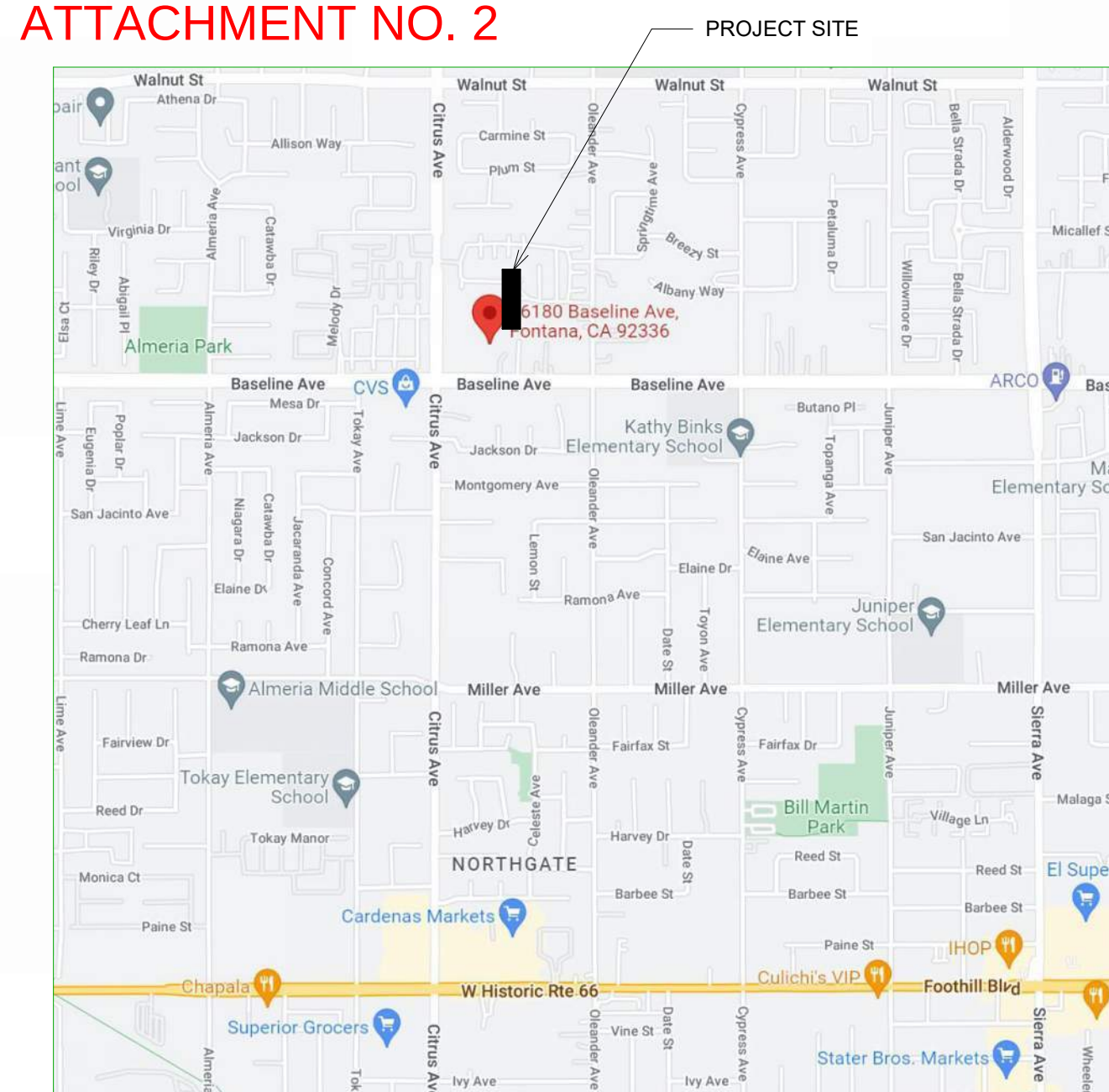
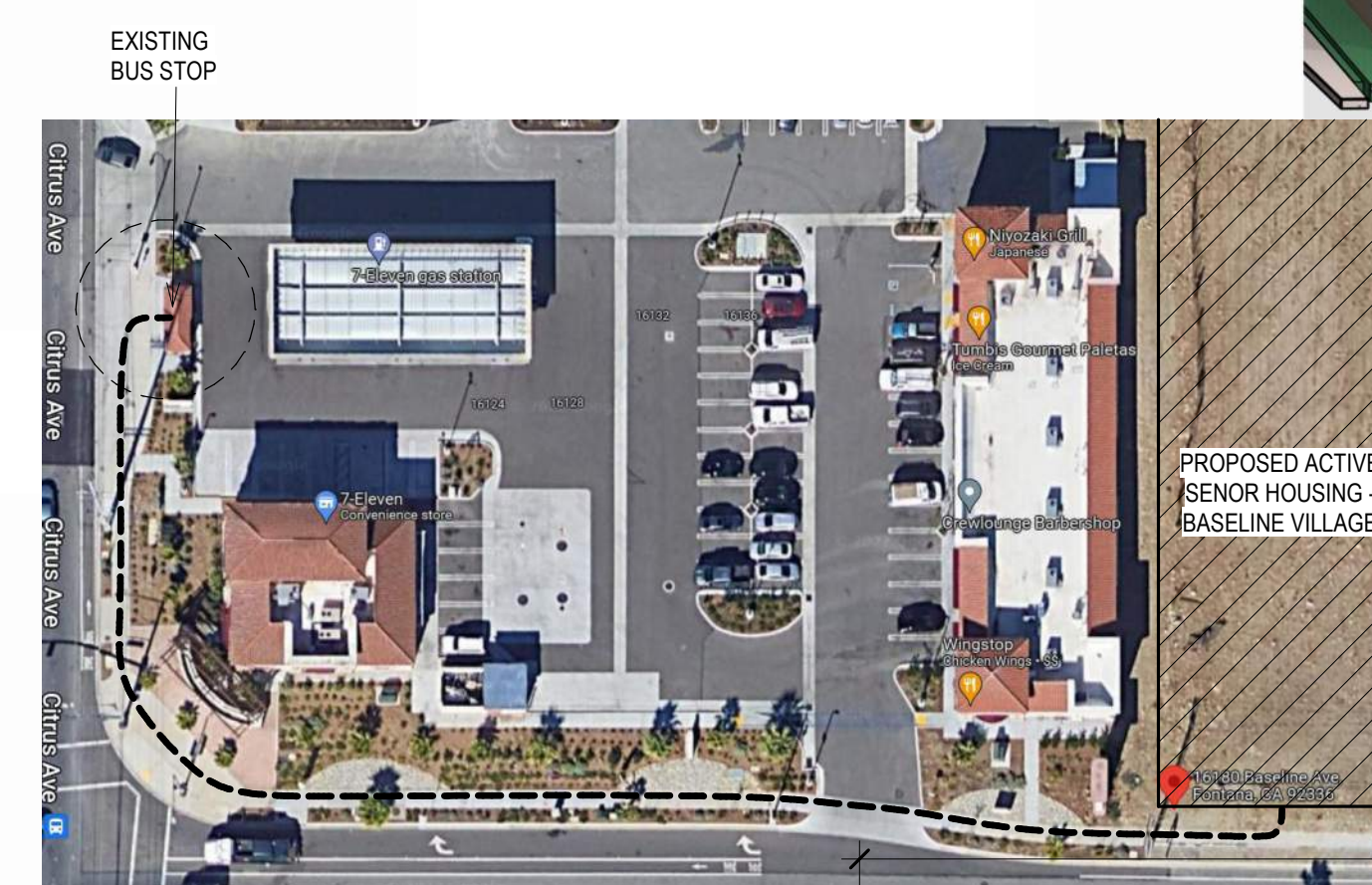




Vicinity Map

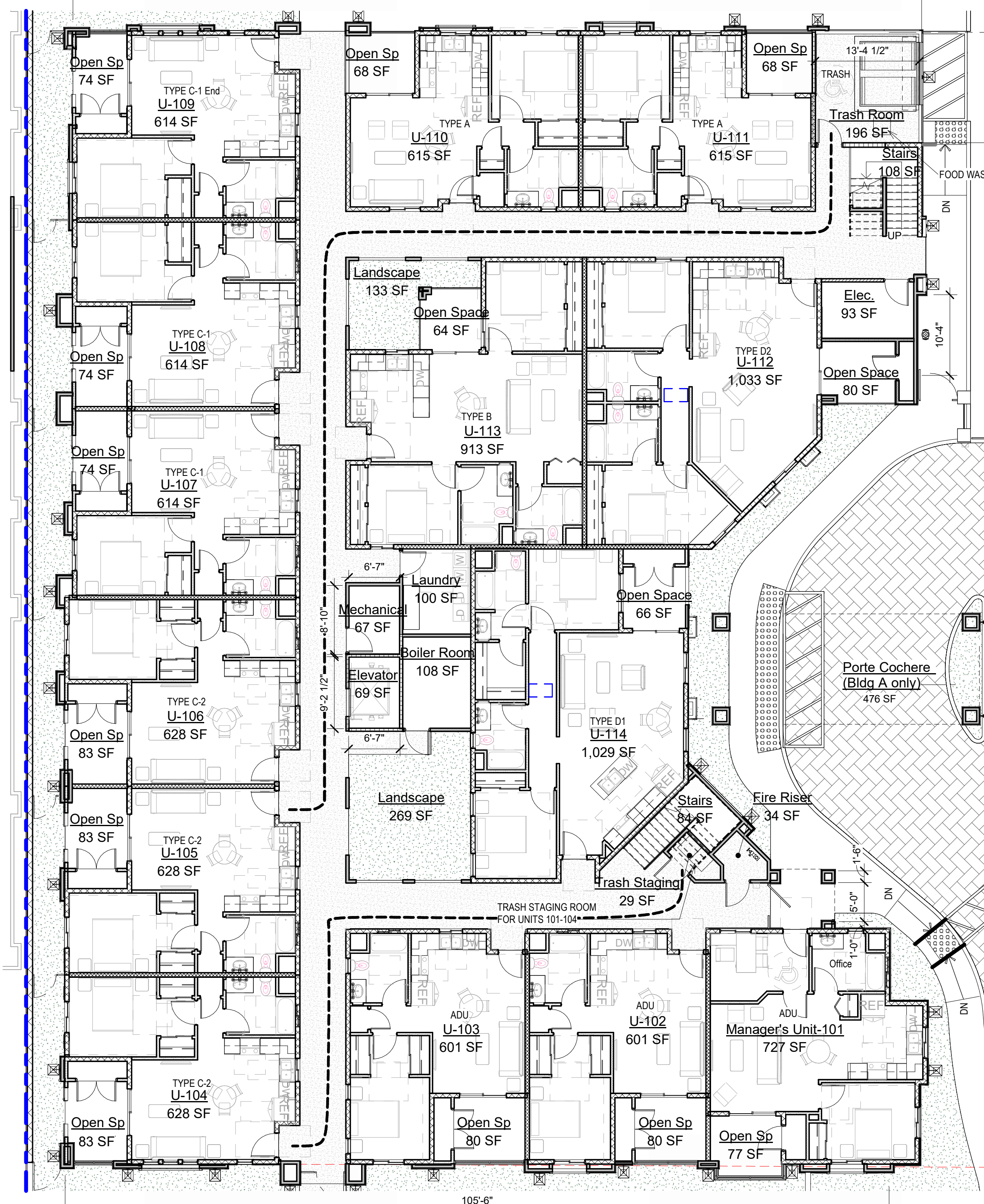


Near Bus Stop

Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336



Parking Lot Aerial View



First Floor - Typ.

BUILDING AREAS	
BUILDING A	40,231 SF
1ST FLOOR	13,819 SF
CONDITIONED SPACE	9,864 SF
PRIVATE OPEN SPACE	1,048 SF
COMMON BLDG. AREA	2,907 SF
2ND & 3RD FLOOR	13,206 SF x (2)
CONDITIONED SPACE	9,717 SF
PRIVATE OPEN SPACE	1,059 SF
COMMON BLDG. AREA	2,430 SF
BUILDING B	40,163 SF
1ST FLOOR	13,751 SF
CONDITIONED SPACE	9,717 SF
PRIVATE OPEN SPACE	1,070 SF
COMMON BLDG. AREA	2,907 SF
2ND & 3RD FLOOR	13,206 SF x (2)
CONDITIONED SPACE	9,717 SF
PRIVATE OPEN SPACE	1,070 SF
COMMON BLDG. AREA	2,430 SF
BUILDING C	2,553 SF
REC. BUILDING (1ST)	1,313 SF
REC. BUILDING (2ND)	1,240 SF
ACCESSORY BLDGS	8,684 SF
CARPORT AREA	7,760 SF
PORT COCHERE	476 SF
TRELLIS AREA	448 SF
TOTAL FLOOR AREA:	91,631 SF

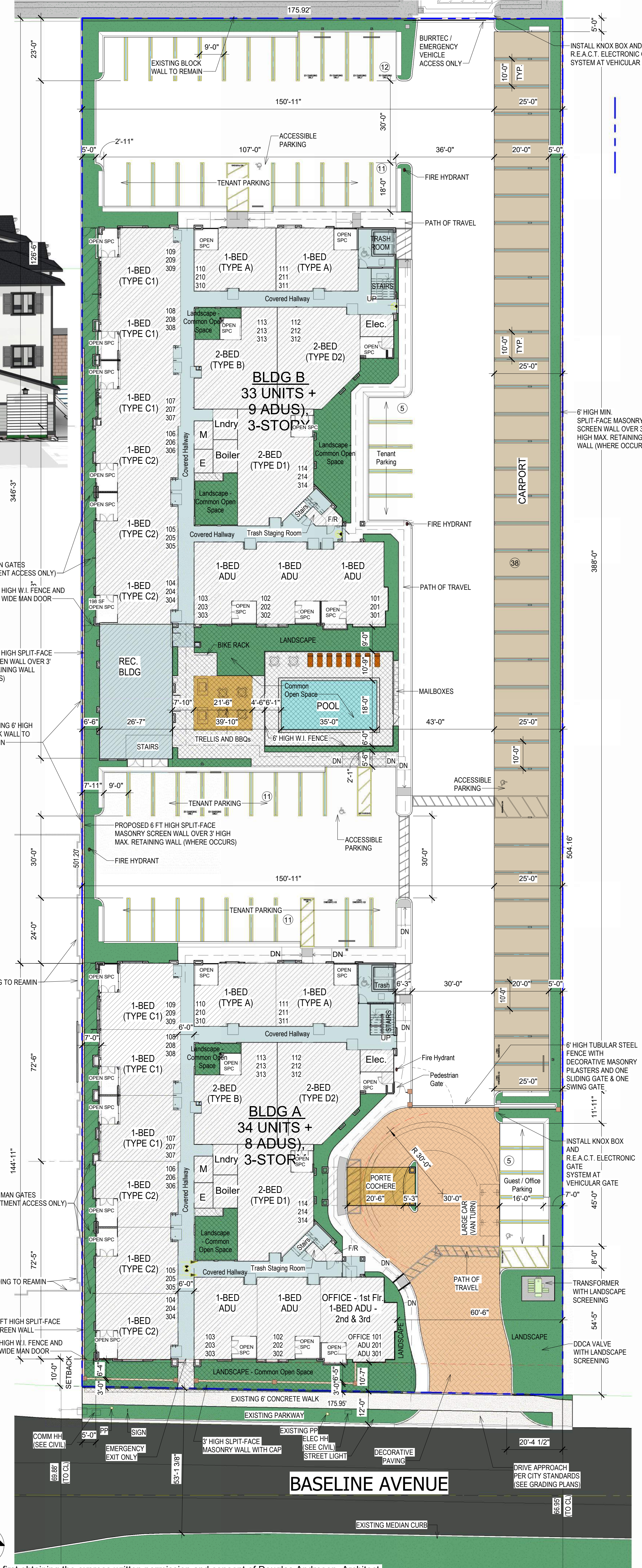
1-BED (48 UNITS)	
TYPE A (615 SF)	12 UNITS
TYPE C-1 (614 SF)	18 UNITS
TYPE C-2 (628 SF)	18 UNITS
2-BED (18 UNITS)	
TYPE B (913 SF)	6 UNITS
TYPE D-1 (1,028 SF)	6 UNITS
TYPE D-2 (1,033 SF)	6 UNITS
ADU (17 UNITS)	
ADU (601 SF)	17 UNITS
OFFICE (MGR'S ADU) (727 SF)	1 UNIT
REC. ROOM (2,553 SF)	

OUTDOOR COMMON OPEN SPACE	7,236 SF
(LANDSCAPE AREA, COURTYARD, POOL)	

Sequence Of Drawings - DR	
Number	Description
PL1	Site Plan
PL2	2nd & 3rd Flr. - Typ. Roof Plan
PL3	Typ. Unit Floor Plans
PL4	Exterior Elevations
PL5	Exterior Elevations
PL6	Rec Building
PL7	3D Views
PL8	Renderings
PL9	Solar Carport
1 of 1	Conceptual Grading Plan
LP	Landscape Preliminary Plan

Site Plan

1" = 20'-0"



BASELINE AVENUE

ANDRESEN ARCHITECTURE INC.
17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

OWNER: S & K INVESTMENTS, LLC
(818) 915-3715
MARC KOGAN, MGR.
16180 BASELINE AVE.
FONTANA, CA 92336

PROJECT ADDRESS: 16180 Baseline Ave, Fontana, CA 92336

ARCHITECT: ANDRESEN ARCHITECTURE INC.
17087 ORANGE WAY
FONTANA, CA 92335
DOUG ANDRESEN
(909) 355-6688
doug.andresen@aafirm.com

CIVIL: ALLARD ENGINEERING
16866 SEVILLE AVE.
FONTANA, CA 92335
(909) 355-1915
RAY ALLARD
rallard@allardeng.com

CONTACT: LANDSCAPE DYNAMICS
(951) 264-4839
gregzoli@landscape-dynamics.net

LANDSCAPE: LANDSCAPE DYNAMICS
(951) 264-4839
gregzoli@landscape-dynamics.net

APN: (DEVELOPED) 024003131-0000

ZONING: FORM-BASED CODE (TRANSITIONAL DISTRICT)

OCCUPANCY: GROUP R-2

CONSTRUCTION: TYPE V-B

BUILDING TYPE: MULTIFLEX

FRONTAGE: DOORYARD

FIRE SPRINKLERS: NFPA 13 REQUIRED PER CBC 903.3.1.2

ALLOWABLE AREA: 21,000 SF / FLOOR AND 42,000 SF TOTAL PER BUILDING

PROJECT DESCRIPTION: PROPOSED INDEPENDENT SENIOR APARTMENT COMPLEX CONSISTING OF (2) 3-STORY BUILDINGS WITH 66 UNITS, 17 ADUS AND 1-MANAGER'S ADU/OFFICE, AND REQUIRED PARKING, TRASH ENCLOSURES, SITE LIGHTING, PERIMETER FENCING, REC BUILDING AND SITE AMENITIES

GROSS LOT SIZE: 88,235.62 SF (2.02 AC)

APT BUILDING FOOTPRINT: 27,560 SF

PORTE COCHERE: 476 SF

CARPORT: 7,760 SF

REC. BUILDING FOOTPRINT: 1,313 SF

TRELLIS: 448 SF

TOTAL FOOTPRINT AREA: 37,567 SF

LOT COVERAGE: 42.57 %

NET LOT: 50,668.62 SF (100% (11.17 AC))

LANDSCAPE AREA: 38,253.62 SF (75.49%)

ALLOWABLE AREA: 12,414.80 SF (24.51%)

BUILDING DATA:

ALLOWABLE AREA:

BUILDING A (INCL. PORTE COCHERE)

$A_n = A \times S_n$ (NO FRONTAGE INCREASE USED)

$= 21,000 \times 3 = 63,000 \text{ sf}$

$40,264 + 304 = 40,568 \text{ sf} < 63,000 \text{ sf OK!}$

BUILDING B (INCL. CLUBHOUSE)

$A_n = A \times S_n$ (NO FRONTAGE INCREASE USED)

$= 21,000 \times 3 = 63,000 \text{ sf}$

$40,264 + 2,813 = 43,077 \text{ sf} < 63,000 \text{ sf}$

CARPORTS (OCCUPANCY U, TYPE I-B, NOT SPRINKLERED)

$7,760 \text{ sf} < 8,500 \text{ sf MAX PER TABLE 506.2 OK!}$

$A_n = \text{ALLOWABLE AREA}$

$A_n = \text{TABULAR ALLOWABLE AREA FACTOR}$

SM (without height increase) = 21,000 SF PER TABLE 506.2, OCC. GROUP R-2, TYPE V-B

$S_n = \text{ACTUAL NUMBER OF STORIES ABOVE GRADE PLANE}$

(NOT TO EXCEED THREE) = 3 PER 506.2.3 OCC. GROUP R-2

DENSITY: 24 TO 39 UNITS/ACRE - 48 UNITS MIN - 79 UNITS MAX ALLOWED

66 UNITS PROPOSED + 18 ADUS (17 ADUS + 1 MGR'S UNIT)

37 FT (PROPOSED) / 40 FT MAX. (TABLE 504.3)

BUILDING HEIGHT: 3 (PROPOSED) / 3 ALLOWED (TABLE 504.4)

FIRE FLOW: 1.375 GPM FOR 2-HR. DURATION WITH 20 PSI RESIDUAL PER CFC TABLE B105.2 (42,193 SF, TYPE V-B = 5,250 GPM 5,250 GPM x 50% = 2,625 GPM

MANUAL FIRE ALARM SYSTEM NOT REQUIRED PER CFC 907.2.9.1 EX. 3

REQUIRED PER CFC 907.2.10.2

FIRE ALARM:

SMOKE ALARMS:

3-STORY BUILDING A

NUMBER OF APARTMENTS:

UNIT TYPE	1-BED	2-BED
1ST FLOOR	8	8
2ND FLOOR	8	8
3RD FLOOR	8	8
TOTAL	24	24

3-STORY BUILDING B

NUMBER OF APARTMENTS:

UNIT TYPE	1-BED	2-BED
1ST FLOOR	8	8
2ND FLOOR	8	8
3RD FLOOR	8	8
TOTAL	24	24

GRAND TOTAL 48 18 = 66 UNITS + 18 ADUS (84 TOTAL)

84 UNITS MAX ALLOWED x 25% ADU = 21 ADUS ALLOWED > 18 OK!

PARKING SUMMARY:

(18) 2-BED UNITS x 1.5 SPACES = 27 SPACES

(48) 1-BED UNITS x 1 SPACES = 48 SPACES

OFFICE (65%) 608/2000-3.0 - (65%) = 2 SPACES

TOTAL PARKING REQUIRED: 77 SPACES

TOTAL TENANT PARKING PROVIDED 88 SPACES

GUEST PARKING PROVIDED 5 GUEST SPACES

ACCESSIBLE PARKING SPACES

2% OF ASSIGNED PARKING SPACES SHALL BE ACCESSIBLE IN EACH TYPE OF FACILITY:

(CBC 1109A.4)

2 ACCESSIBLE PARKING SPACE PROVIDED

TENANT OPEN PARKING (60 SPACES) = 2 ACCESSIBLE PARKING SPACE REQUIRED

2 ACCESSIBLE PARKING SPACE PROVIDED

TENANT CARPORT PARKING (38 SPACES) = 1 ACCESSIBLE PARKING SPACE REQUIRED

1 ACCESSIBLE PARKING SPACE PROVIDED

5% OF UNASSIGNED AND VISITOR PARKING SPACES SHALL BE ACCESSIBLE: (CBC 1109A.2)

GUEST PARKING (5 SPACES) = 1 ACCESSIBLE PARKING SPACE REQUIRED

1 ACCESSIBLE PARKING SPACE PROVIDED

EV / CLEAN AIR SPACES

10% EV 9.3 - 10 SPACES REQUIRED

10 PROVIDED (INCLUDING 1 VAN + 1 STD ACCESSIBLE)

SOLAR CARPORTS OF REQUIRED PARKING

50% REQUIRED: 74 x 0.50 = 37 REQUIRED, 38 CARPORT PARKING SPACES PROVIDED

PRIVATE OPEN SPACE:

64 SF/UNIT (8 FT MIN DIM.) REQUIRED

64 SF/UNIT PROVIDED

REQUIRED: 4,224 SF

PROVIDED: 6,354 SF

Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336

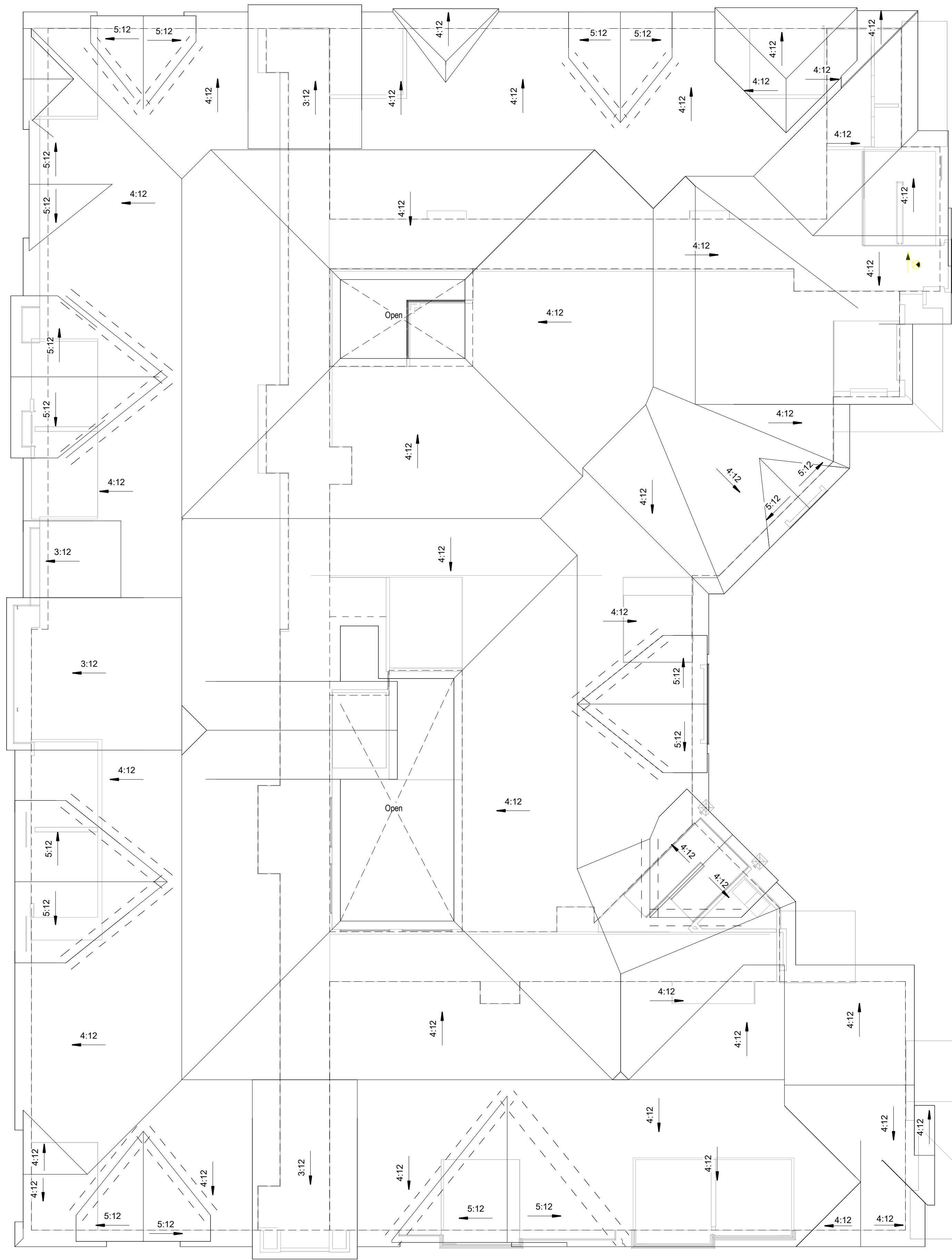
19 Nov. 2025

22-4474

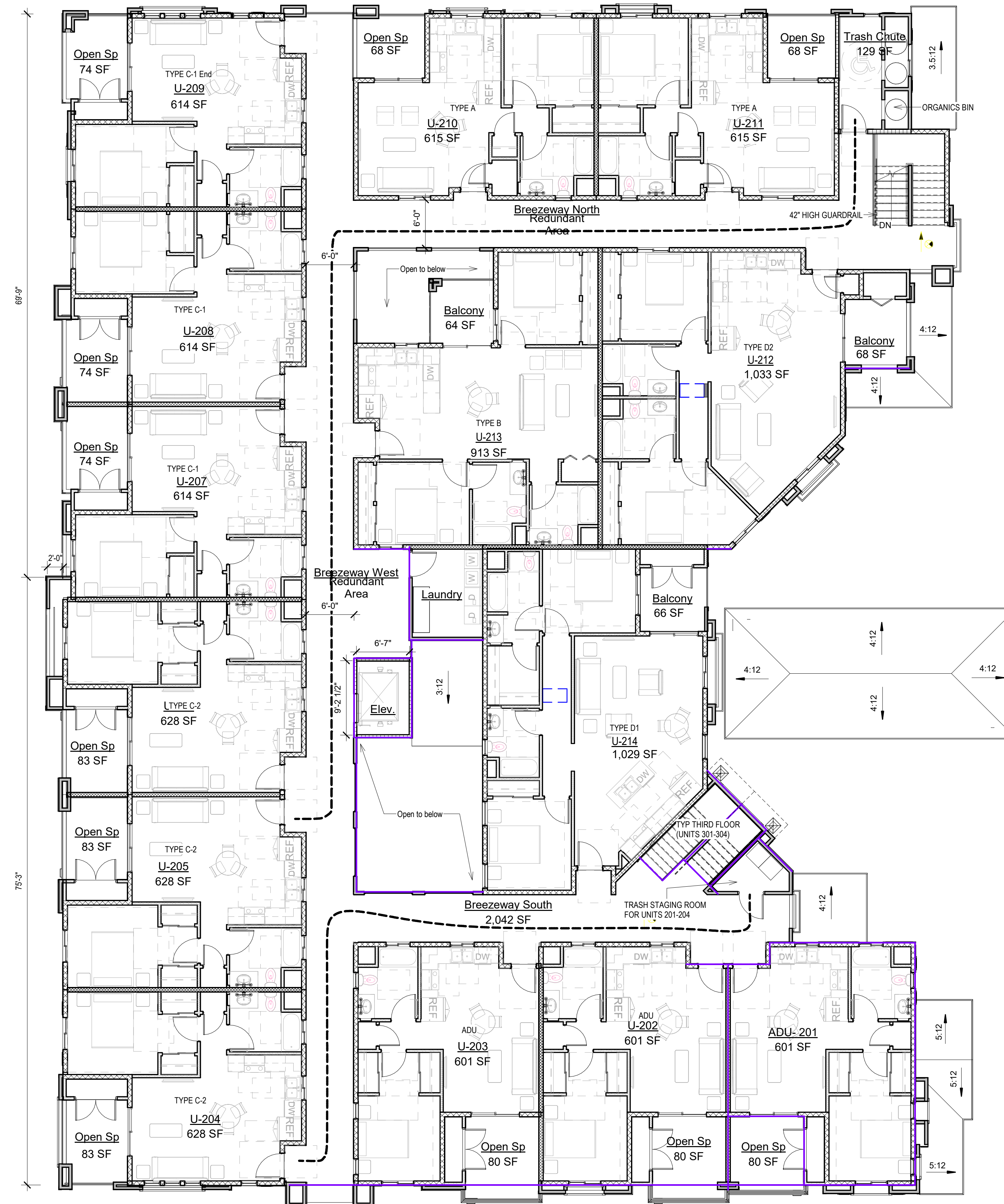
Site Plan

PL1

12-31-25
RENEWAL
DATE
C-1591
STATE OF CALIFORNIA

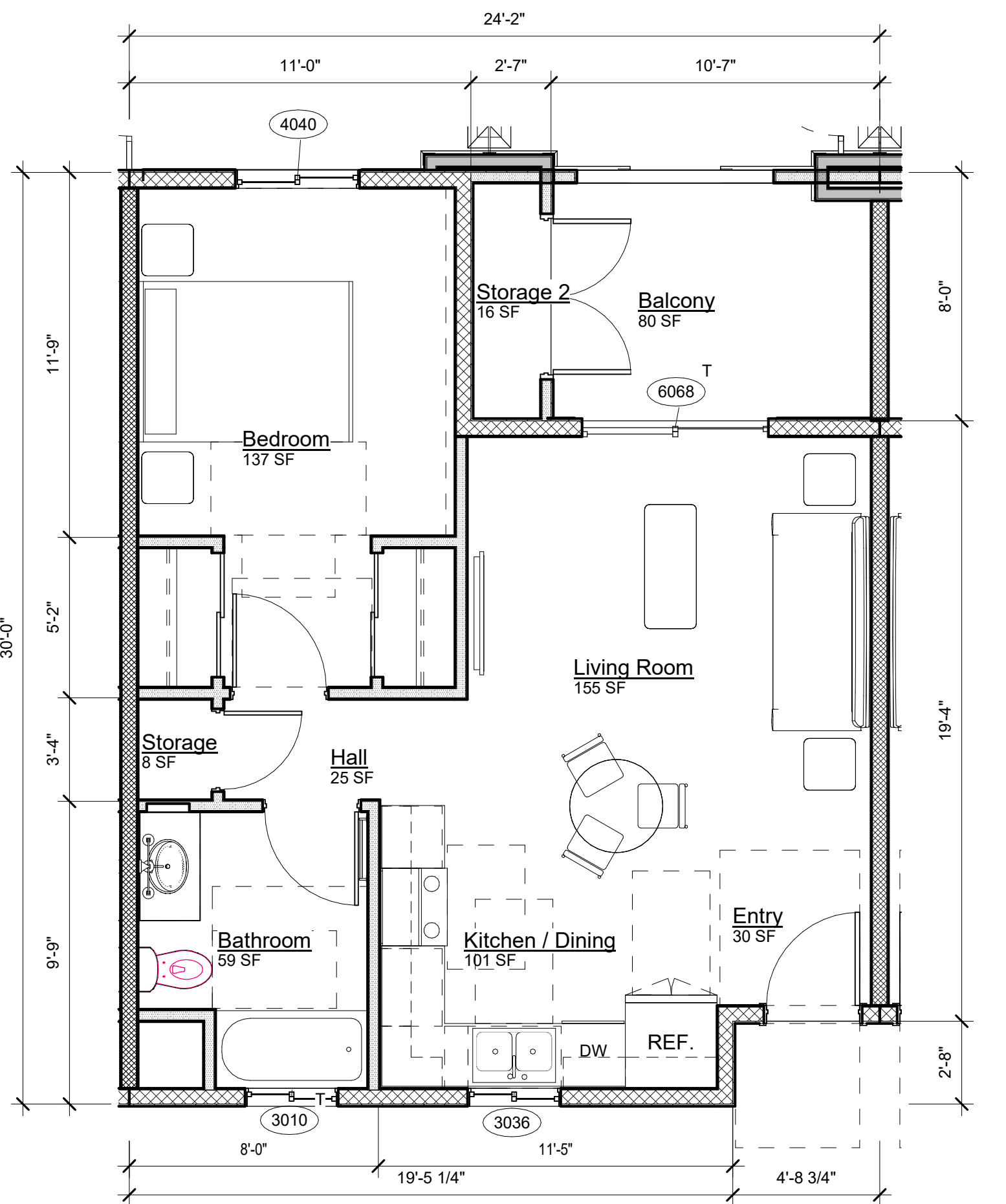


Roof Plan
1/8" = 1'-0"



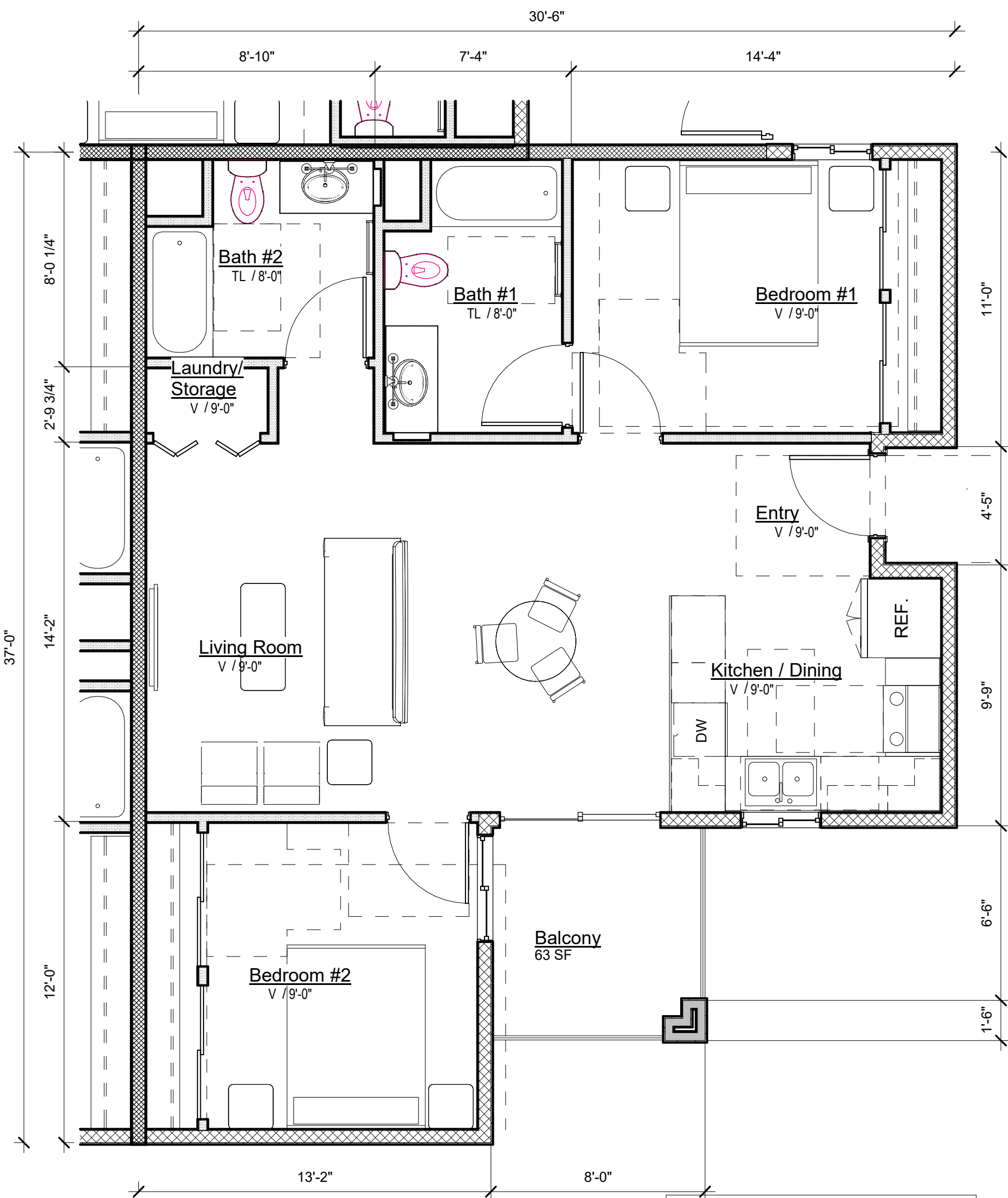
Second & Third Floor - Typ.
1/8" = 1'-0"

Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
19 Nov. 2025		
22-4474		
2nd & 3rd Flr. - Typ. Roof Plan		PL2



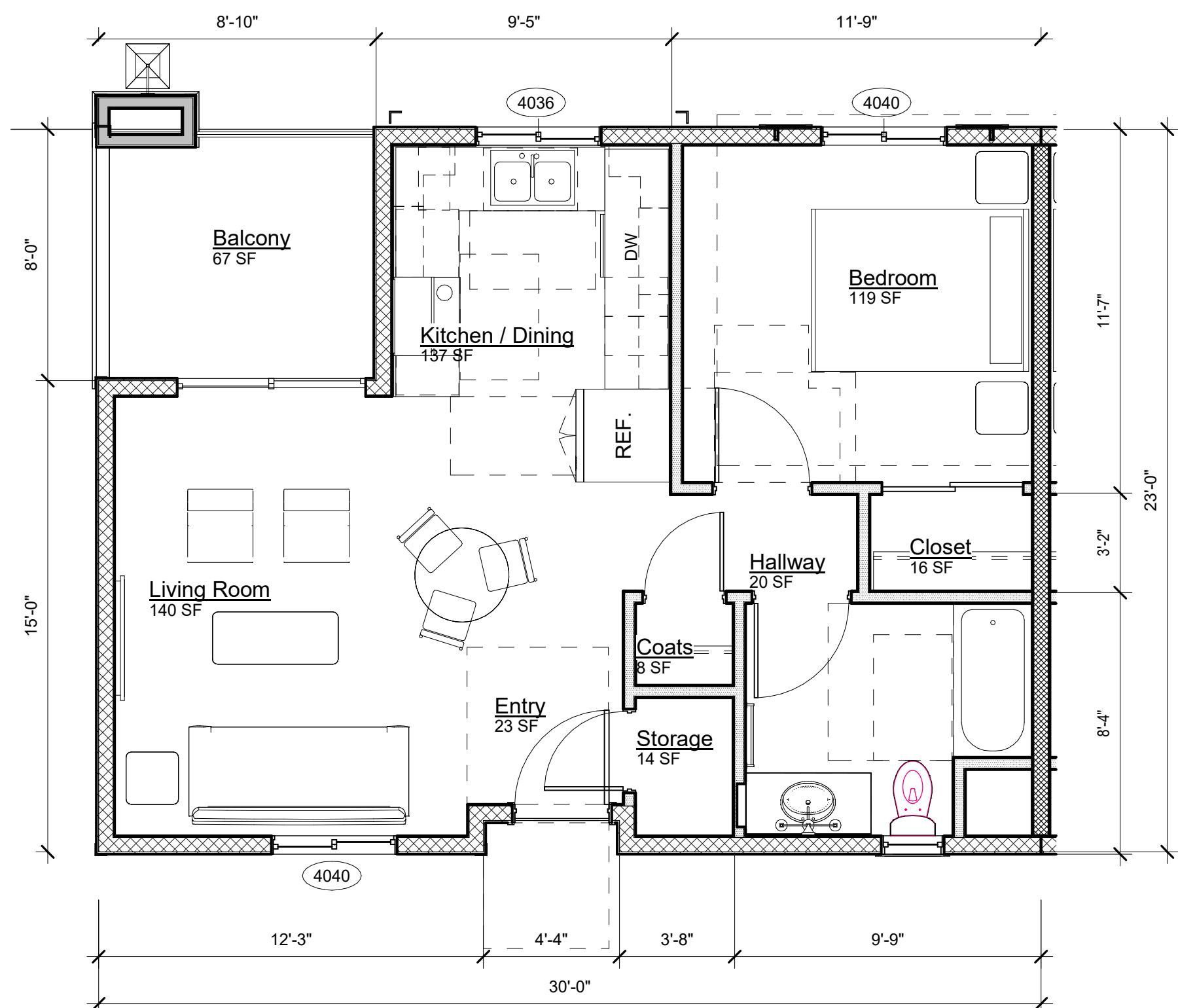
Typ. C-2 Unit
1/4" = 1'-0"

Area Schedule Typ. C	
unit	Area
Living - Conditioned	628 SF
Open Space - Unconditioned	83 SF



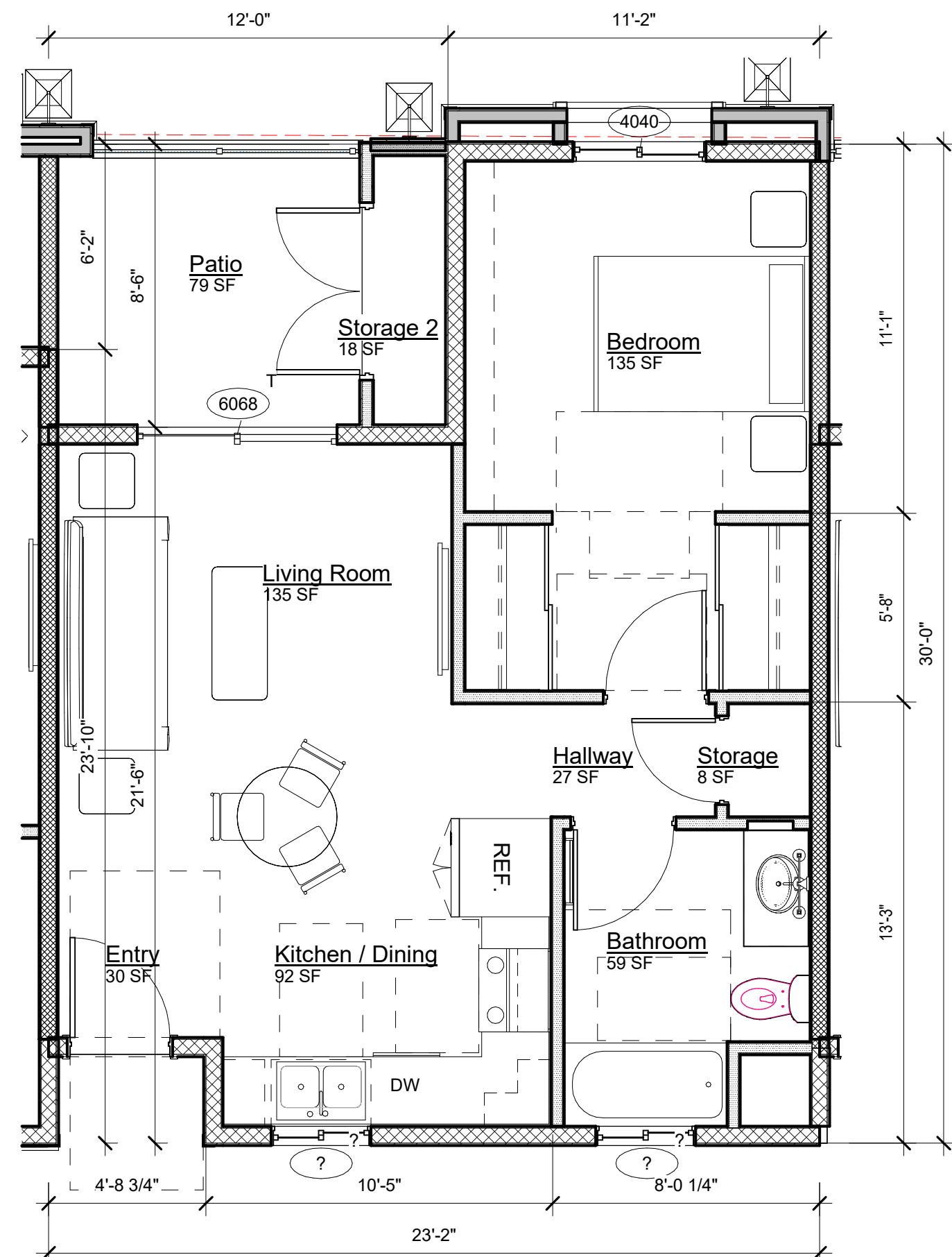
Typ. B Unit
1/4" = 1'-0"

Area Schedule Typ. B	
unit	Area
Living - Conditioned	913 SF
Open Space - Unconditioned	64 SF



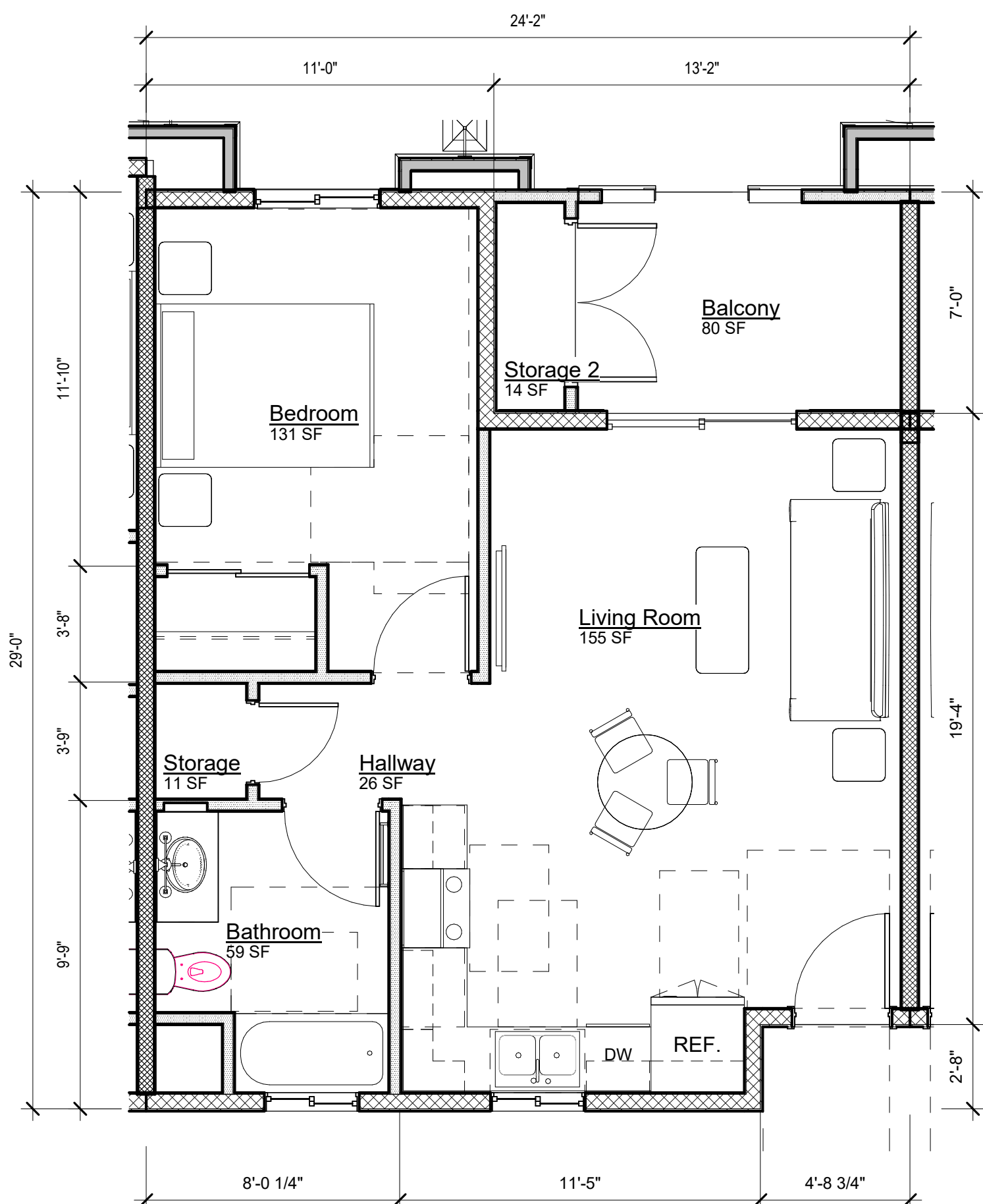
Typ. A Unit
1/4" = 1'-0"

Area Schedule Unit A	
unit	Area
Living - Conditioned	615 SF
Open Space - Unconditioned	68 SF



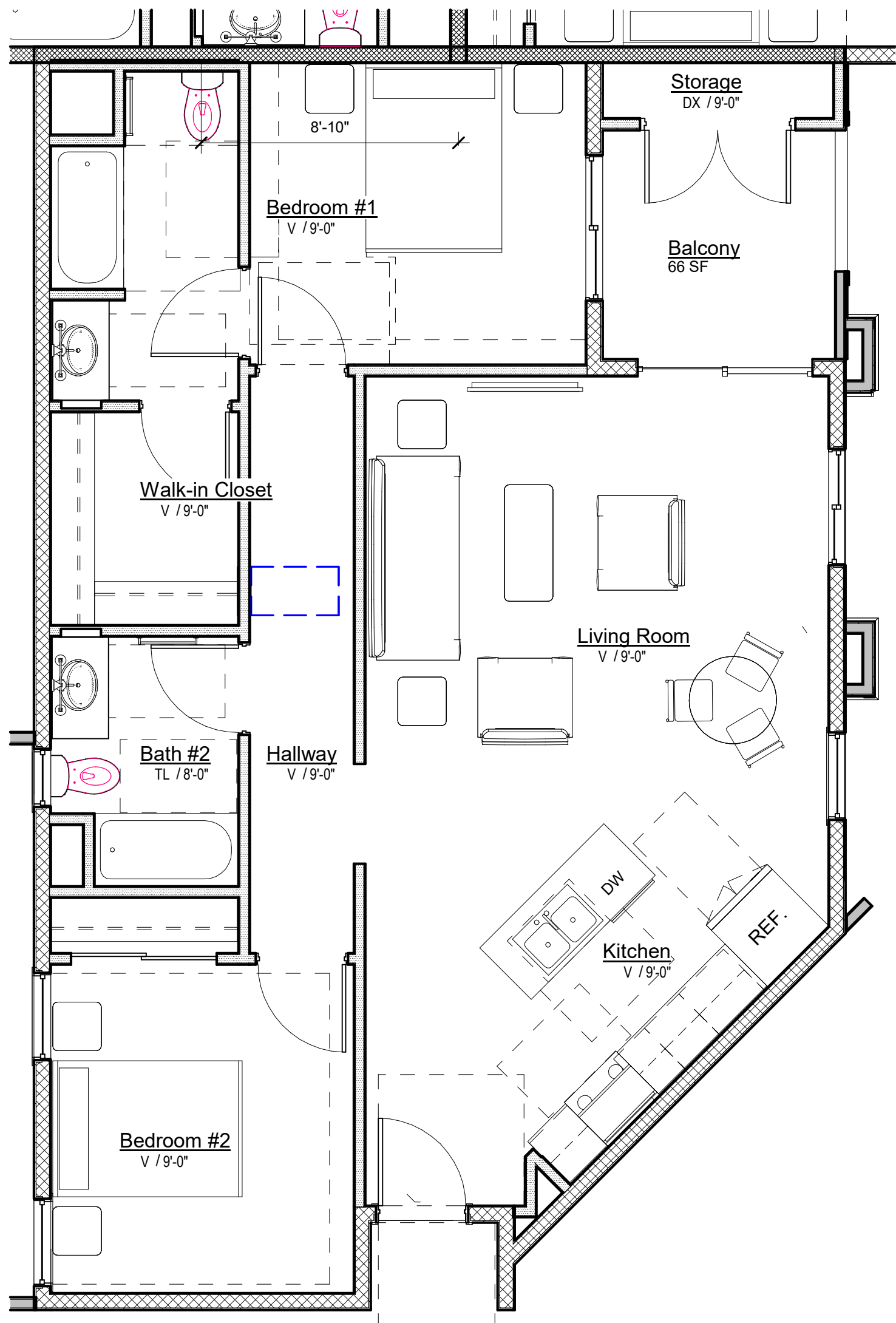
Typ. ADU
1/4" = 1'-0"

Area Schedule ADU	
unit	Area
Living - Conditioned	601 SF
Open Space - Unconditioned	80 SF



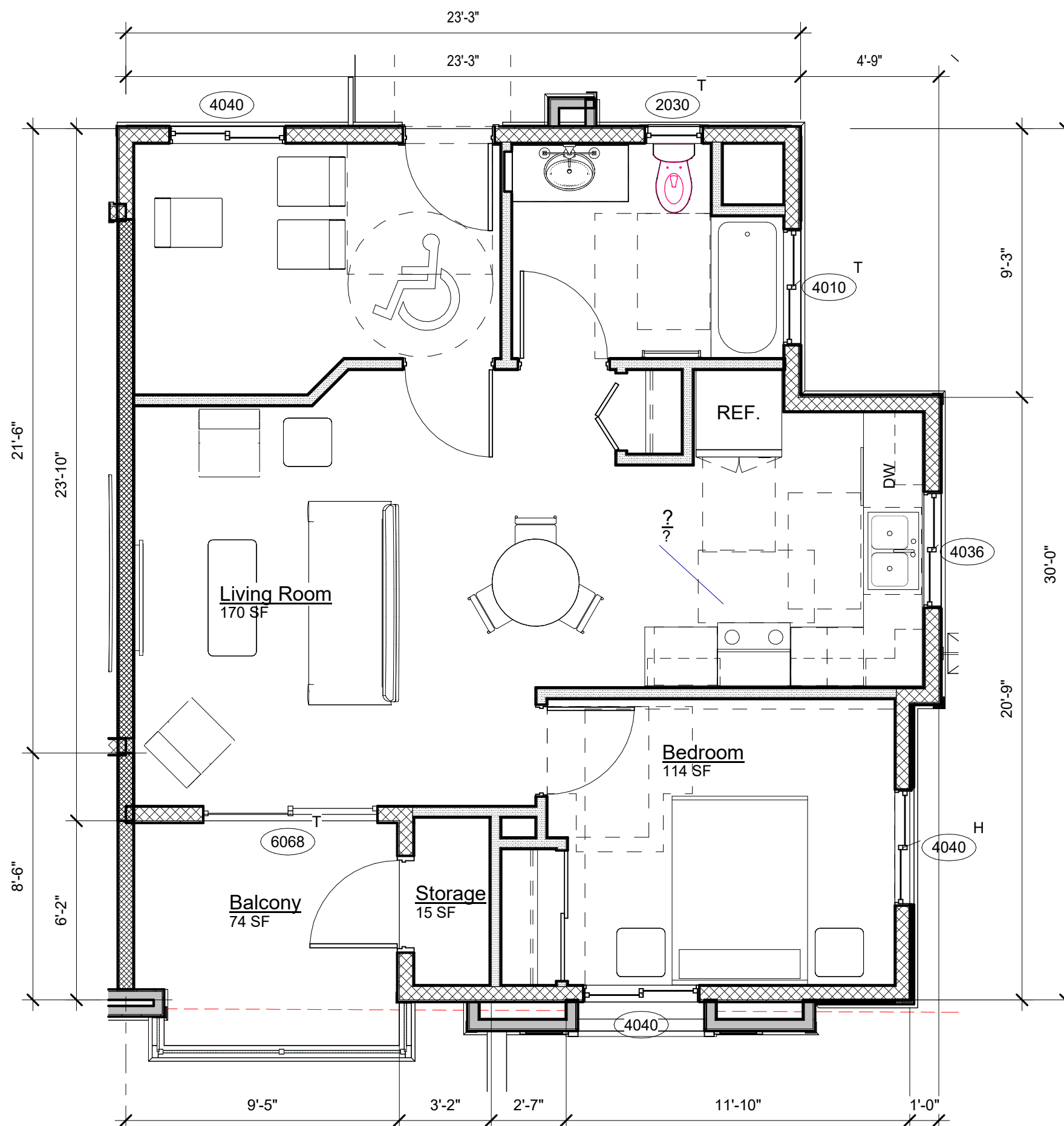
Typ. C-1 Unit
1/4" = 1'-0"

Area Schedule Unit C-1	
Living Space	614 SF
Private open space	74 SF



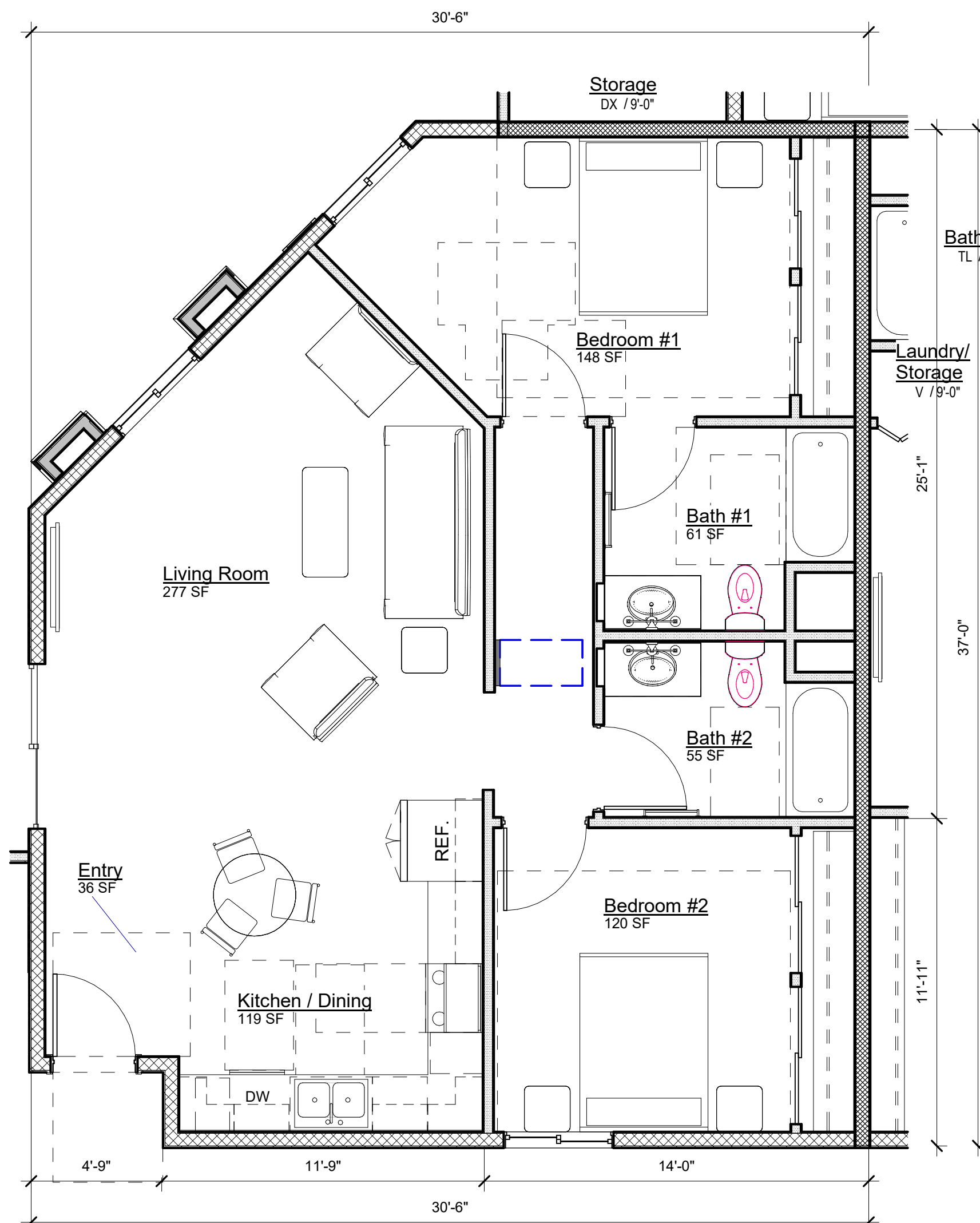
Typ. D-1 Unit
1/4" = 1'-0"

Area Schedule Unit D	
Unit	Area
Living - Conditioned	1,029 SF
Open Space - Unconditioned	66 SF



Manager's Unit
1/4" = 1'-0"

Manager's unit / Office	
Living Space	772 SF
Office	131 SF
Manager's space	596 SF
Private open space	77 SF



Typ. D-2 Unit
1/4" = 1'-0"

Area Schedule Unit D-2	
Unit	Area
Living - Conditioned	1,033 SF
Open Space - Unconditioned	80 SF



Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336
19 Nov. 2025
22-4474

12-31-21 RENEWAL DATE	12-31-21 RENEWAL DATE
-----------------------------	-----------------------------

Typ. Unit Floor Plans

PL3



Front Elevation - South
1/4" = 1'-0"

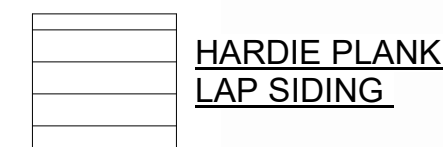


Right Elevation - East
1/4" = 1'-0"

Material Schedule

KEY COLOR (TO MATCH), DESCRIPTION

1A	ROOFING -	EAGLE-BEL AIR	-	4595 DARK CHARCOAL
2A	FASCIA/TRIM -	DUNN EDWARDS PAINT -	DARK ENGINE "DE6350"	
3B	FIBER CEMENT SIDING -	JAMES HARDIE	-	MONTEREY TAUPE
3C	FIBER CEMENT SIDING -	JAMES HARDIE	-	NIGHT GRAY
3W	FIBER CEMENT SIDING -	JAMES HARDIE	-	ARCTIC WHITE



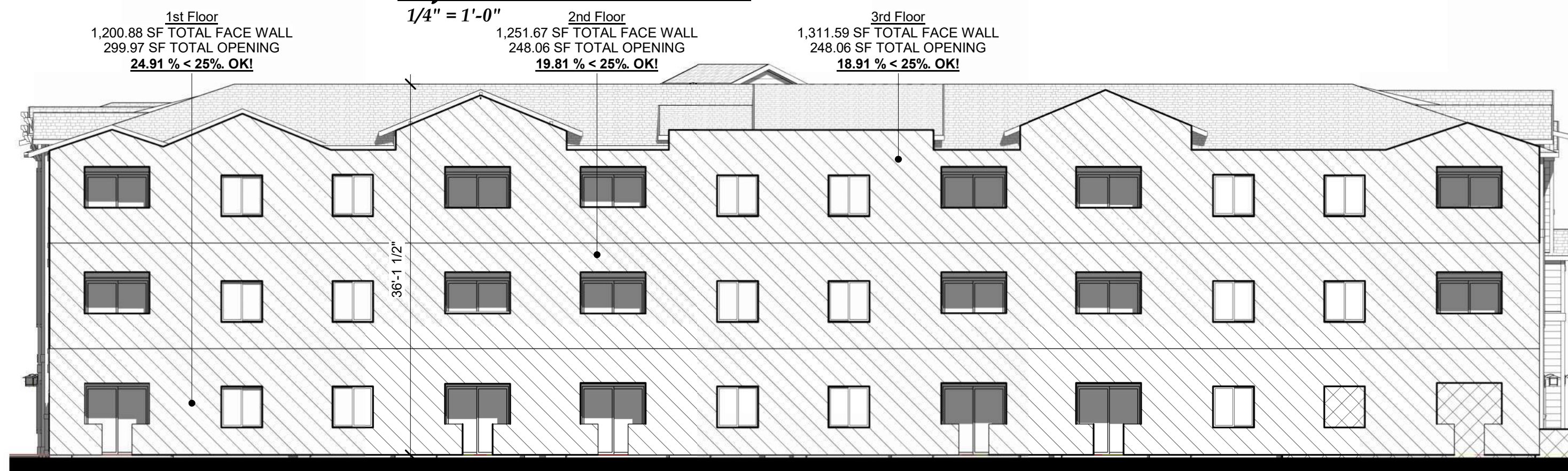
Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
16 Sep. 2024		
22-4474		
Exterior Elevations		PL4



Rear Elevation - North
1/4" = 1'-0"



Left Elevation - West
1/4" = 1'-0"

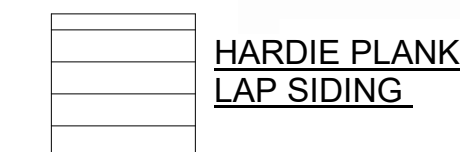


Left Elevation - West (25% Max. Opening)

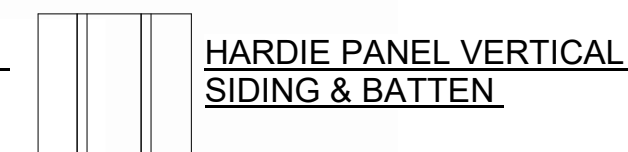
Material Schedule

KEY COLOR (TO MATCH), DESCRIPTION

1A	ROOFING -	EAGLE-BEL AIR	-	4595 DARK CHARCOAL
2A	FASCIA/TRIM	DUNN EDWARDS PAINT -	DARK ENGINE "DE6350"	
3B	FIBER CEMENT SIDING -	JAMES HARDIE	-	MONTEREY TAUPE
3C	FIBER CEMENT SIDING -	JAMES HARDIE	-	NIGHT GRAY
3W	FIBER CEMENT SIDING -	JAMES HARDIE	-	ARCTIC WHITE



HARDIE PLANK
LAP SIDING



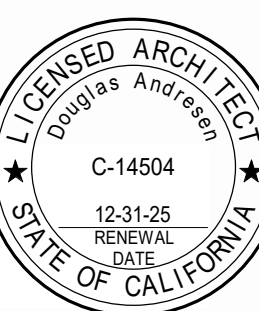
HARDIE PANEL VERTICAL
SIDING & BATTEN



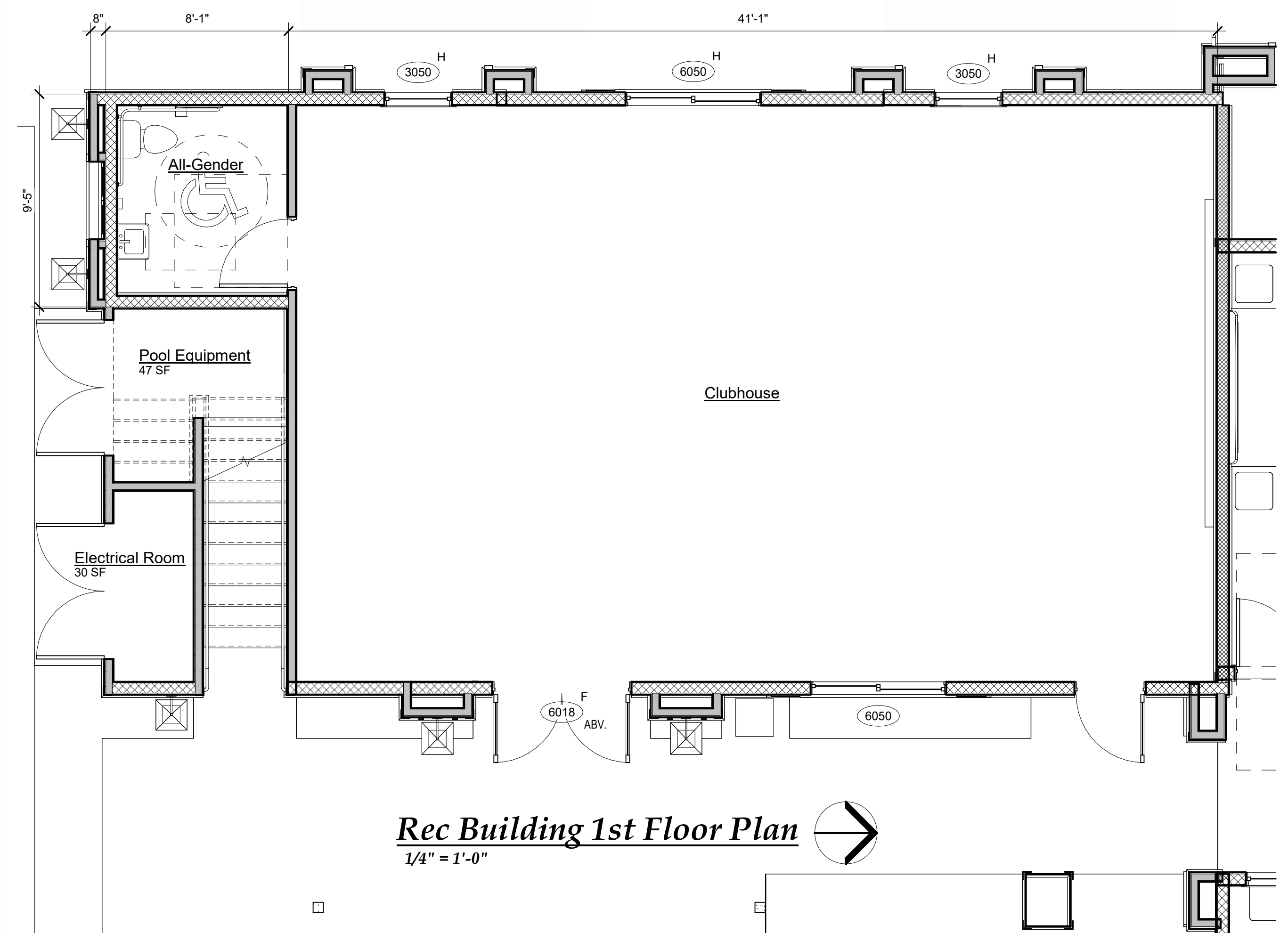
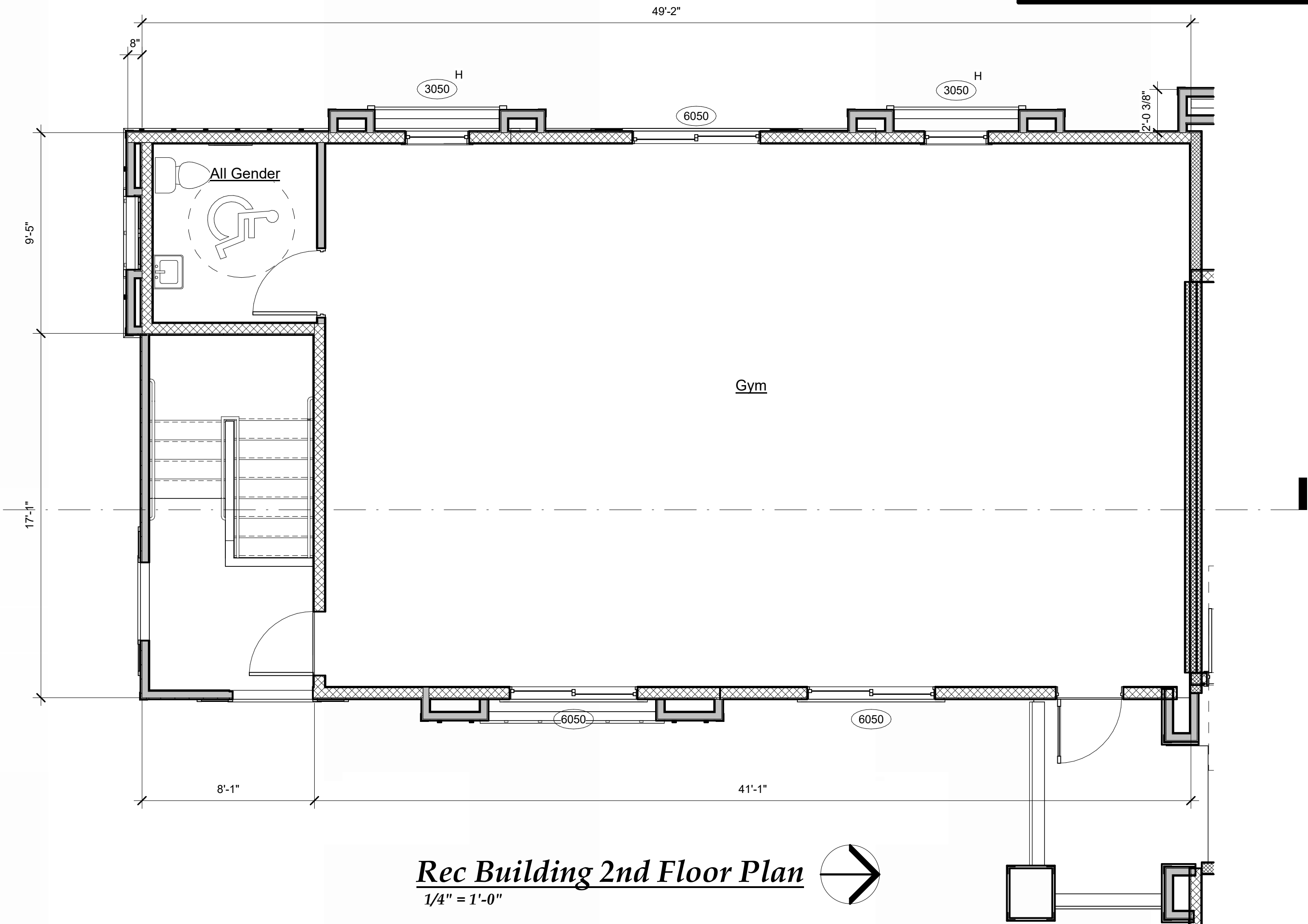
HARDIE ARCHITECTURAL
PANEL - FINE SAND

Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336

16 Sep. 2024
22-4474



Exterior Elevations PL5



Material Schedule

KEY COLOR (TO MATCH), DESCRIPTION

1A	ROOFING -	EAGLE-BEL AIR	-	4595 DARK CHARCOAL
2A	FASCIA/TRIM -	DUNN EDWARDS PAINT -		DARK ENGINE "DE6350"
3B	FIBER CEMENT SIDING -	JAMES HARDIE	-	MONTEREY TAUPE
3C	FIBER CEMENT SIDING -	JAMES HARDIE	-	NIGHT GRAY
3W	FIBER CEMENT SIDING -	JAMES HARDIE	-	ARCTIC WHITE

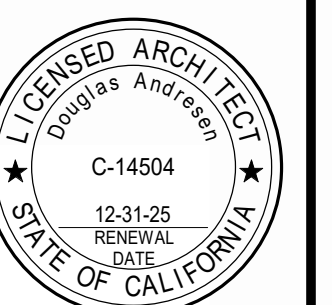
Proposed Senior Housing Apartments For:
Baseline Village
16180 Baseline Ave, Fontana, CA 92336

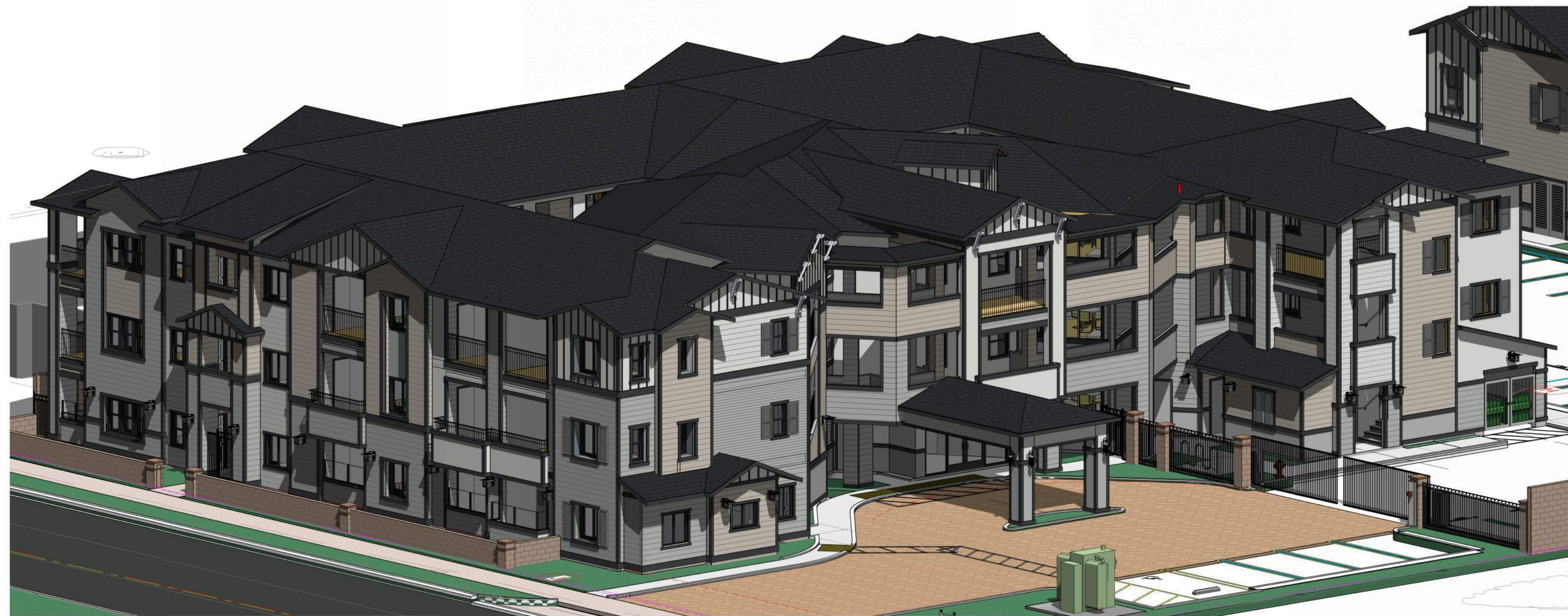
16 Sep. 2024

22-4474

Rec Building

PL6





Aerial View



Entry View



Rear View



Parking Lot View



Street View



Street View



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INC.
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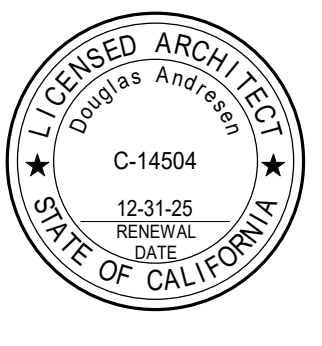
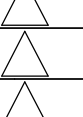
Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
16 Sep. 2024	▲▲▲	
22-4474	▲▲▲	
3D Views		PL7

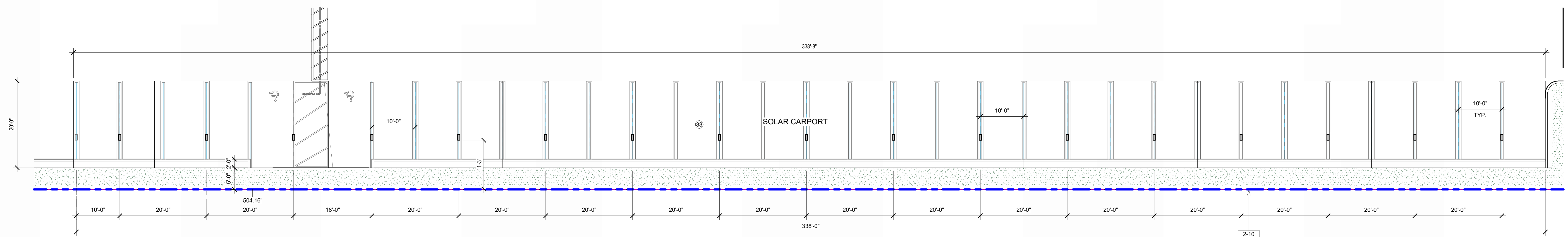


Aerial View (North/West)

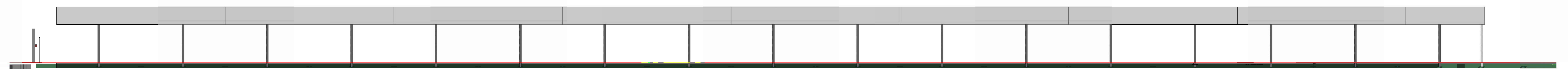


Rear View (South/East)

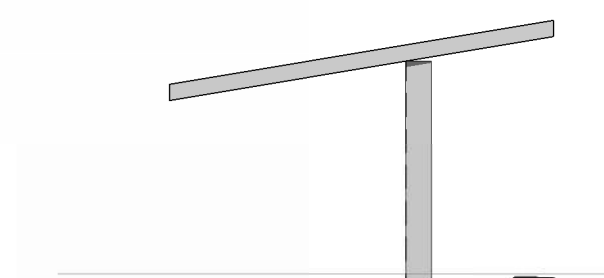
Proposed Senior Housing Apartments For: Baseline Village 16180 Baseline Ave, Fontana, CA 92336		
16 Sep. 2024		
22-4474		
Renderings		PL8



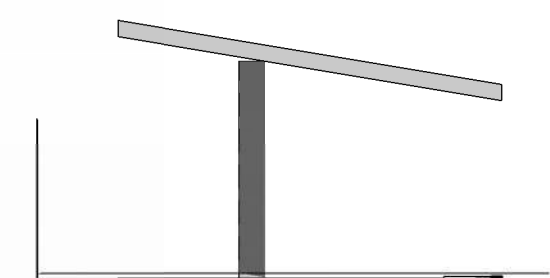
Solar Carport Plan
1" = 10'-0" 



Solar Carport Front (West) Elevation
1" = 10'-0"



Solar Carport Left (South) Elevation
1" = 10'-0"



Solar Carport Right (North) Elevation
1" = 10'-0"



ANDRESEN
ARCHITECTURE
INC.

17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

Proposed Senior Housing Apartments For:

Baseline Village
16180 Baseline Ave, Fontana, CA 92336

30 Aug. 2024

22-4474

Solar Carport



PL8

GENERAL NOTES

- A GRADING PERMIT FROM THE BUILDING AND SAFETY DIVISION SHALL BE REQUIRED. ALL GRADING SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF FONTANA MUNICIPAL CODE AND THE INTERNATIONAL BUILDING CODE, 2021 IBC/2022 CBC, CPC AND CALIFORNIA GREEN STANDARDS CODE.
- A PRE-GRADING MEETING AT THE SITE IS REQUIRED AMONG THE CITY INSPECTOR, THE CIVIL ENGINEER, THE SOILS ENGINEER AND THE GRADING CONTRACTOR PRIOR TO GRADING.
- HOURS OF OPERATION ARE 7:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY.
- A SEPARATE ENGINEERING DIVISION PERMIT SHALL BE REQUIRED FOR ANY IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES OR STRUCTURES ABOVE OR BELOW GROUND, SHOWN OR NOT SHOWN ON THESE PLANS. HE WILL BE HELD RESPONSIBLE FOR ALL DAMAGE TO ANY UTILITIES THAT RESULT FROM HIS OPERATIONS.
- STRICT ADHERENCE TO DUST CONTROL REQUIREMENTS SHALL BE ENFORCED AND ADJACENT STREETS ARE TO BE CLEANED DAILY OF ALL DIRT AND DEBRIS THAT IS A RESULT OF THIS OPERATION.
- SEPARATE PERMITS FROM THE CITY OF FONTANA BUILDING AND SAFETY DIVISION SHALL BE REQUIRED FOR ANY WALLS.
- THE DESIGN CIVIL ENGINEER/SOILS ENGINEER OF RECORD SHALL EXERCISE SUFFICIENT CONTROL DURING GRADING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND CODE REQUIREMENTS WITHIN HIS PURVIEW. THE ENGINEERS SHALL SUBMIT ACKNOWLEDGMENT CONCERNING EMPLOYMENT FORM TO THE CITY PRIOR TO ISSUANCE OF A GRADING PERMIT.
- REVISIONS TO THESE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR HIS REVIEW AND APPROVAL.
- THE CIVIL ENGINEER SHALL SUBMIT WRITTEN CERTIFICATION OF COMPLETION OF ROUGH GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND CERTIFICATION OF BUILDING PAD ELEVATION PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. PAD ELEVATION GRADING TOLERANCE SHALL NOT EXCEED $\pm 0.10'$.
- AN "AS-BUILT" GRADING PLAN SHALL BE SUBMITTED AT THE COMPLETION OF WORK.
- ALL GRADING SHALL BE PERFORMED UNDER SUPERVISION OF THE SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILLS HAVE BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1" IN DEPTH.
- FILL AREAS SHALL BE CLEANED OF ALL VEGETATION AND DEBRIS, SCARIFIED TO A MINIMUM DEPTH OF 12 INCHES AND INSPECTED BY THE SOILS ENGINEER PRIOR TO THE PLACING OF FILL.
- UNSUITABLE MATERIALS, SUCH AS TOP SOIL, WEATHERED BEDROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURE.
- MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.
- CITY APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
- CONSTRUCTION MATERIAL AND EQUIPMENT SHALL NOT OCCUPY ANY PORTION OF THE PUBLIC RIGHT OF WAY, SUCH AS STREET, ALLEY OR PUBLIC SIDEWALK AT ANY TIME. TEMPORARY USE OF PUBLIC RIGHT OF WAY, WHENEVER REQUESTED, SHOULD BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
- NOTICE OF INTENT MUST BE FILED WITH THE STATE OF CALIFORNIA TO COMPLY WITH THE TERMS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER. CERTIFICATE FROM THE ENGINEER OF RECORD PRIOR TO BUILDINGS FINAL INSPECTION.
- BUILDER SHALL PROVIDE BUILDING INSPECTOR WITH A FINAL PRECISE GRADING.
- A PAD CERT, A COMPACTION REPORT AND ANY OTHER REQUIRED DOCUMENTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH GRADING INSPECTION.
- CONTRACTOR TO VERIFY WITH MANUFACTURER FOR TRENCH BACKFILL SPECIFICATIONS FOR UTILITIES.

CITY OF FONTANA, UTILITY NOTIFICATION LIST

CITY OF FONTANA 8353 SIERRA AVE FONTANA, CA 92335 (909) 350-6632	AT&T 22311 BROOKHURST ST SUITE 203 HUNTINGTON BEACH, CA 92646 (714) 963-7964
SO. CALIF. GAS COMPANY 1981 W. LUGONIA AVE REDLANDS, CA 92374 (909) 335-7967 EMERGENCIES: (800) 427-2200	SPRINT 2592 DUPONT DR IRVINE, CA 92612 (800) 659-9698
SO. CALIF. EDISON COMPANY 300 N. PEPPER AVE RIALTO, CA 92376 (909) 820-5598 - UNDERGROUND (909) 875-5100 - TRANSMISSION (213) 637-1233 - PIPELINES (909) 357-6505 - DISTRIBUTION	TIME WARNER CABLE 1500 AUTO CENTER DR ONTARIO, CA 91761 (909) 975-3439
SAN GABRIEL VALLEY WATER COMPANY 15866 ARROW BOULEVARD FONTANA, CA 92335 (909) 201-7856 (909) 201-7377	SUNESYS, LLC 1325 PICO ST #106 CORONA, CA 92881 (951) 278-0400
	UNDERGROUND SERVICE ALERT (800) 422-4133

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT ON RECORD OR NOT SHOWN ON THESE PLANS.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

UNAUTHORIZED CHANGES AND USES:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

NOTE

BEFORE THE CONSTRUCTION STAKING OF THIS PROJECT BEGINS A REVIEW OF THE APPROVED ARCHITECTURE AGAINST THIS PLAN SET NEEDS TO BE MADE TO CHECK AGAINST DIFFERENCES IN THE PLAN SETS.

WATER NOTE:

ALL DOMESTIC & FIRE LINES WILL HAVE FULL RESTRAINTS

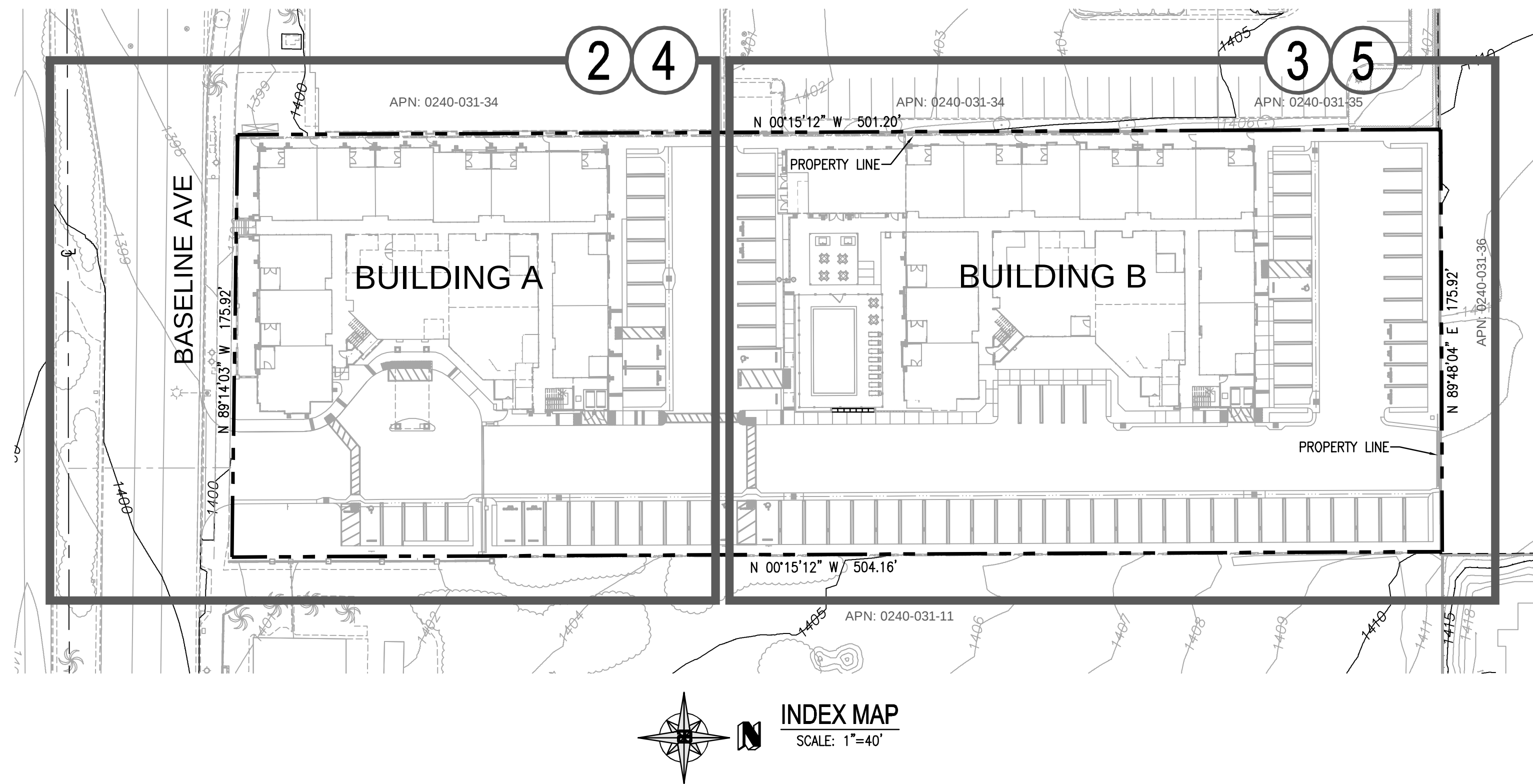
FIRE FLOW NOTE:

THE FIRE FLOW FOR THIS PROJECT SHALL BE: 2625 GPM FOR A 4 HOUR DURATION AT 20 PSI RESIDUAL OPERATING PRESSURE. FIRE FLOW IS BASED ON A 38,585 SQUARE FOOT STRUCTURE.

WATER DEMAND ASSUMPTIONS:

DOMESTIC WATER:
2 BUILDINGS
135 GPM'S PER BUILDING

CITY OF FONTANA
PRECISE GRADING, PAVING
AND UTILITY PLAN



LEGEND

1431.0	PAD ELEVATION
1X	DRAINAGE FLOW
---	EXISTING CONTOURS
---	PROPOSED SLOPE
---	PROPOSED RETAINING WALL
---	SEWER LINE WITH MANHOLE
---	WATER LINE
---	PROPOSED CATCH BASIN
---	PROPOSED FIRE HYDRANT
---	PROPOSED STREET LIGHT
PA	PLANTER AREA
FS	FINISH SURFACE
FF	FINISH FLOOR
TC	TOP OF CURB
...	PROPOSED ADA ACCESS
---	AC PAVEMENT
---	CONCRETE PAVEMENT
---	CONCRETE PAVERS PER LANDSCAPE PLANS
---	HANDICAPPED PARKING

WDID NO. 8 360400107

SITE STATISTICS

PARCEL SIZE: 2.03 ACRES
GRADED AREA: 88,431 S.F.
P.C.C. PAVEMENT AREA: 46,012 S.F.

SHEET INDEX

TITLE SHEET	1
PRECISE GRADING	2
PRECISE GRADING	3
PRIVATE SEWER & WATER	4
PRIVATE SEWER & WATER	5
DETAILS	6
DETAILS	7
DETAILS	8
EROSION CONTROL	9
CONDITIONS OF APPROVAL	10
CONDITIONS OF APPROVAL	11
UNDER GROUND CHAMBER DETAILS	12

RAW EARTHWORK QUANTITIES:

PARCEL SIZE = 2.03 AC
GRADED AREA = 88,431 S.F.
AREA OF GRADING DISTURBANCE ENTIRE PROPERTY 2.03 ACRES
= 88,431 S.F.

GEOTECHNICAL ENGINEERS STATEMENT:

THIS PLAN HAS BEEN GEOTECHNICALLY REVIEWED AND FOUND TO CONFORM WITH THE RECOMMENDATIONS IN OUR REPORT DATED AUGUST 25, 2022, PROJECT NO. 3-222-0669. THE RECOMMENDATIONS ARE SUBJECT TO VERIFICATION BY OBSERVATION AND TESTING DURING AND CONSTRUCTION.

PROJECT ENGINEER
SALEM ENGINEERING GROUP, INC.
1/22/2025
DATE:

DEVELOPER

SPIEGEL DEVELOPMENT, INC.
23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
(818) 404-1443



REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

SHOULD CONSTRUCTION OF REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT

Prepared For:
SPIEGEL DEVELOPMENT, INC.

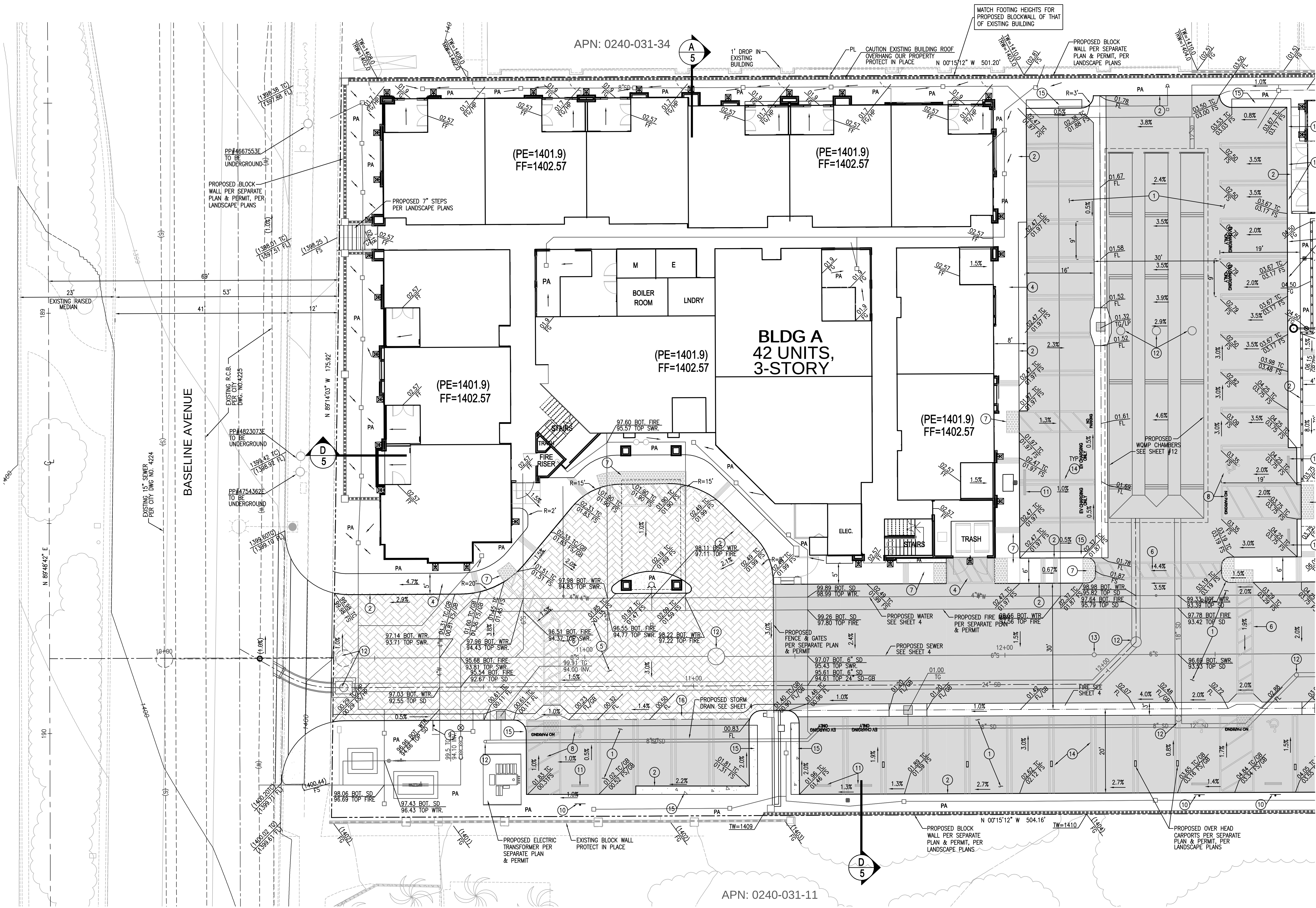
23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
(818) 404-1443

BASIS OF BEARINGS:
THE BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE V, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 (2017.50 EPOCH) AND WERE DETERMINED BY STATIC GPS TIES TO TWO CONTINUOUS GPS STATIONS (COPS) REFERRED TO AS "NHS" AND "WBP" BEARING BETWEEN BOTH STATIONS BEING NORTH 84°19'30" WEST BASED ON POSITIONS PUBLISHED IN THE CALIFORNIA SPATIAL REFERENCE CENTER.
BENCHMARK:
BENCHMARK ID: CITY OF FONTANA #407
DESCRIPTION: PK NAIL IN WEST END SW CR CYPRESS & MILLER ELEVATION: 1356.59 FEET (NGVD 29)

Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16966 Seville Avenue
Fontana, California 92335
Ph. (909) 356-1815 Fax (909) 356-1795
Robert K. Allard, R.C.E. 85349
7/21/25
Date

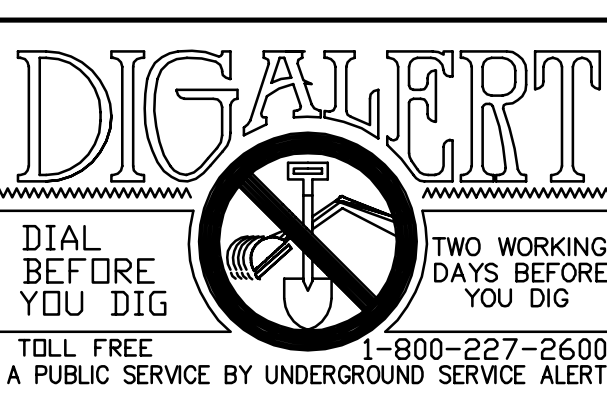
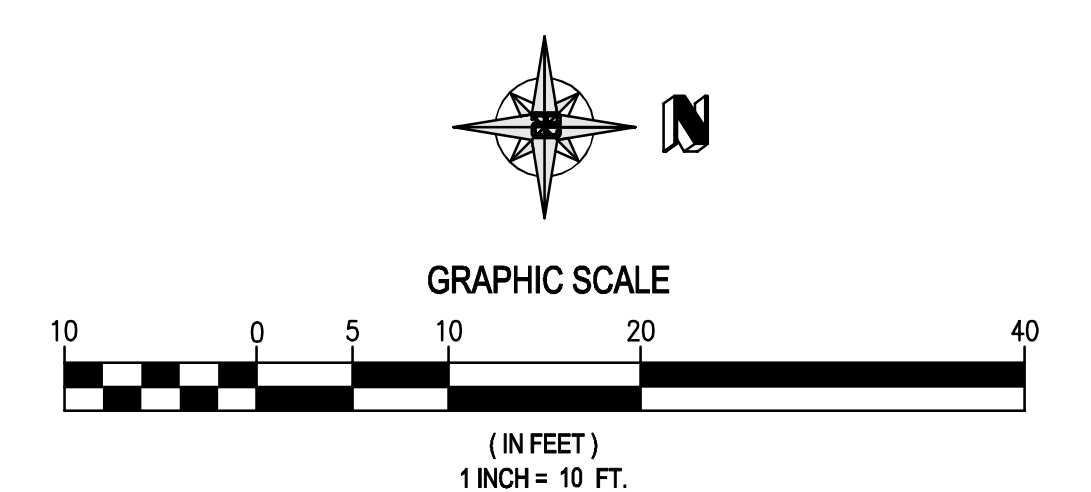
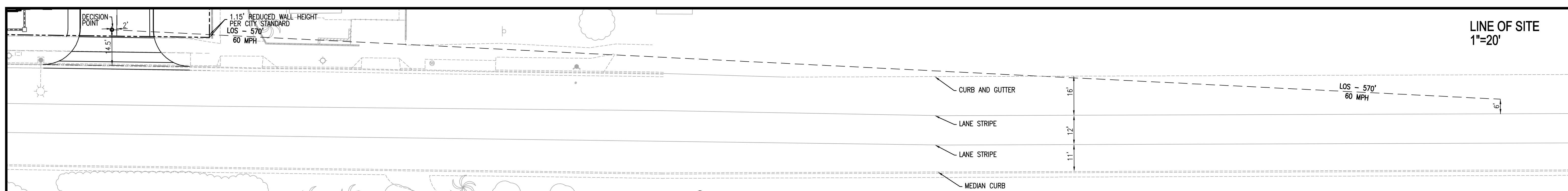


CITY OF FONTANA, CALIFORNIA PRECISE GRADING AND PAVING PLAN			
DRAWN BY: CY	16180 BASELINE AVENUE TITLE SHEET	SCALE: AS NOTED	DATE: September, 2025 DRAWING NO.: 1/12
DESIGNED BY: RJA			
CHECKED BY: RJA			



SEE SHEET 3 - POP
SEE SHEET 4 - STORM DRAIN
SEE SHEET 4 - SEWER
SEE SHEET 4 - WATER

- PRECISE GRADING CONSTRUCTION NOTES**
- CONSTRUCT 3" AGGREGATE BASE OVER 5" AGGREGATE BASE
 - CONSTRUCT 6" CURB ONLY, PER CITY STD. PLAN NO. 1000
 - CONSTRUCT 6" PCC CURB & GUTTER PER CITY STD. PLAN NO. 1000
 - CONSTRUCT 4" PCC SIDEWALK PER CITY STD. PLAN NO. 1006
 - CONSTRUCT CONCRETE PAVERS OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS (SEE LANDSCAPE FOR ADDITIONAL INFORMATION)
 - CONSTRUCT HANDICAP PATH OF TRAVEL PER DETAIL 1 ON SHEET 5
 - CONSTRUCT CURB RAMP WITH TRUNCATED DOME PER DETAIL 2 ON SHEET 5
 - CONSTRUCT HANDICAPPED PARKING STALL & STRIPING PER DETAIL 3 ON SHEET 5
 - CONSTRUCT UNAUTHORIZED PARKING SIGNAGE PER DETAIL 4 ON SHEET 5
 - CONSTRUCT HANDICAPPED SIGNAGE PER DETAIL 5 ON SHEET 5
 - CONSTRUCT WHEEL STOP
 - ADJUST MANHOLE FRAME & COVER TO GRADE PER CITY STD. PLAN 2000
 - ADJUST SEWER TERMINAL CLEANOUT TO GRADE PER CITY OF FONTANA STD. 2004
 - CONSTRUCT PARKING STALL STRIP PER CITY OF FONTANA STD.
 - CONSTRUCT 24" CONCRETE BAND
 - CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 6 ON SHEET NO. 6



REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

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Prepared For:
SPIEGEL DEVELOPMENT, INC.

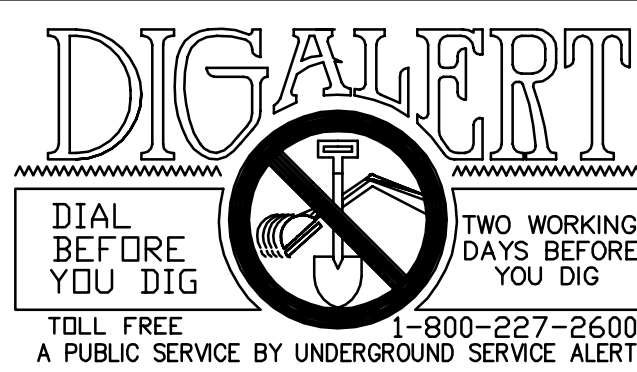
23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
(818) 404-1443

BASIS OF BEARINGS:
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BENCHMARK:
BENCHMARK ID: CITY OF FONTANA #407
DESCRIPTION: PK NAIL IN WEST END SW CR CYPRESS & MILLER
ELEVATION: 1356.5 FEET (NGVD 29)

Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
16666 Seville Avenue
Fontana, California 92335
Ph. (909) 356-1815 Fax (909) 356-1795
Robert K. Allard
Robert K. Allard, R.C.E. 85349
7/21/25
Date



CITY OF FONTANA, CALIFORNIA PRECISE GRADING AND PAVING PLAN			
DRAWN BY: CV	SCALE: AS NOTED	16180 BASELINE AVENUE	
DESIGNED BY: RJA	DATE: September, 2025		
CHECKED BY: RJA	DRAWING NO.: 2		



REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

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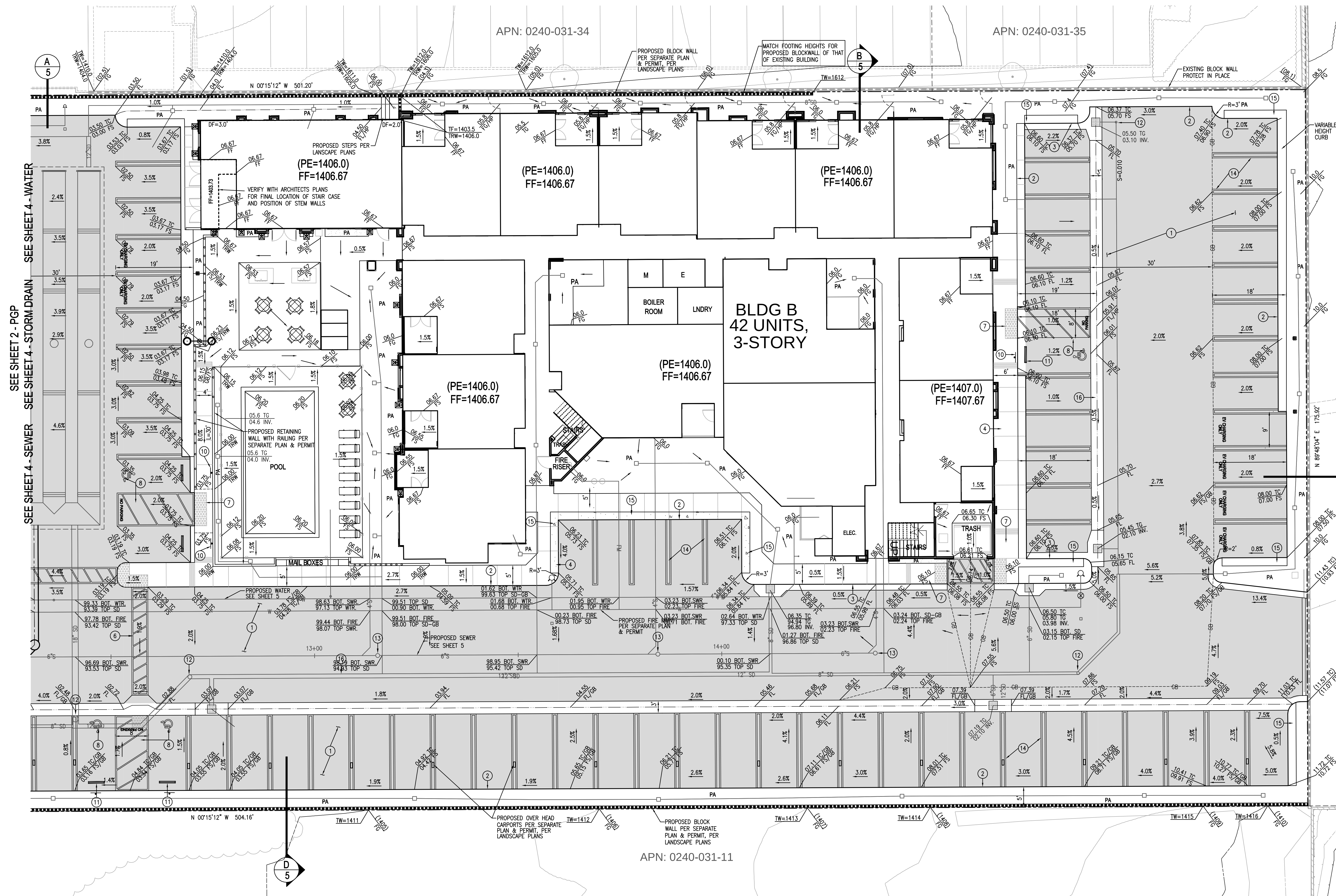


CITY OF FONTANA, CALIFORNIA
PRECISE GRADING AND PAVING PLAN

16180 BASELINE AVENUE

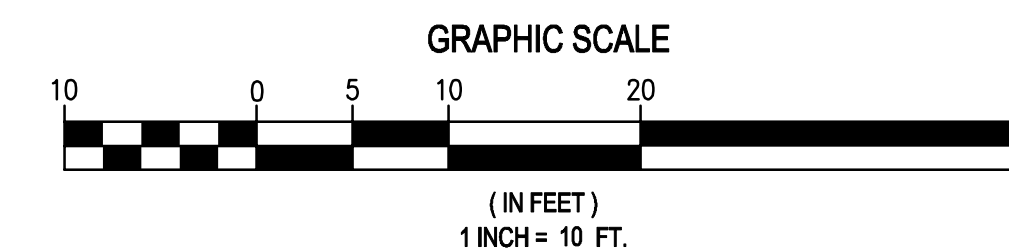
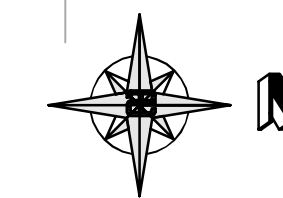
DRAWN BY:
CY
DESIGNED BY:
RJA
CHECKED BY:
RJA

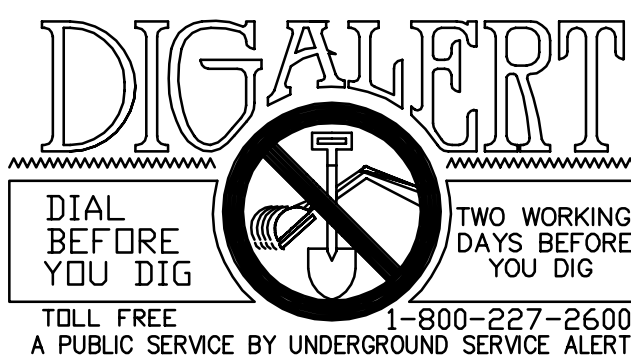
SCALE:
AS NOTED
DATE:
July, 2025
DRAWING NO.:
3
12



PRECISE GRADING CONSTRUCTION NOTES

- CONSTRUCT 3" AC PAVEMENT OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS.
- CONSTRUCT 6" CURB ONLY, PER CITY STD. PLAN NO. 1000
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- CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 6 ON SHEET NO. 6





REV.	REVISION DESCRIPTION	DATE	ENGR.	DATE	CITY

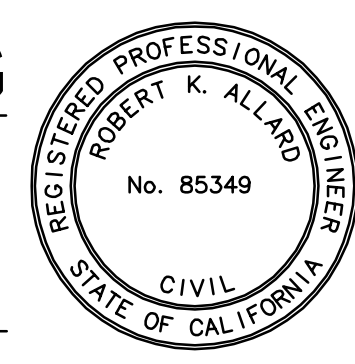
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Prepared For:
SPIEGEL DEVELOPMENT, INC.

23289 VENTURA BOULEVARD
WOODLAND HILLS, CA 91364
(818) 404-1443

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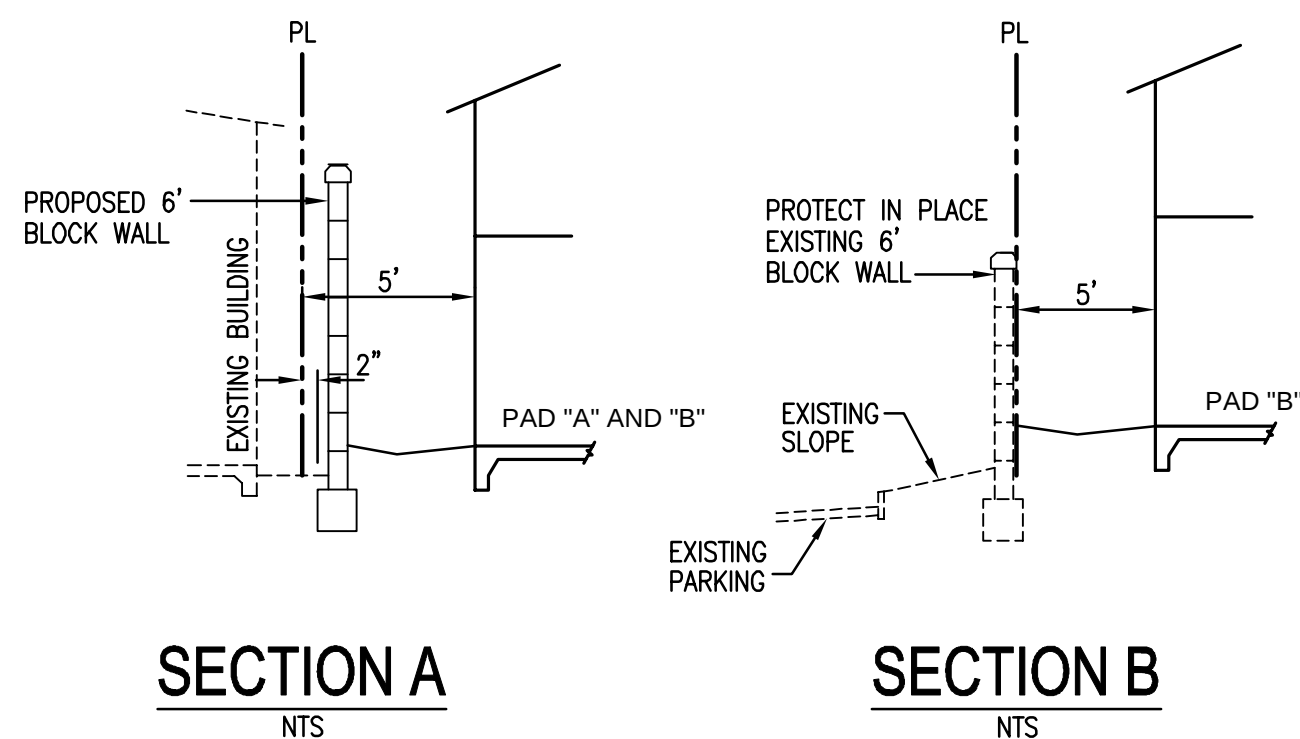


CITY OF FONTANA, CALIFORNIA PRECISE GRADING AND PAVING PLAN			
DRAWN BY: CV		SCALE: AS NOTED	
DESIGNED BY: RJA		DATE: September, 2025	
CHECKED BY: RJA		DRAWING NO.: 6/12	

DETAILS

1 TYPICAL HANDICAP PATH OF TRAVEL DETAIL

NOT TO SCALE

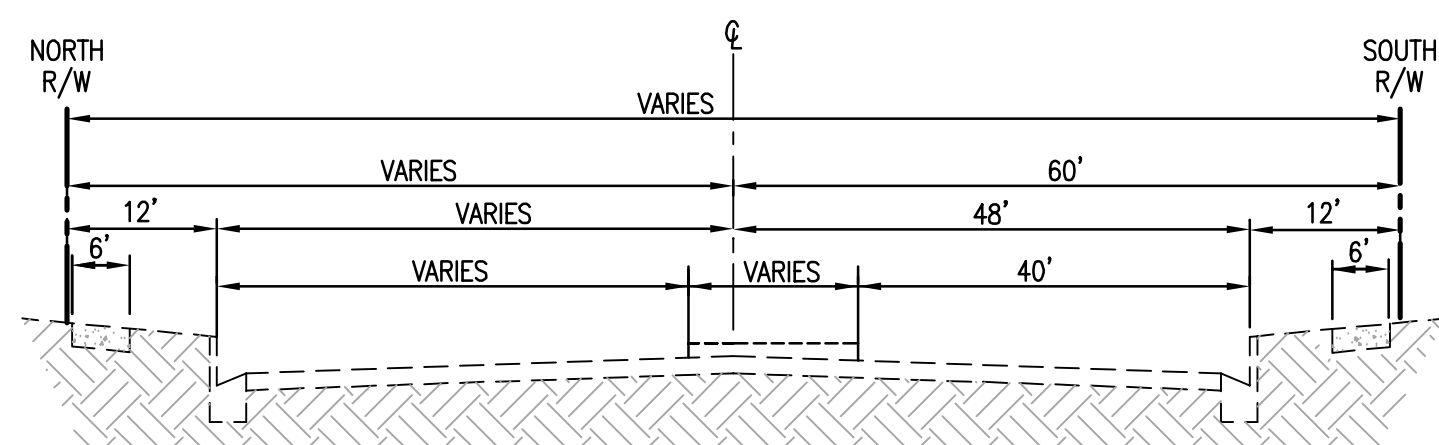


SECTION A

NTS

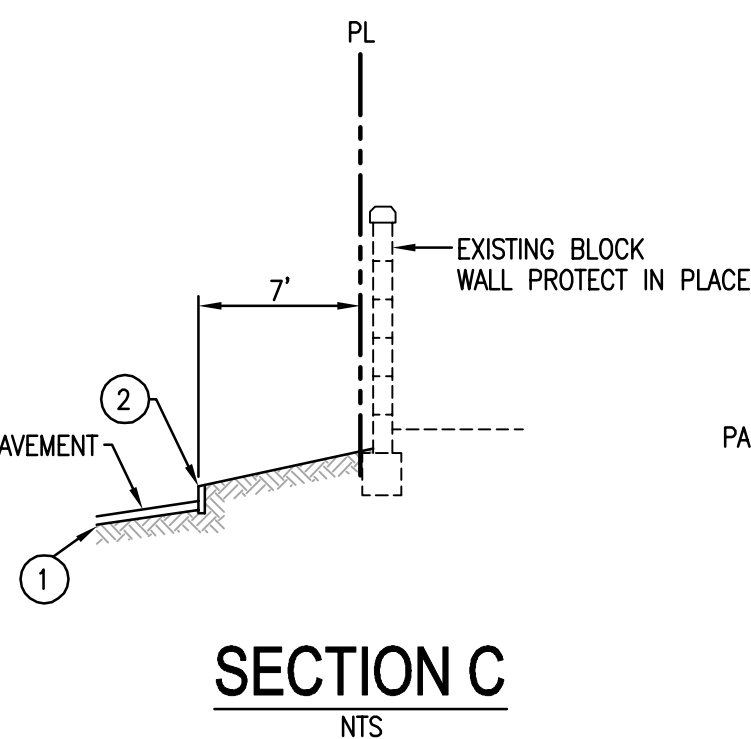
SECTION B

NTS



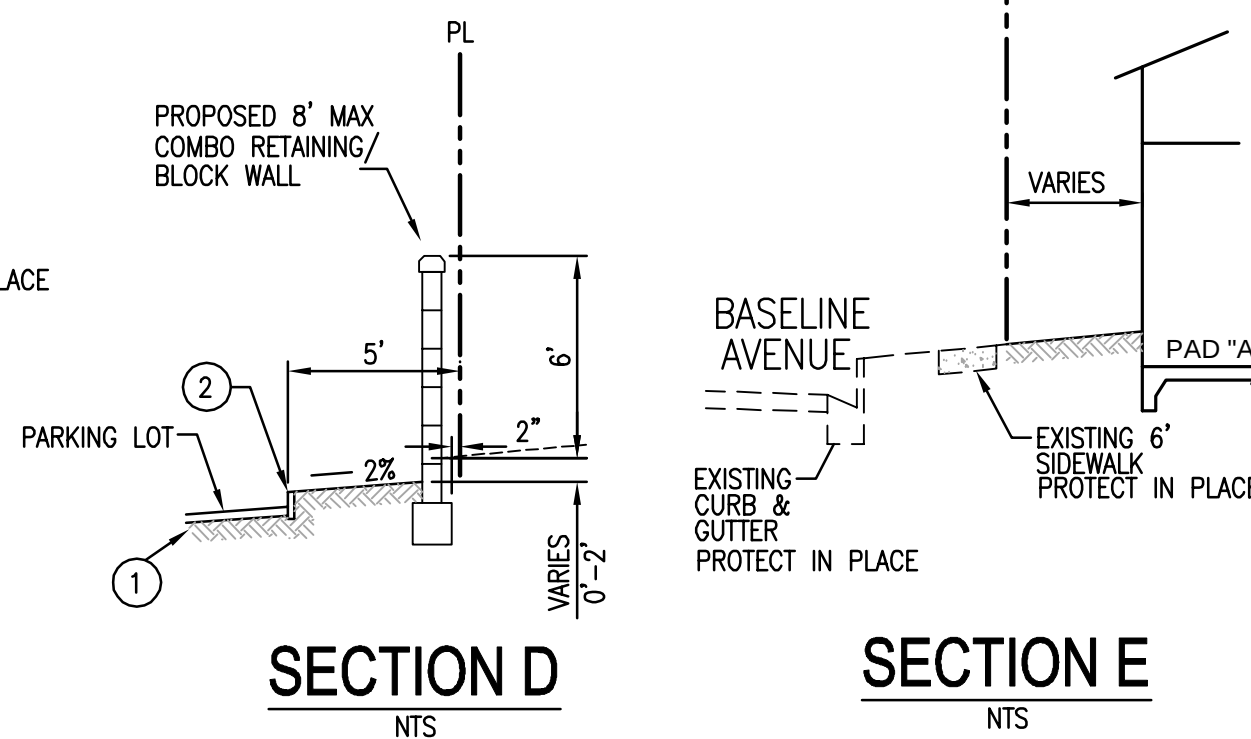
MODIFIED MAJOR HIGHWAY - 120' R/W BASELINE AVENUE

NTS



SECTION C

NTS

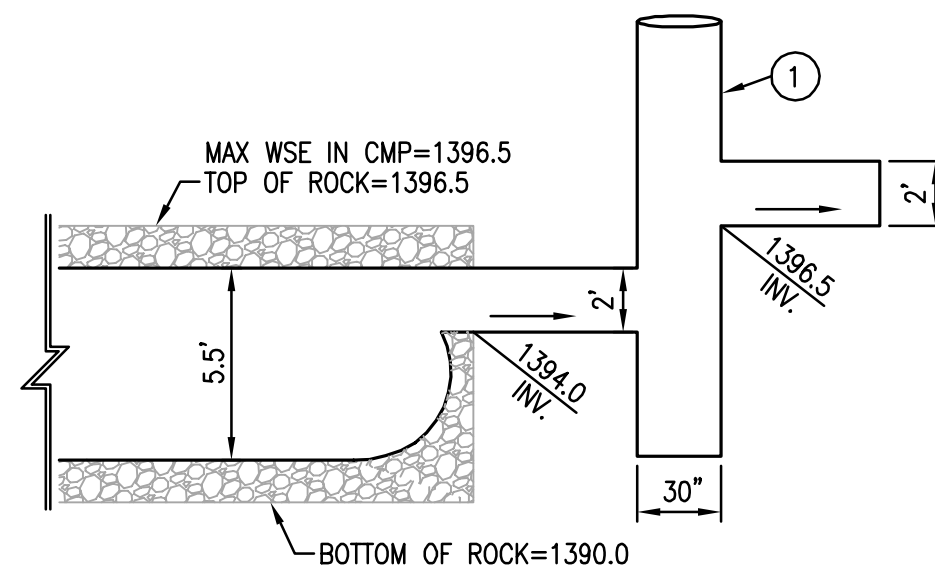


SECTION D

NTS

SECTION E

NTS

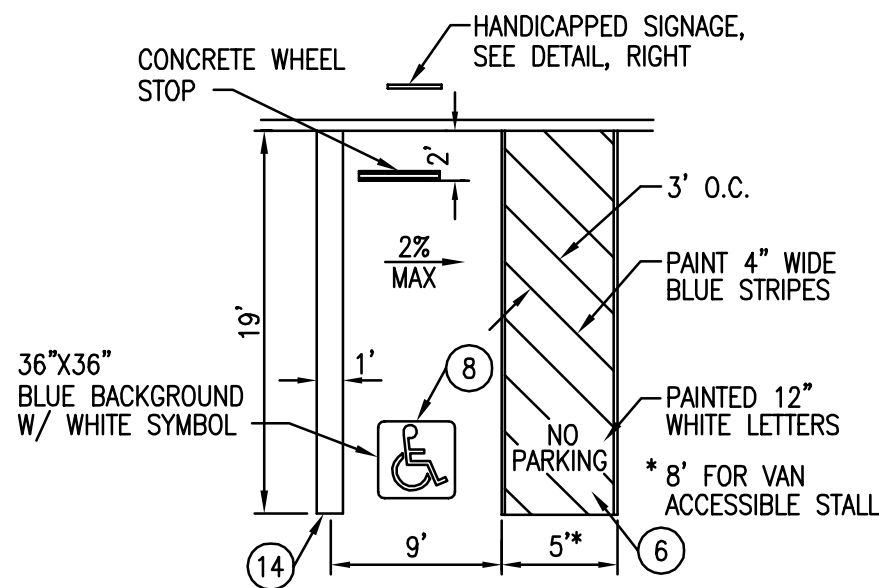


30' ADS NYLOPLAST DRAIN BASIN CHAMBER OUTLET DETAIL

NTS

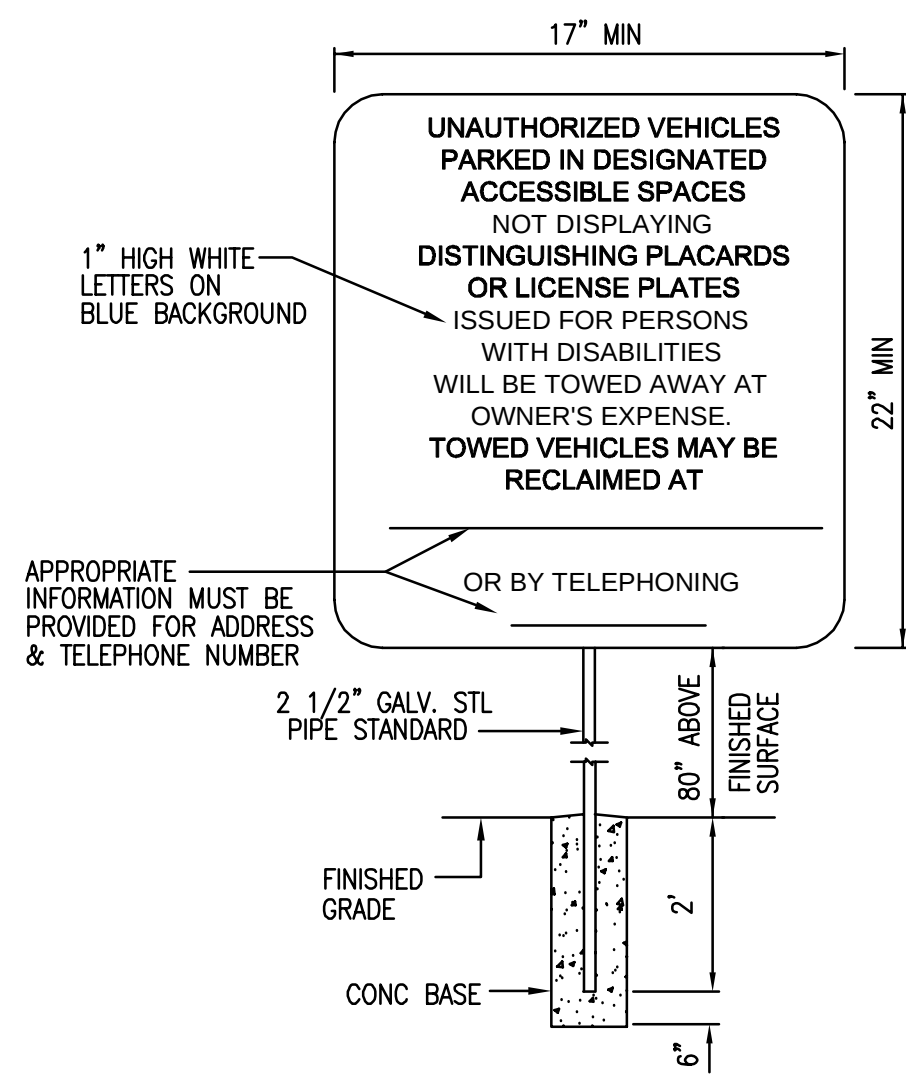
3 HANDICAPPED PARKING STALL AND STRIPPING

NOT TO SCALE



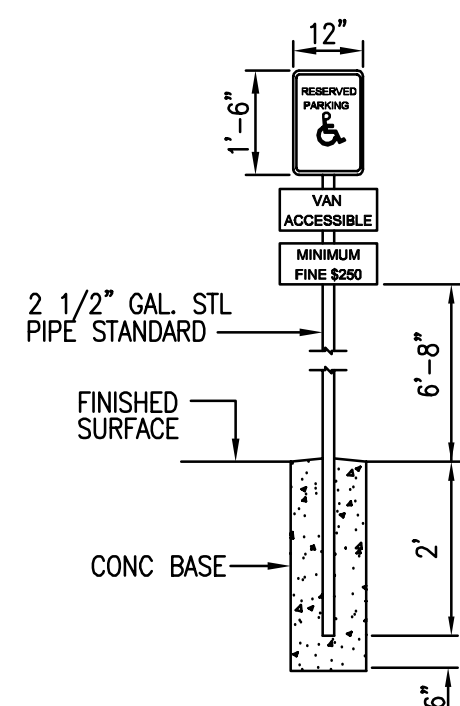
4 UNAUTHORIZED PARKING SIGNAGE

NOT TO SCALE



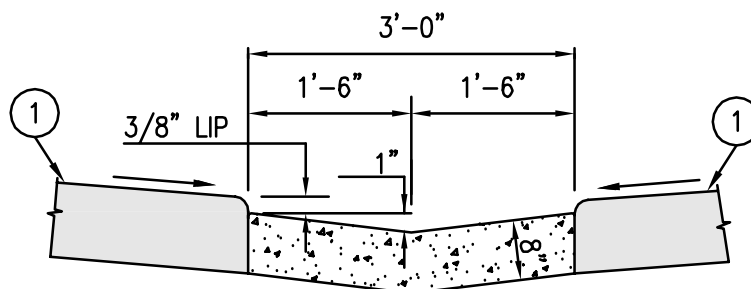
5 HANDICAPPED SIGNAGE

NOT TO SCALE



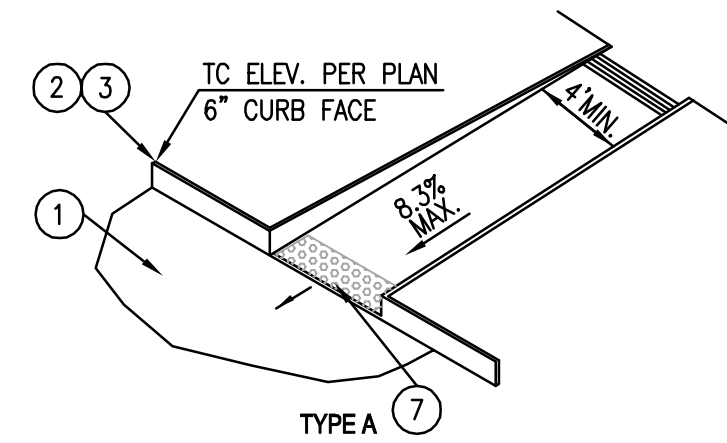
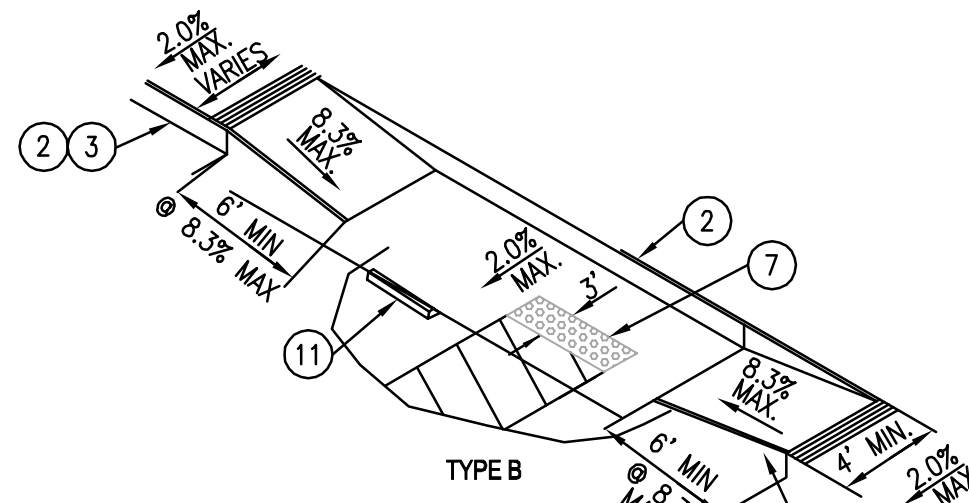
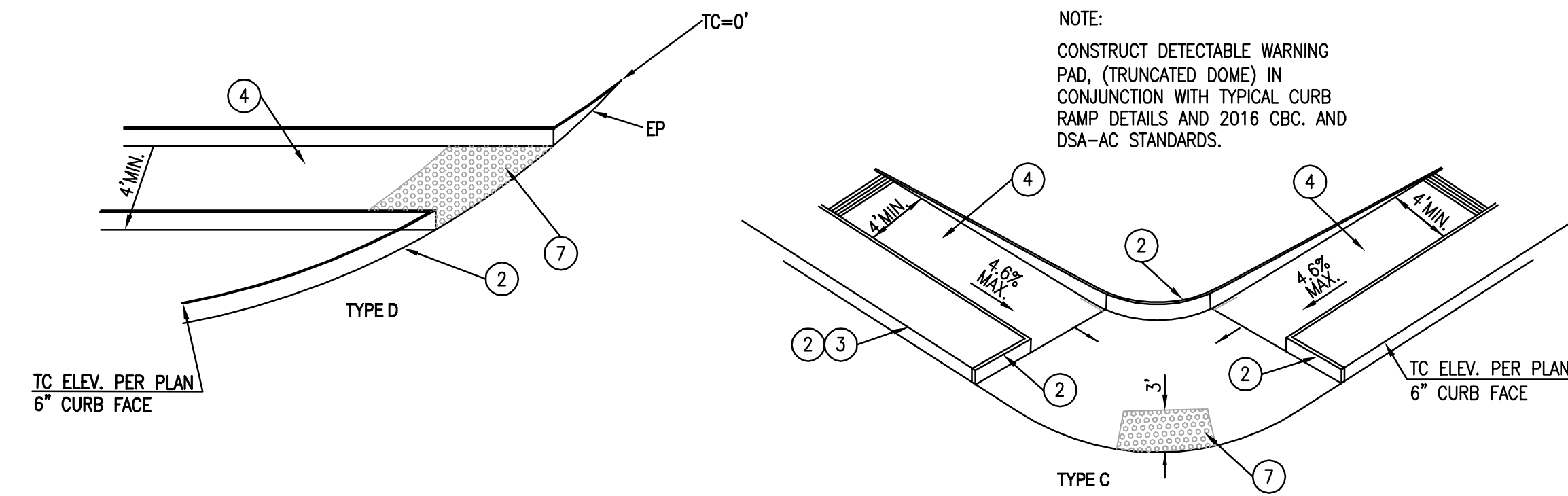
6 3' PCC RIBBON GUTTER DETAIL

NOT TO SCALE



2 TYPICAL CURB RAMP DETAILS WITH DETECTABLE WARNINGS TYPE A-E

NOT TO SCALE

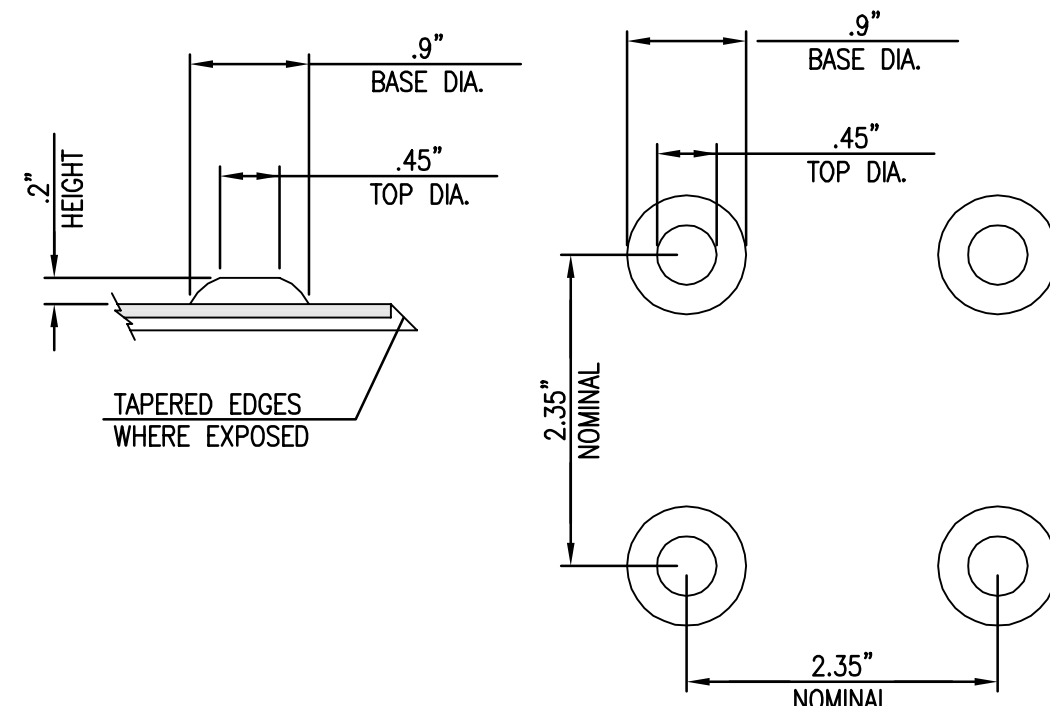


PRECISE GRADING CONSTRUCTION NOTES

1	CONSTRUCT 3" AC PAVEMENT OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS.	34,337 LF
2	CONSTRUCT 6" CURB ONLY, PER CITY STD. PLAN NO. 1000	1,658 LF
3	CONSTRUCT 6" PCC CURB & GUTTER PER CITY STD. PLAN NO. 1000	94 LF
4	CONSTRUCT 4" PCC SIDEWALK PER CITY STD. PLAN NO. 1006	3,686 SF
5	CONSTRUCT CONCRETE PAVERS OVER 5" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS (SEE LANDSCAPE FOR ADDITIONAL INFORMATION)	4,314 SF
6	CONSTRUCT HANDICAP PATH OF TRAVEL PER DETAIL 1 ON SHEET 5	5 EA
7	CONSTRUCT CURB RAMP WITH TRUNCATED DOME PER DETAIL 2 ON SHEET 5	8 EA
8	CONSTRUCT HANDICAPPED PARKING STALL & STRIPING PER DETAIL 3 ON SHEET 5	
9	CONSTRUCT UNAUTHORIZED PARKING SIGNAGE PER DETAIL 4 ON SHEET 5	
10	CONSTRUCT HANDICAPPED SIGNAGE PER DETAIL 5 ON SHEET 5	
11	CONSTRUCT WHEEL STOP	16 EA
12	ADJUST MANHOLE FRAME & COVER TO GRADE PER CITY STD. PLAN 2000	11 EA
13	ADJUST SEWER TERMINAL CLEANOUT TO GRADE PER CITY OF FONTANA STD. 2004	4 EA
14	CONSTRUCT PARKING STALL STRIP PER CITY OF FONTANA STD.	
15	CONSTRUCT 24" CONCRETE BAND	
16	CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 6 ON SHEET NO. 6	2,047 LF

QUANTITIES

TRUNCATED DOMES DETAIL



DETECTABLE WARNINGS

CURB RAMP - DETECTABLE WARNINGS AT CURB RAMP SHALL EXTEND 36" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND TO THE FULL WIDTH OF THE RAMP RUN LESS 2" MAX EACH SIDE - 11B-705.1.2.2. TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9" AT THE BASE TAPERING TO 0.45" AT THE TOP, A HEIGHT OF NOMINAL 0.2 INCH AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" IN COMPLIANCE WITH FIGURE 11B-705.1 THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN CCR, TITLE 24, PART 1, ARTICLES 2.3 AND 4.

FOR ALL ZERO CURB FACE OR OTHER HAZARDOUS VEHICLE AREAS PER THE 2019 CBC 11B-247.1.2.5 - HAZARDOUS VEHICLE AREAS. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING COMPLYING WITH SECTIONS 11B-705.1.1 AND 11B-705.1.2.5

DETECTABLE WARNINGS MUST COMPLY WITH SECTION 11B705.1.1.3.1, THE DETECTABLE WARNINGS SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C

PLANTING NOTES:

1. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
2. CONTRACTOR SHALL BE LIABLE FOR REMOVING AND REINSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS.
3. IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATING PRIOR TO PLANT MATERIALS.
4. TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE IRRIGATION COVERAGE TEST NO. 1 HAS BEEN APPROVED.
5. PLACE TREES BETWEEN IRRIGATION HEADS WHEREVER POSSIBLE.
6. SHREDDED MULCH INSTALLATION: INSTALL 3" LAYER SHREDDED MULCH IN ALL SHRUB AND GROUND COVER AREAS PER SPECIFICATIONS, UNLESS OTHERWISE INDICATED ON PLANS.
7. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE EXACT DUPLICATE OF ORIGINAL WORK OR PLANS, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
8. WHEREVER GROUND COVER AREAS ARE ADJACENT TO TURF INSTALL CONCRETE MOWSTRIP OR HEADERBOARD AS INDICATED ON DRAWINGS.
9. CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.

NOTE: PLANT QUALITY REQUIREMENTS

ALL PLANT MATERIALS SHALL BE FULL VIGOROUS & HEALTHY NURSERY STOCK - INCLUDING THE TOP OF PLANT AND THE ROOT SYSTEM. ALL PLANT MATERIALS SHALL MEET THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004). THE LANDSCAPE ARCHITECT MUST BE CONTACTED REGARDING ALL PLANT MATERIALS AS THEY ARRIVE ON-SITE, PRIOR TO THEIR INSTALLATION. THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIALS FOR INSTALLATION ON-SITE OR SHALL BE SENT REPRESENTATIVE PHOTOGRAPHS OF SAME. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT UNACCEPTABLE PLANT MATERIALS.

UNACCEPTABLE CONDITIONS FOR PLANTS IN GENERAL:

PLANT MATERIALS THAT ARE THE INCORRECT SPECIES.
PLANTS MATERIALS WITH APPARENT FUNGAL DISEASE (MILDEW, RUST, BLACK-SPOT, ETC.). PLANTS THAT ARE DEFOOLIATED DUE TO STRESS OR DISEASE. FOLIAGE THAT IS CHLOROTIC, WIND OR FROST BURNED, OR IN ANY OTHER WAY DAMAGED.

UNACCEPTABLE CONDITIONS FOR ROOT SYSTEMS:

PLANTS WITH EXPOSED ROOTS, GIRDLED ROOTS, OVERGROWN OR UNDERSIZED ROOT SYSTEMS WILL BE CONSIDERED UNACCEPTABLE.

TREE SELECTION:

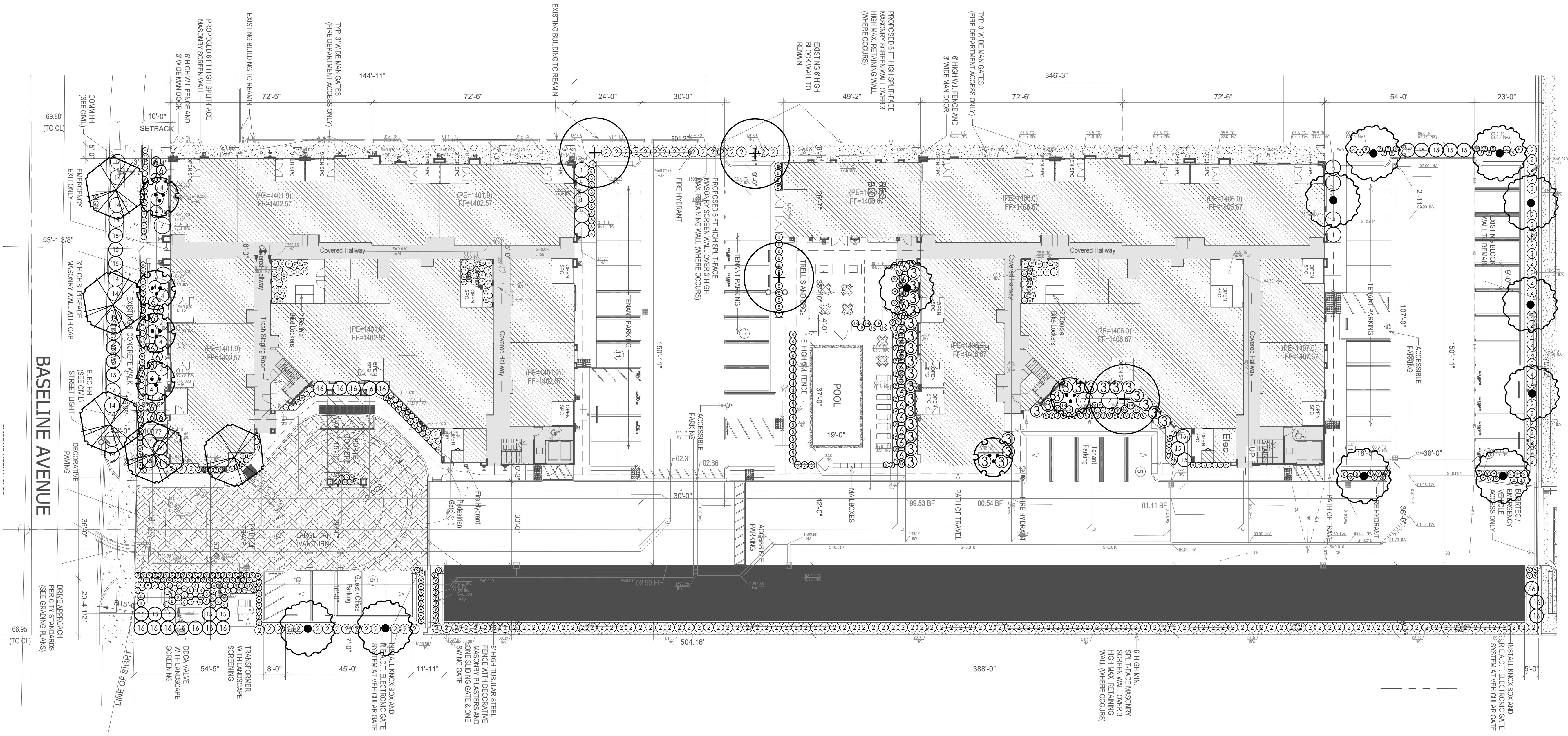
TREES ARE REQUIRED TO STAND ON THEIR OWN WITHOUT THE SUPPORT OF THE NURSERY STAKE. TREES MUST ALSO BE FREE OF DISEASE, INFESTATIONS, SIGNS OF HEAVY PRUNING WITHIN THE CANOPY, BROKEN PRIMARY LIMBS OR LEADERS, AND DAMAGE. NEW TREES PLANTED WITHIN THE PROJECT AREA ARE TO BE INSTALLED PER THE DETAIL BELOW. THE TREE PIT IS TO BE EXCAVATED TO MEASURE 3 X ROOT BALL AT THE FINISH GRADE SURFACE AND BE TAPERED TO ROOT BALL WIDTH AT PIT BOTTOM. DO NOT OVER-EXCAVATE THE TREE PIT DEPTH. AFTER TREE PLACEMENT THE TREE PIT IS TO BE BACKFILLED WITH CLEAN NATIVE SOIL ONLY. TREES ARE TO BE TRIPLE STAKE AS SHOWN ON DETAILS.

ROOT BARRIER:

USE LINEAL ROOT BARRIER WHEN TREE IS WITHIN 5' MIN. DISTANCE ADJACENT TO HARDSCAPE AREAS. ROOT BARRIERS SHALL BE INSTALLED IN SHEETS PARALLEL WITH HARDSCAPE W/ TOP EDGE PLACED 1" BELOW GRADE. ROOT BARRIER SHALL EXTEND THE EXPECTED LENGTH OF TREE CANOPY AS SHOWN PER PLAN. BARRIERS SHALL BE PLACED AT A SLIGHT ANGLE (75°) WITH BASE OF BARRIER DIRECTED UNDER HARDSCAPE & AWAY FROM TREE.

SOIL AMENDMENTS, TESTING AND PREPARATION:

AFTER COMPLETION OF FINE GRADE AND PRIOR TO SOIL PREPARATION, THE CONTRACTOR SHALL DOCUMENT SAMPLE LOCATIONS AND PROVIDE AGRONOMIC SOILS TEST FOR PLANTED AREAS (1 TEST PER 150 FT OF LINEAR PLANTER). CONTRACTOR SHALL SUBMIT TEST RESULTS TO THE PROJECT LANDSCAPE ARCHITECT AND AMEND THE SOIL PER SOIL LAB RECOMMENDATIONS.



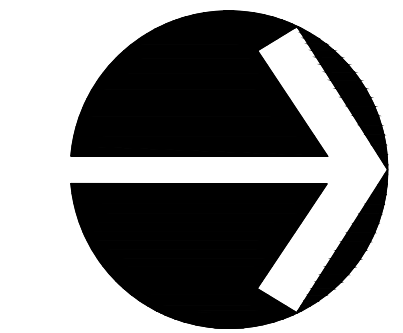
PLANT LEGEND

Symbol	Botanical / Common Name	Water Use	Height	Container / Min. caliper	Quantity
Trees					
	Cercis occidentalis WESTERN REDBUD	Mod	10-18' 10-18'	24" box 1.5"	6
	Olea europaea 'Swan Hill' SWAN HILL OLIVE	Low	25-30' 25-30'	24" box 1.5"	4
	Prosopis alba ARGENTINE MESQUITE	Low	30-40' 15-30'	24" box 1.5"	11
	Magnolia grandiflora 'Little gem' LITTLE GEM MAGNOLIA	Mod	25' 10-20'	36" box 2.5"	5

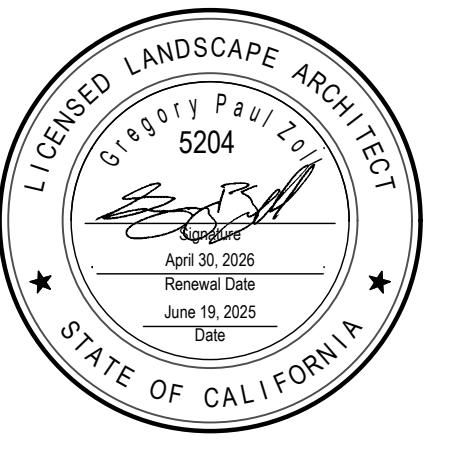
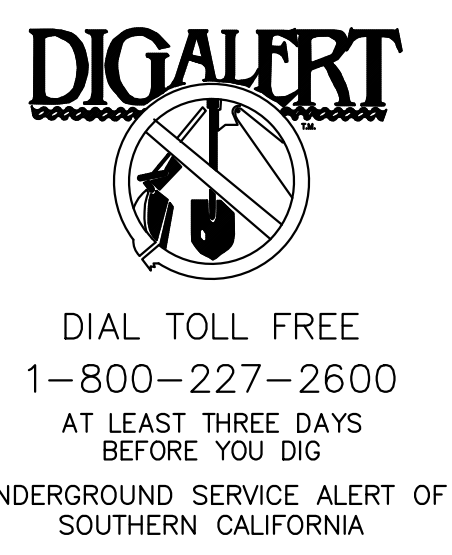
All trees to be min. 24" box. 20% of total trees must be 36" box.

Symbol	Botanical / Common Name	Water Use	Height	Container	Quantity
Shrubs/Groundcovers					
	Aeonium canariense GIANT VELVET ROSE	Low	2-3' 2-3'	1-gal	12
	Alyogyne huegelii BLUE HIBISCUS	Low	4-8' 4-8'	5-gal	5
	Anigozanthos 'Kanga Pink' DWARF PINK KANGAROO PAW	Low	12-14" 1-3'	1-gal	110
	Arbutus unedo 'Compacta' DWARF STRAWBERRY TREE	Low	6-8' 5-6'	5-gal	9
	Baccharis pilularis 'Twin Peaks' DWARF COYOTE BUSH	Low	2-3' 6-8'	1-gal	12
	Callistemon 'Little John' DWARF CALLISTEMON	Low	3-5' 4-6'	5-gal	21
	Grevillea lanigera 'Coastal Gem' WOOLY GREVILLEA	Low	1' 4-5'	1-gal	12
	Hesperaloe parviflora 'Perpa' BRAKELIGHTS RED YUCCA	Low	2-3' 2-3'	1-gal	84
	Ilex vomitoria 'Stroke's Dwarf' STROKE'S DWARF YAUPON HOLLY	Mod	2-3' 3-4'	1-gal	179
	Lantana camara 'Monike' TEENIE GENIE COMPACT LANTANA	Low	30" 30"	1-gal	190
	Olea europaea 'Montra' LITTLE OLIVE	Low	6-8' 4-5'	5-gal	33
	Salvia leucantha 'Santa Barbara' COMPACT MEXICAN BRUSH SAGE	Low	2-3' 3-4'	5-gal	28
	Westringia fruticosa Mundi LOW COAST ROSEMARY	Low	1-2' 4-6'	5-gal	17
	Clivia miniata 'Belgian hybrid Orange' CLIVIA	Mod	2' 2'	1-gal	36
	Carissa macrocarpa 'Tomlinson' TOMLINSON NATAL PUM	Mod	2-3' 3'	1-gal	31
3" Layer Stabilized Decomposed Granite over high-quality filter fabric Color: California Gold, or as approved by Owner.					1,658 SF

All planters to receive 3" layer shredded bark mulch.



LSPC25-0031



SHEET TITLE

PLANTING PLAN

June 19, 2025

DESCRIPTION JOB NO. 707

SHEET

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