear standards for establishing and operating an emergency shelter, thereby creating opportunities to provide shelter for the unhoused population in Fontana while limiting impacts on the surrounding community.

MOTION:

Approve staff recommendation.

ATTACHMENTS:

Attachment No. 1 - Planning Commission Resolution/Exhibit A

Attachment No. 2 - Notice of Exemption

Attachment No. 3 - Public Hearing Notice

RESOLUTION NO. PC 2025 - ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA, CALIFORNIA, RECOMMENDING THAT THE FONTANA CITY COUNCIL ADOPT AN ORDINANCE APPROVING AMENDMENTS TO SECTIONS 30-622 TO REVISE THE EMERGENCY CENTER OVERLAY DESCRIPTION AND ARTICLE XI – DIVISION 7 TO UPDATE STANDARDS PERTAINING TO THE EMERGENCY SHELTER OVERLAY, PURSUANT TO A CATEGORICAL EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTIONS 15060(C), 15061(B)(3), AND SECTION 15378.

WHEREAS, pursuant to Government Code section 37100, the legislative body of a city may pass ordinances not in conflict with the Constitution and laws of the State or the United States; and

WHEREAS, Government Code sections 50022.1 to 50022.10 authorize a city to codify and recodify its ordinances; and

WHEREAS, through Municipal Code Amendment (“MCA”) No. 25-0010, the City of Fontana (“City”) desires to restate without substantive revision, amend and recodify certain ordinances codified in the Fontana Municipal Code (“FMC”); and

WHEREAS, the General Plan includes policies and actions calling for numerous updates to the FMC; and

WHEREAS, Section 30-622. Overlay districts. is amended to revise the description of the Emergency Shelter Overlay to reflect that it may be applied to properties with the Light Industrial (I-L) or General Industrial (I-G) general plan land use designation; and

WHEREAS, Article XI – Division 7. Overlay districts. is amended to update the description of the Emergency Shelter Overlay; and

WHEREAS, the City of Fontana Planning Commission (“Planning Commission”) recommends that the Fontana City Council (“City Council”) determine that the amendments qualify for a categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15378, and 15061(B)(3) (the common-sense exemption), and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA as the amendments are covered by the rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment, and also by the common sense exemption which provides that, where it can be determined with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is exempt from CEQA; and

WHEREAS, on December 2, 2025, the Planning Commission carefully considered all information pertaining to the municipal code amendments, including the staff report, and all the information, evidence, and testimony presented at its public hearing on December 2, 2025; and

WHEREAS, the amendments are consistent and compatible with the City's General Plan and are in line with goals, policies and objectives of the City, including the Housing Element policies and the provisions of the Zoning and Development Code; and

WHEREAS, the amendments are in conformity with appropriate land use practices and will establish appropriate development standards for the land use designations; and

WHEREAS, the amendments to the FMC, attached hereto as Exhibit "A" and incorporated herein by this reference, will not be detrimental to the public health, safety, and general welfare, will not adversely affect the orderly development of property, will better express the City's policies, and will generally promote good land use planning and regulation; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. The Planning Commission hereby recommends that the City Council determine that this ordinance qualifies for a categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15378, and 15061(B)(3) (the common-sense exemption), and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA, because the Ordinance is covered by the rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment, and also by the common sense exemption which provides that, where it can be determined with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is exempt from CEQA; therefore, a Notice of Exemption has been prepared.

Section 3. Municipal Code Amendment. The Planning Commission hereby makes the following finding for MCA No. 25-0010 in accordance with Section 30-45(b) "Hearing-Planning Commission" development code amendments of the Fontana Zoning and Development Code:

Finding: **The proposal substantially promotes the goals of the City's general plan.**

Finding of Fact: The proposed Municipal Code Amendments will revise the Emergency Shelter Overlay to create additional opportunities for housing and support services for the unhoused population. These amendments further the General Plan goals of providing adequate housing to meet

the needs of all residents in Fontana and of promoting a diversified economy.

Section 4. Recommendation of Approval. Based on the foregoing, the Planning Commission hereby recommends that the City Council adopt an ordinance approving MCA No. 25-0010 to amend Chapter 30 of the FMC as indicated in Exhibit "A" which is attached hereto and incorporated herein by reference.

Section 5. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

Section 6. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 7. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 8. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect any other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

APPROVED AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 2nd day of December 2025.

City of Fontana

Idilio Sanchez, Chairperson

ATTEST:

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 2nd day of December 2025, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Joseph Armendarez, Secretary

“EXHIBIT A”

AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30

(*Additions shown in underline, deletions shown in ~~strikeout~~)

ARTICLE IX. - OVERLAY DISTRICTS

DIVISION 1. - GENERALLY

Sec. 30-621. - Purpose.

The purpose of this article is to create overlay districts that establish additional use regulations and development standards for specific types of use and specific areas of the City requiring special consideration in the development process. The regulations established in this article for the overlay districts shall apply in addition to the regulations established for the underlying zone districts.

Sec. 30-622. - Overlay districts.

(a)Medical center overlay district. A district that may overlay any medical center complex.

(b)Utility corridor overlay district. A district that is intended to provide for appropriate development within or near those areas containing easements for public utilities.

(c)Hillside overlay district. A district that protects the public health and safety, minimizes environmental impacts, and requires development to conform to the natural topography of hillside areas.

(d)Auto center overlay district. A district that is intended to promote new car and truck sales adjacent to the 1-210 Freeway.

(e)Warehousing distribution/logistics overlay district (Sierra Avenue). A district that provides for the limited, well planned and orderly development of warehousing distribution/logistics uses on properties within the light industrial (M-1) zone as provided for in Section 30-532 et seq. Unlike other overlay districts in this division, this overlay identifies a geographic area where such uses may be allowed subject to a separate zone change request to establish the overlay on one or more parcels eligible to receive it.

(f)Valley business park overlay district. The intent of the valley business park overlay is to provide for a well-planned and orderly development of business park and warehousing distribution uses on parcels within the M-1 zone located on designated areas within the adopted overlay that are generally located on the south side of Valley Boulevard.

(g)Emergency shelter overlay district. A district that provides for seamless incorporation of emergency, supportive, and transitional housing opportunities on specific properties within the ~~light industrial (M-1) zoning district~~ Light Industrial (I-L) and/or General Industrial (I-G) general plan land use designations to house individuals at risk of homelessness ~~with such needs for no more than a six-month period~~, as required by Government Code § 65583(a)(4) and 65583(a)(5).

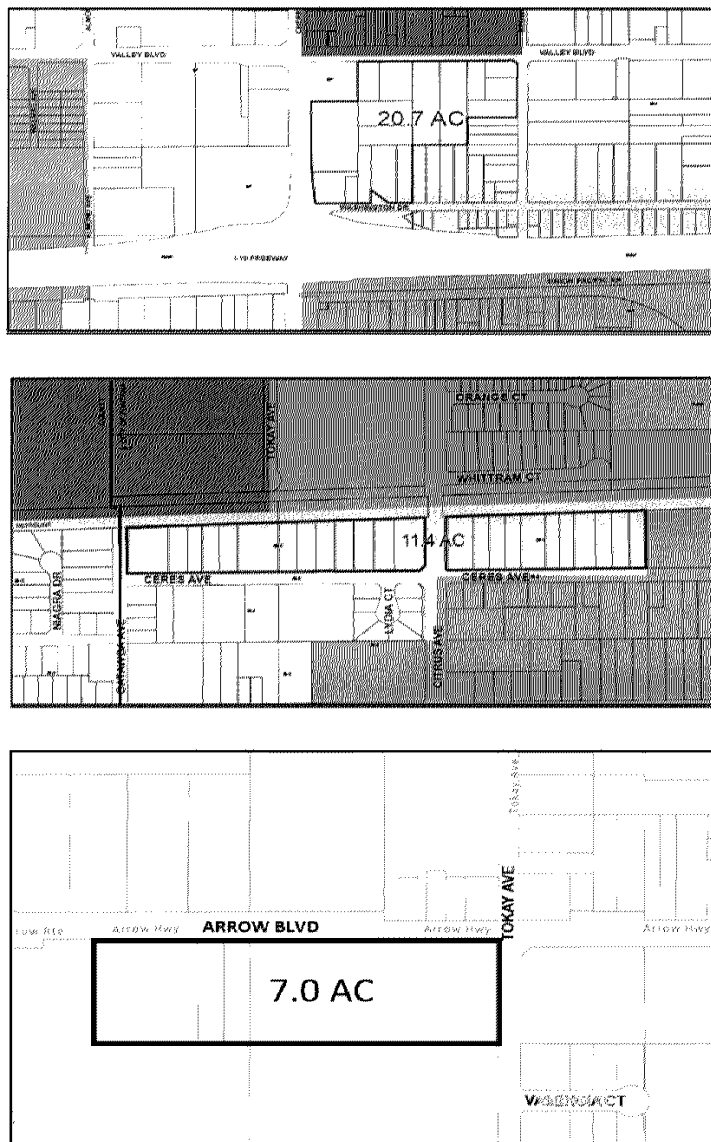
(h)(R-4) overlay district. The intent of the R-4 overlay district is to provide areas for the potential development at the multi-family residential (R-4) density of 24.1 du/ac to 39 du/ac for multi-family development in close proximity to transit routes and convenience uses in recognition of the need for affordable housing.

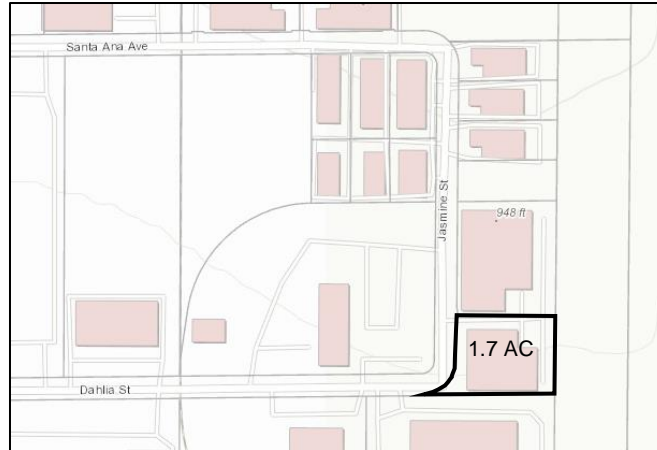
DIVISION 7. EMERGENCY SHELTER OVERLAY DISTRICT

Sec. 30-651. Emergency shelter overlay district (ESO) regulations.

- (a) *Applicability.* The provisions of this division shall apply to light industrial (I-L) land use designations and specific plan industrial land use designations as specified in Figure

Figure 1





- (b) *Relation to underlying zoning.* The emergency shelter overlay district is a flexible designation that is intended to apply in conjunction with, or as an alternative to the provisions in the underlying zoning. When utilized in conjunction with the underlying zone, if the provisions of this division are in conflict with the provisions of the underlying zoning district, the provisions of this division shall apply.
- (c) *Intent.* The intent of the emergency shelter overlay district is to provide for supportive and transitional housing uses on specific properties within the ~~light industrial (M-1) zoning district~~ Light Industrial (I-L) and General Industrial (I-G) general plan use designations. Additionally, the further intent of this overlay district is to allow emergency shelters without a conditional use permit or other discretionary permit in accordance with Government Code § 65583. Recognizing the need for available and affordable sites for establishment of emergency shelters and other transitional housing types outside of the traditional locations in commercial districts, the emergency shelter overlay district provides areas and districts for the development of new emergency and supportive housing to be integrated with commercial and light industrial uses and existing social services throughout the City. The purpose of the designated boundaries (area of applicability) is to maximize the potential for provision of emergency shelter and support services throughout the City of Fontana.
- (d) *Definitions.*

Emergency shelters. The California Health and Safety Code (§ 50801(e)) defines "emergency shelter" as housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. No individual or household may be denied emergency shelter because of an inability to pay.

Single room occupancy. Typically, a single-room occupancy (SRO) unit is a multiple tenant building that houses one or two people in individual rooms (sometimes two rooms, or two rooms with a bathroom or half bathroom), or to the single room dwelling itself. SRO tenants typically share bathrooms and/or kitchens, while some SRO rooms may include kitchenettes, bathrooms, or half-baths. Most SRO units are small, with a gross floor area of less than 400 square feet. Each dwelling unit is restricted to occupancy by no more than two persons and is offered on a monthly rental basis or longer.

Supportive housing. Under the housing element law, supportive housing is defined as housing with no limit on length of stay that is occupied by a target population, and that is linked to onsite or offsite services that assist the supportive housing resident in retaining the housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community (California Health and Safety Code § 50675.14(b)).

Transitional housing. The California Health and Safety Code (§ 50675.2) defines "transitional housing" and "transitional housing development" as buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no more than six months. This definition of transitional housing does not encompass all transitional housing facilities, particularly those that operate as group quarters or community care facilities that charge fees rather than rents.

Sec. 30-652. Administrative site plan review required.

Any development proposal within the emergency shelter overlay district shall be subject to an administrative site plan review process pursuant to Article II, Division 10 et seq. of this Code.

Sec. 30-653. Emergency shelters.

The following standards shall be required for development or establishment of emergency shelters in the ESO district:

The following development standards shall apply.

- (1) ~~{Density of residents.}~~ The maximum resident density shall be one resident per 150 square feet, ~~up to a maximum of 60 residents in a single shelter.~~ Facilities operated independently of the City of Fontana by private organizations or other government, or quasigovernment organizations, shall be limited to a maximum of 50 residents.
- (2) ~~{Number of staff.}~~ The facility shall be staffed with one staff person per 15 occupied beds and shall be awake during the hours of operation.
- ~~(3) Waiting/intake area.~~ ~~The shelter may have a waiting and intake area no larger than 400 square feet combined;~~
- ~~(3)(4)~~ *On-site manager.* The shelter must have at least one on-site manager at all times during hours of operation.
- ~~(4)(5)~~ *Distance requirements.* The distance between emergency shelters shall be a minimum of 300 feet. No emergency shelter shall be located within 300 feet of any public park and/or school.
- ~~(5)(6)~~ *Security.* The emergency shelter shall provide a security plan that ensures the safety of the residents, visitors and employees. The plan shall be reviewed by the Chief of Police or his designee and shall include, but is not limited to, the following:

- a. Color, security surveillance system with recording capability; unless otherwise approved in writing by the Chief of the Fontana Police Department, the security system shall include surveillance cameras capable of recording interior and exterior common areas, in color, 24 hours per day. All recordings shall be retained for a minimum of 30 days.
- b. On-site security guard(s), the number of security guards shall be based on the following ratio of one guard for every ten patrons.
- c. Adequate external lighting shall be provided for security purposes. The lighting shall be stationary, directed away from adjacent properties.

~~(7)~~ *Length of stay.* Emergency shelter shall only be provided for a time period of six months for any individual resident.

~~(6)(8)~~ *Laundry facility.* The shelter shall provide on-site laundry facilities or services adequate for the number of residents.

~~(7)(9)~~ *Outdoor activities.* Any emergency shelter adjacent to a residential use shall limit outdoor activities to the following hours: 8:00 a.m. to 9:00 p.m. Monday through Sunday.

~~(10)~~ *Pay phone.* There shall not be any outdoor public telephones on the site nor along the public right-of-way.

~~(8)(11)~~ *Signage.* No signs are permitted on the property relating to its use as a shelter for the homeless unless approved in writing by the Planning Director;

~~(9)(12)~~ *Bathroom facilities.* Each emergency shelter shall provide facilities for personal care (i.e., bathroom and shower facilities).

~~(10)(13)~~ *Toilets.* No outdoor toilets are allowed on the site unless during construction or a special event;

~~(11)(14)~~ *Shelter provider.* The agency or organization operating the emergency shelter shall comply with the following requirements:

- a. Staff and services shall be provided to assist residents of the shelter in obtaining permanent housing and income;
- b. A written management plan including, as applicable, provision for staff training, neighborhood outreach, security, screening of residents to ensure compatibility with services provided at the facility, and for training, counseling, and treatment outreach programs for residents;

~~(12)(15)~~ *Facility layout.* Living, dining, and kitchen areas shall be physically separated from sleeping areas.

~~(13)(16)~~ *Sleeping area.* Each emergency shelter shall provide at least ~~35~~ 30 square feet of sleeping area per bed.

~~(14)~~(17) *Litter and graffiti.* The owner/operator shall:

- a. Maintain the exterior of the premises, including signs and accessory structures, free of litter and graffiti at all times;
- b. Provide for daily removal of trash from the premises and abutting sidewalks or alleys within 20 feet of the premises; and
- c. Remove graffiti within 48 hours of written notice from the City.

~~(15)~~(18) *Controlled access.* The facility and/or the premises shall be accessed by one entrance.

~~(16)~~(19) *Property maintenance.* The agency shall ensure that the facility is clean and litter-free at all times. The grounds shall be landscaped with materials which are compatible with the surrounding neighborhood and maintained in a trim and weed-free state. The structure shall be painted and maintained such that it is compatible with structures existing in the surrounding neighborhood.

(17) Facility shall not provide "walk in" services for new or prospective residents. Operators shall strictly enforce a "no walk-in/no walk-out" policy for facility guests and residents. Details regarding the management and enforcement of this policy shall be provided in the facility's operations and management plan, subject to the review and approval of the Planning Director.

Sec. 30-654. Transitional housing facilities.

The following development standards shall apply.

- (1) *Establishment.* A management plan form shall be obtained, completed in detail, and returned to the City of Fontana's ~~Community Development Department~~ Housing Manager for review and approval. The transitional housing program management plan is a detailed analysis of how an agency intends to operate and maintain a transitional housing facility in accordance with existing city ordinances and the criteria contained in this section.
- (2) *Qualifications.* The applicant shall be a qualified agency with knowledge, understanding, and demonstrable experience in the operation and management of a transitional housing facility.
- (3) *Client screening.* The agency should establish a screening process, similar to standard renting procedures, which includes letter(s) of reference, verification of employment, and determination of tenant ability to pay rent. The tenants should agree to participate in the daily maintenance of the transitional housing facility, and in an orientation/training process provided by the facility aimed at promoting their transition toward stability.
- (4) *Maximum client stay.* Clients should be limited to a maximum stay of six months.

(5) *Rent structure.* The facility shall provide transitional housing below the median rent level within the City of Fontana.

(6) *Property maintenance.* The agency shall ensure that the facility is clean and litter-free at all times. The grounds shall be landscaped with materials which are compatible with the surrounding neighborhood and maintained in a trim and weed-free state. The structure shall be painted and maintained such that it is compatible with structures existing in the surrounding neighborhood.

(7) *Agency services.* The agency shall identify in the management plan the services which are available to clients off-site, and shall demonstrate the client's ability to transport one's self to the site where services are provided.

Sec. 30-655. General development standards and design guidelines.

(a) *General.* The development standards and design guidelines in this division shall be minimum requirements for emergency shelters, supportive and transitional housing type uses. Those standards and guidelines not fully addressed in this section shall be as otherwise stated in the appropriate section(s) of the Fontana Municipal Code, including, but not limited to, Section 30-664 et seq., and Section 30-679 et seq. of this Code.

**Table 30-655.A.
Lot Dimensions, Building Height and Maximum Intensity**

Feature	Standard
Minimum lot size	The minimum lot size shall be 20,000 square feet
Lot dimensions	Minimum width of 150 feet
	Minimum depth of 150 feet
Maximum building height	The maximum building height shall be 100 feet
Maximum lot coverage	The maximum lot coverage shall be 60%
Floor-area ratio (FAR)	The maximum base FAR shall be 0.50

(b) *Building setbacks.* All required yard areas (setbacks) shall be clear of all structures and other required site features such as parking areas, loading areas, fire lanes, etc., and shall be landscaped and maintained in a neat, healthy, aesthetically pleasing condition in accordance with the landscaping provisions of this division. Setback may be increased to provide an appropriate separation between uses in order to protect the public health, safety, and welfare if alternative means of providing separation are not practical.

**Table 30-655.B
Yard Area-Building Setbacks**

Yard	Standard
Minimum front yard setbacks	25 feet
Minimum rear yard setbacks	25 feet
Minimum interior side yard setbacks	15 feet
Minimum corner/street side yard setback	15 feet

- (c) *Parking and loading requirements.* Off-street parking shall be located at the rear or side of the building, but may be considered elsewhere at the discretion of the Director of Community Development. Visitor parking may be located at the front of the building adjacent to the main entry. Service and loading areas may be located at the sides and rear of the building, except where such building sides are adjacent to a public right-of-way.
- (d) *Parking.* The following are regulations for off-street parking and loading. They identify required number of parking and loading spaces for all new development projects and those proposing substantial modifications to existing buildings. For all parking and loading-related information or regulations not specifically addressed in this section, refer to Section 30-679 et seq. of this Code.

Table 30-655.C
Minimum Number of Parking Spaces Required

Use	Facility Parking	Staff Parking	Guest Parking	Bike Rack	Loading Spaces
Emergency Shelter	1 space per five beds	1 space per employee	1 space per ten beds	5 spaces	1 Truck space
Supportive Housing	1 space per room, family or resident	1 space per employee	1 space per three room, family or resident	5 spaces	1 Van space
Transitional Housing	1 space per room, family or resident	1 space per employee	1 space per three room, family or resident	5 spaces	1 Van space

- (1) *Parking and access.*
- Parking lots shall not be the dominant visual element on the site.
 - Surface parking areas shall integrate trees and landscape improvements to reduce the heat island effect and to promote better visual aesthetics.
 - Parking lot design shall include water quality storm water facilities consistent with City standards. See Figure 1.

Figure 1



- (e) *Fences, walls, and screening.* The following are standards and guidelines for fences, walls, and screening.

Table 30-655.D
Standards for Fences, Walls and Screening

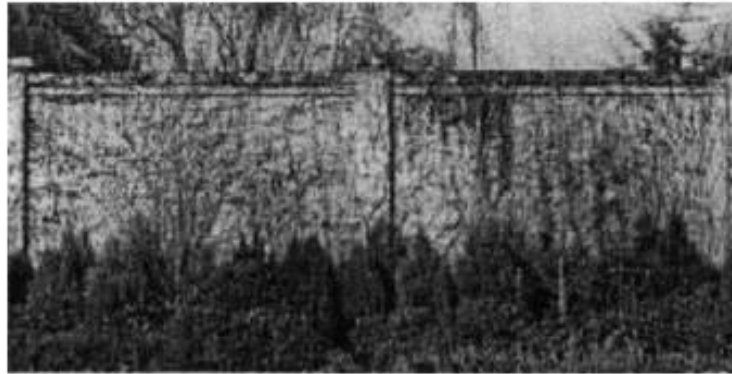
Location	Materials	Maximum Height
Within front setback area	Solid wall	42 inches
	Wrought iron or tubular steel	6 ft.
Within street side setback area	Solid wall	8 ft.
Within interior side setback area	Solid wall	8 ft.
Within rear setback area	Solid wall	8 ft.
Screening of incidental outdoor storage from view of the public right-of-way	Solid wall	8 ft.
Notes:		
(1) All fences and walls shall be finished with decorative material (e.g., stucco, split-face, and or slump stone) when visible from the public right-of-way.		
(2) All fences and walls shall not interfere with or obstruct the line-of-sight for motorists.		
(3) Screening walls must meet the design standards of Section (n)(3)(a).		

(1) *Fences and walls.*

- a. Walls and fencing materials shall consist of wrought iron, tubular steel, stone, stucco, or brick, and shall be compatible with the overall design character/style of the development. The use of chain-link fence and similar materials is prohibited.
- b. Walls and fences shall be integrated with landscaping along the base of the wall or fence.

- c. Wall heights and surfaces shall be articulated with varying facade depths or pilasters to promote architectural interest, and shall include a cap along the top of the wall.
- d. Landscaping shall be used in combination with walls and fences to visually soften blank surfaces and to deter graffiti. Additionally, all walls shall have an anti-graffiti coating to further deter graffiti, to the satisfaction of the City. See Figure 2.

Figure 2



- (f) *Landscaping.* Those standards and guidelines not fully addressed in this section shall be as otherwise stated in the appropriate section(s) of the Fontana Municipal Code, including, but not limited to, Section 30-664 et seq., of this Code.
 - (1) Landscaping shall be used alone or in conjunction with other features (e.g. open space buffer, topography) to reduce potential visual and light and glare conflicts.
 - (2) Landscape setbacks along public rights-of-way shall incorporate landscape buffers with undulating and variable height earth-mounding (berms), and/or low walls, preferably in a three-tier planting design.
 - (3) Landscaping shall be in scale with adjacent structures, streets, and public spaces, and be sized appropriately when fully grown.
 - (4) Landscaped areas should incorporate a three-tiered planting system:
 - a. Ground cover and flowering plants;
 - b. Shrubs and vines; and,
 - c. Trees.
- (g) *Site design.*
 - (1) *Courtyards and plazas.*
 - a. Buildings should be arranged to create opportunities for open space amenities (e.g., plazas, courtyards, outdoor eating areas, etc.).
 - (2) *Building orientation.*
 - a. The organization of buildings, parking areas, and landscaping shall recognize the existing characteristics of the site and shall relate to the surrounding development in scale and character.
 - b. Buildings should be oriented in a manner that takes advantage of passive solar design.

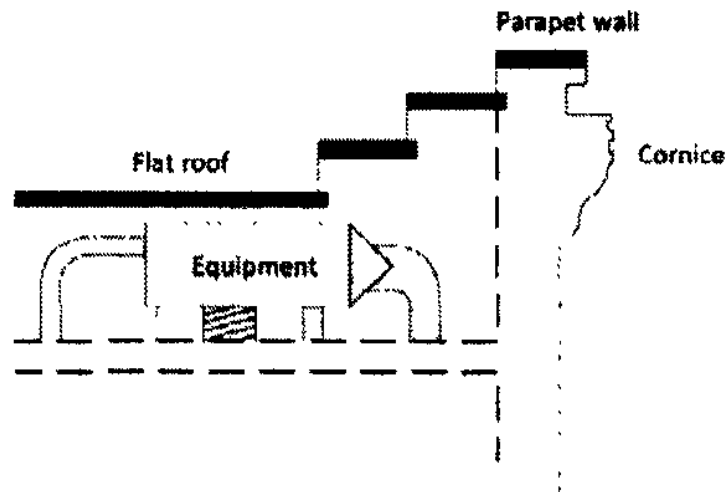
- c. Buildings shall be oriented to provide a buffer between sensitive uses (i.e. residential, schools, and parks).

(3) *Site elements.*

a. *Screening.*

1. Loading areas shall be completely screened from public right-of-way(s) by building placement and/or decorative walls. Landscaping may be used in addition to such building placement and/or walls, but shall not be the sole means of screening. A sight-line analysis shall be taken from public right-of-way(s) to indicate screening of all items.
2. Trash storage enclosures and outdoor mechanical equipment shall be completely screened from public view.
3. Roof-mounted and ground-mounted mechanical equipment utilities, storage, and storage areas shall be screened from public right-of-way by a visual barrier (e.g., wall, fence, landscape material, parapet walls etc.) or other approved screening devices. Special consideration shall be given to the screening of roof-mounted equipment on building rooftops that are visible from the public right-of-way. See Figure 3.

Figure 3



(4) *Lighting.*

- a. Outdoor lighting plans shall take into consideration the location and potential growth pattern of nearby trees (existing and planned) so that appropriate lighting levels are maintained over time.
- b. Energy efficiency shall be considered through use of proper light location and placement, as well as use of energy-efficient bulbs and/or fixtures.
- c. Lighting fixtures shall include hoods or other design techniques to reduce glare and light pollution, especially along major streets, and to prevent light spillover onto adjacent properties.
- d. Lighting shall be provided in project entryways, walkways, and parking lots to promote safety.
- e. Lighting may be mounted on poles or bollards, affixed to building walls, or placed within paved or landscaped areas. Appropriate materials and

construction methods shall be used to ensure proper function of project lighting fixtures.

- f. Decorative light fixtures shall be consistent with the architectural design of the building.

(5) *Architecture.*

a. *Mass and scale.*

1. The mass and scale of the buildings shall respect the visual and physical relationship to the adjacent buildings and surrounding sensitive uses. Taller building elements shall be placed towards the center of the site, with lower elements adjacent to surrounding properties.
2. Buildings shall be stepped back when adjacent to or in close proximity to sensitive uses (e.g. residential, schools, etc.).
3. Vertical and horizontal offsets shall be provided to reduce the visual bulk of the building.

b. *Building facades.*

1. Building facades shall incorporate architectural elements such as windows, pillars, and wall plane breaks to minimize blank walls, to create visual interest, and to reduce the opportunity for graffiti.
2. All building elevations, whether front, side, or rear shall be architecturally detailed.
3. Architectural accents (e.g., cornices, tiles, trim around windows, grooves in building faces, accent band details, bulkheads, etc.) shall be used to create variation along building facades.
4. Roofs shall be designed as an integral component of building form, mass, and facade. Building form shall be enhanced by sloped or offset roof planes, eave heights, and rooflines.

NOTICE OF EXEMPTION

TO: <input checked="" type="checkbox"/> Office of Land Use and Climate Innovation State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6568
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	Master Case No. 25-0078, Municipal Code Amendment No. 25-0010
2. Project Applicant (include address, telephone number and email address):	City of Fontana, Planning Department, 8353 Sierra Avenue, Fontana, CA 92335, Cecily Session-Goins, Associate Planner, (909) 350-6723, csgoins@fontanaca.gov
3. Project Location – Identify Street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	11109 Jasmine Street (APN: 0238-111-53), City of Fontana, County of San Bernardino
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	The project is Municipal Code Amendment No. 25-0010 - Fontana Municipal Code amendment to Chapter 30 (Zoning and Development Code) pertaining to development standards and operating regulations in the Emergency Shelter Overlay District.
6. Name of Public Agency approving project:	City of Fontana

7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	City of Fontana 8353 Sierra Avenue Fontana, CA 92335 (909) 350-6718
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input checked="" type="checkbox"/> Other. Explanation:	This Ordinance is not a project pursuant to Section 15060(c), 15061(B)(3) (the common-sense exemption) and 15378 of the State of California Environmental Quality Act Guidelines, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.
9. Reason why project was exempt:	This project is a citywide amendment to Chapter 30 of the Zoning and Development Code regarding the Emergency Shelter Overlay District. There is no associated development with this project.
10. Lead Agency Contact Person: Telephone:	Cecily Session-Goins, Associate Planner 909-350-6723
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	

12. Was a public hearing held by the Lead Agency to consider the exemption? Yes ☒
No ☐
If yes, the date of the public hearing was: December 2, 2025

Date:

Signature

Name: Rina Leung

Title: Senior Planner

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



NOTICE PUBLIC HEARING

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

MASTER CASE NUMBER (MCN) NO. 25-0078 - MUNICIPAL CODE AMENDMENT (MCA) NO. 25-0010

Review of amendments to Chapter 30 to modify the description and standards for the Emergency Shelter Overlay District. The proposed project also includes the addition of the Emergency Shelter Overlay District to a property located at 11109 Jasmine Street.

**Environmental
Determination:**

This Ordinance is not a project within the meaning of Section 15378 of the State of California Environmental Quality Act ("CEQA") Guidelines, Section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

Location of Property:

11109 Jasmine Street
(APN: 0238-111-53)

Date of Hearing:

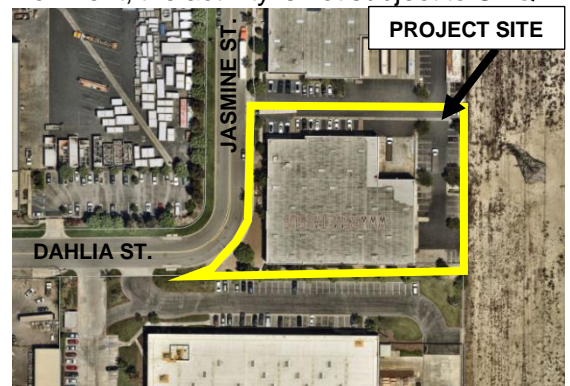
December 2, 2025

Place of Hearing:

City Hall Council Chambers
8353 Sierra Avenue
Fontana, CA 92335

Time of Hearing:

6:00 pm



Should you have any questions concerning this project, please contact Cecily Session-Goins, Associate Planner, at (909) 350-6723 or by email at csgoins@fontanaca.gov

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION AT THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish: November 11, 2025
S. B. Sun Newspaper



AVISO DE AUDIENCIA PUBLICA

En cumplimiento con la Sección No. 202 de la Acta de Americanos con Discapacidades de 1990 (42 U.S.C. Sec. 12132) y las reglas y regulaciones federales adoptadas en la implementación de esta, la agenda de esta audiencia estará disponible en formatos alternativos apropiados para las personas con una discapacidad. Si necesita asistencia especial para participar en esta audiencia, comuníquese con el Departamento de la Secretaría Municipal llamando al (909) 350-7602. La notificación deberá realizarse 48 horas antes de la audiencia para permitir que la Ciudad haga arreglos razonables para garantizar la accesibilidad a esta audiencia.

SE HA PROGRAMADO UNA AUDIENCIA PUBLICA ANTE LA COMISION DE PLANIFICACION DE LA CIUDAD DE FONTANA PARA LO SIGUIENTE:

MCN No. 25-0078, y MCA No. 25-0010

Revisión de las enmiendas al Capítulo 30 para modificar la descripción y las normas del Distrito Superpuesto de Refugios de Emergencia. El proyecto propuesto también incluye la adición del Distrito Superpuesto de Refugios de Emergencia a una propiedad ubicada en 11109 Jasmine Street.

Determinacion Ambiental: Esta Ordenanza no es un proyecto en el sentido de la Sección 15378 de las Directrices de la Ley de Calidad Ambiental de California ("CEQA"), ni de las Secciones No. 3.22 y 3.07 de las Normas Locales de 2019 para la Implementación de la CEQA, dado que no tiene el potencial de resultar en un cambio físico en el medio ambiente, ni directa ni indirectamente. Cuando se puede determinar con certeza que no existe la posibilidad de que la actividad en cuestión pueda tener un efecto significativo en el medio ambiente, la actividad no está sujeta a la CEQA.

Ubicacion de la Propiedad: 11109 Jasmine Street (APN: 0238-111-53)

Fecha de Audiencia: 2 de diciembre de 2025

Lugar de Audiencia: Ayuntamiento de la Ciudad de Fontana, 8353 Sierra Avenue, Fontana, CA 92335

Hora de Audiencia: 6:00 p.m.

Si tiene alguna pregunta sobre este proyecto, comuníquese al (909) 350-6728 o por correo electrónico a planning@fontanaca.gov.

Cualquier persona o grupo interesado en aportar información lo puede hacer mediante una carta o correo electrónico dirigido a La Comisión de Planificación. La solicitud y la documentación Ambiental está disponible para inspección en las Oficinas de Ayuntamiento de la Ciudad de Fontana.

Si usted contradice ante el tribunal cualquier acción tomada con respecto a un tema de la Audiencia Pública, usted puede estar limitado a plantear solamente aquellas cuestiones que usted o alguien más planteó en la Audiencia Pública mencionada en este aviso o por correspondencia escrita a la Ciudad de Fontana antes de la fecha de la Audiencia establecida en este aviso.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0680
Agenda #: PH-B

Agenda Date: 12/2/2025
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 22-000124-R1; Design Review (DRP) No. 22-00057-R1 - A request for revisions to a previously approved design review (DRP No. 22-00057). The revisions include modifications to the elevations, increase in the number and size of the 2-bedroom units, reduction in the number of 1-bedroom units, reduction in the square footage of the recreational room and landscaping area, and increase in the size of the carport, porte cochere, and trellis areas, for a previously approved 66-unit senior apartment complex within two (2) buildings, and associated site improvements, on approximately 2.0 acres, pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15332

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-____, and

1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption, and
2. Approve Design Review (DRP) No. 22-00057-R1

APPLICANT:

Andresen Architecture Inc.
Flory Smith
17087 Orange Way
Fontana, CA 92335

LOCATION:

The project site is located at 16180 Baseline Avenue, (APN: 0240-031-31)

REQUEST:

Design Review (DRP) No. 22-00057-R1 - A request to amend a previously approved Design Review (DRP No. 22-00057), to modify the elevations, increase the number and size of the 2-bedroom units and reduce the number of 1-bedroom units (no change in overall unit count), reduce the square footage of the recreational room and landscaping area, and increase the size of the carport, porte cochere, and trellis area, for a previously approved 66-unit senior apartment complex on approximately 2.0 acres

PROJECT PLANNER:

Salvador Quintanilla, Senior Planner

BACKGROUND INFORMATION:

1. On October 1, 2024, the Planning Commission approved Master Case Number 22-000124 (Minor Use Permit No. 24-0002 and Design Review No. 22-000057) for the 66-unit senior apartment complex project.

Land Use Table:

	General Plan	Zoning/Overlay	Existing Land Use
Site:	Walkable Mixed-Use Downtown and Corridors (WXMU-1)	Form Based Code (FBC) Transitional Sub-District	Vacant
North:	Walkable Mixed-Use Downtown and Corridors (WXMU-1)	Form Based Code (FBC) Transitional Sub-District/Village District	Senior Housing Residential Use
South:	General Commercial (C-G)	General Commercial (C-2)	Fontana Water Company Reservoir
East:	Walkable Mixed-Use Downtown and Corridors (WXMU-1)	Form Based Code (FBC) Transitional Sub-District	Single Family Dwellings
West:	Walkable Mixed-Use Downtown and Corridors (WXMU-1)	Form Based Code (FBC) Transitional Sub-District	Commercial Center/Retail Uses

PROJECT DESCRIPTION:

- A. Site Area: 88,235 square feet (approximately 2.02 acres)
- B. Density:
Allowed: 24-39 Units Per Acre
Proposed: 33 Dwelling Units Per Acre
- C. Building Height:
Allowed: 40-foot (Maximum)
Proposed: 37 feet
- D. Parking:
Required: 77 spaces
Provided: 93 spaces including 5 guest spaces
- E. Landscaping:
Required: 7,586.4 square feet (15 percent)

Provided: 12,455.3 square feet (24.62 percent)

ANALYSIS:

The applicant, Andresen Architecture, is requesting that the Planning Commission review and approve revisions to a previously approved design review (Design Review No. 22-00057-R1). The applicant has requested modification of the elevations, an increase in the number and size of the 2-bedroom units, a reduction in the number of 1-bedroom units, (maintaining the approved total of 66-units), a reduction in the square footage of the recreational room and landscaping area, and an increase in the size of the carport, porte cochere, and trellis area, for the previously approved 66-unit senior apartment complex.

Additionally, the development includes eighteen (18) accessory dwelling units for an overall total of 84 units. The eighteen accessory dwelling units are not subject to discretionary review but have been included for informational purposes.

Design Review (DRP) No. 22-00057-R1:

The applicant seeks site and architectural approval for revisions to the 66-unit senior housing complex located within two, three-story buildings. Below is a chart of the requested revisions to the development project. In addition to these revisions, the layout/position of the buildings has been revised as well.

Project Element	Previously Approved	Revision Proposed
Project SF area	84,687 SF	91,631 SF
Number of Units	66 units	66 units
Building Area SF	Bldg A=39,380 SF Bldg B=39,380 SF Bldg C=2,813 SF	Bldg A=40,231 SF Bldg B=40,163 SF Bldg C=11,237 SF
Building Footprint	26,652 SF	27,642 SF
Plan Type	Plan Type A, B, C-1, C-2, C-E, D-1, D-2	Plan Type A, B, C-1, C-2, D-1, D-2
No. of Bdrm.	1-Bed=54 units 2-Bed=12 units	1-Bed=48 units 2-Bed=18 units
Managers Unit	1-Bed/1Ba (723 SF)	1-Bed/1Ba (727 SF)
Recreation Room/Bldg Size	2,813 SF	2,344 SF
Unit Size	Range 614 to 831 SF	Range 613 to 1,033 SF
Landscaping	13,849 SF	12,455 SF
Lot Coverage	40.13 percent	42.68 percent
Carport area	6,960 SF	7,780 SF
Trellis area	430 SF	448 SF
Porte cochere	304 SF	476 SF

Revised unit information:

Plan Type	Quantity	Type	Square Foot
A	12	1-Bed/1Ba	615
B	6	2-Bed/2Ba	913
C-1	18	1-Bed/1Ba	614
C-2	18	1-Bed/2Ba	628
D-1	6	2-Bed/2-Ba	1,029
D-2	6	2-Bed/2Ba	1,033

As previously approved the applicant will maintain the Craftsman style architecture with a white to grey color scheme and dark grey/charcoal for the accent colors. The architectural style includes asphalt roofing, fiber cement siding, hardie plank lap siding, shutters, and recessed window details.

The accessory dwelling units will be reviewed through a Building Permit process and are not associated with the proposed request before the Planning Commission but are included for informational purposes.

Amenities/Open Space:

The previously approved amenities such as a pool, trellis with BBQ area, lawn area, and a recreational/clubhouse building, all located in the center section of the project site will remain. The revised layout for the common open space was increased from 6,773 square feet to 7,236 square feet.

Site Access/Circulation/Parking:

As previously approved, the project site will continue to be access to and from the Project Site will be primarily from Baseline Avenue, which is a public street. The project site is gated with an appropriate turn-a-round.

The revised proposal increases the number of 2-bedroom units which increase the covered parking space from 18 to 27 parking spaces for the 2-bedroom units. The Applicant will provide 93 (includes five (5) guest parking spaces) parking space where 77 is required. Additionally, the modified project changes the solar carport from 37 parking spaces to 38 parking spaces to be installed along the eastern property line of the most northern portion of the site.

Environmental:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines and Section No. 3.22 (Categorical Exemption) of the City of Fontana's 2019 Local Guidelines for Implementing CEQA, the proposed Project is categorically exempt from CEQA pursuant to CEQA Guidelines Section No. 15332 as a Class 32, Infill Development Project. The project site is considered Infill Development and meets the CEQA requirements of Infill: (1) The Project is consistent with the General Commercial (C-G) designation of the General Plan and the Transitional subdistrict of the FBC; (2) The Project Site is less than five (5) acres; (3) The Project Site is not within any known sensitive or threatened habitat area; (4) The Project will not have any significant effects related to traffic, noise, air quality, or water

quality; and (5) There are adequate public services for the development of the proposed residential project. Further, none of the exceptions in CEQA Guidelines section 15300.2 apply to the Project.

MOTION:

Approve staff's recommendation

ATTACHMENTS:

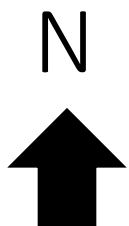
Attachment No. 1 - Vicinity Map

Attachment No. 2 - Project Plan Set

Attachment No. 3 - Planning Commission Resolution, Findings & Conditions of Approval

Attachment No. 4 - Notice of Exemption

Attachment No. 5 - Public Hearing Notice



VICINITY MAP

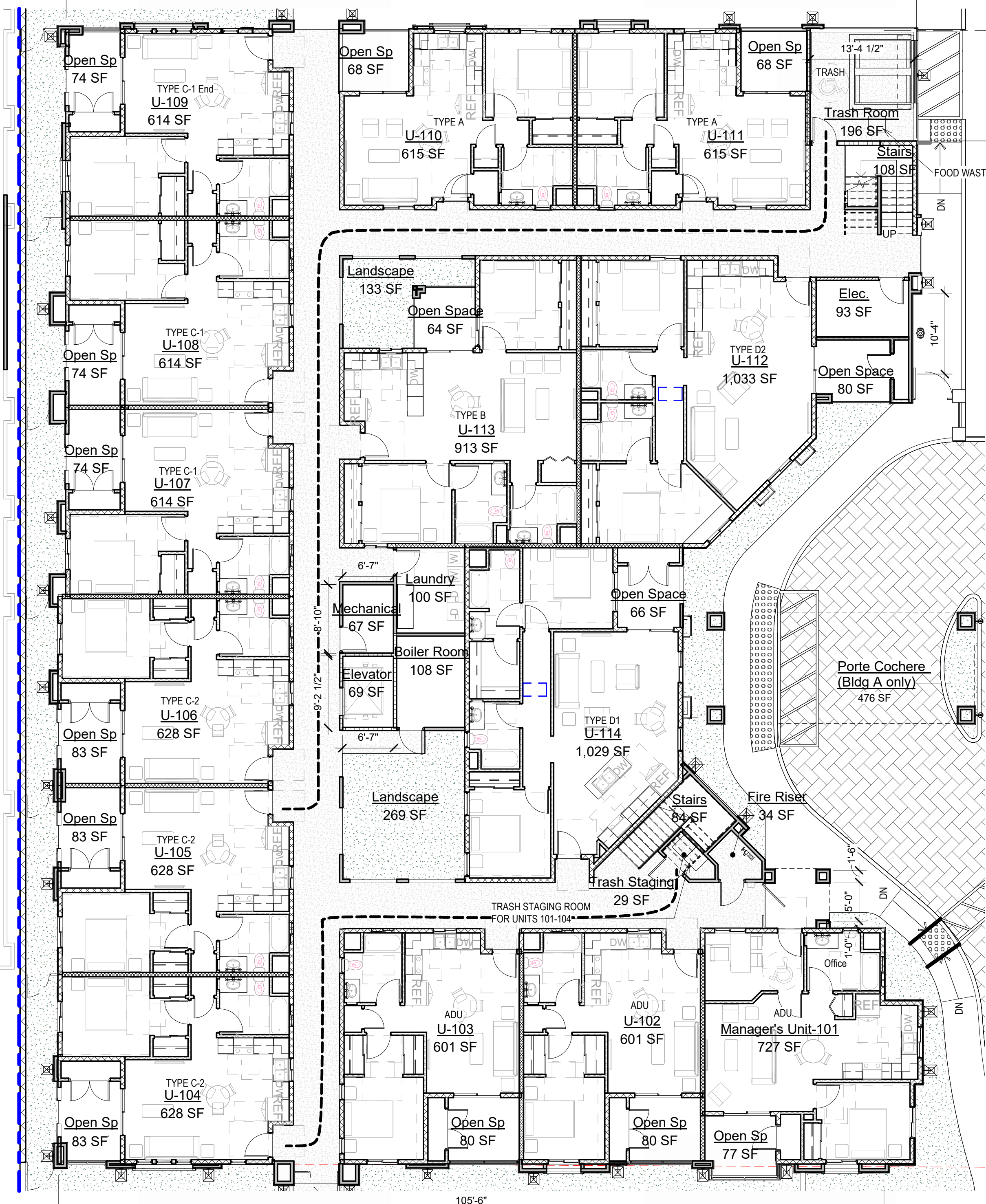
DATE: December 2, 2025

CASE: Master Case No. 22-000124-R1
Design Review No. 22-00057-R1



This architectural rendering shows a large, multi-story residential building with a dark, gabled roof. The facade features a mix of light-colored siding and dark shutters. A central entrance is highlighted by a small canopy. The building has multiple windows and balconies, suggesting a multi-unit structure. The overall style is modern with traditional gabled elements.

108'-8"

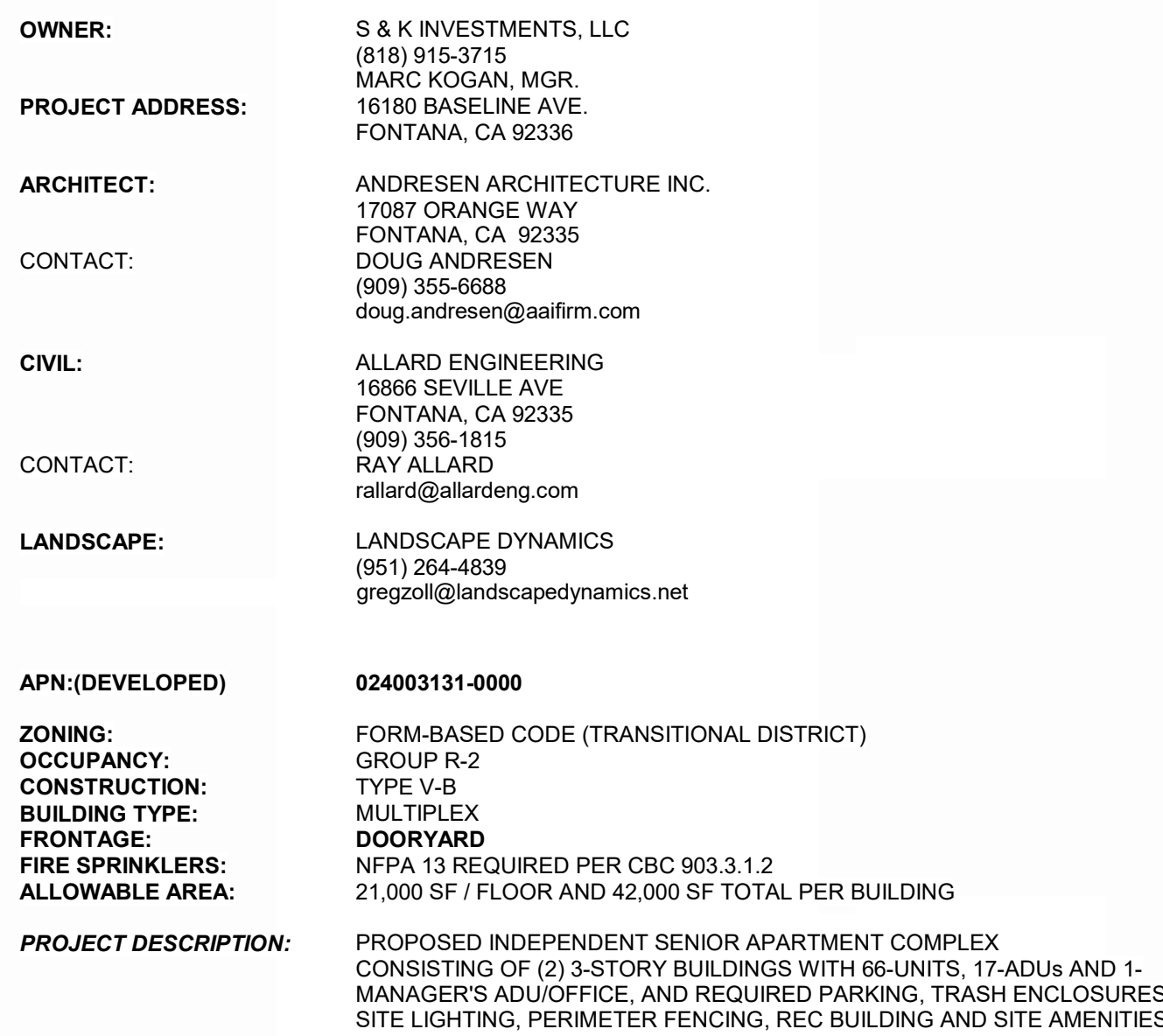
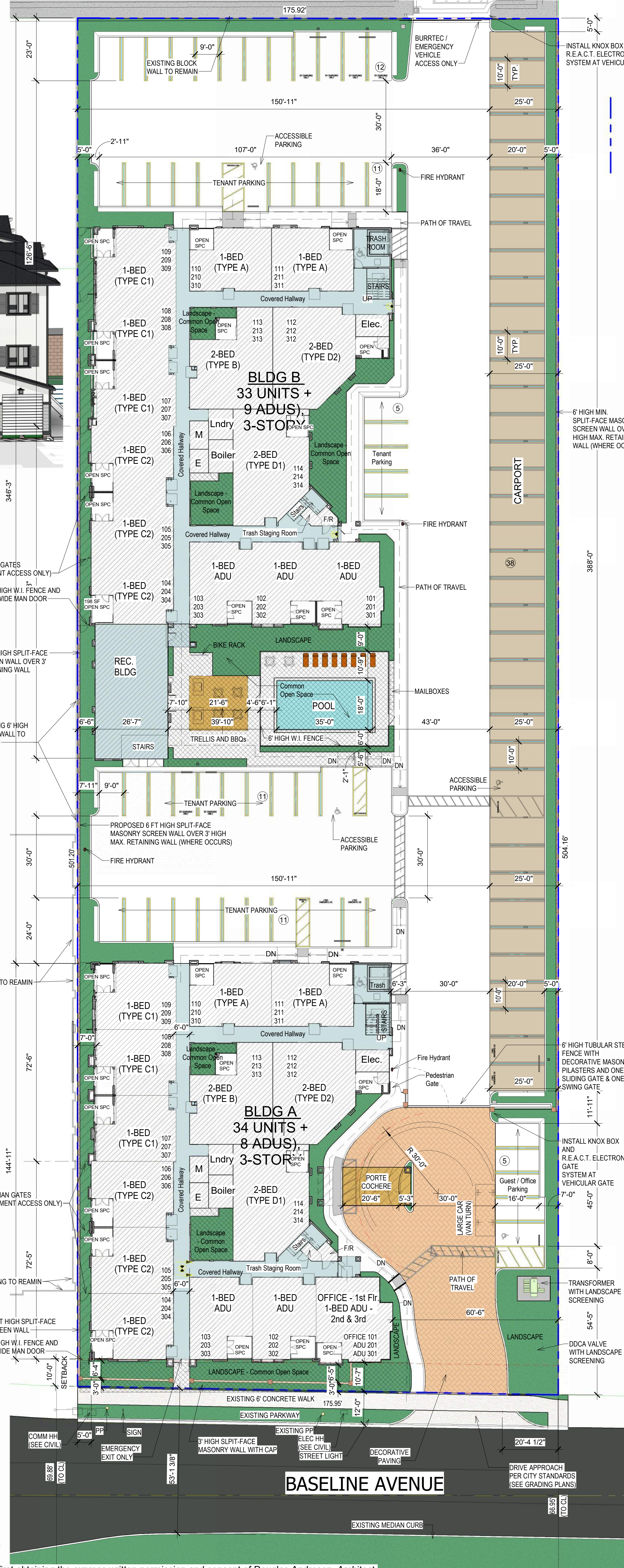


BUILDING A	42,231 SF
1ST FLOOR	13,819 SF
CONDITIONED SPACE	9,864 SF
PRIVATE, OPEN SPACE	1,048 SF
COMMON BLDG. AREA	2,907 SF
2ND & 3RD FLOOR	13,206 SF
CONDITIONED SPACE	9,717 SF
PRIVATE, OPEN SPACE	1,070 SF
COMMON BLDG. AREA	2,430 SF
BUILDING B	40,163 SF
1ST FLOOR	13,765 SF
CONDITIONED SPACE	9,774 SF
PRIVATE, OPEN SPACE	1,070 SF
COMMON BLDG. AREA	2,907 SF
2ND & 3RD FLOOR	13,206 SF
USABLE AREA	9,717 SF
PRIVATE, OPEN SPACE	1,070 SF
COMMON BLDG. AREA	2,430 SF
BUILDING C	2,863 SF
REC BUILDING(1ST)	1,513 SF
REC BUILDING(2ND)	1,240 SF
ACCESSORY BLDGS	6,684 SF
CARPENTRY AREA	1,760 SF
PORTE COCHERE	476 SF
TRELLIS AREA	448 SF
TOTAL FLOOR AREA	91,631 SF

<u>1-BED (48 UNITS)</u>	
TYPE A (615 SF)	12 UNITS
TYPE C-1 (614 SF)	18 UNITS
TYPE C-2 (628 SF)	18 UNITS
<u>2-BED (18 UNITS)</u>	
TYPE B (913 SF)	6 UNITS
TYPE D-1 (1,029 SF)	6 UNITS
TYPE D-2 (1,033 SF)	6 UNITS
<u>ADU (17 UNITS)</u>	
ADU (601 SF)	17 UNITS
<u>OFFICE</u> 1 UNIT	
(MGR'S ADU) (727 SF.)	
<u>REC ROOM</u> (2,553 SF.)	

OUTDOOR COMMON OPEN SPACE	7.236 SF
(LANDSCAPE AREA, COURTYARD, POOL)	

<i>Sequence Of Drawings - DR</i>	
<i>Number</i>	<i>Description</i>
PL.1	Site Plan
PL.2	2nd & 3rd Flr. - Typ. Roof Plan
PL.3	Typ. Unit Floor Plans
PL.4	Exterior Elevations
PL.5	Exterior Elevations
PL.6	Rec Building
PL.7	3D Views
PL.8	Renderings
PL.9	Solar Carport
1 of 1	Conceptual Grading Plan
LP	Landscape Preliminary Plan

$$1'' = 20'-0''$$


GROSS LOT SIZE:	88,235.62 SF (2.02 AC)
APT BUILDING FOOTPRINT:	27,560 SF
PORTE COCHERE:	476 SF
CARPOT:	7,780 SF
REC. BUILDING FOOTPRINT:	1,313 SF
TRELLIS	448 SF
TOTAL FOOTPRINT AREA:	37,567 SF
LOT COVERAGE:	42.57 %

NET LOT:	50,668.62 SF (100%) (1.17 AC)
HARDSCAPE AREA:	38,253.82 SF (75.49%)
LANDSCAPE AREA:	12,414.80 SF (24.51%)

BUILDING DATA:

ALLOWABLE AREA:

BUILDING A (INCL. PORTE COCHERE)

$A_A = A_A \times S_A$ (NO FRONTAGE INCREASE USED)
 $= 21,000 \times 3 = 63,000$ sf
 $40,264 + 304 = 40,568$ sf < 63,000 sf **OK!**

BUILDING B (INCL. CLUBHOUSE)

$A_B = A_B \times S_B$ (NO FRONTAGE INCREASE USED)
 $= 21,000 \times 3 = 63,000$ sf
 $40,264 + 2,813 = 43,077$ sf < 63,000 sf

CARPORPTS
(OCCUPANCY U, TYPE I-B, NOT SPRINKLERED)
 7,760 sf < 8,500 sf MAX PER TABLE 506.2 OK!
 A₀ = ALLOWABLE AREA
 A₁ = TABULAR ALLOWABLE AREA FACTOR
 SM (without height increase) = 21,000 SF PER
 TABLE 506.2, OCC. GROUP R-2, TYPE V-B
 S₁ = ACTUAL NUMBER OF STORIES ABOVE GRADE PLANE
 (NOT TO EXCEED THREE) = 3 PER 506.2.3 OCC. GROUP R-2

DENSITY:	24 TO 36 UNITS/ACRE - 48 UNITS MIN - 79 UNITS MAX ALLOWED 66 UNITS PROPOSED - 18 ADUS (17 ADU + 1 MGR'S UNIT)
BUILDING HEIGHT:	37 FT (PROPOSED) / 40 FT MAX (TABLE 504.3)
NUMBER OF STORIES:	3 (PROPOSED) / 3 ALLOWED (TABLE 504.4)
FIRE FLOW:	1,375 GPM FOR 2-HR DURATION WITH 20 PSI RESIDUAL PER CFC TABLE B105.2 (2,153 SF, TYPE IWB + 5,250 GPM 5.25 GPM x 50% = 2,625 GPM)
FIRE ALARM:	MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER CFC 907.2.9.1 EX. 3
SMOKE ALARMS:	REQUIRED PER CFC 907.2.10.2

3-STORY BUILDING A		UNIT TYPE.	
NUMBER OF APARTMENTS:	1-BED.	2-BED	
1ST FLOOR	8	3	= 11 UNITS + 3 ADUS (2 ADU+ 1 Mgr ADU)
2ND FLOOR	8	3	= 11 UNITS + 3 ADUS
3RD FLOOR	8	3	= 11 UNITS + 3 ADUS
TOTAL	24	9	= 33 UNITS + 9 ADUS (42 TOTAL)

3-STORY BUILDING B		UNIT TYPE.	
NUMBER OF APARTMENTS:		1-BED.	2-BED
1ST FLOOR	8	3	= 11 UNITS + 3 ADUS
2ND FLOOR	8	3	= 11 UNITS + 3 ADUS
3RD FLOOR	8	3	= 11 UNITS + 3 ADUS
TOTAL	24	9	= 33 UNITS + 9 ADUS (42 TOTAL)

GRAND TOTAL **49** **18** **= 66 UNITS + 18 ADUS (84 TOTAL)**
84 UNITS MAX ALLOWED x 25% ADU = 21 ADUs ALLOWED >18 OK!

PARKING SUMMARY:		
(18) 2 BED UNITS x 1.5 SPACES	=	27 SPACES
(48) 1 BED UNITS x 1 SPACES	=	48 SPACES
<u>OFFICE (65%) 606/200= 3.0 - (65%)</u>	=	<u>2 SPACES</u>
TOTAL PARKING REQUIRED:		77 SPACES

TOTAL TENANT PARKING PROVIDED	88 SPACES
GUEST PARKING PROVIDED	5 GUEST SPACES

ACCESSIBLE PARKING SPACES
2% OF ASSIGNED PARKING SPACES SHALL BE ACCESSIBLE IN EACH TYPE OF FACILITY:
(CBC 1109A.4)
TENANT OPEN PARKING (50 SPACES) = 2 ACCESSIBLE PARKING SPACE REQUIRED

TENANT CARPORT PARKING (38 SPACES)	= 1 ACCESSIBLE PARKING SPACE REQUIRED = 1 ACCESSIBLE PARKING SPACE PROVIDED
------------------------------------	--

5% OF UNASSIGNED AND VISITOR PARKING SPACES SHALL BE ACCESSIBLE: (CBC 1109A.2)
GUEST PARKING (5 SPACES) = 1 ACCESSIBLE PARKING SPACE REQUIRED
= 1 ACCESSIBLE PARKING SPACE PROVIDED

EV / CLEAN AIR SPACES
10% EV 9.3 ~ 10 SPACES REQUIRED
10 PROVIDED (INCLUDING 1 VAN + 1 STD ACCESSIBLE)
SOLAR CARPORTS OF REQUIRED PARKING
50% REQUIRED: 74 x 0.50 = 37 REQUIRED. 38 CARPORT PARKING SPACES PROVIDED

PRIVATE OPEN SPACE: 64 SF/UNIT (8 FT MIN DIM.) REQUIRED
64 SF/UNIT PROVIDED
REQUIRED: 4,224 SF
PROVIDED: 6,254 SF

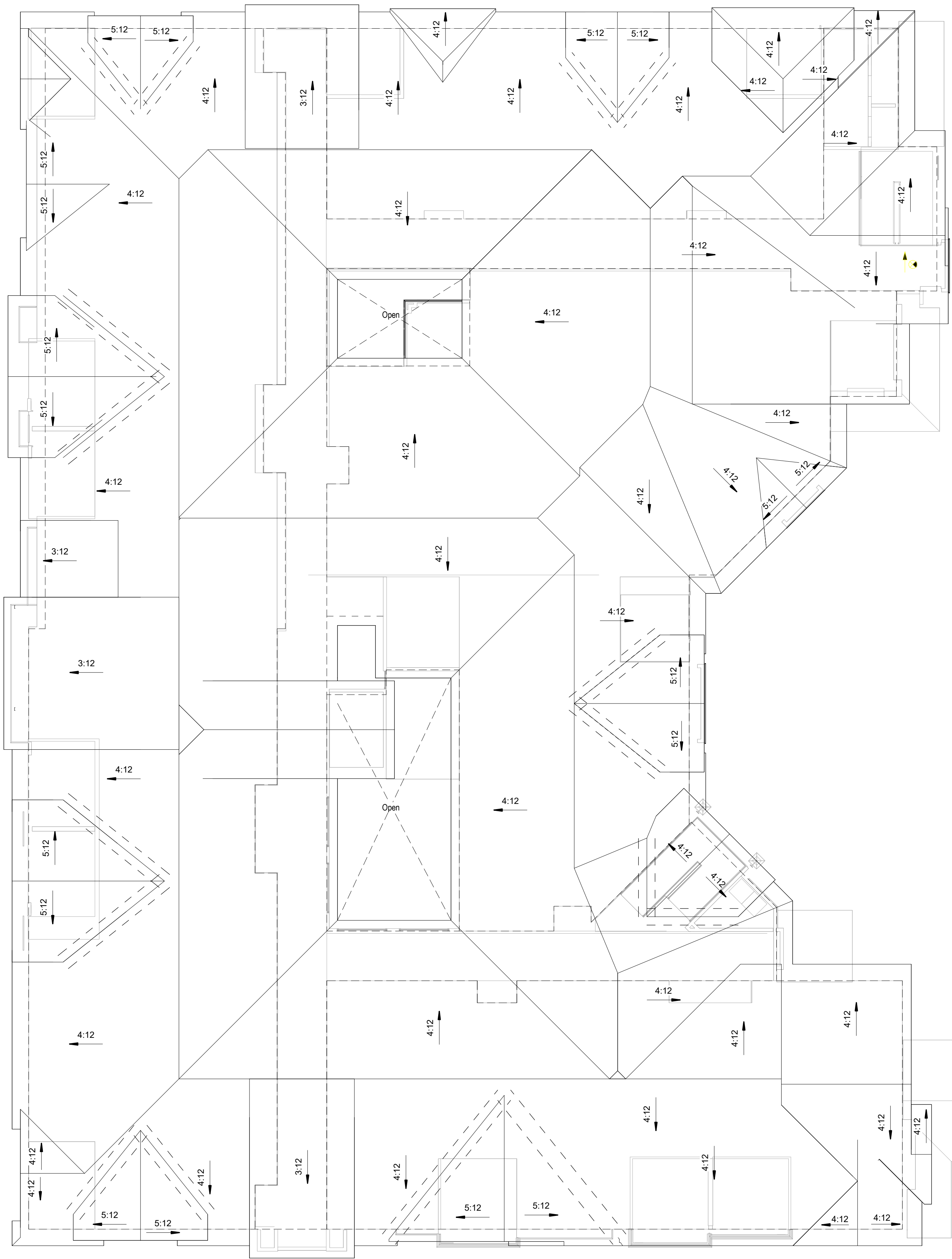
16180 Baseline Ave, Fontana, CA 92336

19 Nov. 2025
22-4474

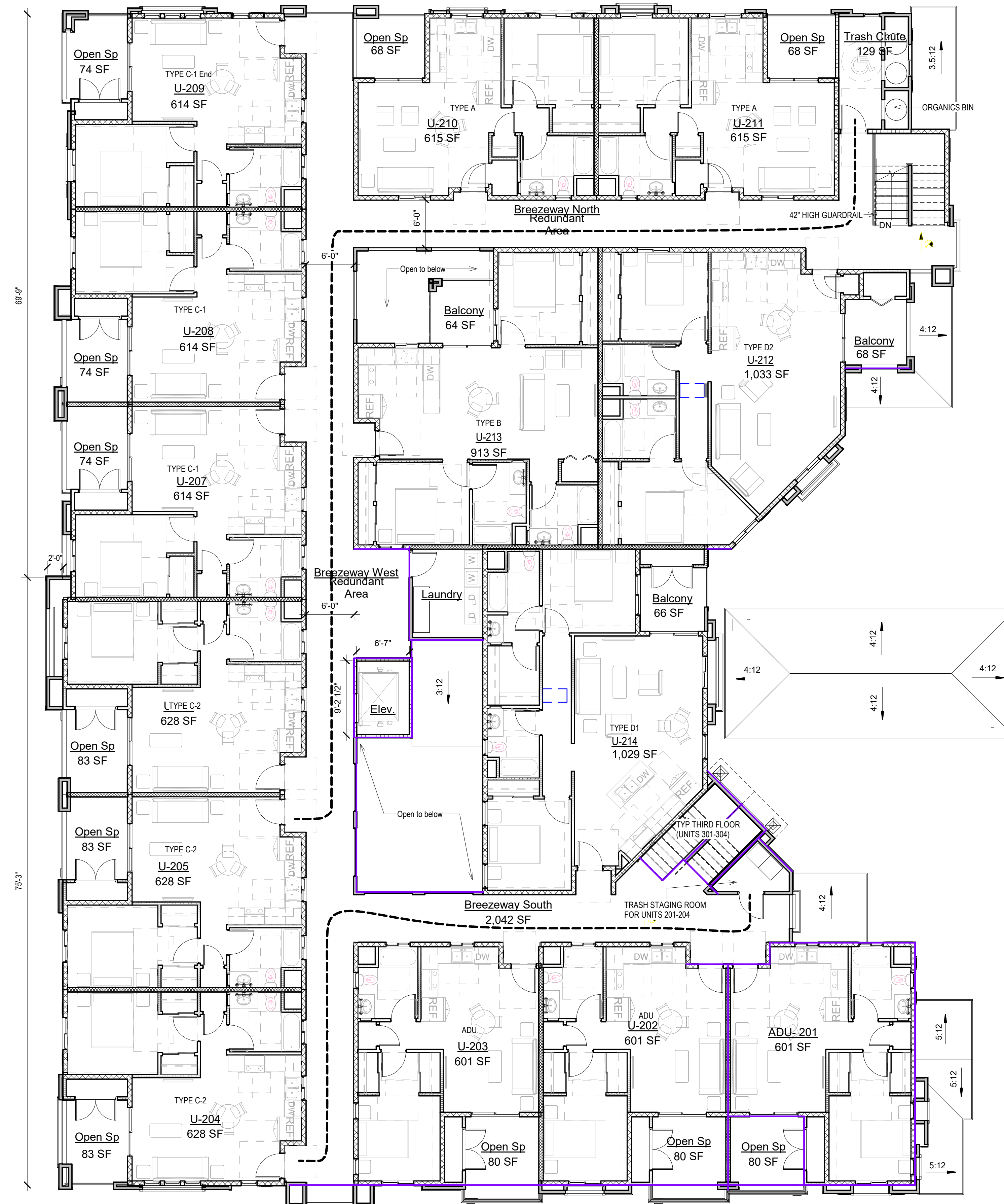
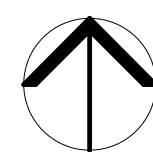
Site Plan



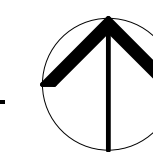
PL1



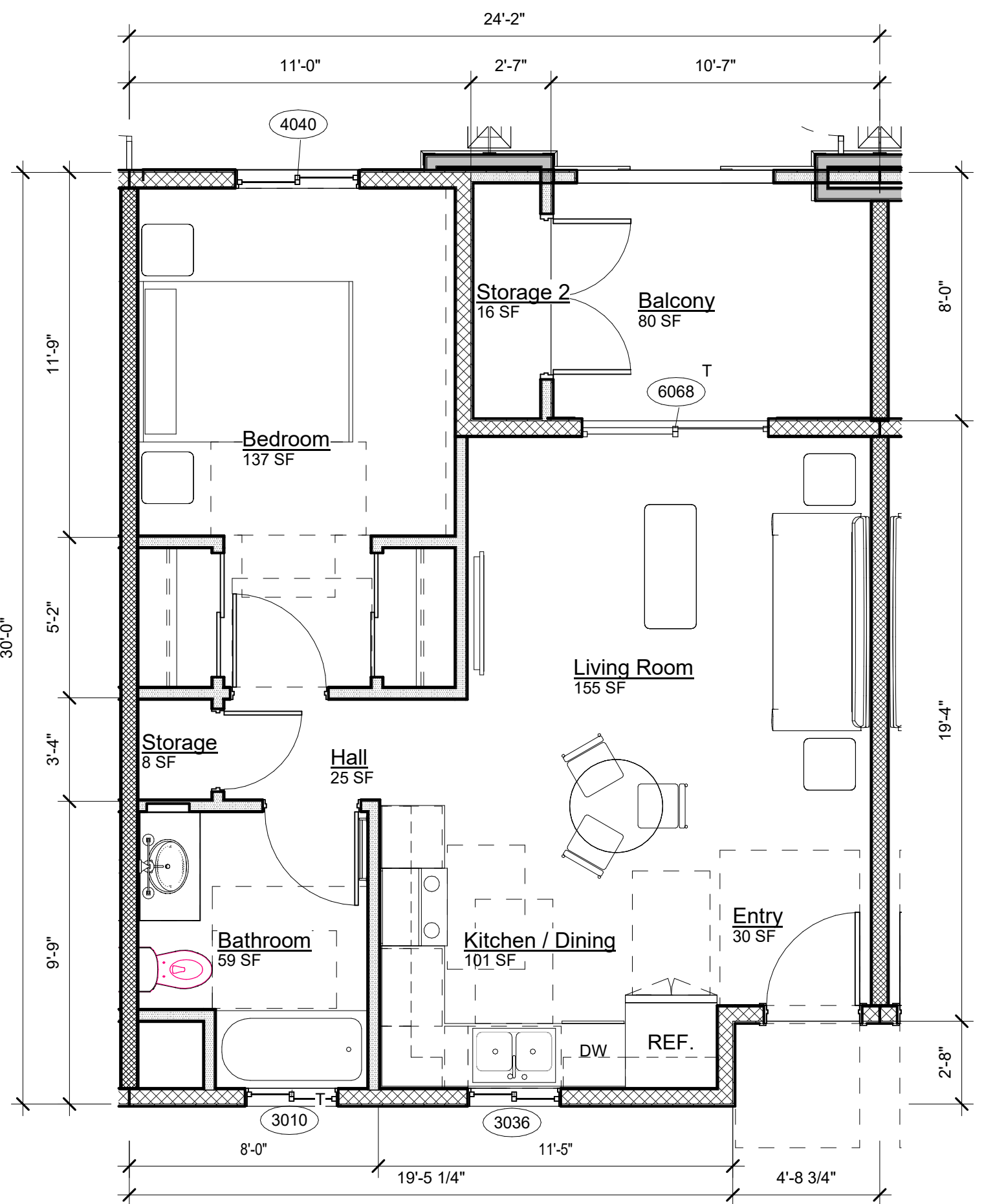
Roof Plan
1/8" = 1'-0"



Second & Third Floor - Typ.
1/8" = 1'-0"

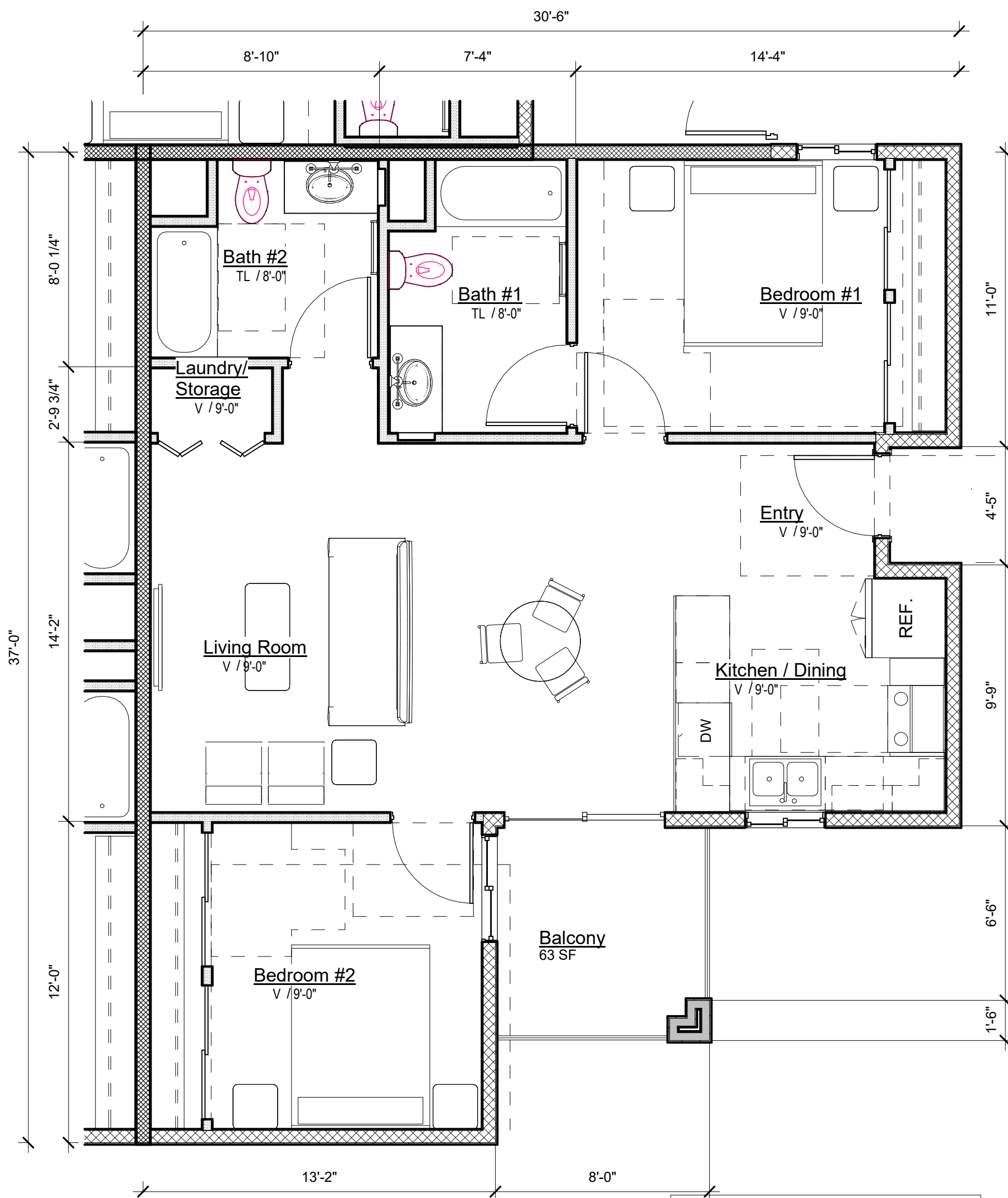


Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
19 Nov. 2025		
22-4474		
2nd & 3rd Flr. - Typ. Roof Plan		PL2



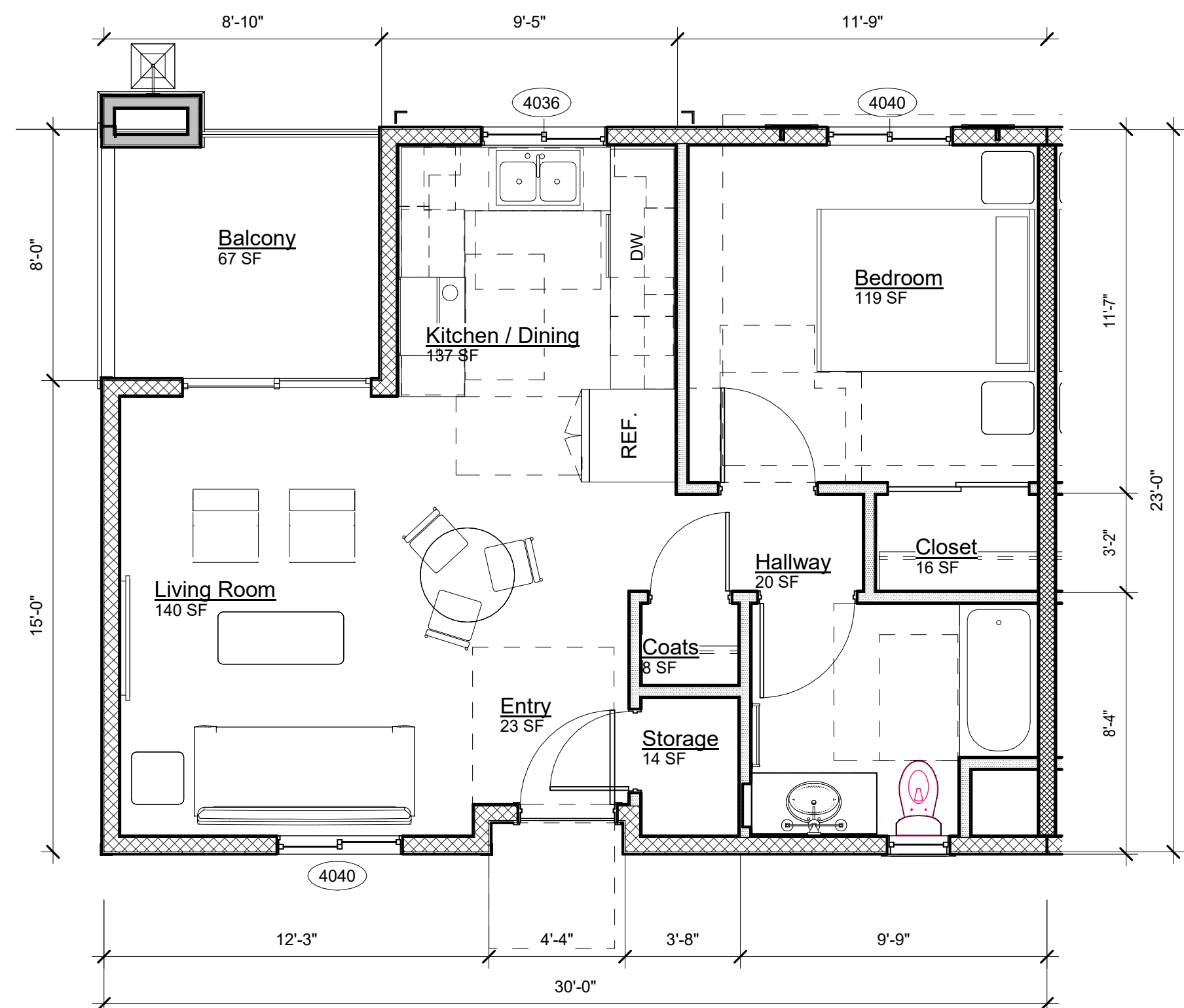
Typ. C-2 Unit
1/4" = 1'-0"

Area Schedule Typ. C	
unit	Area
Living - Conditioned	628 SF
Open Space - Unconditioned	83 SF



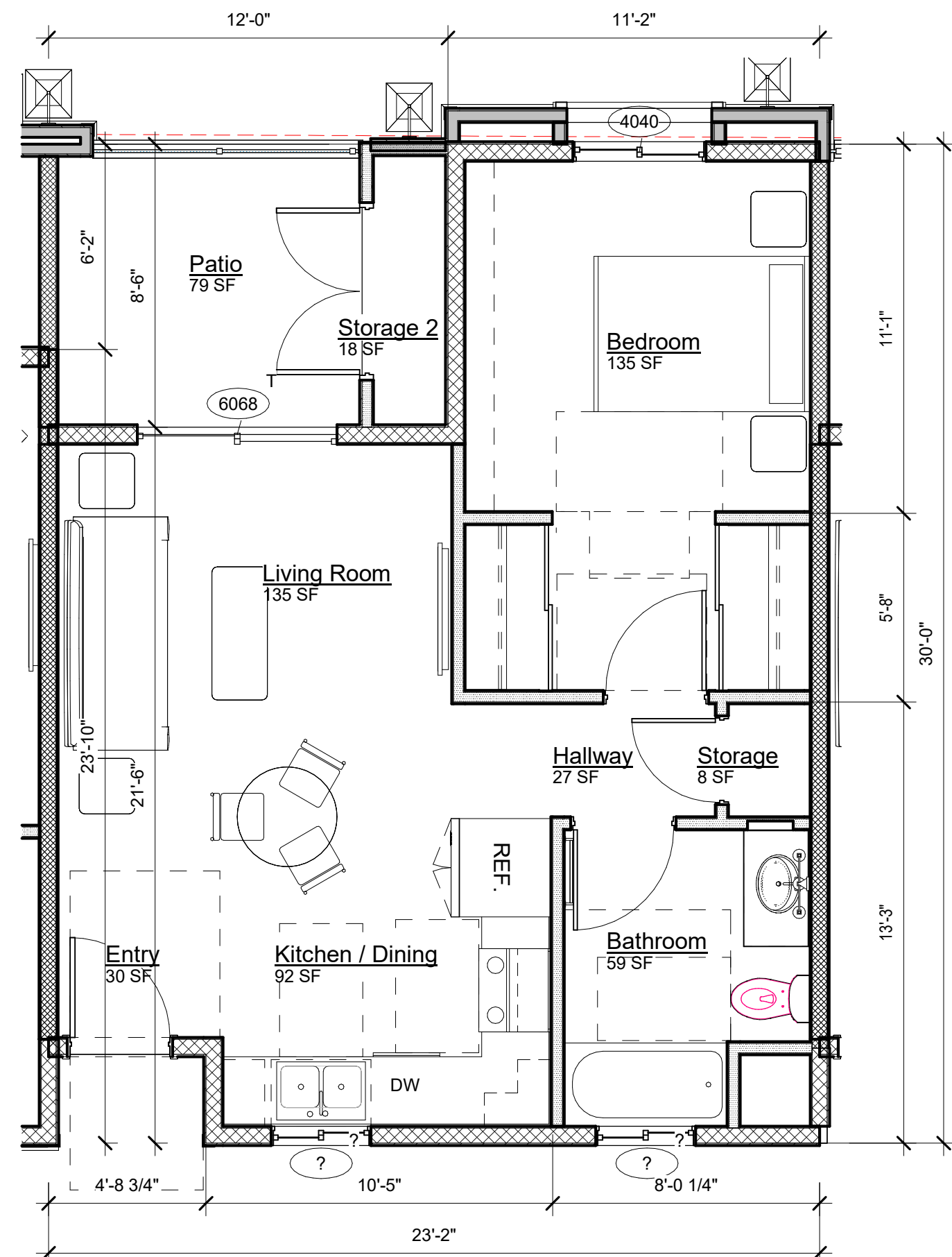
Typ. B Unit
1/4" = 1'-0"

Area Schedule Typ. B	
unit	Area
Living - Conditioned	913 SF
Open Space - Unconditioned	64 SF



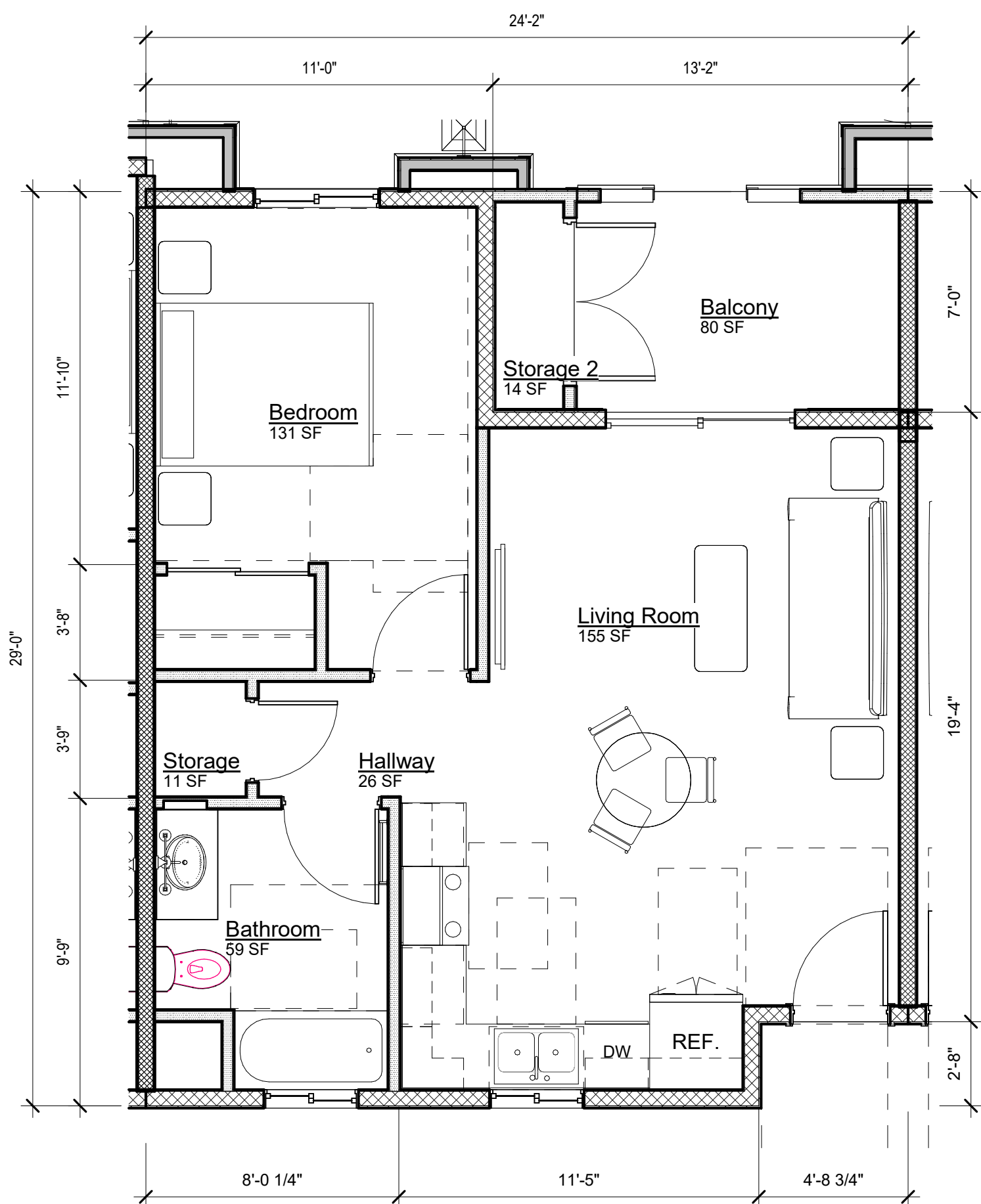
Typ. A Unit
1/4" = 1'-0"

Area Schedule Unit A	
unit	Area
Living - Conditioned	615 SF
Open Space - Unconditioned	68 SF



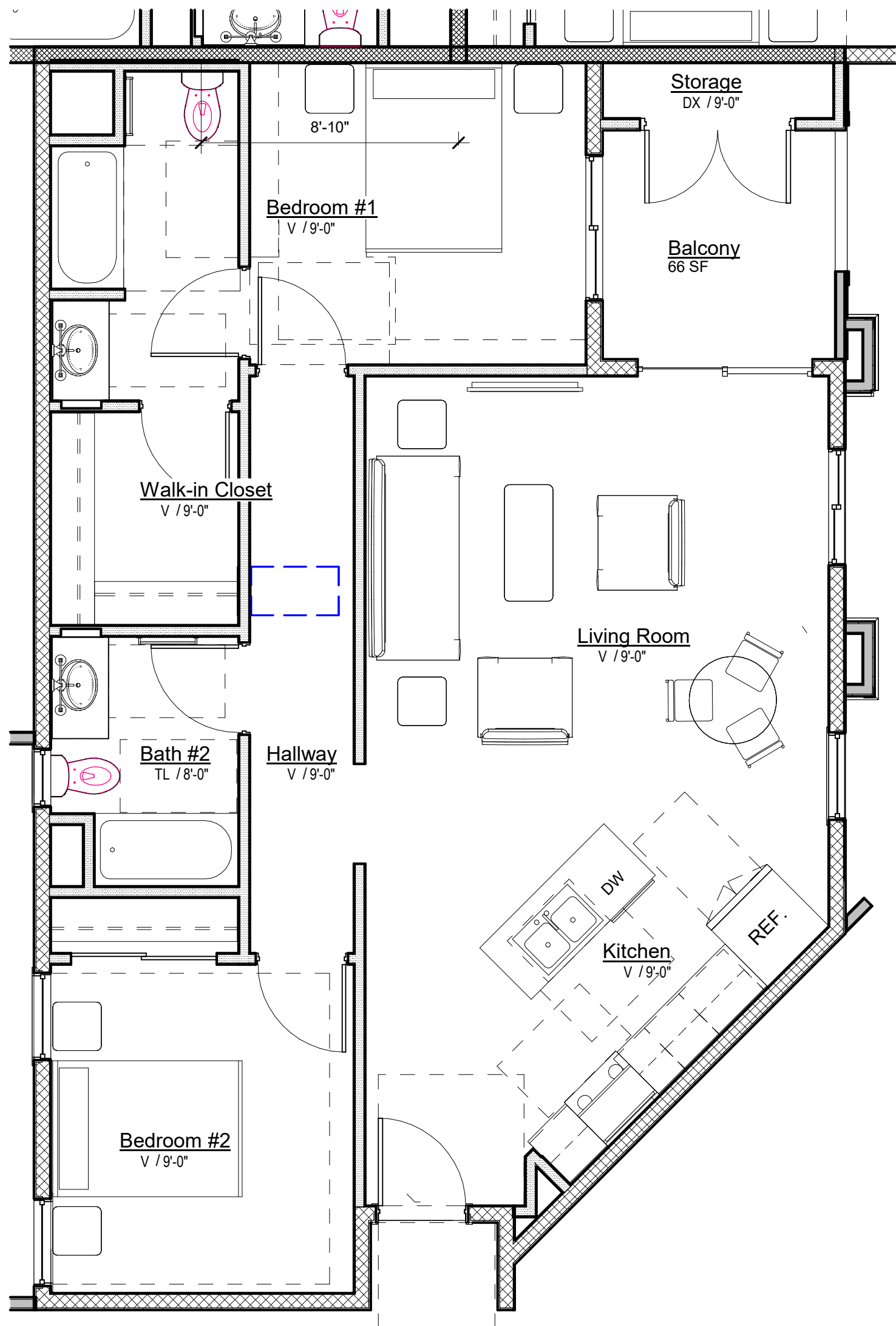
Typ. ADU
1/4" = 1'-0"

Area Schedule ADU	
unit	Area
Living - Conditioned	601 SF
Open Space - Unconditioned	80 SF



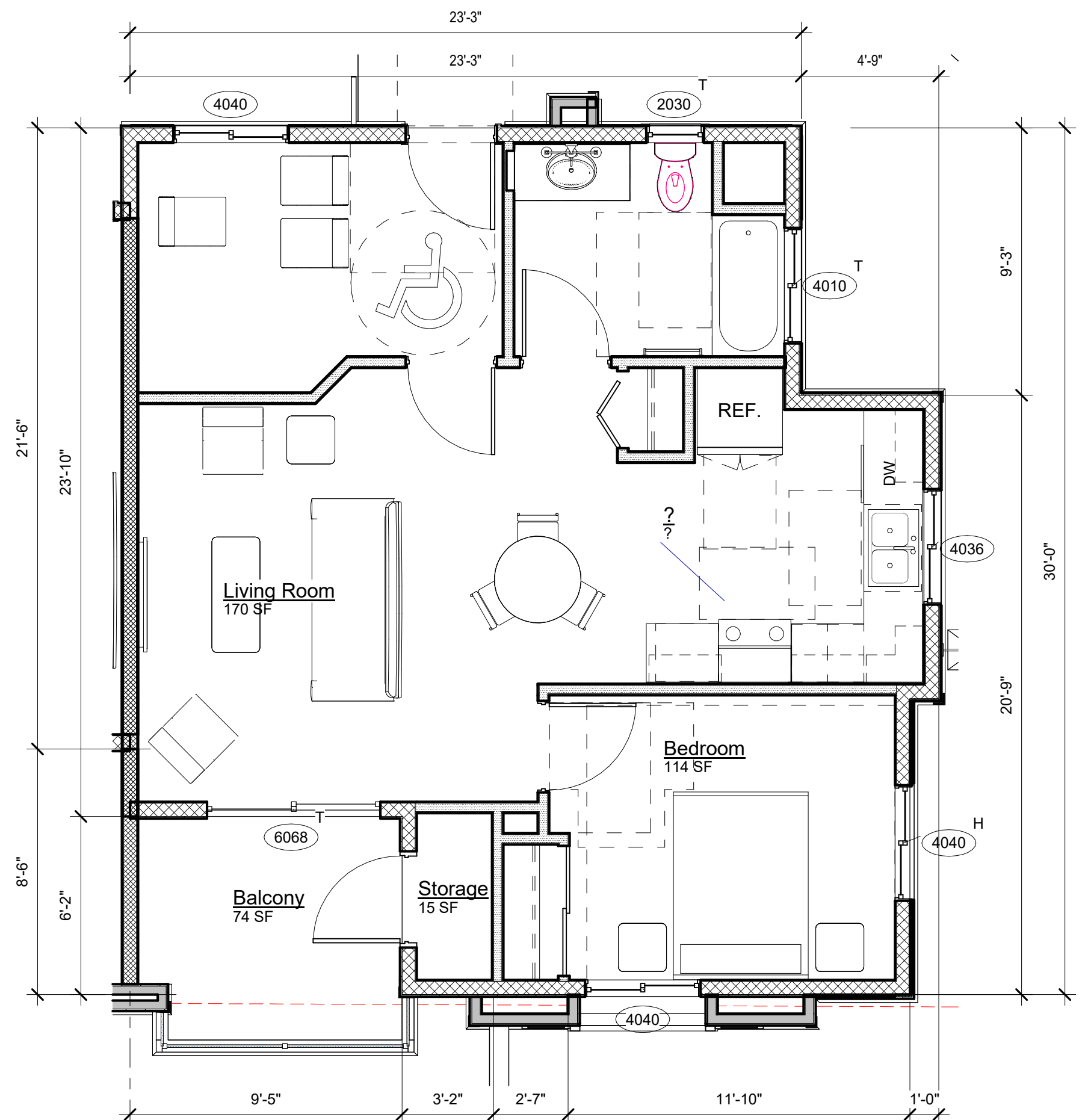
Typ. C-1 Unit
1/4" = 1'-0"

Area Schedule Unit C-1	
Living Space	614 SF
Private open space	74 SF



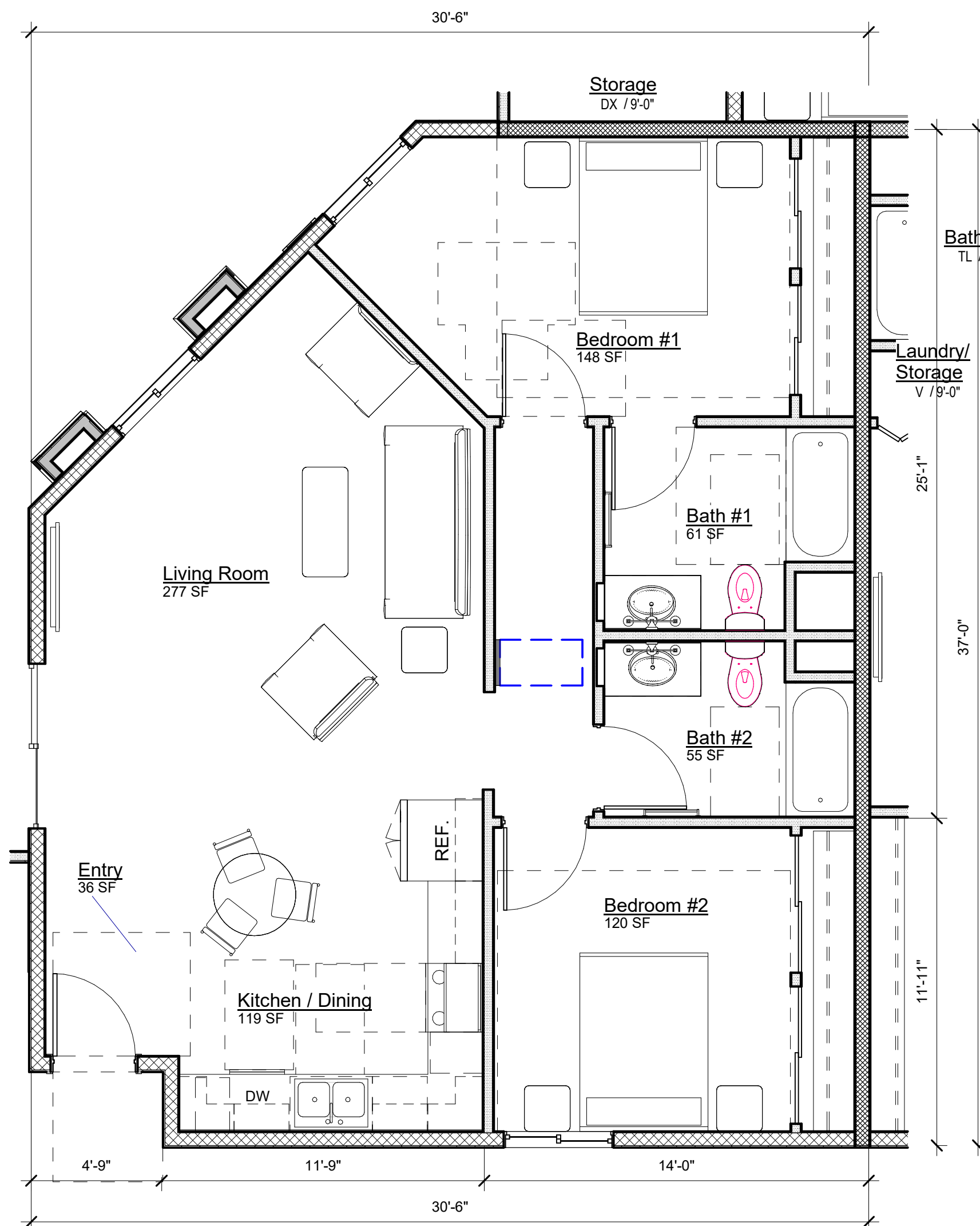
Typ. D-1 Unit
1/4" = 1'-0"

Area Schedule Unit D	
Unit	Area
Living - Conditioned	1,029 SF
Open Space - Unconditioned	66 SF



Manager's Unit
1/4" = 1'-0"

Manager's unit / Office	
Living Space	772 SF
Office	131 SF
Manager's space	596 SF
Private open space	77 SF



Typ. D-2 Unit
1/4" = 1'-0"

Area Schedule Unit D-2	
Unit	Area
Living - Conditioned	1,033 SF
Open Space - Unconditioned	80 SF



Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336
19 Nov. 2025
22-4474

Typ. Unit Floor Plans
PL3



Front Elevation - South
1/4" = 1'-0"

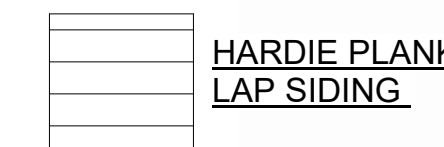


Right Elevation - East
1/4" = 1'-0"

Material Schedule

KEY COLOR (TO MATCH), DESCRIPTION

1A	ROOFING -	EAGLE-BEL AIR	-	4595 DARK CHARCOAL
2A	FASCIA/TRIM -	DUNN EDWARDS PAINT -	DARK ENGINE "DE6350"	
3B	FIBER CEMENT SIDING -	JAMES HARDIE	-	MONTEREY TAUPE
3C	FIBER CEMENT SIDING -	JAMES HARDIE	-	NIGHT GRAY
3W	FIBER CEMENT SIDING -	JAMES HARDIE	-	ARCTIC WHITE



HARDIE PLANK
LAP SIDING



HARDIE PANEL VERTICAL
SIDING & BATTEN



HARDIE ARCHITECTURAL
PANEL - FINE SAND

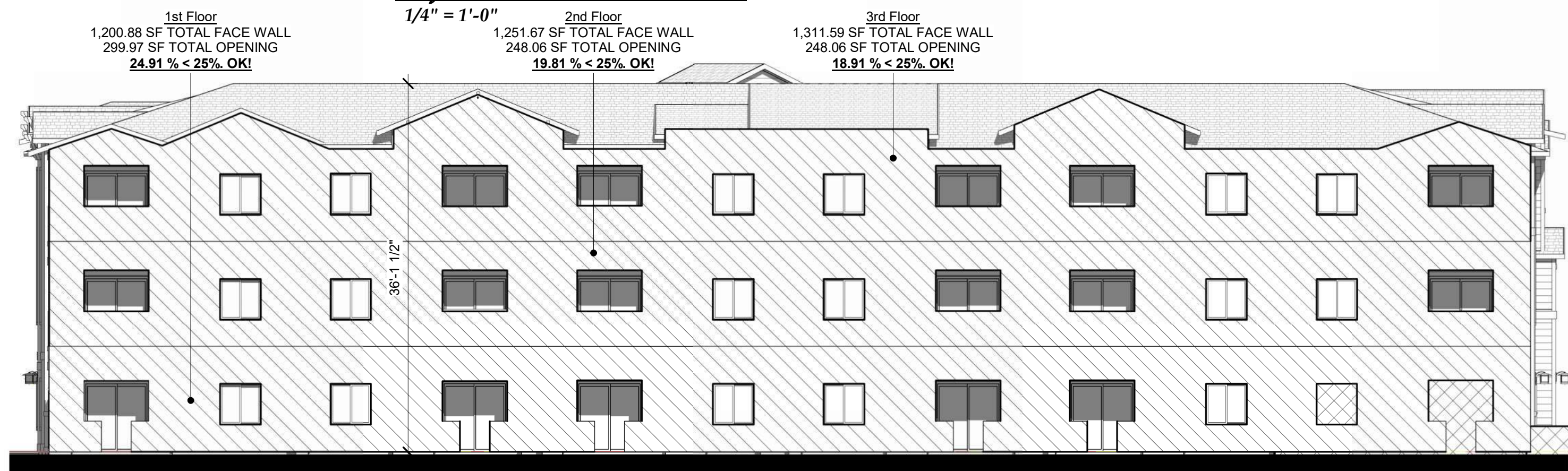
Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
16 Sep. 2024		
22-4474		
Exterior Elevations		PL4



Rear Elevation - North
1/4" = 1'-0"



Left Elevation - West
1/4" = 1'-0"

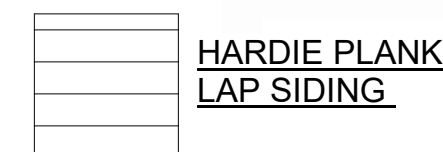


Left Elevation - West (25% Max. Opening)

Material Schedule

KEY COLOR (TO MATCH), DESCRIPTION

1A ROOFING -	EAGLE-BEL AIR	-	4595 DARK CHARCOAL
2A FASCIA/TRIM -	DUNN EDWARDS PAINT -	DARK ENGINE "DE6350"	
3B FIBER CEMENT SIDING -	JAMES HARDIE	-	MONTEREY TAUPE
3C FIBER CEMENT SIDING -	JAMES HARDIE	-	NIGHT GRAY
3W FIBER CEMENT SIDING -	JAMES HARDIE	-	ARCTIC WHITE



HARDIE PLANK
LAP SIDING



HARDIE PANEL VERTICAL
SIDING & BATTEN

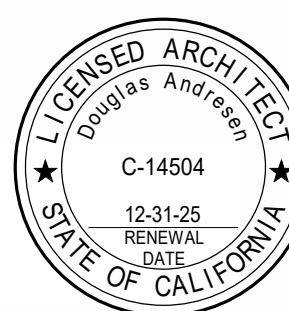


HARDIE ARCHITECTURAL
PANEL - FINE SAND

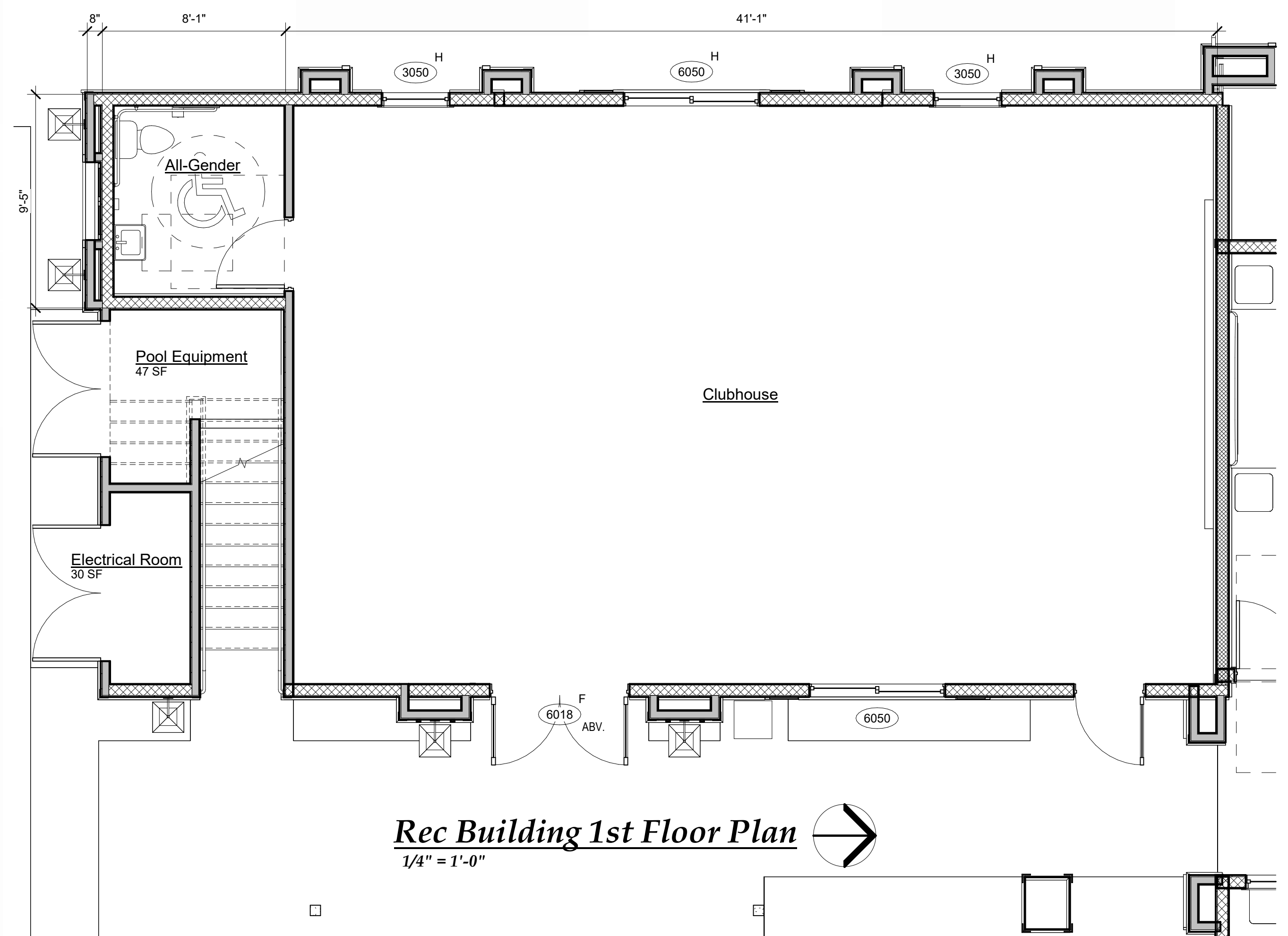
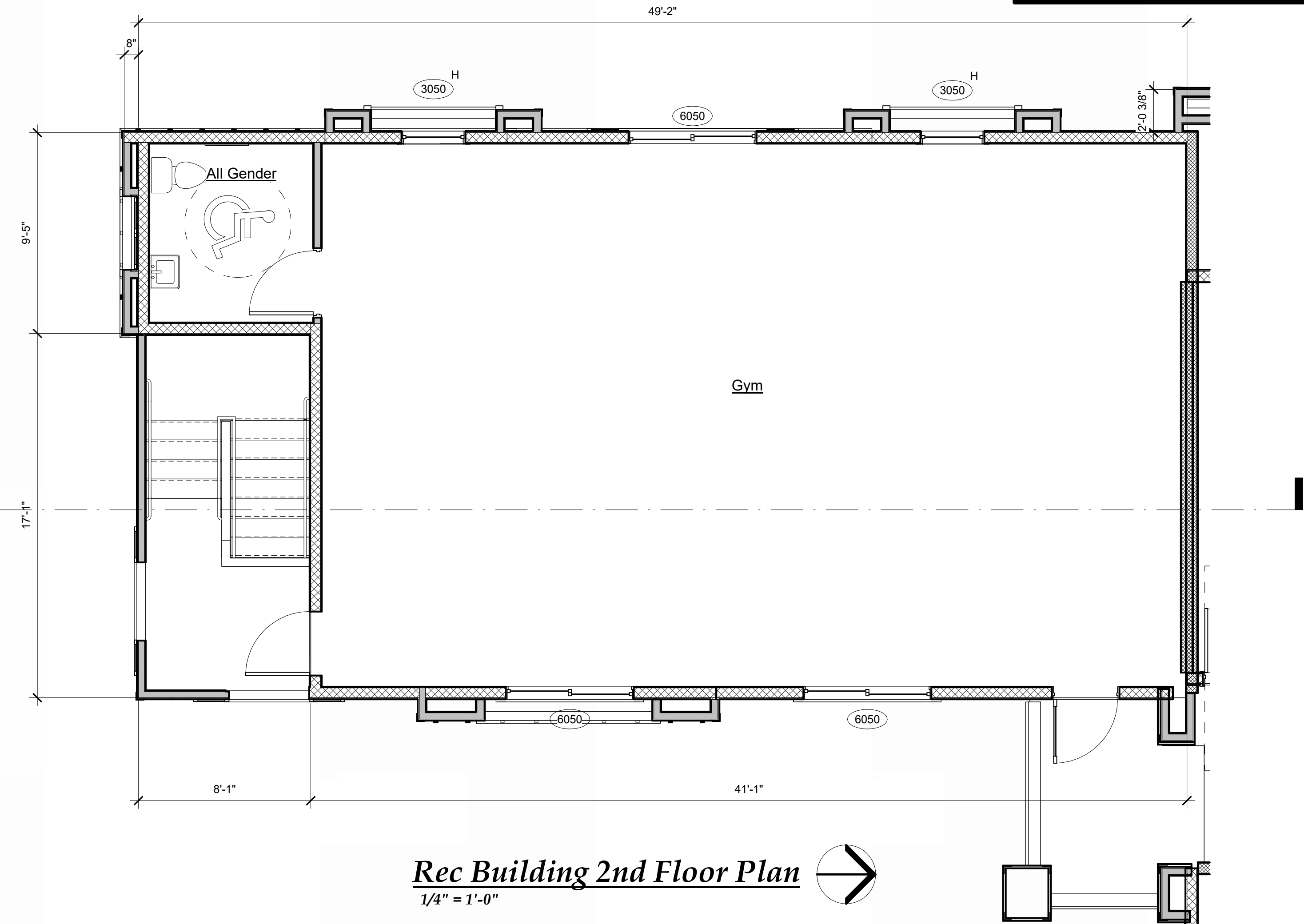
Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336

16 Sep. 2024

22-4474




Exterior Elevations PL5



Material Schedule

KEY COLOR (TO MATCH), DESCRIPTION

1A	ROOFING -	EAGLE-BEL AIR	-	4595 DARK CHARCOAL
2A	FASCIA/TRIM -	DUNN EDWARDS PAINT -		DARK ENGINE "DE6350"
3B	FIBER CEMENT SIDING -	JAMES HARDIE	-	MONTEREY TAUPE
3C	FIBER CEMENT SIDING -	JAMES HARDIE	-	NIGHT GRAY
3W	FIBER CEMENT SIDING -	JAMES HARDIE	-	ARCTIC WHITE

	<u>HARDIE PLANK LAP SIDING</u>		<u>HARDIE PANEL VERTICAL SIDING & BATTEN</u>		<u>HARDIE ARCHITECTURAL PANEL - FINE SAND</u>
---	------------------------------------	---	--	---	---

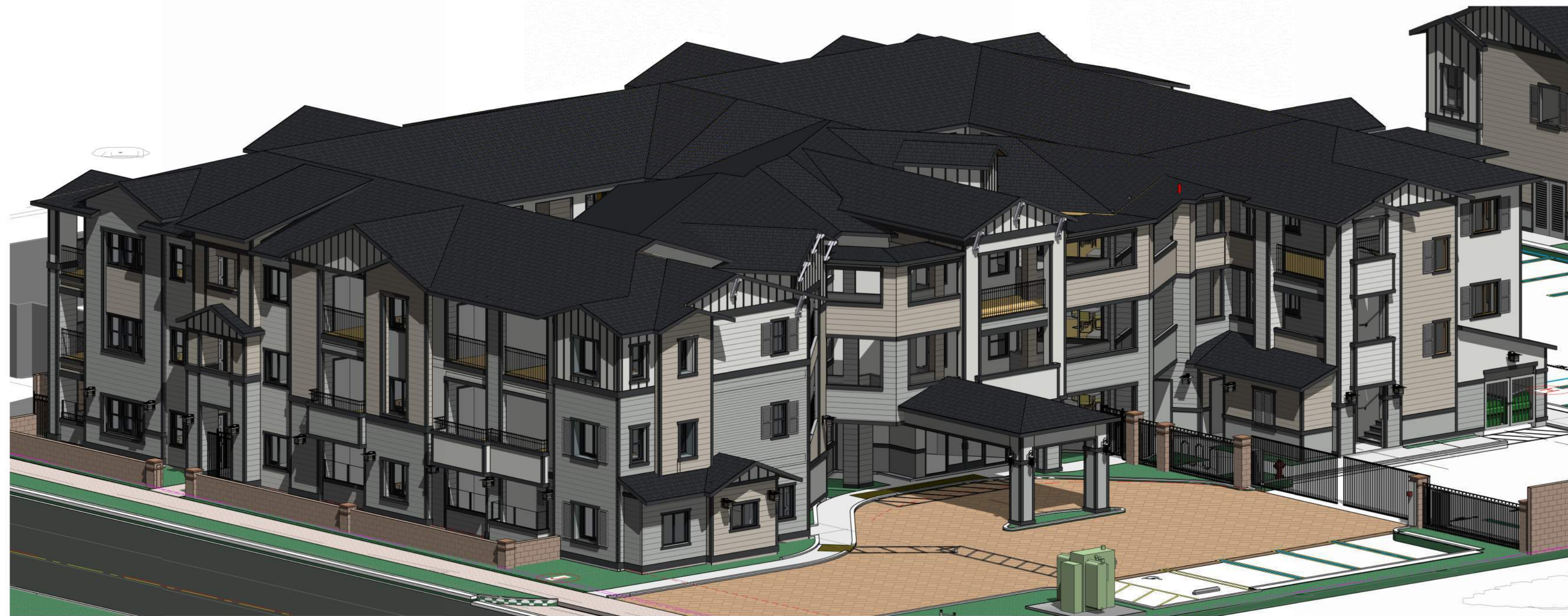
Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336

16 Sep. 2024

22-4474

Rec Building

PL6



Aerial View



Entry View



Rear View



Parking Lot View



Street View



Street View



ANDRESEN
ARCHITECTURE
INC.
17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336	
16 Sep. 2024	12-31-25 RENEWAL DATE
22-4474	



3D Views

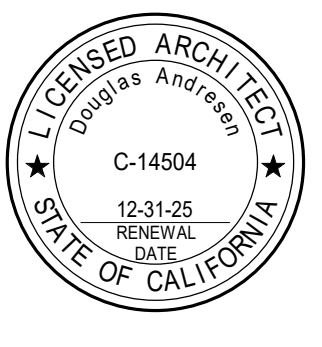


PL7

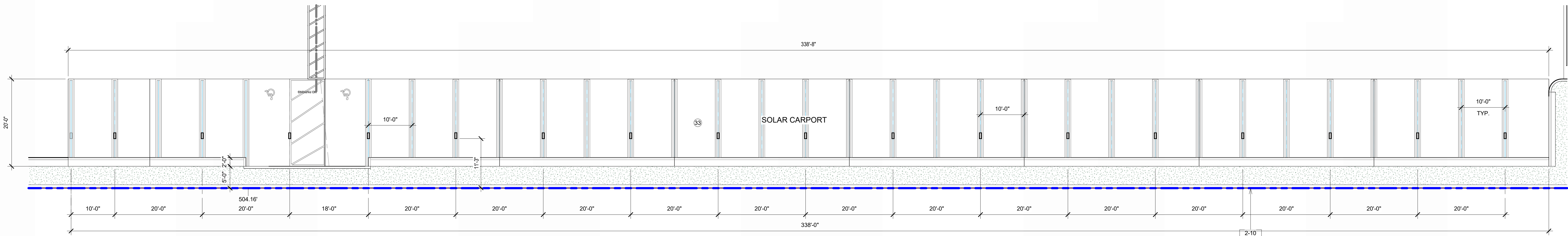


Aerial View (North/West)

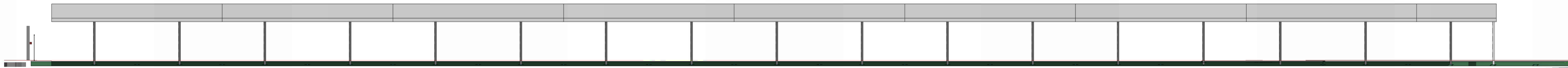


Rear View (South/East)

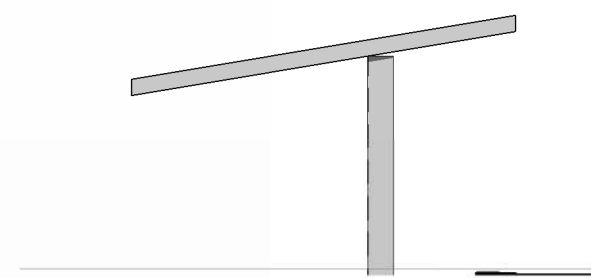
Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
16 Sep. 2024		
22-4474		
Renderings		PL8



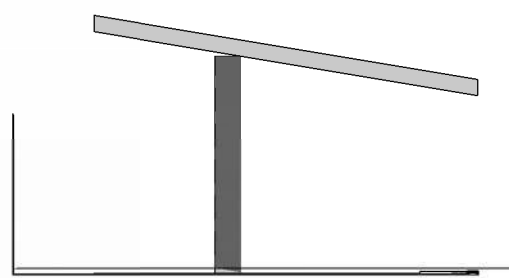
Solar Carport Plan
1" = 10'-0"



Solar Carport Front (West) Elevation
1" = 10'-0"



Solar Carport Left (South) Elevation
1" = 10'-0"



Solar Carport Right (North) Elevation
1" = 10'-0"

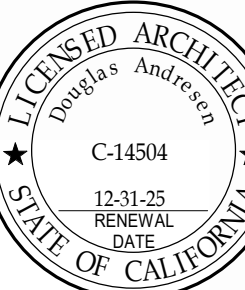


ANDRESEN
ARCHITECTURE
INC.
17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

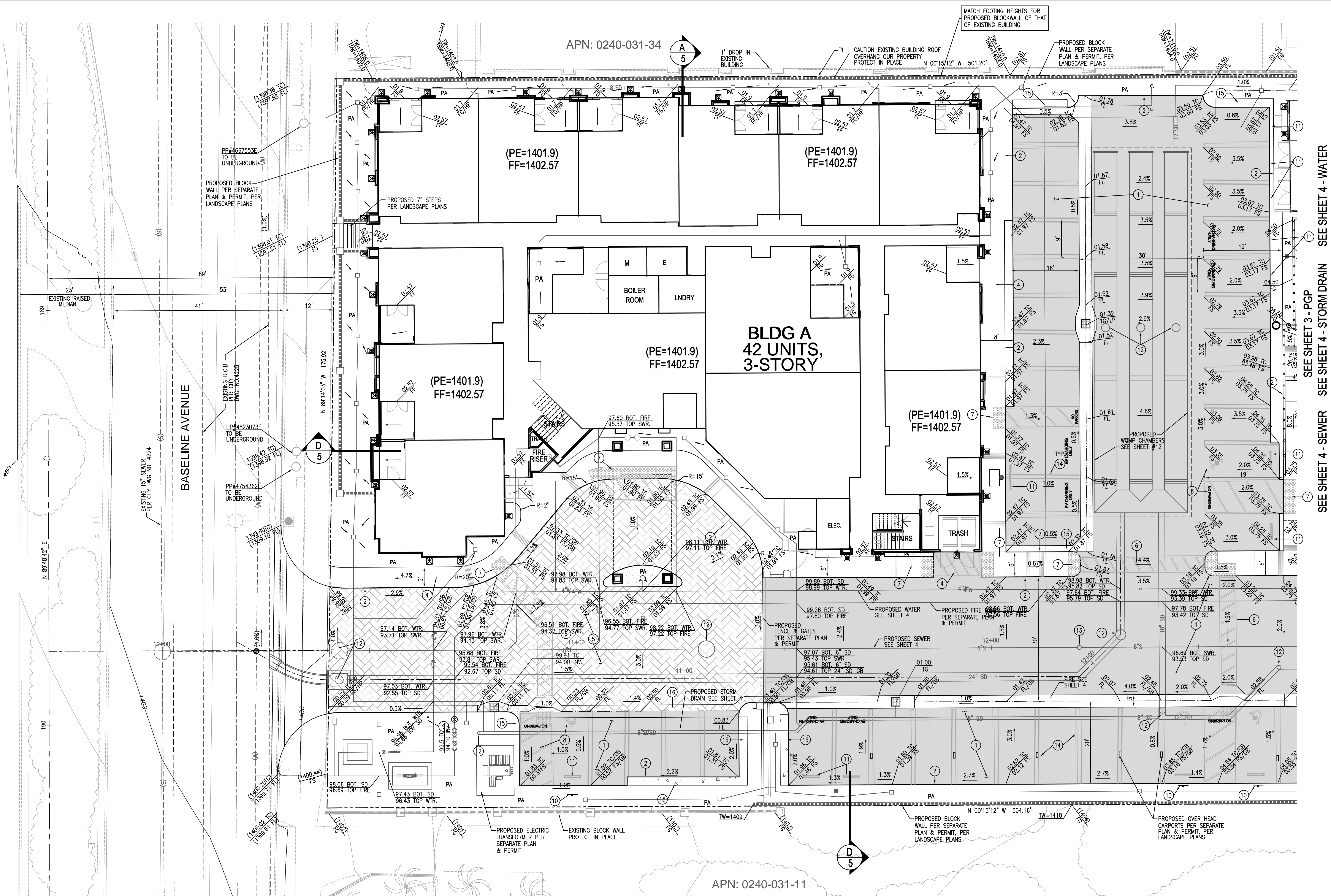
Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336

30 Aug. 2024	▲
22-4474	▲

Solar Carport

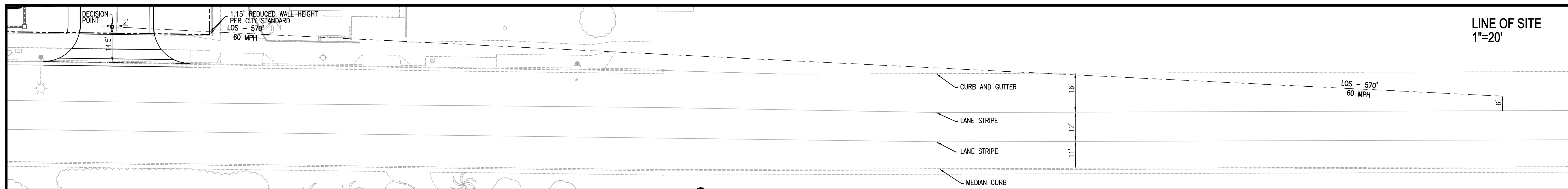


PL8



PRECISE GRADING CONSTRUCTION NOTES

1. CONSTRUCT 3" AGGREGATE BASE OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS.
2. CONSTRUCT 6" CURB ONLY, PER CITY STD. PLAN NO. 1000.
3. CONSTRUCT 6" PCC CURB & GUTTER PER CITY STD. PLAN NO. 1000.
4. CONSTRUCT 4" PCC SIDEWALK PER CITY STD. PLAN NO. 1006.
5. CONSTRUCT CONCRETE PAVERS OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS (SEE LANDSCAPE FOR ADDITIONAL INFORMATION).
6. CONSTRUCT HANDICAP PATH OF TRAVEL PER DETAIL 1 ON SHEET 5.
7. CONSTRUCT CURB RAMP WITH TRUNCATED DOME PER DETAIL 2 ON SHEET 5.
8. CONSTRUCT HANDICAPPED PARKING STALL & STRIPING PER DETAIL 3 ON SHEET 5.
9. CONSTRUCT UNAUTHORIZED PARKING SIGNAGE PER DETAIL 4 ON SHEET 5.
10. CONSTRUCT HANDICAPPED SIGNAGE PER DETAIL 5 ON SHEET 5.
11. CONSTRUCT WHEEL STOP.
12. ADJUST MANHOLE FRAME & COVER TO GRADE PER CITY STD. PLAN 2000.
13. ADJUST SEWER TERMINAL CLEANOUT TO GRADE PER CITY OF FONTANA STD. 2004.
14. CONSTRUCT PARKING STALL STRIP PER CITY OF FONTANA STD.
15. CONSTRUCT 24" CONCRETE BAND.
16. CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 6 ON SHEET NO. 6.



REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

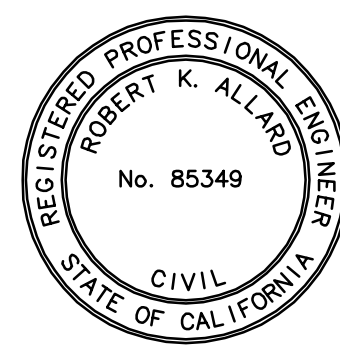
SHOULD CONSTRUCTION OF REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT

Prepared For:
SPIEGEL DEVELOPMENT, INC.

23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
(818) 404-1443

BASIS OF BEARINGS:
THE BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE V, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 (2017.50 EPOCH) AND WERE DETERMINED BY STATIC GPS TIES TO TWO CONTINUOUS GPS STATIONS (COPS) REFERRED TO AS "NTHS" AND "WEP" BEARING BETWEEN BOTH STATIONS BEING NORTH 84°19'30" WEST BASED ON POSITIONS PUBLISHED IN THE CALIFORNIA SPATIAL REFERENCE CENTER.
BENCHMARK:
BENCHMARK ID: CITY OF FONTANA #407
DESCRIPTION: PK NAIL IN WEST END SW CR CYPRESS & MILLER
ELEVATION: 1356.5 FEET (NGVD 29)

ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16866 Seville Avenue
Fontana, California 92335
Ph. (909) 356-1815 Fax (909) 356-1795
Robert K. Allard, R.C.E. 85349
7/21/25
Date

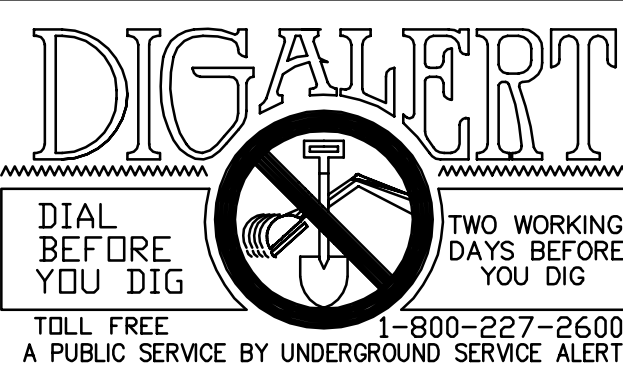


CITY OF FONTANA, CALIFORNIA
PRECISE GRADING AND PAVING PLAN

16180 BASELINE AVENUE

DRAWN BY: CV	SCALE: AS NOTED
DESIGNED BY: RJA	DATE: September, 2025
CHECKED BY: RJA	DRAWING NO.: 2
	12

Filename: I:\Spiegel Development\Baseline\DWG\FINAL DESIGN\PRECISE GRADE\PRECISE GRADING_02-PG.dwg



REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

SHOULD CONSTRUCTION OF REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT

Prepared For:
SPIEGEL DEVELOPMENT, INC.

23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
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BASIS OF BEARINGS:
THE BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE V, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 (2017.50 EPOCH) AND WERE DETERMINED BY STATIC GPS TIES TO TWO CONTIGUOUS GPS STATIONS (COPS) REFERRED TO AS "NTHS" AND "EWEP" BEARING BETWEEN BOTH STATIONS BEING NORTH 84°19'30" WEST BASED ON POSITIONS PUBLISHED IN THE CALIFORNIA SPATIAL REFERENCE CENTER.
BENCHMARK:
BENCHMARK ID: CITY OF FONTANA #407
DESCRIPTION: PK NAIL IN WEST END SW CR CYPRESS & MILLER
ELEVATION: 1356.59 FEET (NGVD 29)

Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16866 Seville Avenue
Fontana, California 92335
Ph. (909) 356-1815 Fax (909) 356-1795
Robert K. Allard, R.C.E. 85349
7/21/25
Date

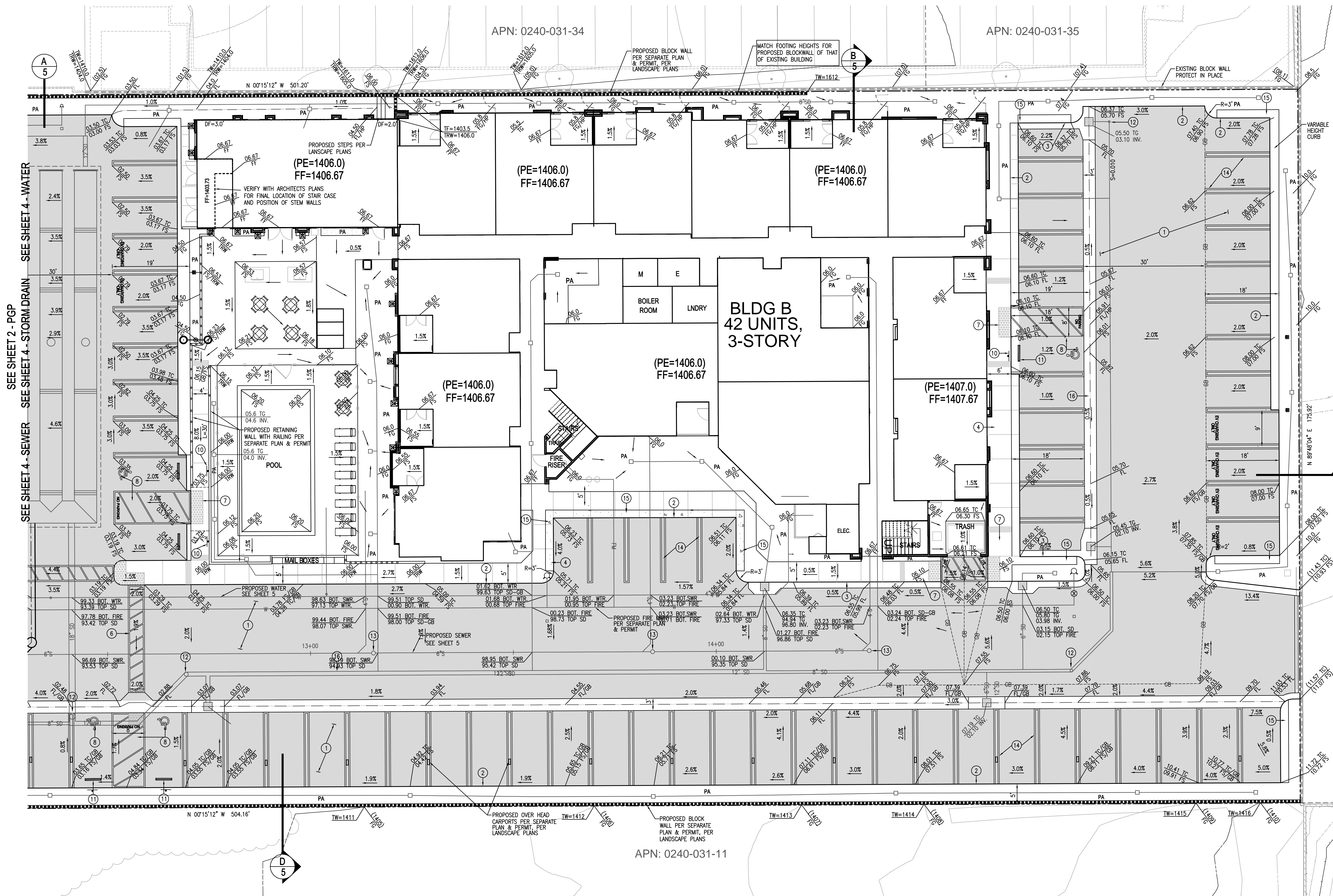


CITY OF FONTANA, CALIFORNIA
PRECISE GRADING AND PAVING PLAN

16180 BASELINE AVENUE

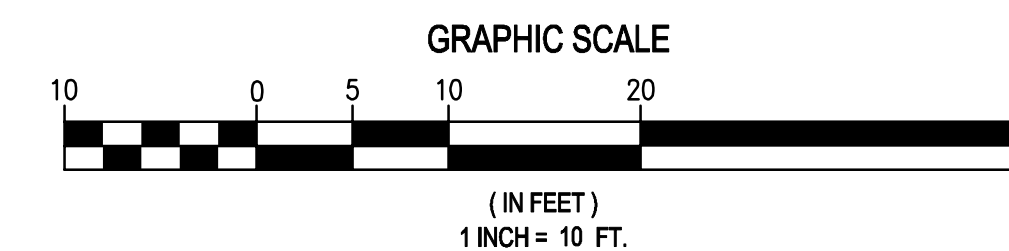
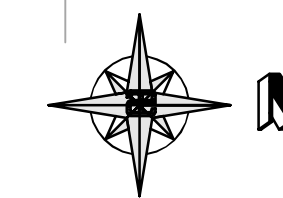
DRAWN BY:
DESIGNED BY:
CHECKED BY:
RJA

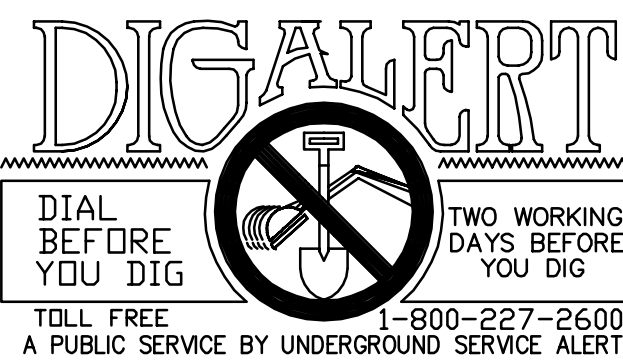
SCALE:
AS NOTED
DATE:
July, 2025
DRAWING NO.:
3
12



PRECISE GRADING CONSTRUCTION NOTES

1. CONSTRUCT 3" AC PAVEMENT OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS.
2. CONSTRUCT 6" CURB ONLY, PER CITY STD. PLAN NO. 1000
3. CONSTRUCT 6" PCC CURB & GUTTER PER CITY STD. PLAN NO. 1000
4. CONSTRUCT 4" PCC SIDEWALK PER CITY STD. PLAN NO. 1006
5. CONSTRUCT CONCRETE PAVERS OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS (SEE LANDSCAPE FOR ADDITIONAL INFORMATION)
6. CONSTRUCT HANDICAP PATH OF TRAVEL PER DETAIL 1 ON SHEET 5
7. CONSTRUCT CURB RAMP WITH TRUNCATED DOME PER DETAIL 2 ON SHEET 5
8. CONSTRUCT HANDICAPPED PARKING STALL & STRIPING PER DETAIL 3 ON SHEET 5
9. CONSTRUCT UNAUTHORIZED PARKING SIGNAGE PER DETAIL 4 ON SHEET 5
10. CONSTRUCT HANDICAPPED SIGNAGE PER DETAIL 5 ON SHEET 5
11. CONSTRUCT WHEEL STOP
12. ADJUST MANHOLE FRAME & COVER TO GRADE PER CITY STD. PLAN 2000
13. ADJUST SEWER TERMINAL CLEANOUT TO GRADE PER CITY OF FONTANA STD. 2004
14. CONSTRUCT PARKING STALL STRIP PER CITY OF FONTANA STD.
15. CONSTRUCT 24" CONCRETE BAND
16. CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 6 ON SHEET NO. 6





REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

SHOULD CONSTRUCTION OF REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT

Prepared For:
SPIEGEL DEVELOPMENT, INC.

23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
(818) 404-1443

BASIS OF BEARINGS:
THE BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE V, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 (2017.50 EPOCH) AND WERE DETERMINED BY STATIC GPS TIES TO TWO CONTINUOUS GPS STATIONS (COPS) REFERRED TO AS "RTHS" AND "EWEP" BEARING BETWEEN BOTH STATIONS BEING NORTH 84°19'30" WEST BASED ON POSITIONS PUBLISHED IN THE CALIFORNIA SPATIAL REFERENCE CENTER.
BENCHMARK:
BENCHMARK ID: CITY OF FONTANA #407
DESCRIPTION: PK NAIL IN WEST END SW CR CYPRESS & MILLER
ELEVATION: 1356.59 FEET (NGVD 29)

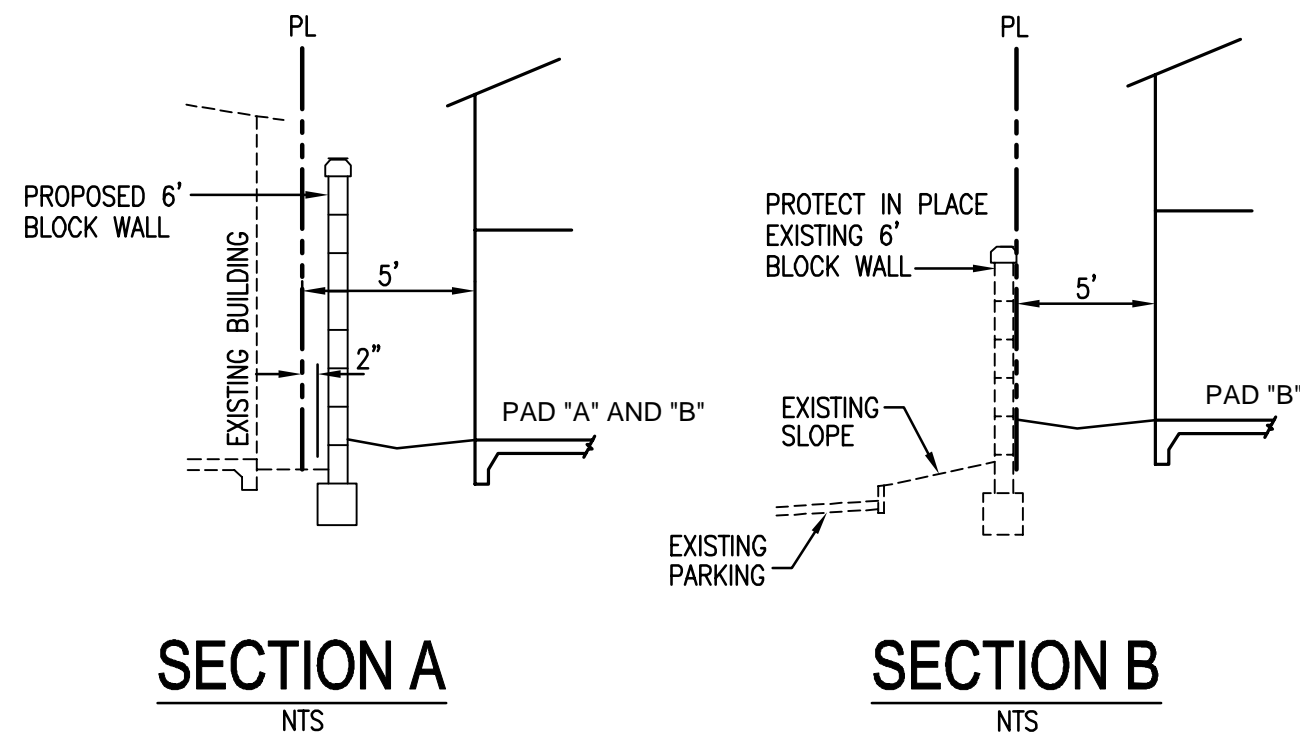
Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16866 Seville Avenue
Fontana, California 92335
Ph. (909) 356-1815 Fax (909) 356-1795
Robert K. Allard
Robert K. Allard, R.C.E. 85349
7/21/25
Date



CITY OF FONTANA, CALIFORNIA PRECISE GRADING AND PAVING PLAN			
DRAWN BY: CV		SCALE: AS NOTED	
DESIGNED BY: RJA		DATE: September, 2025	
CHECKED BY: RJA		DRAWING NO.: 6/12	

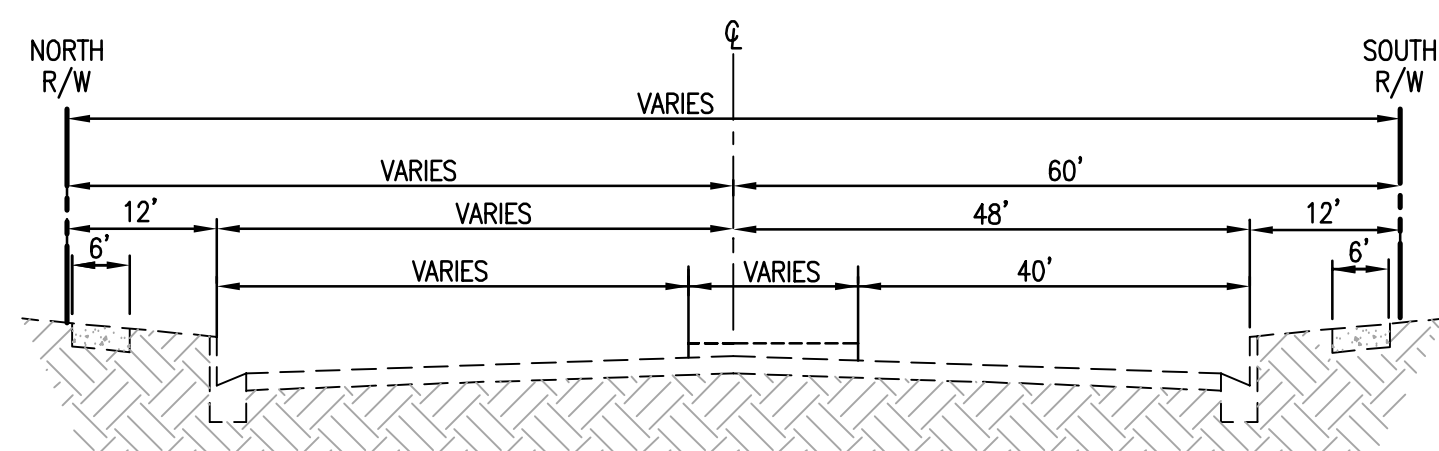
DETAILS

1 TYPICAL HANDICAP PATH OF TRAVEL DETAIL
NOT TO SCALE

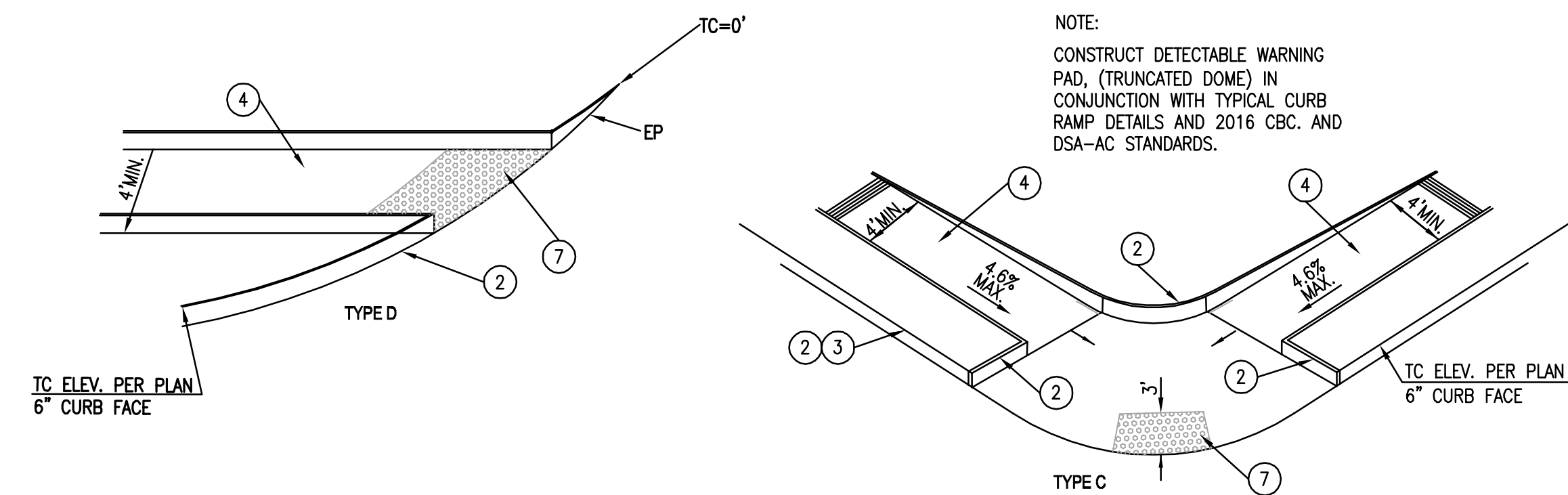


SECTION A
NTS

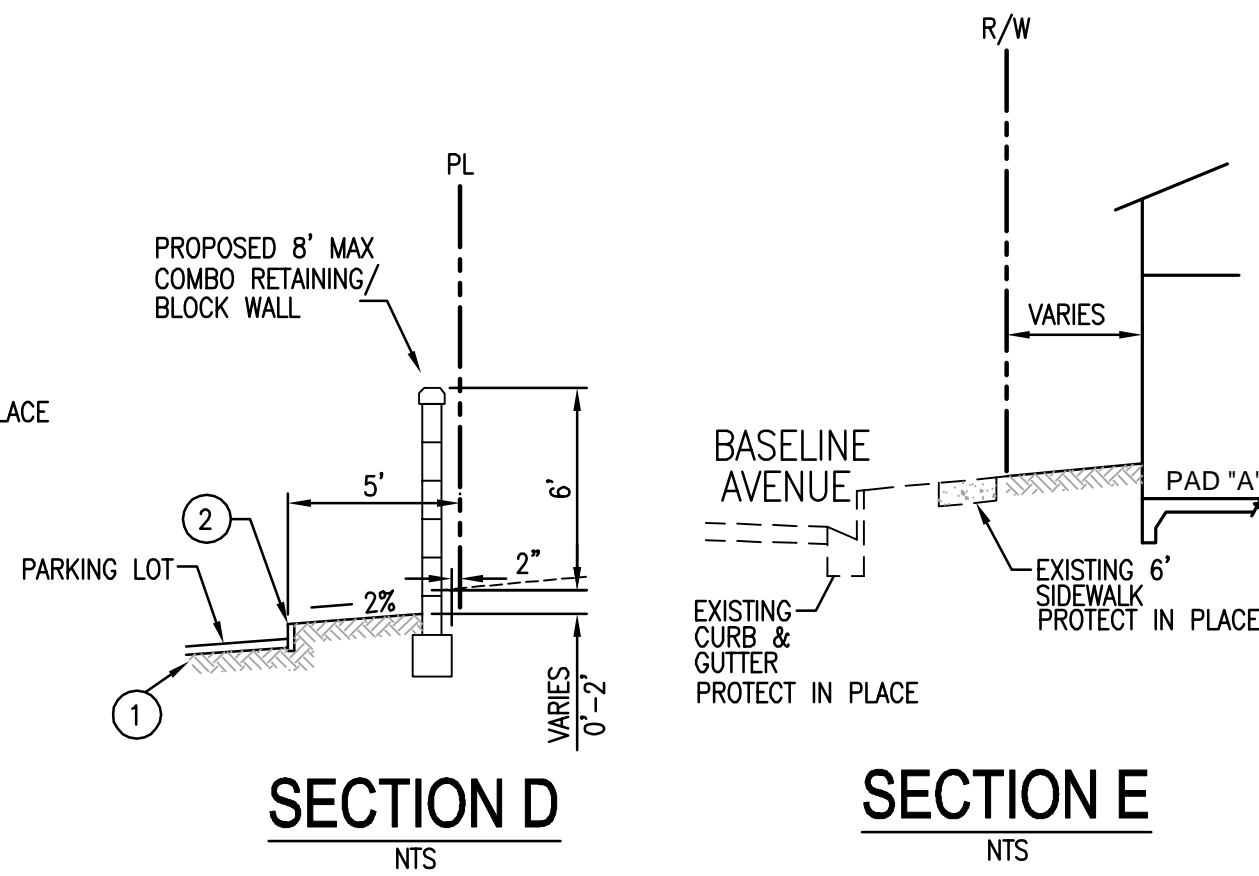
SECTION B
NTS



MODIFIED MAJOR HIGHWAY - 120' R/W
BASELINE AVENUE
NTS

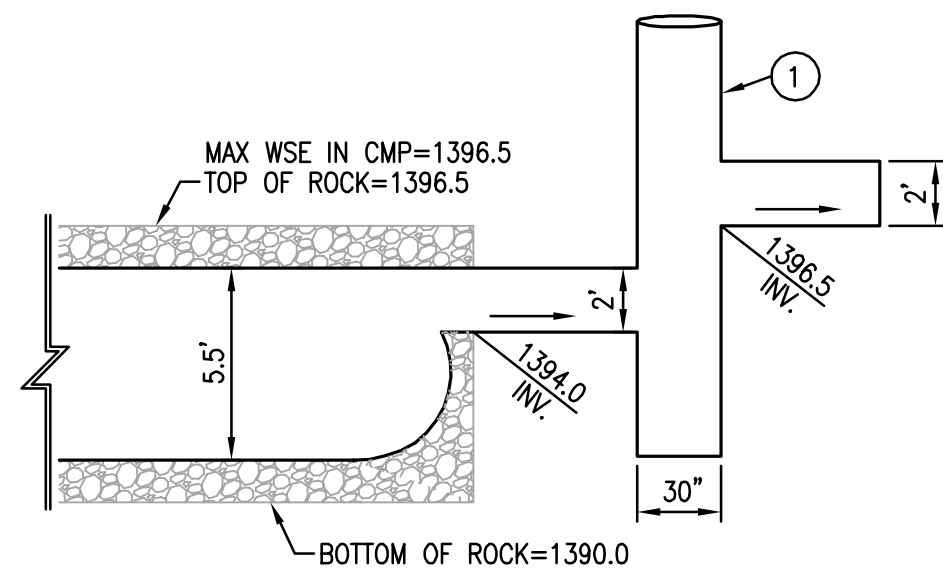


2 TYPICAL CURB RAMP DETAILS
WITH DETECTABLE WARNINGS
TYPE A-E
NOT TO SCALE



SECTION D
NTS

SECTION E
NTS



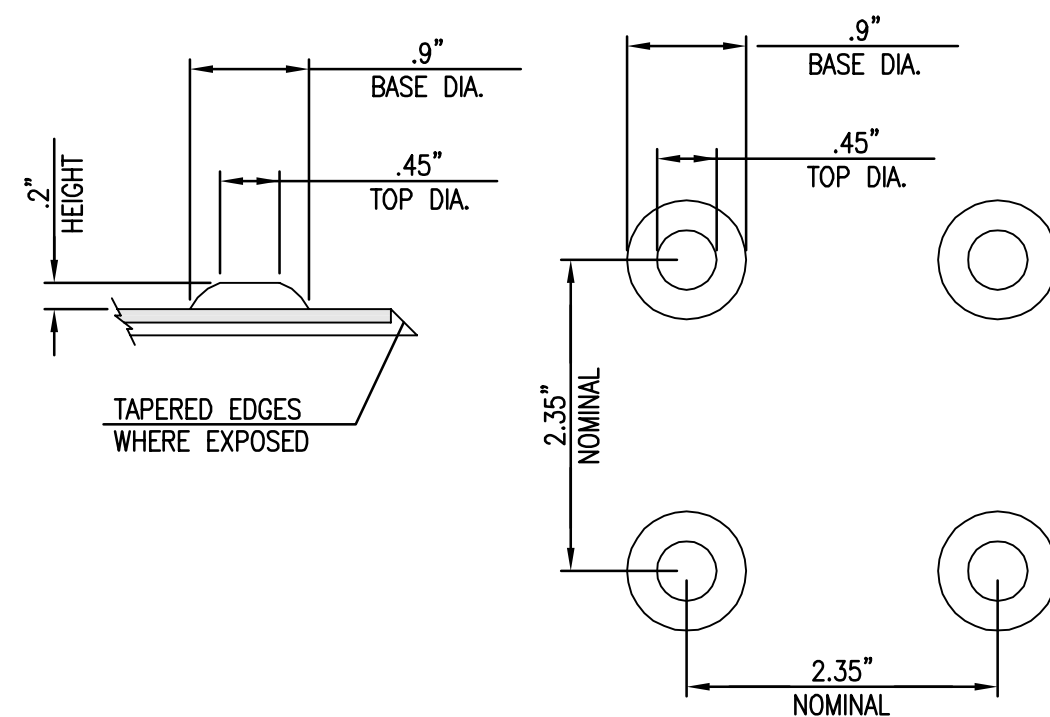
30" ADS NYLOPLAST DRAIN BASIN
CHAMBER OUTLET DETAIL
NTS

NOTE:
CONSTRUCT HANDICAPPED PARKING AND SIGNAGE IN CONJUNCTION WITH TYPICAL DETAILS AND 2022 CBC.

PRECISE GRADING CONSTRUCTION NOTES

QUANTITIES
1 CONSTRUCT 3" AC PAVEMENT OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS: 34,337 LF
2 CONSTRUCT 6" CURB ONLY, PER CITY STD. PLAN NO. 1000 1,658 LF
3 CONSTRUCT 6" PCC CURB & GUTTER PER CITY STD. PLAN NO. 1000 94 LF
4 CONSTRUCT 4" PCC SIDEWALK PER CITY STD. PLAN NO. 1006 3,686 SF
5 CONSTRUCT CONCRETE PAVERS OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS (SEE LANDSCAPE FOR ADDITIONAL INFORMATION) 4,314 SF
6 CONSTRUCT HANDICAP PATH OF TRAVEL PER DETAIL 1 ON SHEET 5 5 EA
7 CONSTRUCT CURB RAMP WITH TRUNCATED DOME PER DETAIL 2 ON SHEET 5 8 EA
8 CONSTRUCT HANDICAPPED PARKING STALL & STRIPING PER DETAIL 3 ON SHEET 5
9 CONSTRUCT UNAUTHORIZED PARKING SIGNAGE PER DETAIL 4 ON SHEET 5
10 CONSTRUCT HANDICAPPED SIGNAGE PER DETAIL 5 ON SHEET 5
11 CONSTRUCT WHEEL STOP 16 EA
12 ADJUST MANHOLE FRAME & COVER TO GRADE PER CITY STD. PLAN 2000 11 EA
13 ADJUST SEWER TERMINAL CLEANOUT TO GRADE PER CITY OF FONTANA STD. 2004 4 EA
14 CONSTRUCT PARKING STALL STRIP PER CITY OF FONTANA STD.
15 CONSTRUCT 24" CONCRETE BAND
16 CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 6 ON SHEET NO. 6 2,047 LF

TRUNCATED DOMES DETAIL



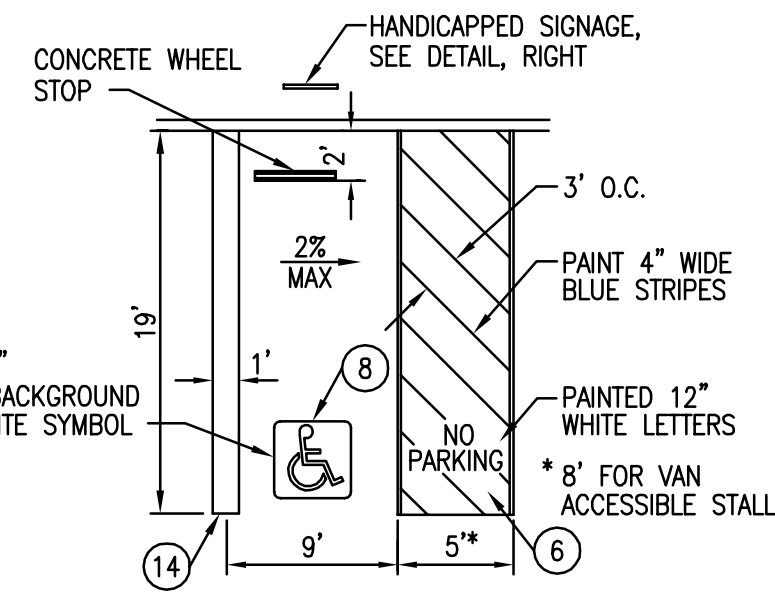
DETECTABLE WARNINGS

CURB RAMP - DETECTABLE WARNINGS AT CURB RAMP SHALL EXTEND 36" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND TO THE FULL WIDTH OF THE RAMP RUN LESS 2" MAX EACH SIDE - 11B-705.1.2.2. TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9" AT THE BASE TAPERING TO 0.45" AT THE TOP, A HEIGHT OF NOMINAL 0.2 INCH AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" IN COMPLIANCE WITH FIGURE 11B-705.1 THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN CCR, TITLE 24, PART 1, ARTICLES 2.3 AND 4.

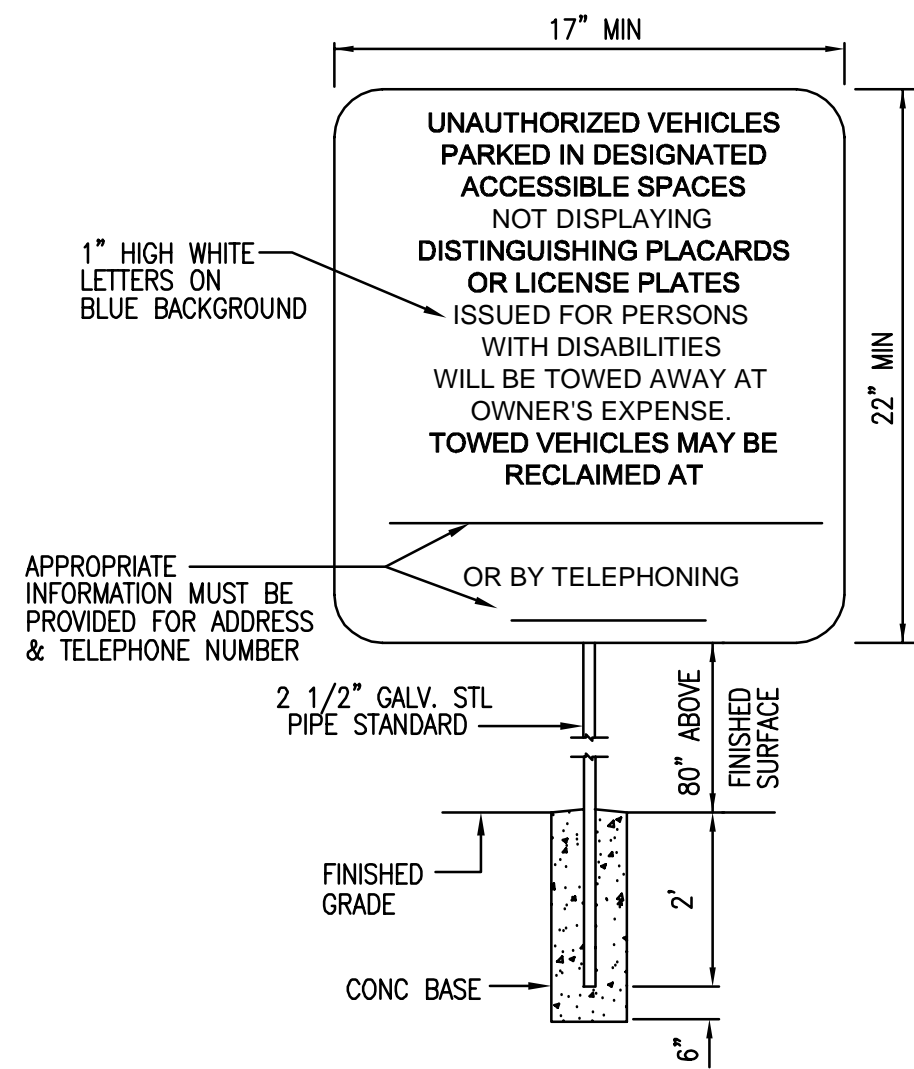
FOR ALL ZERO CURB FACE OR OTHER HAZARDOUS VEHICLE AREAS PER THE 2019 CBC 11B-247.1.2.5 - HAZARDOUS VEHICLE AREAS. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING COMPLYING WITH SECTIONS 11B-705.1.1 AND 11B-705.1.2.5

DETECTABLE WARNINGS MUST COMPLY WITH SECTION 11B705.1.1.3.1, THE DETECTABLE WARNINGS SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C

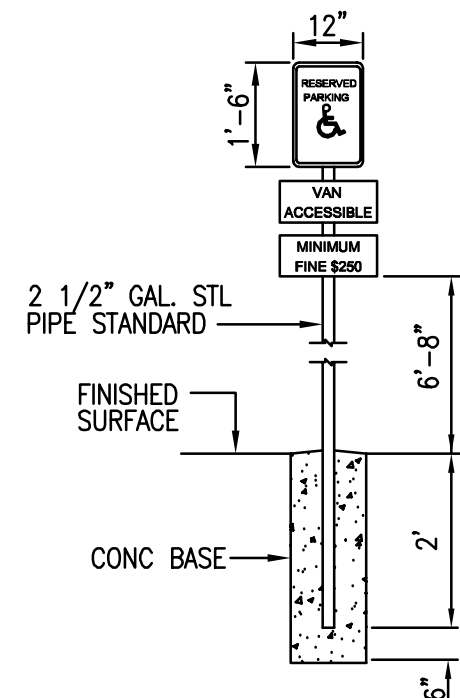
3 HANDICAPPED PARKING STALL AND STRIPING
NOT TO SCALE



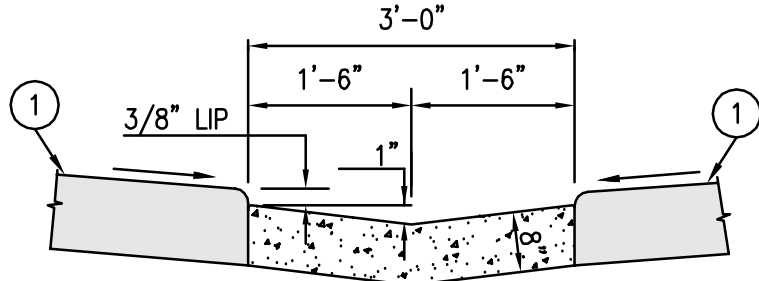
4 UNAUTHORIZED PARKING SIGNAGE
NOT TO SCALE



5 HANDICAPPED SIGNAGE
NOT TO SCALE



6 3' PCC RIBBON GUTTER DETAIL
NOT TO SCALE



PLANTING NOTES:

1. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
2. CONTRACTOR SHALL BE LIABLE FOR REMOVING AND REINSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS.
3. IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATING PRIOR TO PLANT MATERIALS.
4. TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE IRRIGATION COVERAGE TEST NO. 1 HAS BEEN APPROVED.
5. PLACE TREES BETWEEN IRRIGATION HEADS WHEREVER POSSIBLE.
6. SHREDDED MULCH INSTALLATION: INSTALL 3" LAYER SHREDDED MULCH IN ALL SHRUB AND GROUND COVER AREAS PER SPECIFICATIONS, UNLESS OTHERWISE INDICATED ON PLANS.
7. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE EXACT DUPLICATE OF ORIGINAL WORK OR PLANS, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
8. WHEREVER GROUND COVER AREAS ARE ADJACENT TO TURF INSTALL CONCRETE MOWSTRIP OR HEADERBOARD AS INDICATED ON DRAWINGS.
9. CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.

NOTE: PLANT QUALITY REQUIREMENTS

ALL PLANT MATERIALS SHALL BE FULL VIGOROUS & HEALTHY NURSERY STOCK - INCLUDING THE TOP OF PLANT AND THE ROOT SYSTEM. ALL PLANT MATERIALS SHALL MEET THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004). THE LANDSCAPE ARCHITECT MUST BE CONTACTED REGARDING ALL PLANT MATERIALS AS THEY ARRIVE ON-SITE, PRIOR TO THEIR INSTALLATION. THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIALS FOR INSTALLATION ON-SITE OR SHALL BE SENT REPRESENTATIVE PHOTOGRAPHS OF SAME. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT UNACCEPTABLE PLANT MATERIALS.

UNACCEPTABLE CONDITIONS FOR PLANTS IN GENERAL:

PLANT MATERIALS THAT ARE THE INCORRECT SPECIES.
PLANTS MATERIALS WITH APPARENT FUNGAL DISEASE (MILDEW, RUST, BLACK-SPOT, ETC.). PLANTS THAT ARE DEFOLIATED DUE TO STRESS OR DISEASE. FOLIAGE THAT IS CHLOROTIC, WIND OR FROST BURNED, OR IN ANY OTHER WAY DAMAGED.

UNACCEPTABLE CONDITIONS FOR ROOT SYSTEMS:

PLANTS WITH EXPOSED ROOTS, GIRDLED ROOTS, OVERGROWN OR UNDERSIZED ROOT SYSTEMS WILL BE CONSIDERED UNACCEPTABLE.

TREE SELECTION:

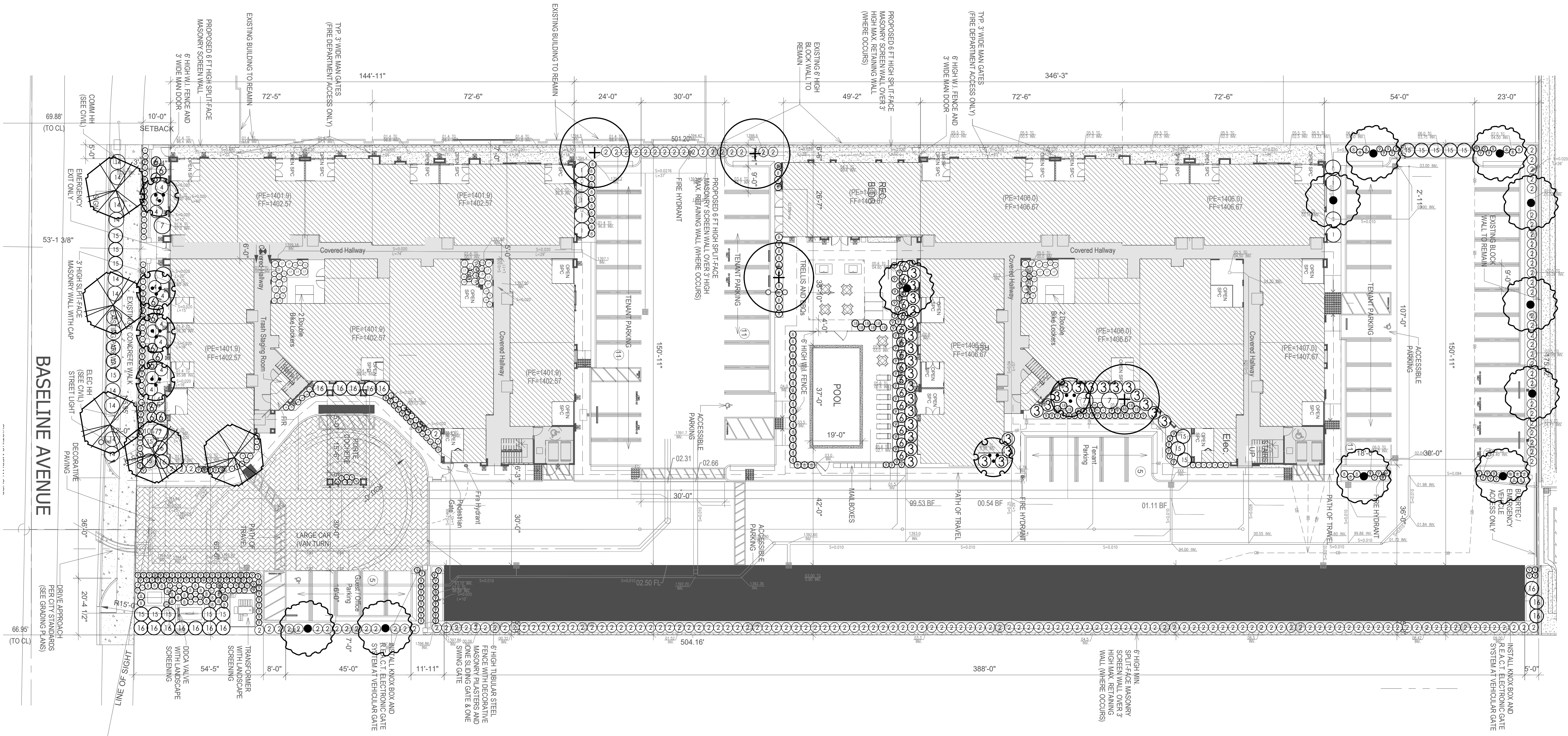
TREES ARE REQUIRED TO STAND ON THEIR OWN WITHOUT THE SUPPORT OF THE NURSERY STAKE. TREES MUST ALSO BE FREE OF DISEASE, INFESTATIONS, SIGNS OF HEAVY PRUNING WITHIN THE CANOPY, BROKEN PRIMARY LIMBS OR LEADERS, AND DAMAGE. NEW TREES PLANTED WITHIN THE PROJECT AREA ARE TO BE INSTALLED PER THE DETAIL BELOW. THE TREE PIT IS TO BE EXCAVATED TO MEASURE 3 X ROOT BALL AT THE FINISH GRADE SURFACE AND BE TAPERED TO ROOT BALL WIDTH AT PIT BOTTOM. DO NOT OVER-EXCAVATE THE TREE PIT DEPTH. AFTER TREE PLACEMENT THE TREE PIT IS TO BE BACKFILLED WITH CLEAN NATIVE SOIL ONLY. TREES ARE TO BE TRIPLE STAKE AS SHOWN ON DETAILS.

ROOT BARRIER:

USE LINEAL ROOT BARRIER WHEN TREE IS WITHIN 5' MIN. DISTANCE ADJACENT TO HARDSCAPE AREAS. ROOT BARRIERS SHALL BE INSTALLED IN SHEETS PARALLEL WITH HARDSCAPE W/ TOP EDGE PLACED 1" BELOW GRADE. ROOT BARRIER SHALL EXTEND THE EXPECTED LENGTH OF TREE CANOPY AS SHOWN PER PLAN. BARRIERS SHALL BE PLACED AT A SLIGHT ANGLE (75°) WITH BASE OF BARRIER DIRECTED UNDER HARDSCAPE & AWAY FROM TREE.

SOIL AMENDMENTS, TESTING AND PREPARATION:

AFTER COMPLETION OF FINE GRADE AND PRIOR TO SOIL PREPARATION, THE CONTRACTOR SHALL DOCUMENT SAMPLE LOCATIONS AND PROVIDE AGRONOMIC SOILS TEST FOR PLANTED AREAS (1 TEST PER 150 FT OF LINEAR PLANTER). CONTRACTOR SHALL SUBMIT TEST RESULTS TO THE PROJECT LANDSCAPE ARCHITECT AND AMEND THE SOIL PER SOIL LAB RECOMMENDATIONS.



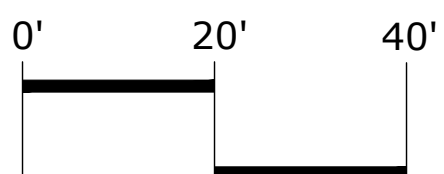
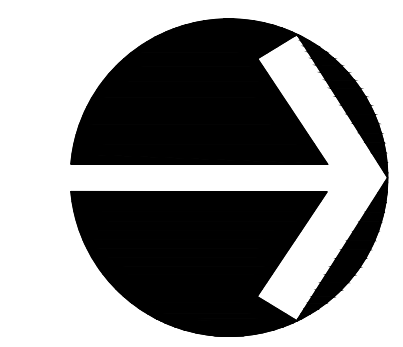
PLANT LEGEND

Symbol	Botanical / Common Name	Water Use	Height	Container / Min. caliper	Quantity
Trees					
	Cercis occidentalis WESTERN REDBUD	Mod	10-18' 10-18'	24" box 1.5"	6
	Olea europaea 'Swan Hill' SWAN HILL OLIVE	Low	25-30' 25-30'	24" box 1.5"	4
	Prosopis alba ARGENTINE MESQUITE	Low	30-40' 15-30'	24" box 1.5"	11
	Magnolia grandiflora 'Little gem' LITTLE GEM MAGNOLIA	Mod	25' 10-20'	36" box 2.5"	5

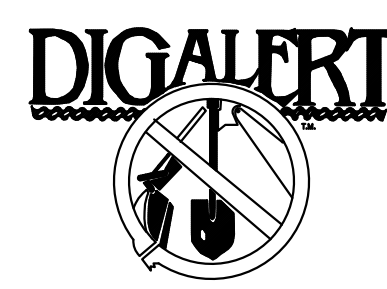
All trees to be min. 24" box. 20% of total trees must be 36" box.

Symbol	Botanical / Common Name	Water Use	Height	Container	Quantity
Shrubs/Groundcovers					
	Aeonium canariense GIANT VELVET ROSE	Low	2-3' 2-3'	1-gal	12
	Alyogyne huegelii BLUE HIBISCUS	Low	4-8' 4-8'	5-gal	5
	Anigozanthos 'Kanga Pink' DWARF PINK KANGAROO PAW	Low	12-14" 1-3'	1-gal	110
	Arbutus unedo 'Compacta' DWARF STRAWBERRY TREE	Low	6-8' 5-6'	5-gal	9
	Baccharis pilularis 'Twin Peaks' DWARF COYOTE BUSH	Low	2-3' 6-8'	1-gal	12
	Callistemon 'Little John' DWARF CALLISTEMON	Low	3-5' 4-6'	5-gal	21
	Grevillea lanigera 'Coastal Gem' WOOLY GREVILLEA	Low	1' 4-5'	1-gal	12
	Hesperaloe parviflora 'Perpa' BRAKELIGHTS RED YUCCA	Low	2-3' 2-3'	1-gal	84
	Ilex vomitoria 'Stroke's Dwarf' STROKE'S DWARF YAUPON HOLLY	Mod	2-3' 3-4'	1-gal	179
	Lantana camara 'Monike' TEENIE GENIE COMPACT LANTANA	Low	30" 30"	1-gal	190
	Olea europaea 'Montra' LITTLE OLIVE	Low	6-8' 4-5'	5-gal	33
	Salvia leucantha 'Santa Barbara' COMPACT MEXICAN BRUSH SAGE	Low	2-3' 3-4'	5-gal	28
	Westringia fruticosa Mundi LOW COAST ROSEMARY	Low	1-2' 4-6'	5-gal	17
	Clivia miniata 'Belgian hybrid Orange' CLIVIA	Mod	2' 2'	1-gal	36
	Carissa macrocarpa 'Tomlinson' TOMLINSON NATAL PUM	Mod	2-3' 3'	1-gal	31
3" Layer Stabilized Decomposed Granite over high-quality filter fabric Color: California Gold, or as approved by Owner.					1,658 SF

All planters to receive 3" layer shredded bark mulch.



LSPC25-0031



DIAL TOLL FREE
1-800-227-2600
AT LEAST THREE DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF
SOUTHERN CALIFORNIA



SHEET TITLE

PLANTING PLAN

June 19, 2025

DESCRIPTION JOB NO. 707

SHEET
L-3 of 5

RESOLUTION NO. PC 2025-____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING DESIGN REVIEW NO. 22-00057-R1 FOR SITE AND ARCHITECTURAL REVISIONS TO MODIFY THE ELEVATIONS, INCREASE THE NUMBER AND SIZE OF THE 2-BEDROOM UNITS AND REDUCE THE NUMBER OF 1-BEDROOM UNITS, REDUCE THE SQUARE FOOTAGE OF THE RECREATIONAL ROOM AND LANDSCAPING AREA, AND INCREASE THE SIZE OF THE CARPORT, PORTE COCHERE, AND TRELLIS AREA, FOR A PREVIOUSLY APPROVED 66-UNIT SENIOR APARTMENT COMPLEX LOCATED AT 16180 BASELINE AVENUE (APN: 0240-031-31), PURSUANT TO A CATEGORICAL EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION 15332.

WHEREAS, 16180 Baseline Avenue, also identified as Assessor Parcel Number (“APN”) 0240-031-31 (“Project Site”), was annexed from San Bernardino County into the City of Fontana on October 8, 1981; and

WHEREAS, on October 27, 2025, the City of Fontana (City”) received an application from Andresen Architecture Inc. (“Applicant”) for a Design Review (“DRP No. 22-00057-R1”) to modify the elevations, increase the number and size of the 2-bedroom units and reduce the number of 1-bedroom units (no change in overall unit count), reduce the square footage of the recreational room and landscaping area, and increase the size of the carport, porte cochere, and trellis area, for a previously approved 66-unit senior apartment complex, at the Project Site (the “Project”); and

WHEREAS, the Project site has a General Plan Land Use designation of Walkable Mixed-Use Downtown and Corridors (WXMU-1) and is located within the Transitional subdistrict of the Form Based Code (FBC) which allows for such projects; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt pursuant to Section 15332 (Class 32, Infill Development) and Section No. 3.22 of the 2019 Local Guidelines for Implementing the California Environmental Quality Act; and

WHEREAS, the City wishes to protect and preserve the quality of life throughout the City, through effective land use and planning; and

WHEREAS, the Conditions of Approval for Design Review No. 22-00057-R1 are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

WHEREAS, all notices required by statute and the Fontana Municipal Code (“FMC”) have been given as required; and

WHEREAS, the owners of property within 660 feet of the Project Site were notified via public hearing notice mailer prior to the public hearing; and a notice of the public hearing was published in the Fontana Herald newspaper on November 21, 2025, and a notice of the public hearing was simultaneously displayed at City Hall and at the Project Site; and

WHEREAS, on December 2, 2025, a duly noticed public hearing on DRP No. 22-

Resolution PC No. 2025-00057-R1, was held by the Planning Commission (“Planning Commission”) to consider testimony and evidence presented by the Applicant, City staff, and other interested parties; and,

WHEREAS, on December 2, 2025, the Planning Commission carefully considered all information, evidence and testimony presented at its public hearing on DRP No. 22-000124-R1; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by this reference.

Section 2. CEQA. The Planning Commission hereby determines that the Project is categorically exempt pursuant to Section No. 15332 (Infill Development) of the California Environmental Quality Act and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the California Environmental Quality Act (CEQA). The Project site is meets the CEQA requirements of Infill: (1) the Project is consistent with the Walkable Mixed-Use Downtown and Corridors (WXMU-1) designation of the General Plan, and the Transitional subdistrict of the FBC district regulations; (2) The Project Site is less than five (5) acres, (3) The Project Site is not within any known sensitive or threatened habitat area; (4) The Project will not have any significant effects related to traffic, noise, air quality, or water quality; and (5) There are adequate public services for the development of the residential project. The Planning Commission further determines that none of the exceptions in CEQA Guidelines Section 15300.2 apply to the Project and directs Staff to file a Notice of Exemption.

Section 3. Design Review Findings. The Planning Commission hereby makes the following findings for Design Review No. 22-00057-R1 in accordance with Section 30-129 “Findings for approval” of the Fontana Zoning and Development Code:

Finding No. 1. The proposal is consistent with the General Plan, Zoning and Development Code and any applicable Specific Plan.

Findings of Fact: The Project is to modify the elevations, increase the number and size of the 2-bedroom units and reduce the number of 1-bedroom units (no change in overall unit count), reduce the square footage of the recreational room and landscaping area, and increase the size of the carport, porte cochere, and trellis area, for a previously approved 66-unit senior apartment complex, that is consistent with the General Plan designation for the Project Site, which is WXMU-1. The WXMU-1 land use designation category is described by the General Plan as a land use category that is intended to serve a broader and regional population of people with uses.

The Project is located within the Transitional subdistrict of the FBC. The 66-unit senior apartment development will meet all zoning and development standards set forth in the Fontana Municipal Code, including the required density range.

Finding No. 2. The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desirable development

promoting the public health, safety, and welfare of the community.

Findings of Fact: The revised development complies with the City of Fontana Zoning and Development Code. The Project's improvements including sidewalks, drainage, and grading ensure a safe and well-designed development. Additionally, the development meets all setbacks, height, landscaping, design, parking, access, and safety requirements.

As previously approved, the site improvements have been reviewed by the City of Fontana Fire, Building and Safety, and Engineering Departments. During the project review process, changes were made to the plans to ensure that the project is well designed. Street lighting and on-site lighting have been included to provide ample visibility at night. Landscaping has been incorporated to create an attractive atmosphere along adjacent parcels.

Finding No. 3. The proposal, in its design and appearance, is aesthetically and architecturally pleasing, resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact: The modified Project has been designed to enhance and complement the surrounding neighborhood. The architectural theme approved for the project has not changed." The result is a high- quality architectural design appropriate and desirable for the surrounding neighborhood. The modified development will enhance the character of the surrounding neighborhood through appropriate attention to aesthetics and design.

The project will continue to enhance the surrounding neighborhood and complements the surrounding area. The project has been reviewed by the Engineering, Building and Safety and Fire Departments for safety. During the project review process, the plans were evaluated to ensure that the project is well- designed.

Finding No. 4. The site improvements are appropriate and will result in a safe, well-designed facility.

Findings of Fact: The modified development complies with the City of Fontana Zoning and Development Code. Improvements including sidewalks, drainage, and grading, which will provide a safe and well-designed neighborhood. The Project Site improvements have been reviewed by the Fire, Building and Safety, and Engineering Departments. During the project review process, changes were made to the plans to ensure that the project is a well-designed project. Street lighting and on-site lighting have been included to provide ample visibility at night. Landscaping has been incorporated to create an attractive atmosphere along adjacent parcels.

Section 4. Approvals. Based on the foregoing, the Planning Commission hereby approves Design Review No. 22-00057-R1 subject to the Conditions of Approval attached hereto as "**Exhibit A**" and incorporated herein by this reference.

Section 5. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

Section 6. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 7. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 8. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 2nd day of December 2025.

City of Fontana

Idilio Sanchez, Chairperson

ATTEST:

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 2nd day of December 2025, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Joseph Armendarez, Secretary

Exhibit “A”



**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 22-000124-R1
Design Review No. 22-00057-R1

DATE: December 2, 2025

LOCATION: 16180 Baseline Avenue (APN:0240-031-31)

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Design Review shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful

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completion of the first Building and Safety Department inspection, has commenced within this period.

3. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
4. This project shall comply with all applicable provisions, regulations and development standards of the City of Fontana Municipal Code.
5. The Accessory Dwelling Units (ADUs) shown on the plans are not part of this Planning Commission approval and will be reviewed and approved through the City's accessory dwelling unit and building permit permitting process.
6. The rights and privileges granted by this project shall not become effective, nor shall the applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of the work.
7. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

8. Prior to the construction of any modifications, all structural and aesthetic changes to the

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project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the residential structure until corrections are approved in writing by all appropriate staff.

9. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.
10. After the fifteen (15) day appeal period, the applicant shall remove the Notice of Filing sign from the project site. The applicant may request a refund of the sign deposit; the request shall be in writing accompanied by a refund application. The request shall be submitted to the Planning Department.
11. The Director of Planning, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural relief. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
12. Color combinations and color schemes for buildings approved under a design review application shall not be modified or changed without prior approval of the original approving body by a revision to the original application. Minor hue color changes may be approved by the Director of Planning. The Director of Planning may refer minor hue color changes to the original approving body for consideration under a revision to the original application.
13. Foam treatment used for architecture features and/or projections located on the first floor (under 14 feet) shall be covered with concrete or similar durable material of a minimum of 1/2 inch thick, or as determined by the Director of Planning.
14. If solar panel systems are installed on the roof of any residential structure, the installation shall be on top or above the approved roof tile. If a solar panel system is flush-mounted to the roof, matching roof tiles shall be replaced immediately upon removal of the solar panels.

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15. No solid masonry wall shall be less than a minimum of six (6) foot tall and no higher than nine (9) foot from top of ground when used in combination with a retaining wall unless otherwise stated in mitigations for this project.
16. All new block walls visible by the public shall be constructed with a decorative type block and capped with a prefabricated block cap, where applicable.
17. A minimum of 17 bicycle parking spaces shall be provided; 13 short-term parking spaces shall be provided, and four (4) long-term parking spaces shall be provided.
18. Wall-mounted decorative lighting fixtures shall be provided at the front porch area, balconies, and at the locations shown on the elevations at a minimum of 18 inches in height.
19. The applicant shall record a reciprocal access agreement between the project site and the northerly property (APN: 0240-031-36) to provide Emergency Vehicle Access (EVA) and trash services access.
20. Exterior lighting compatible with the design of the building shall be provided for the parking lot. The lighting shall be directed and shielded to illuminate only the parking area and to avoid glare impacts on adjacent properties.
21. The applicant shall provide up-lighting on the perimeter and up-light proposed trees to the satisfaction of the Director of Planning and his/her designee.
22. All parking stalls shall be clearly marked by double striped pavement painting. Parking stall sizes shall be measured from the mid-point between the striping. No parking spaces shall be designated in a commercial/retail parking facility, except for disabled persons parking, van pool, carpool, or any other designated parking as required by law.
23. Prior to the issuance of a Certificate of Occupancy, the applicant shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of Planning.
24. The applicant/developer/property owner shall employ a certified professional manager or management company to provide maintenance, security, and other services. The professional manager or management company shall be California Association of Community Managers (CACM) certified or equivalent.
25. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Section No. 30-30 of the Municipal Code.
26. The current Development Fees shall be paid.
27. All future monument signs shall be reviewed under a separate Design Review Sign application.

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28. All temporary signs (banners, wind flags, etc.) shall not be placed on the property unless the proper permits are obtained.
29. The applicant/developer/property owner shall pay all applicable service fees pursuant to the City of Fontana Municipal Code.

PRIOR TO ISSUANCE OF BUILDING /CONSTRUCTION PERMITS

30. The applicant/developer/property owner shall post a publicly visible sign on the project site with the telephone number and 24-hour point of contact for dust, noise, and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have authority to commit additional assets to control dust, or respond to construction complaints after hours, on weekends and on holidays. Construction shall be limited to 7:00 am to 6:00 pm on weekdays, 8:00 am to 5:00 pm on Saturdays, and no construction on Sundays and Holidays.
31. The applicant/developer/property owner shall provide a plan for clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

32. The Planning Department final inspection fee must be paid prior to Certificate of Occupancy.

ENGINEERING DEPARTMENT:

33. The Project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
34. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
35. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.
36. The raised landscape median improvements have been completed along Baseline Avenue, and the driveway facing Baseline Avenue shall be right in and right out only, and no median breaks will be provided.

PRIOR TO ISSUANCE OF GRADING PERMIT

37. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template. The comments made in the Preliminary Water Quality Management Plan report shall be addressed in the Final Preliminary Water Quality

38. The Applicant shall submit and gain approval of a final drainage study prepared in accordance with the County of San Bernardino Hydrology Manual and Fontana Master Plan of Drainage. The comments made in the Preliminary Drainage Study shall be addressed in the Final Drainage Study.
39. Plans shall provide for adequate sight distance for driveways, taking into account, elevation changes, monuments, grading, vegetation, landscaping, and retaining walls per the AASHTO Green Book, current edition.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

40. The Applicant shall record reciprocal access agreement as required for the development.
41. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.
42. The Applicant shall provide a Land Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

43. Complete all public improvements required of the project. Underground utilities required of the project. Ensure streetlights are energized and operating properly.
44. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans. The Applicant/Developer shall provide a copy of the streetlight electric bill.
45. Slurry seal roads effected by the development as directed by the inspector. Slurry seal limits may extend past the project frontage to address existing striping/pavement markings that conflicts with new striping/pavement markings, repair trenches, and other areas as determined by the inspector.
46. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
47. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.

48. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
49. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practice transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.
50. All Conditions of Approval issued to the project no. DRP22-000057-R1 shall apply.
51. Applicant shall pay all applicable service fees pursuant to the City of Fontana Municipal Code.

BUILDING AND SAFETY DEPARTMENT:

52. The applicant shall design the project to show compliance with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code
 - I. City of Fontana Ordinance
 - J. Disabled access for the site and building must be in accordance to the State of CA and ADA regulations.
53. The applicant shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code, and the requirements of the Fontana Fire Prevention District.
54. The applicant shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
55. The applicant shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.

56. The applicant shall verify that all lot lines, easement lines, etc. will be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.
57. The applicant shall have the tract or parcel map recorded prior to the issuance of any building permits.
58. The applicant shall comply with the following grading requirements:
- A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.
 - F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of all drainage structures being utilized, shall be submitted to and approved by Building & Safety. The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
 - I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - 1. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.); and
 - 2. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.) and
 - 3. All proposed drainage structures; and
 - 4. Any proposed and/or required walls or fencing.

59. The applicant is required to obtain permits for the removal and/or demolition of structures. (if applicable).
60. The applicant/developer/property owner shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

61. The following items (as applicable) shall be completed by the applicant and submitted to Building & Safety prior to the issuance of building permits for this project:
- A. Precise grading plans shall be approved.
 - B. Rough grading completed.
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector
62. When the Entitlement Review is approved submit complete construction drawings including structural calculations to Building and Safety for plan review in accordance with the current edition of the CA Building and Fire Codes including all local ordinances and standards.
63. Please be aware that a Construction Waste Management Plan (CWMP) will be required at the time of plan check submittal. For more information regarding waste division, please contact Burrtec Waste at (909) 889-0911.
64. For more information related to Building and Safety, please visit our web page at <https://www.fontanaca.gov/136/Building-Safety>.

FIRE PROTECTION DISTRICT:

65. **Jurisdiction.** The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
66. **Fire Access Road Width.** Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1.
67. **Turnaround.** An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12 % grade and have a minimum of

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nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code Chapter 5 & SBCoFD Standard A-1.

68. **Street Signs.** Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. California Fire Code Chapter 5 & SBCoFD Standard A-2.
69. **Fire Lanes.** The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.
70. **Water System Commercial.** Prior to map recordation or lot line adjustment, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix BB of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet (4"x2.5"x2.5") shall be provided. All fire hydrants shall be spaced no more than three hundred (300) feet apart as measured along vehicular travel-ways. California Fire Code Chapter 5 & SBCoFD Standard W-2.

The Fire Flow for this project shall be: 2625 GPM for a four-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 38,585 Square Foot structure.

71. **Hydrant Marking.** Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCoFD Standard W-2.
72. **Water Improvement Plan:** The applicant shall submit "Water Improvement Plans" to Fontana Fire Prevention. W.I.P. to include site plan, existing & proposed PUBLIC fire hydrant locations, building construction type and largest building square footage. Once approved by Fire Department, applicant will provide stamped/approved W.I.P to water purveyor for their construction needs. ***ON-SITE PRIVATE FIRE WATER SUPPLY SHALL BE INSPECTED AND IN WORKING CONDITION PRIOR TO PLACING COMBUSTIBLE MATERIALS ON THE JOBSITE.*** California Fire Code Chapter 5.
73. **Combustible Protection.** Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
74. **Fire Sprinkler-NFPA #13.** An automatic fire sprinkler system complying with NFPA 13, and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The plans shall include hydraulic calculations and manufacturer specification sheets. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-1.
75. **Fire Sprinkler-NFPA #13R.** An automatic fire sprinkler system complying with NFPA 13R and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-3

76. **Fire Alarm, Waterflow Monitoring.** A water flow monitoring fire alarm system complying with the California Fire Code, NFPA and all applicable codes is required for fire sprinkler systems with twenty (20) sprinkler heads or more. A fire alarm contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9, NFPA 72 & SBCoFD Standard F-5.
77. **Fire Extinguishers.** Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. California Fire Code Chapter 9.
78. **Commercial (large facility) Addressing.** Commercial and industrial developments in excess of 100,000 sq. ft. shall have the street address installed on the building with numbers that are a minimum twelve (12) inches in height and with a one and one half (1 ½) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated contrasting six (6) inch numbers shall be displayed at the property access entrances. California Fire Code Chapter 5 & SBCoFD Standard B-1
79. **Illuminated Site Diagram.** The applicant shall submit for review and approval a site diagram plan to the Fire Department. The applicant shall install at each entrance to a multi-family complex an illuminated diagrammatic representation of the complex, which shows the location of each unit and each fire hydrant. California Fire Code Chapter 5 & SBCoFD Standard B-1
80. **Key Box.** An approved Fire Department key box is required. The key box shall be provided with a tamper switch and shall be monitored by a Fire Department approved central monitoring service. California Fire Code Chapter 5 & SBCoFD Standard A-4
81. **Security Gates.** In commercial, industrial, and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. California Fire Code Chapter 5 & SBCoFD Standard A-3
82. **Secondary Access.** The development shall have a minimum of two points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCoFD Standard A-1
83. **Spark Arrestor.** An approved spark arrestor is required. Every chimney that is used in conjunction with any fireplace or any heating appliance in which solid or liquid fuel are used, shall have an approved spark arrestor visible from the ground that is maintained in conformance with Fire Department requirements. California Fire Code Chapter 6.

END OF CONDITIONS OF APPROVAL

NOTICE OF EXEMPTION

TO: Office of Land Use and Climate Innovation <input type="checkbox"/> State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6656
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	Master Case No. 22-000124-R1, and Design Review No. 22-00057-R1.
2. Project Applicant (include address, telephone number and email address):	Flory Smith Production Director flory.smith@aaifirm.com (909) 355-6688 Andresen Architecture 17087 Orange Way Fontana, CA 92335
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	The project site is located west of Citrus Avenue and north of Baseline Avenue and located at 16180 Baseline Avenue, (APN: 0240-031-31).
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	The project is to amend previously approved Design Review (DR No. 22-00057), to modify the elevations, increase the number and size of the 2-bedroom units, reduce the number of 1-bedroom units, while still keeping the 66 units, reduce the square footage of the recreational room and landscaping area, increase the size of the carport, porte cochere, and trellis area, for a previously approved 66-unit senior apartment complex within two (2) buildings, and associated site improvements, on approximately 2.02 acres.

6. Name of Public Agency approving project:	City of Fontana
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	Flory Smith Production Director flory.smith@aaifirm.com (909) 355-6688 Andresen Architecture 17087 Orange Way Fontana, CA 92335
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:	Exempt under Section 15332, Class 32 (Infill Development Projects) of the California Environmental Quality Act
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	The proposed Project is categorically exempt from CEQA pursuant to CEQA Guidelines Section No. 15332 (Class No. 32 In-Fill Development Project), Class 32 The project site is currently one lot surrounded by development within the City's designated infill boundary. The project is consistent with the General Plan and zoning, site is on five (5) gross acres or less (2.0 acres), has no value as habitat for endangered, rare, or threatened species, the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and streets, schools, water, and fire protection have already been developed and are provided in the general area. Therefore, it has been determined that the project qualifies for a categorical exemption.

10. Lead Agency Contact Person: Telephone:	Salvador Quintanilla, Senior Planner 909-350-6656
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: December 2, 2025	

Date: December 3, 2025

Signature

Name: DiTanyon Johnson

Title: Planning Manager

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section No. 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Section No. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the Planning Department by calling (909) 350-6718. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case No (MCN). 22-000124-R1; Design Review (DRP) No. 22-000057-R1

A request to amend Design Review (DR No. 22-00057), to modify the elevations, increase the number and size of the 2-bedroom units, reduce the number of 1-bedroom units, with keeping 66 units, reduce the square footage of the recreational room and landscaping area, increase the size of the carport, porte cochere, and trellis area, for a previously approved 66-unit senior apartment complex within two (2) buildings, and associated site improvements, on approximately 2.02 acres.

Environmental Determination:

This project is categorical exempt pursuant to Section 15332, Class 32 (In-fill Development) of the California Environmental Quality Act (CEQA), and Section 3.22 (Categorical Exemption) of the 2019 City of Fontana Local Guidelines for Implementing the California Environmental Quality Act.

Location of Property:

16180 Baseline Avenue
(APN: 0240-031-31)

Date of Hearing:

December 2, 2025

Place of Hearing:

City Hall Council Chambers
8353 Sierra Avenue
Fontana

Time of Hearing:

6:00 PM

Project Site





Should you have any questions concerning this project, please contact **Salvador Quintanilla, Senior Planner**, at 909-350-6656 or by e-mail at squintanilla@fontanaca.gov.

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL OR APPEAR AND PRESENT ANY INFORMATION WHICH MAY BE OF ASSISTANCE TO THE DIRECTOR OF PLANNING IN MAKING THEIR DECISION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION IN THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE PLANNER IDENTIFIED ABOVE FOR INFORMATION.

IF YOU CHALLENGE ANY ACTION TAKEN CONCERNING THIS ITEM IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE PROVIDED TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish date: November 21, 2025



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 25-0670
Agenda #: DA -A

Agenda Date: 12/2/2025
Category: Director Comments

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming City Council Items

DATE: December 2, 2025

The items listed below are for agenda forecast purposes and are subject to change.

<u>CITY COUNCIL DECEMBER 9, 2025</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. (Item Continued from October 28, 2025) Appeal No. 25-0002; (MCN#23-0101 - CUP#24-0022; DRP#23-0024; VAR#23-0003; TPM#23-0015) 163 Multi-Family Units with 41 Dwelling Units and 5 Retail Units 8011 Sultana Avenue	Salvador Quintanilla	Public Hearing
2. MCN#24-0060; GPA#24-0004; ZCA#24-0004; TTM 20712 (TTM#24-0009); CUP#24-0023; DRP#24-0031 Multi-Family Development of 393 Units 6820 Knox Avenue	Alexia Barberena	Public Hearing
3. MCN#25-0082; GPA#25-0001; MCA#25-0012 Amendments to the Community Mobility and Circulation Element of the General Plan (AB 98) Citywide	Ruben Hovanesian	Public Hearing
4. MCN#25-0080; MCA#25-0011 Urgency Ordinance for Amendments to Section 30-467 of the Zoning and Development Code to align with State Law Citywide	Cecily Session-Goins	Public Hearing



MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming Planning Commission Items

DATE: December 2, 2025

The items listed below are for agenda forecast purposes and are subject to change.

<u>PLANNING COMMISSION DECEMBER 16, 2025</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN#23-0095; CUP#23-0025; ASP#23-0039 Request to convert an existing 15,593 square foot church into a private school Southwest corner of Arrow Blvd. and Tamarind Avenue	Alexia Barberena	Public Hearing
2. MCN#25-0018; TTM#25-0001 (20272); DRP#25-0006 219-Unit Condominium Development 16015 Duncan Canyon Rd.	Alexia Barberena	Public Hearing
3. MCN#25-0026; TTM#24-0002 (20690); DRP#24-0011 153 Condominium Units North side of Curtis Ave. at Catawba Ave.	Cecily Session-Goins	Public Hearing

<u>PLANNING COMMISSION JANUARY 6, 2026</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
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Meeting has been Cancelled.