

FONTANA

Calabash Villages

MCN21-00106-R1

WQMPPC25-00025

EDS25-00028

SB-330

May 5, 2026

FONTANA

ARCHITECTURE

SP: SITE PLAN
OS: OPEN SPACE EXHIBIT
A-1: UNIT PLANS 1 & 2
A-2: UNIT PLAN 3
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A-4: BUILDING C FLOOR PLANS
A-5: BUILDING D FLOOR PLANS
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A-7: ROOF PLANS
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A-9: BUILDING TYPE B ELEVATIONS - SPANISH
A-10: BUILDING TYPE C ELEVATIONS – SPANISH
A-11: BUILDING TYPE D ELEVATIONS – SPANISH
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CIVIL ENGINEERING

C-1: OVERALL SITE PLAN
C-2: DETAILED SITE PLAN
C-3: CONCEPTUAL GRADING PLAN
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LANDSCAPE ARCHITECT

L-1: LANDSCAPE CONCEPT PLAN
L-2: LANDSCAPE CONCEPT PLAN
L-3: FENCE AND WALL PLAN



5256 S. Mission Road, Ste. 404
Bonsall, CA 92003
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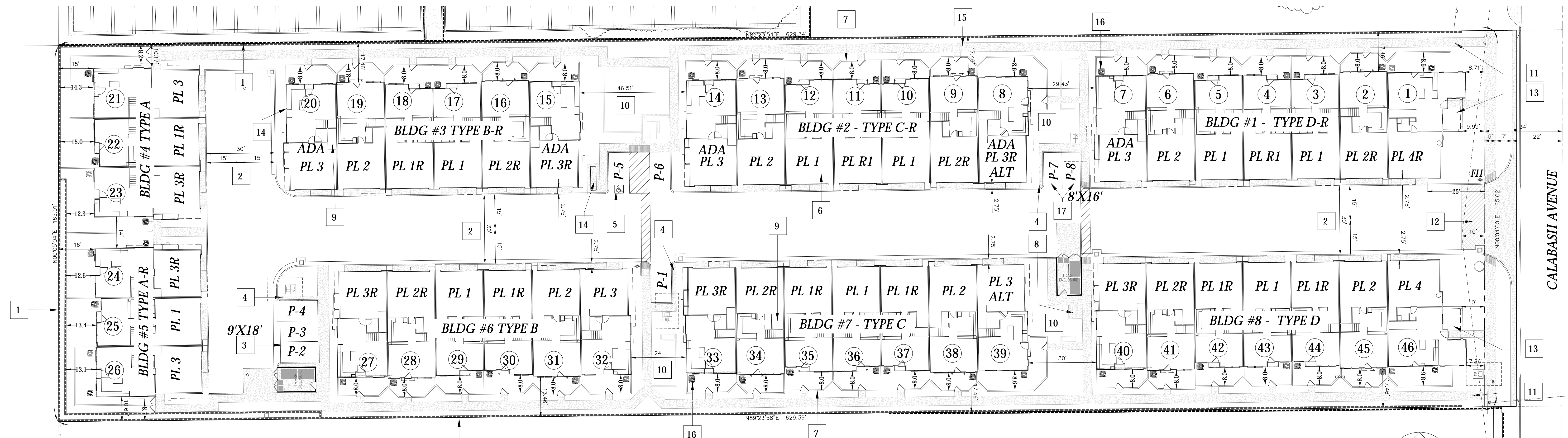
ADVANCED
CIVIL GROUP

ADVANCED CIVIL GROUP, INC.
30251 GOLDEN LANTERN, SUITE E, PMB 251
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(949) 391-7772 PHONE
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PREPARED BY: ria 2681

◆ ◆ HOWARD ◆ ◆
◆ ◆ ASSOCIATES ◆ ◆
" " " " landscape architecture
1951 Fourth Avenue, Suite 302
San Diego, CA 92101 (619) 718-9660

APPLICANT:
MV-M16, LLC
PO BOX 9559
ALTA LOMA, CA 91701



OPEN SPACE	PROVIDED	REQUIRED
PRIVATE YARDS		
PL 1	= 145.0 S.F. (TYP.)	
PL 2	= 120.0 S.F. (TYP.)	
PL 3	= 145.0 S.F. (TYP.)	
PL 3 ALT	= 325.5 S.F. (TYP.)	
PL 4	= 217.0 S.F. (TYP.)	
TOTAL	8,134 S.F.	2,944 S.F.
PRIVATE/UNIT (8' MIN. DIM):	177 S.F.	64 S.F.

COMMON OPEN = 17,137 S.F. 5,077 S.F. (5% OF SITE)

AMENITIES: CENTRAL COMMON RECREATION AREA
SEATING AREA
TURFED PLAY AREA
SHADE STRUCTURE

PARKING SUMMARY
46 UNITS @ 1.5 ST/U = 69 STALLS REQ'D (ENCLOSED, COVERED OR OPEN)

	PROPOSED
GARAGE STALLS	92
OPEN GUEST STALLS	8
TOTAL	100 (2.17 ST/U)

	PROVIDED	REQUIRED
SHORT TERM BICYCLES (20% @ 1 PER 4 UNITS)	4 BIKES	3 BIKES
LONG TERM BICYCLES (80% @ 1 PER 4 UNITS)	10 BIKES	10 BIKES

LOT COVERAGE

	PROVIDED	REQUIRED
SITE AREA	103,187 S.F. 100%	
DRIVES/PARKING	22,010 S.F. 21.3%	
BUILDINGS	46,294 S.F. 44.9%	
PRIVATE YARDS	8,134 S.F. 7.8%	
COMMON OPEN SPACE	17,137 S.F. 16.6%	
REMAINING LANDSCAPE AREA	9,612 S.F. 9.4%	

	PROPOSED	ALLOWED
LAND USE:	MULTIPLE FAMILY	MULTIPLE-FAMILY
DWELLINGS:	46 UNITS	92 UNITS
DENSITY:	19.40 DU/AC	18-39 DU/AC
FRONTAGE COVER:	57.0%	50% MIN.
BLDG. HT.	30'-3"	24' - 40'
1ST STORY HT.	10'-4" (TOWNHOME)	12' MIN (RETAIL)
UPPER STORY HT.	10'-4"	10' MIN.
# OF STORIES	2	2-3
WIDTH/UNIT	46'-8" (@ FRONTAGE)	18' - 36'
FRONT SETBACK	7.86' (CALABASH)	0' - 10'
STREET SIDE	N.A.	0' - 5'
INTERIOR SIDE	8.2'	0'
REAR SETBACK	16.0'	5'
MIN. LOT WIDTH	165'	75' - 150'
MIN. LOT DEPTH	625'	80' - 150'

- SITE PLAN KEYNOTES**
- 1 PROPERTY LINE
 - 2 30' WIDE FIRE LANE
 - 3 OPEN PARKING STALL (9' X 18')
 - 4 CONC. STEP OUT CURB AT PARKING
 - 5 ADA VAN STALL W/ 8' STRIPING
 - 6 2-STORY TOWNHOME BUILDING, TYP.
 - 7 36" HIGH STUCCO WALL W/ GATE
 - 8 SHORT TERM BIKE RACKS - 4 TOTAL
 - 9 LONG TERM BIKE STORAGE IN GARAGES
 - 10 REC AREA W/ AMENITIES PER LANDSCAPE PLAN
 - 11 PEDESTRIAN ENTRY
 - 12 ENHANCED PAVING AT ENTRY - SEE LANDSCAPE PLANS

- 13 PORCH FRONTAGE (SEC. 30-381)
- 14 COMMUNITY MAILBOXES
- 15 C.M.U. PERIMETER WALL
- 16 AC CONDENSERS SCREENED W/IN COURTYARDS
- 17 COMPACT PARKING STALLS (8' X 16') 2 TOTAL STALLS P-7 AND P-8

PROJECT AREA SUMMARY

BLDGTYPE	1ST FLR	QTY	1ST FLR TOTAL
A	2,925	2	5,850
B	5,864	2	11,728
C	6,831	2	13,662
D	7,061	2	14,122
1ST FLR PROJECT TOTAL			45,362

BLDGTYPE	2ND FLR	QTY	2ND FLR TOTAL
A	3,083	2	6,166
B	6,042	2	12,084
C	7,005	2	14,010
D	7,014	2	14,028
2ND FLR PROJECT TOTAL			46,288
TOTAL PROJECT BLDG AREA			91,650

PROJECT SUMMARY

ADDRESS: 8162 CALABASH AVE.
 LEGAL DESC: PARCEL 1 & 2, LOT 258, TR 2102, BOOK 31, PG 11-15
 A.P.N. 0230-011-36-0-000
 SITE AREA: 2.37 AC (103,187 S.F.)
 EXISTING USE: SINGLE FAMILY RESIDENCE
 LAND USE CAT: WXMU-1 WALKABLE MIXED USE CORRIDOR
 ZONING: FBC - FORM BASED CODE (ARTICLE III)
 DISTRICT: ROUTE 66 GATEWAY (SEC. 30-369)
 BLDG. TYPE: ROWHOUSE - 2 STORY (SEC. 30-374)
 FRONTAGE: FRONT PORCH TYPE (SEC. 30-381)
 PEDESTRIAN: PRIMARY STREET ENTRANCE (CALABASH))
 STYLE: SPANISH (SEC. 30.394 & 30-396)

PLAN SUMMARY

QTY	UNIT	TYPE	AREA	PRIV. YARD.
18	PLAN 1	2BD/DEN	1,456 S.F.	126 S.F.
12	PLAN 2	3BD	1,534 S.F.	178 S.F.
12	PLAN 3	3 BD/DEN	1,590 S.F.	133 S.F.
2	PLAN 3ALT	3BD/DEN	1,606 S.F.	296 S.F.
2	PLAN 4	3BD/DEN	1,798 S.F.	217 S.F.

BUILDING SUMMARY

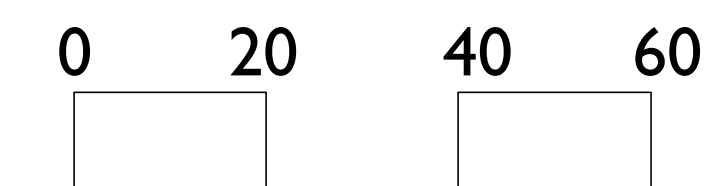
QTY	TYPE	UNITS	MIX
2	BLDG A	3	PL 3R - PL 1R - PL 3
2	BLDG B	6	PL 3R - PL 2R - PL 1R - PL 1 - PL 2 - PL 3
2	BLDG C	7	PL 3R - PL 2R - PL 1R - PL 1 - PL 1 - PL 2 - PL 3ALT
2	BLDG D	7	PL 3R - PL 2R - PL 1R - PL 1 - PL 1 - PL 2 - PL 4

FONTANA

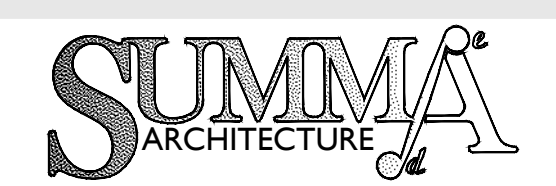
8162 CALABASH AVE TOWNHOMES

SITE PLAN

MONTE VISTA HOMES
 P.O. BOX 9559
 ALTA LOMA, CA 91701
 (951) 231-7206



DEC. 23, 2025



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 Bonsall, CA 92003
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SP



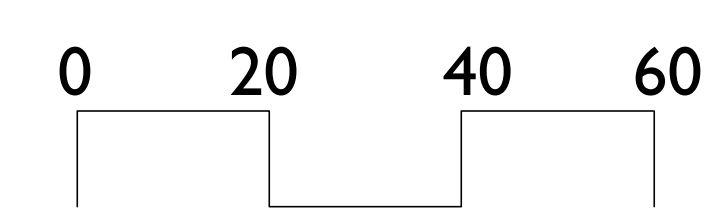
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FONTANA

8162 CALABASH AVE TOWNHOMES

OPEN SPACE EXHIBIT

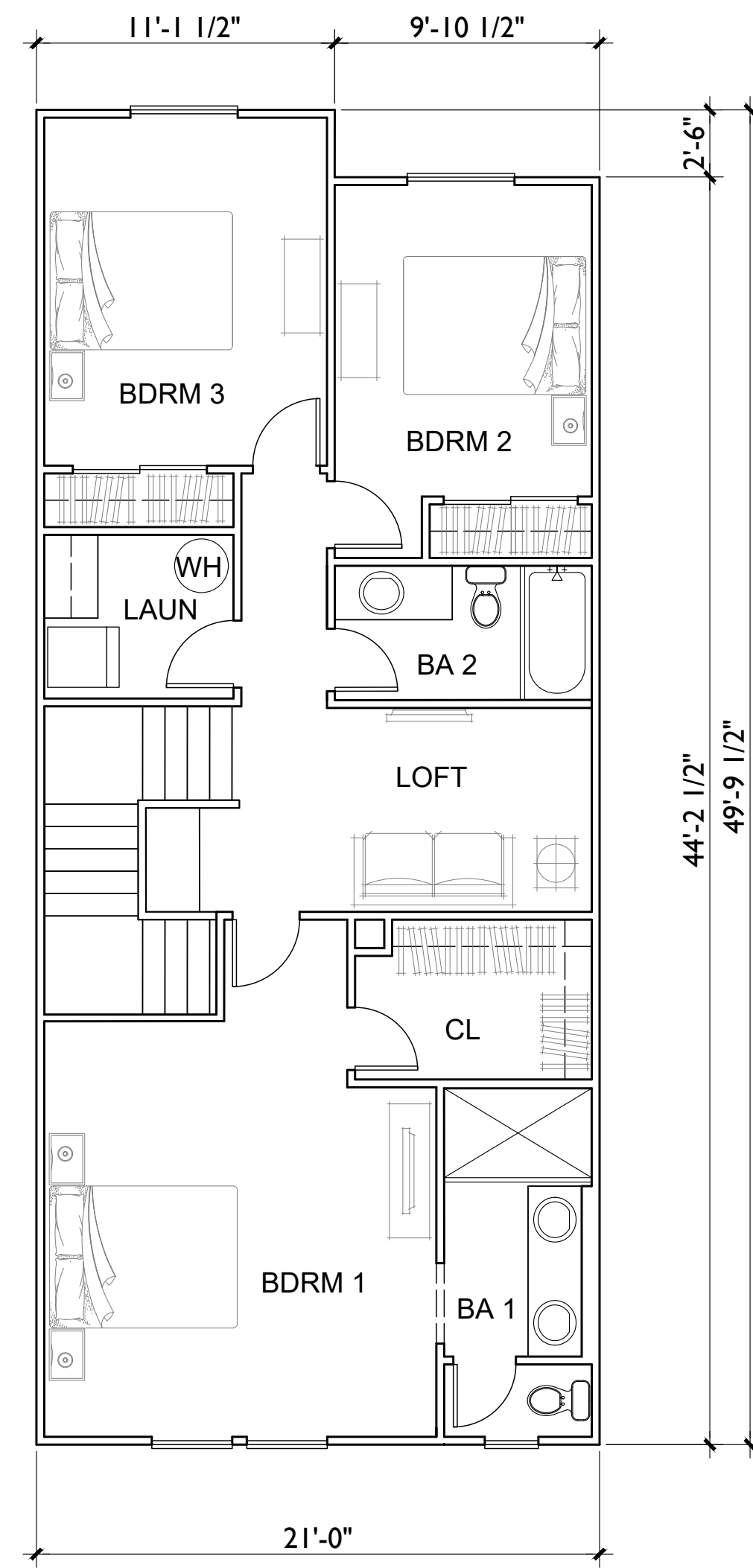
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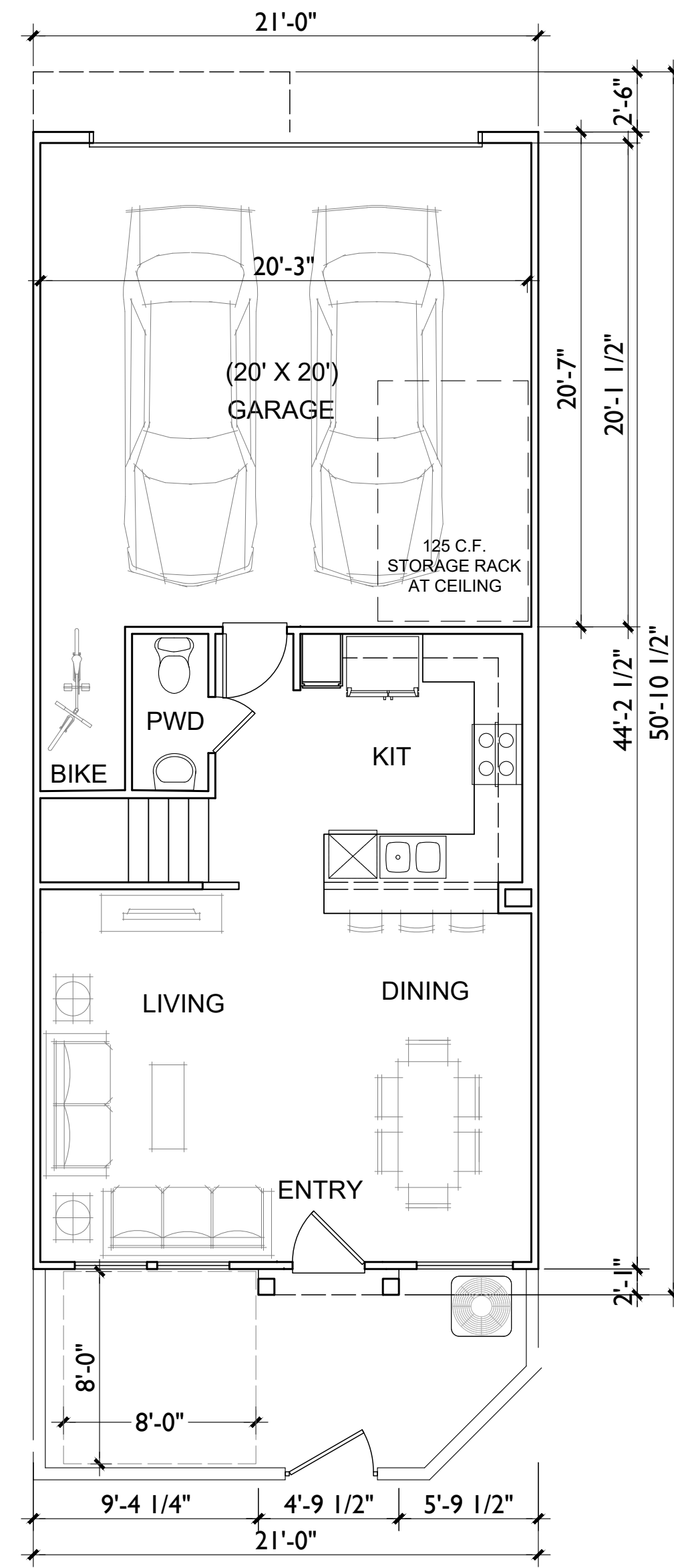
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OS

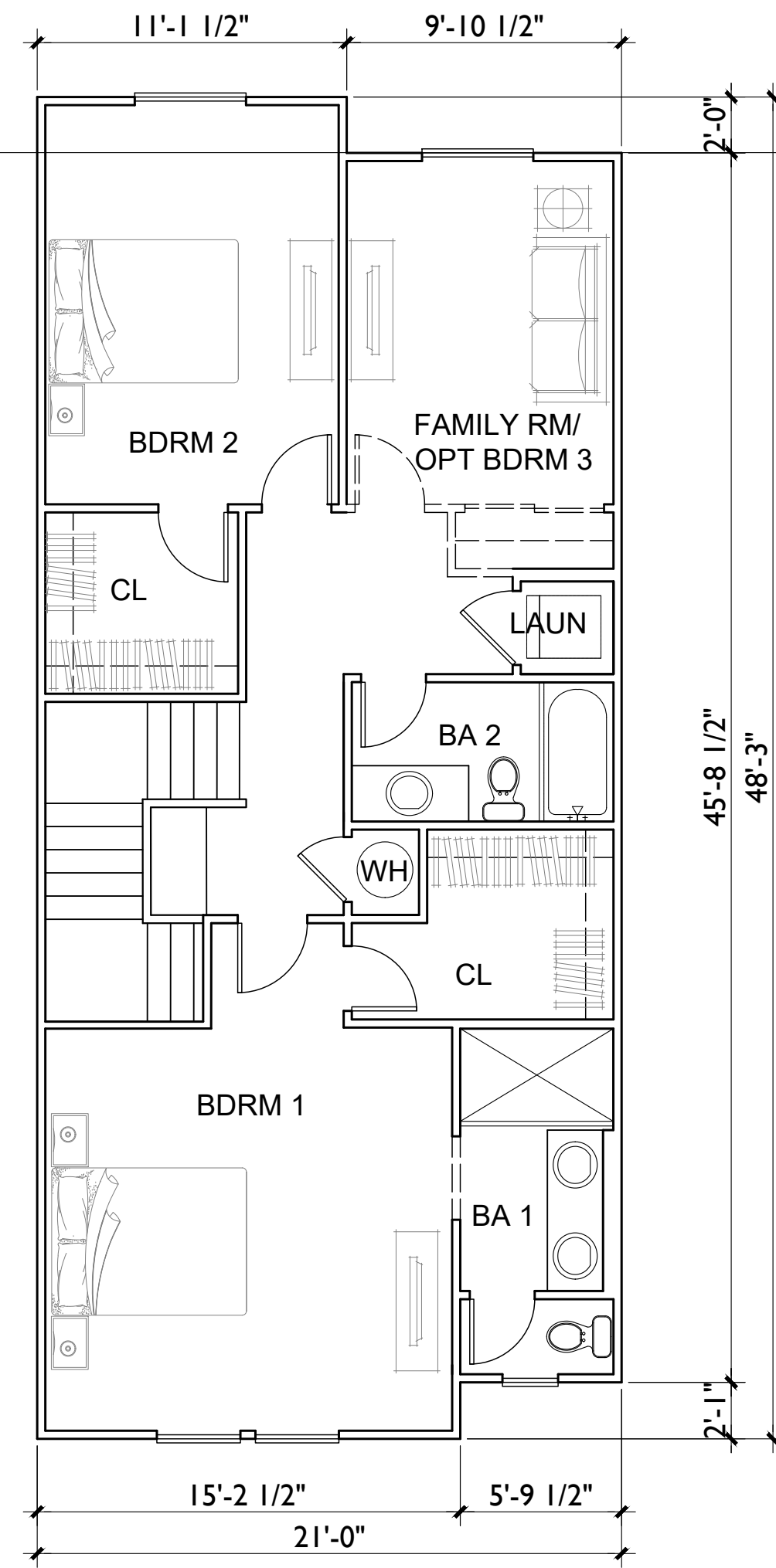


Second Floor Plan

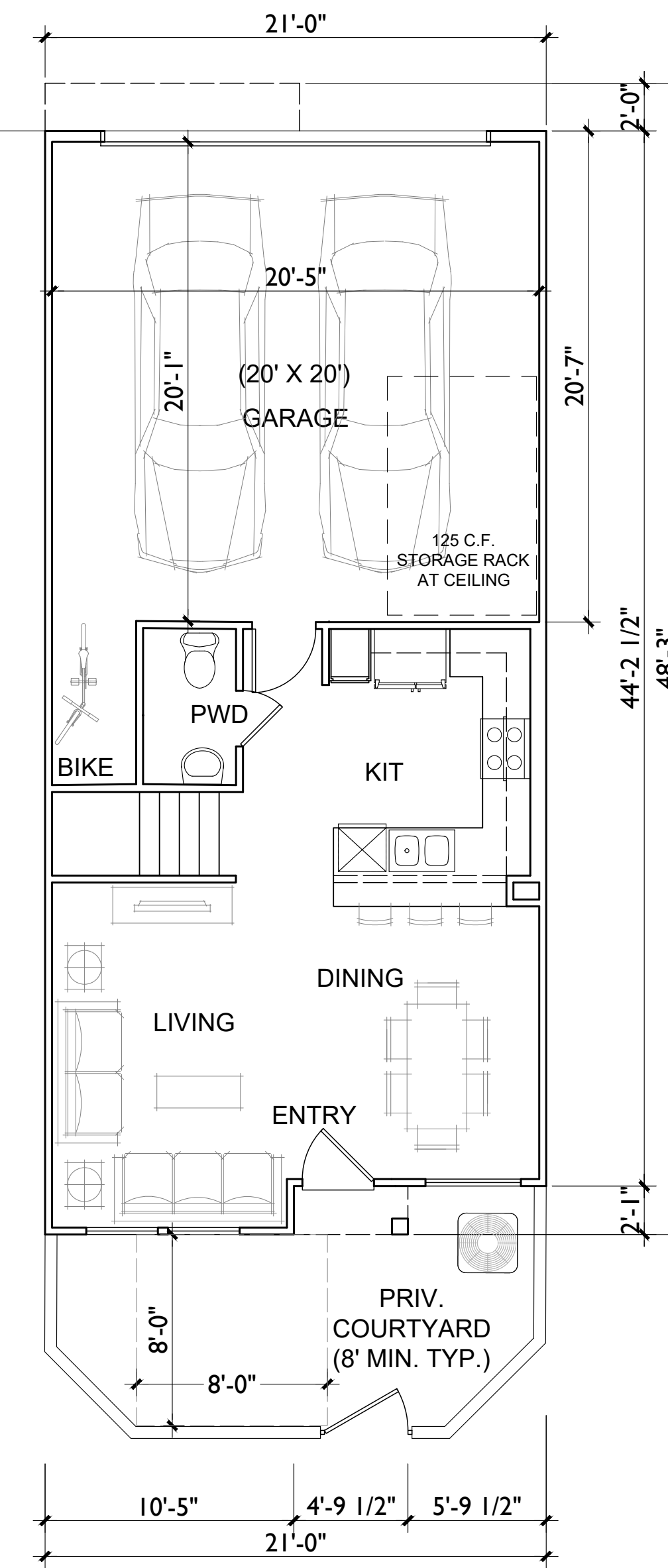


First Floor Plan

PLAN 2
Total Livable 1,534 s.f.

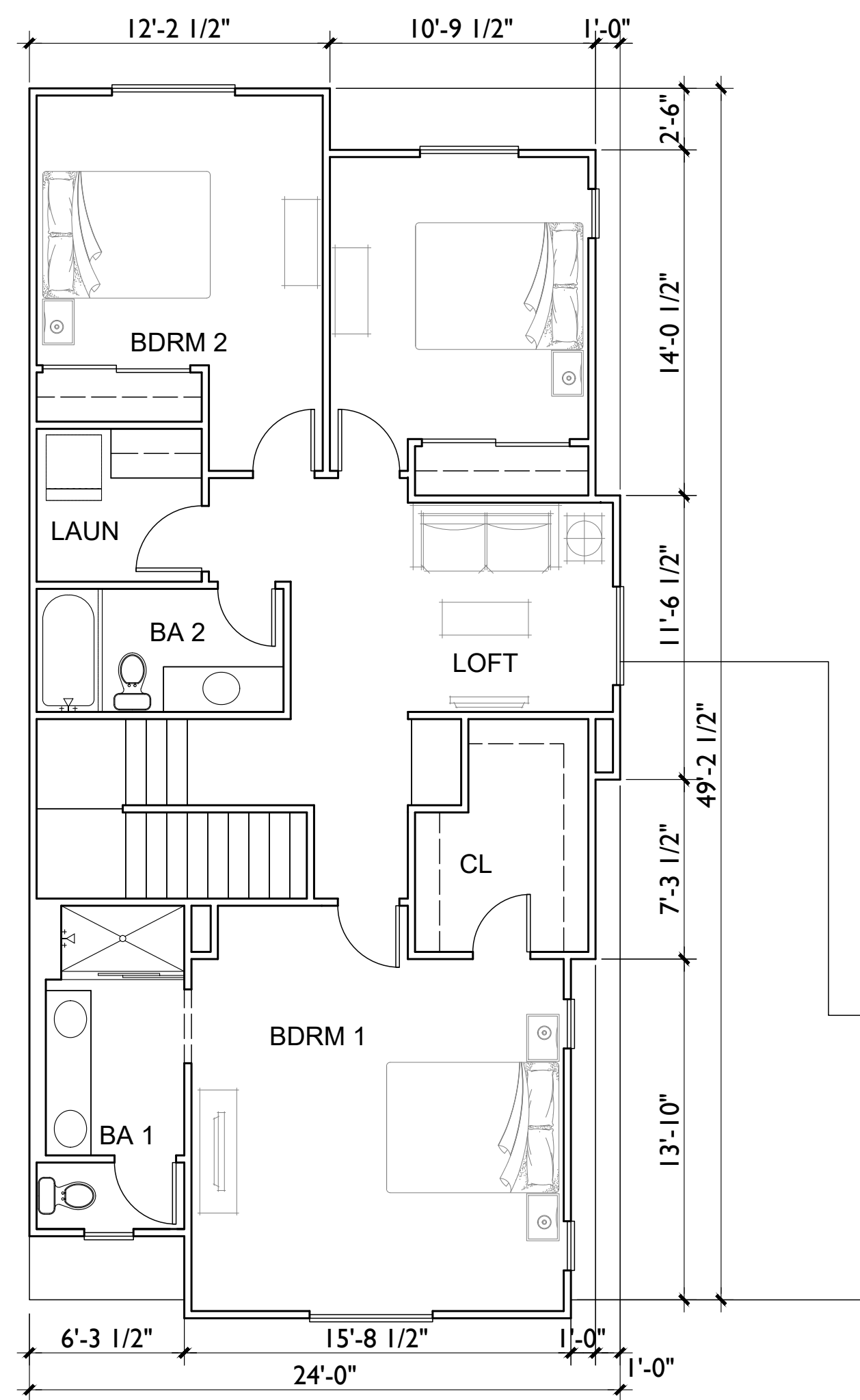


Second Floor Plan

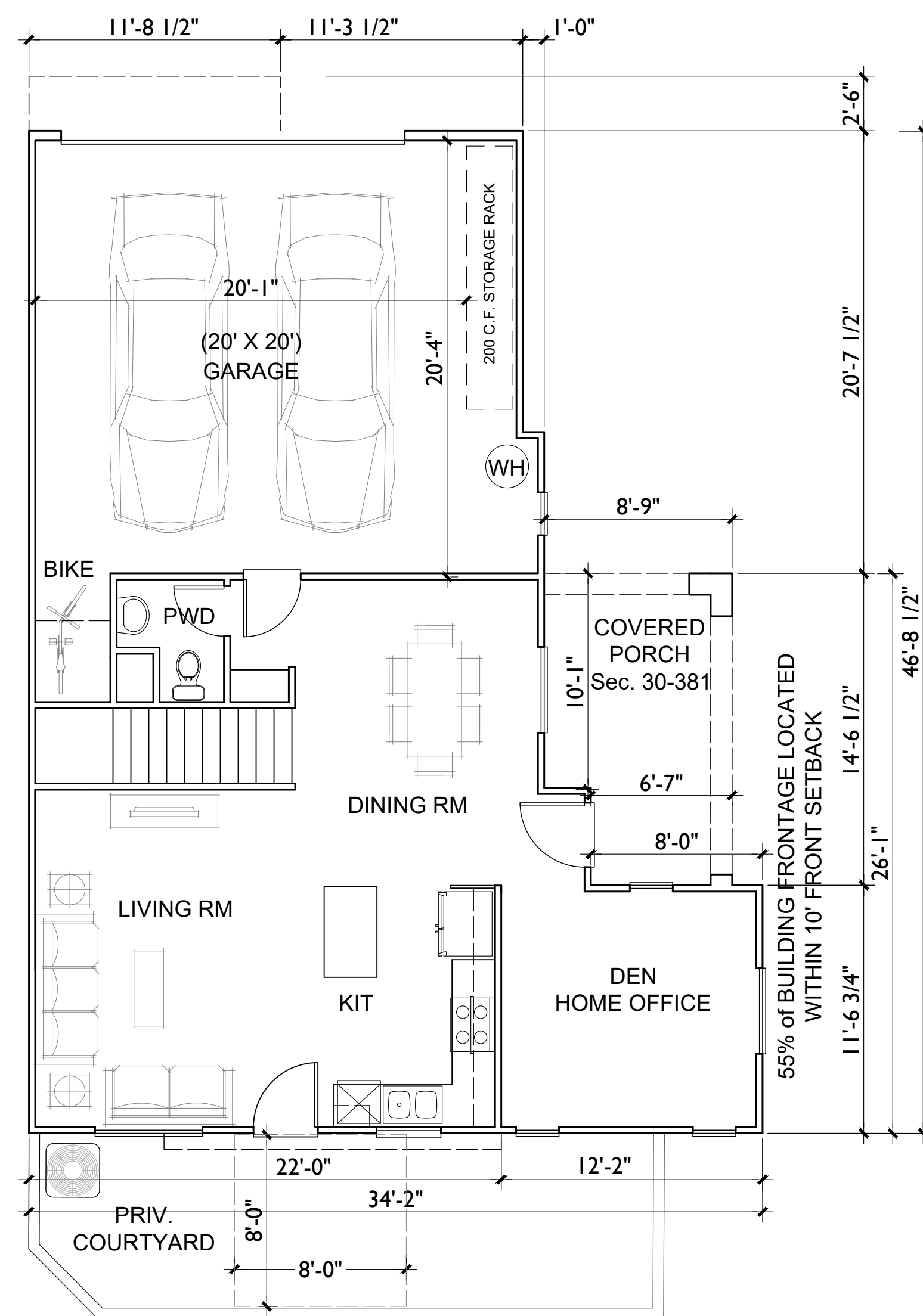


First Floor Plan

PLAN 1
Total Livable 1,456 s.f.

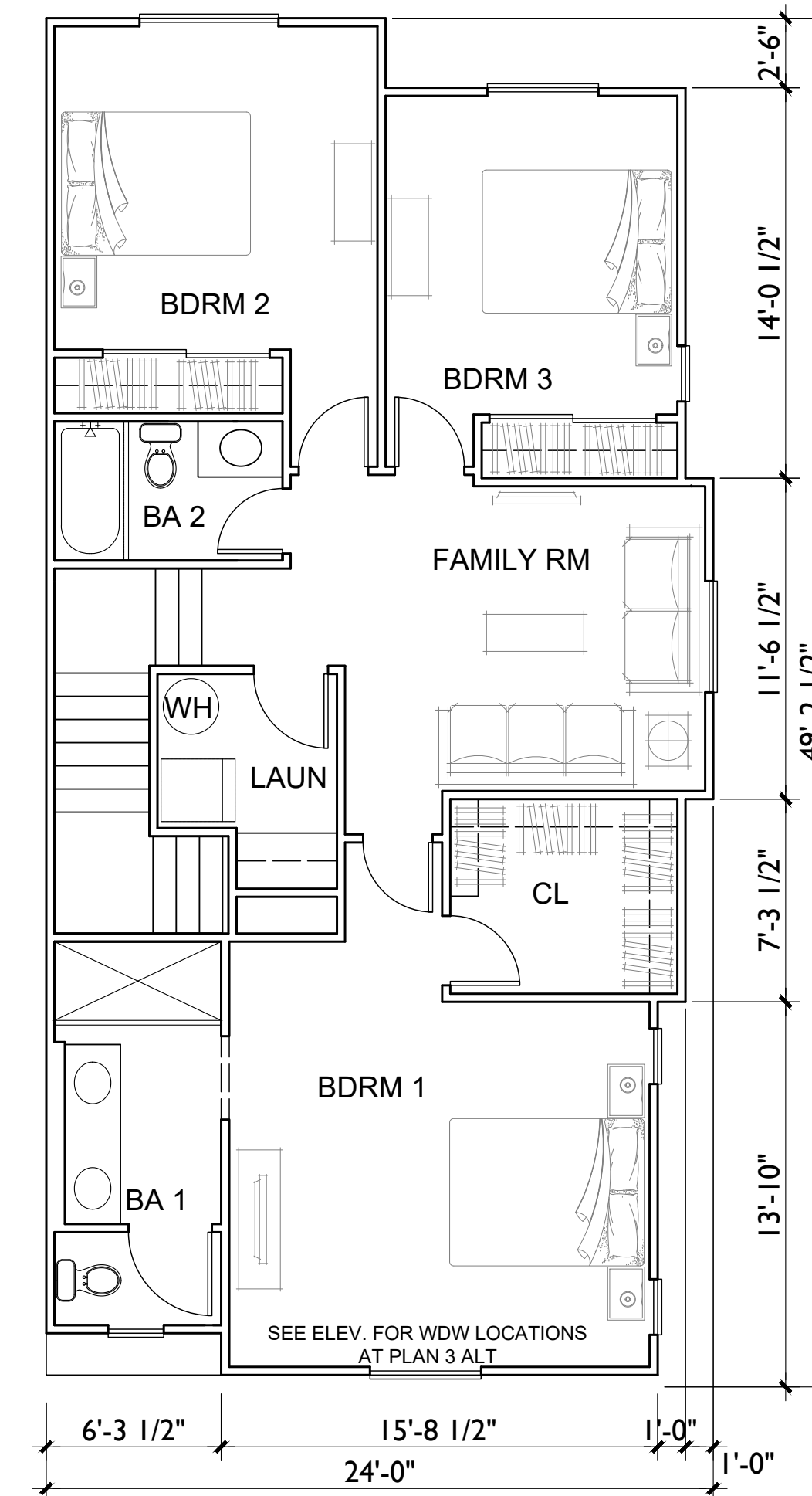


Second Floor Plan



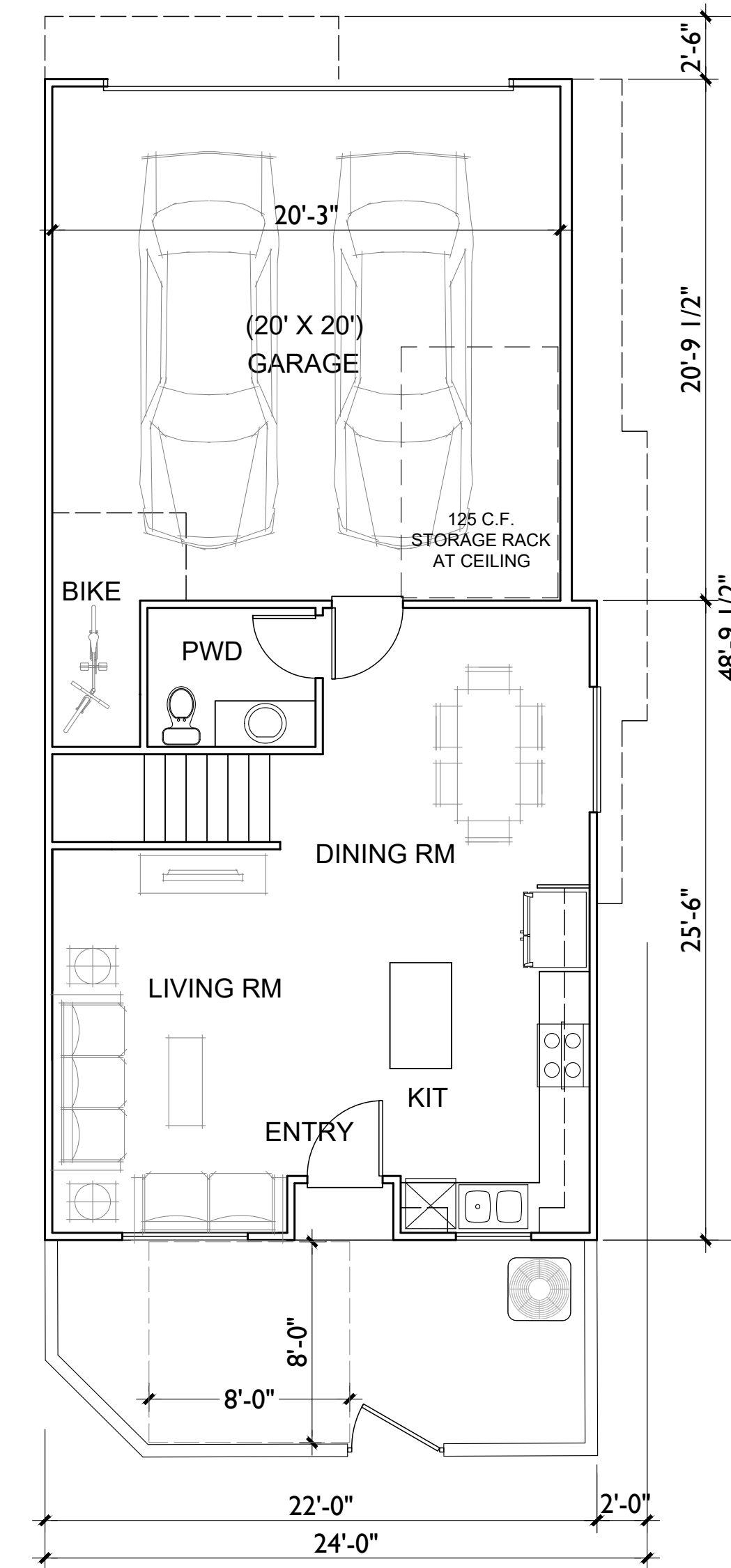
First Floor Plan

PLAN 4
Total Livable 1,798 s.f.



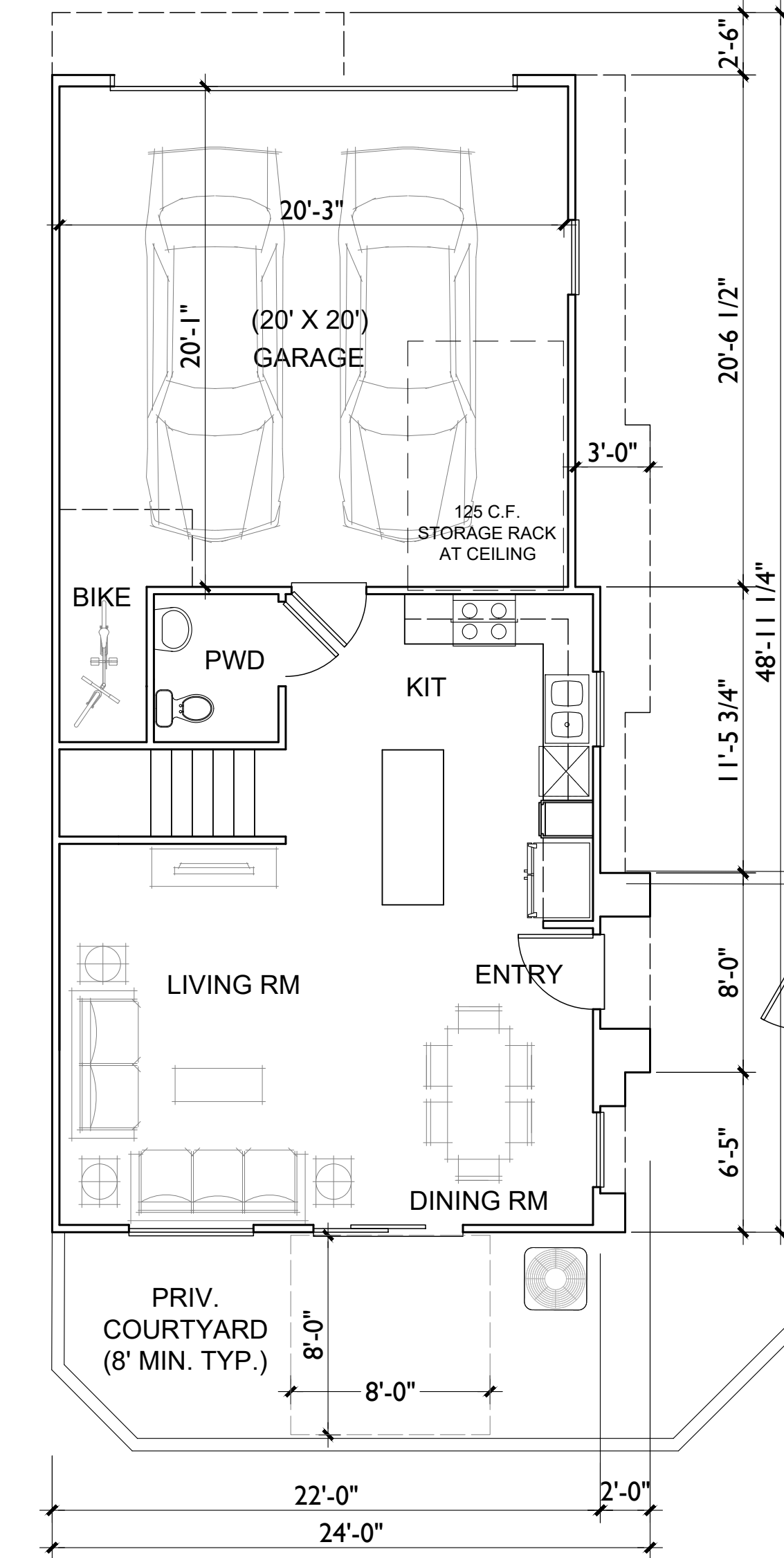
Second Floor Plan

PLAN 3
Total Livable 1,590 s.f.

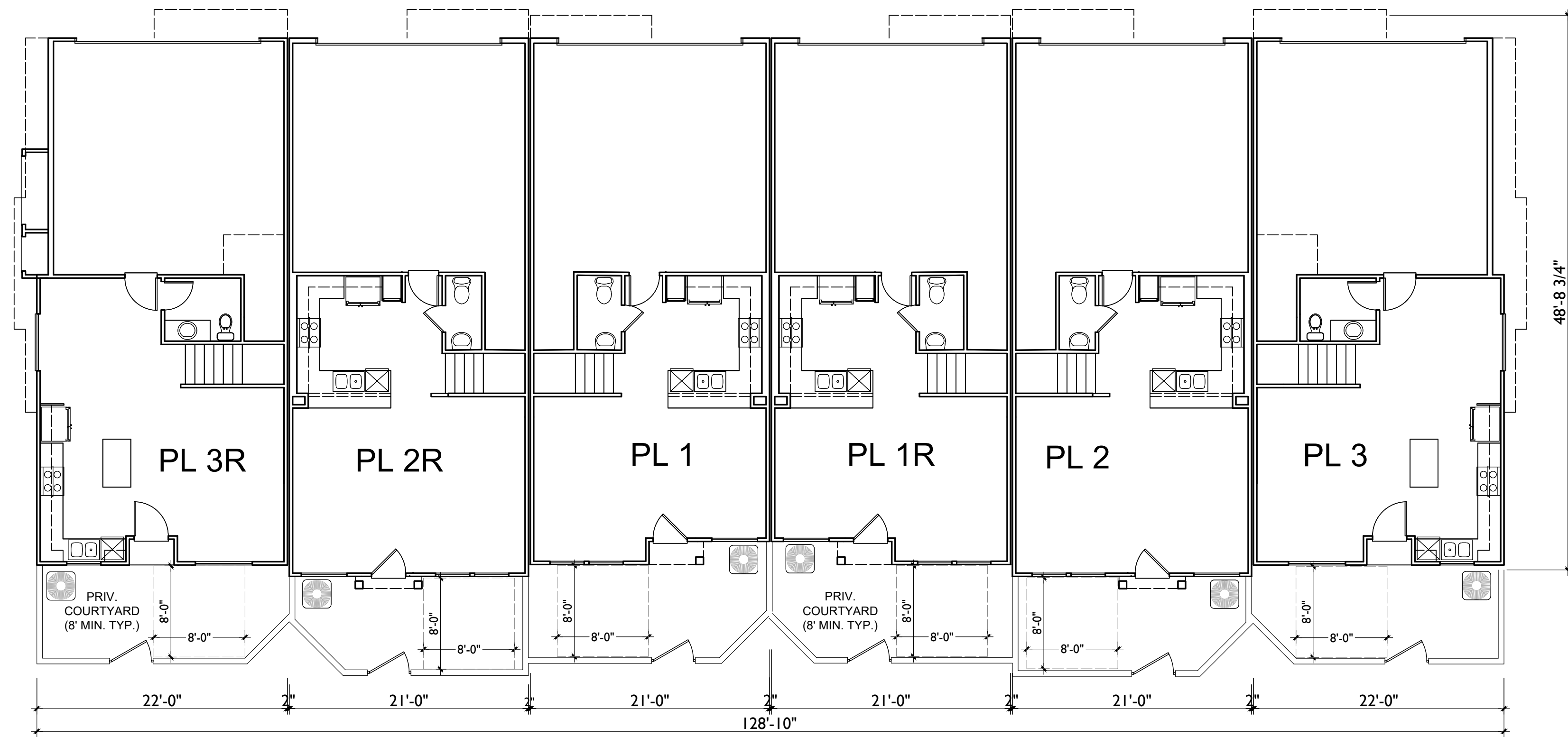


First Floor Plan

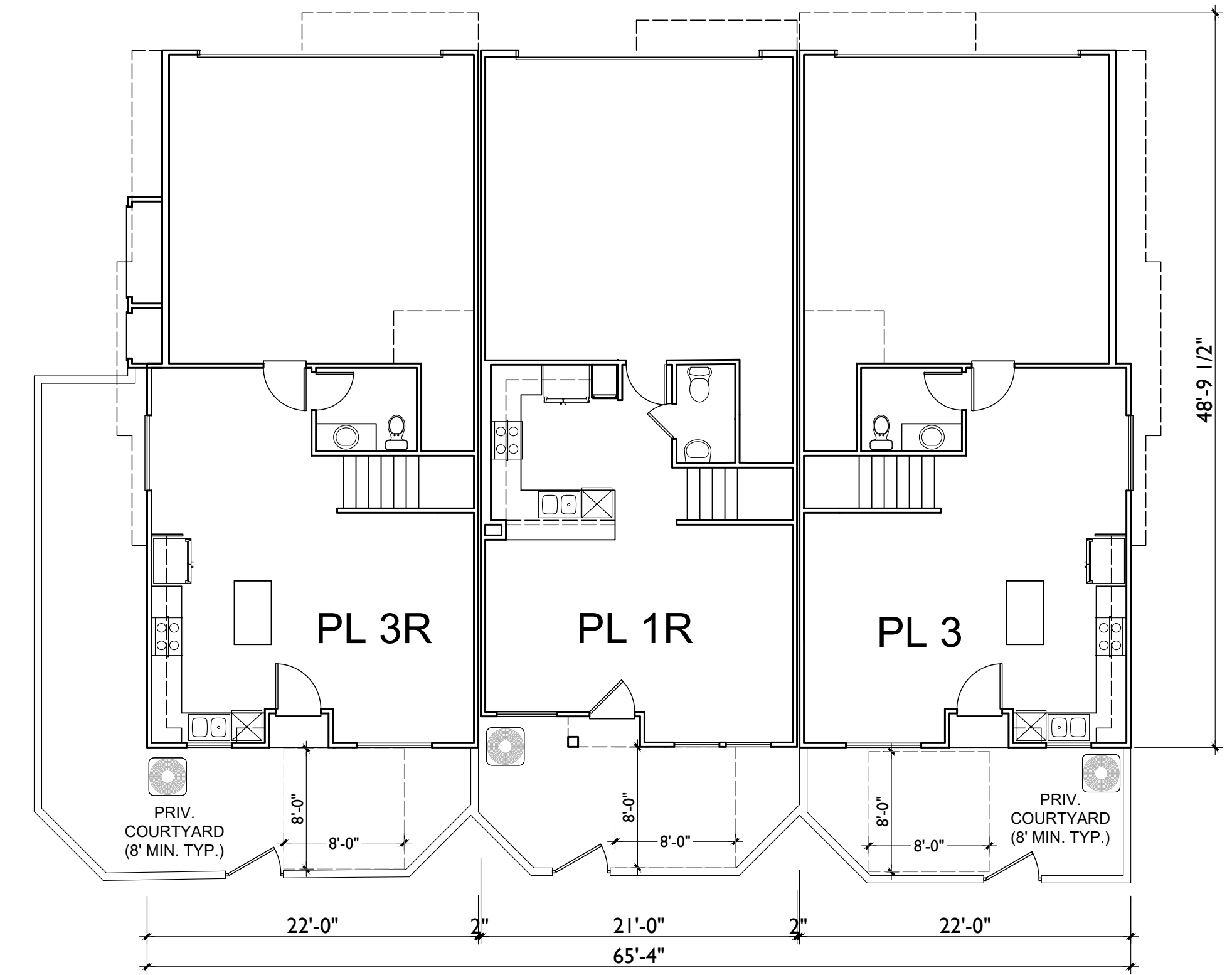
PLAN 3-Alt.
Total Livable 1,606 s.f.



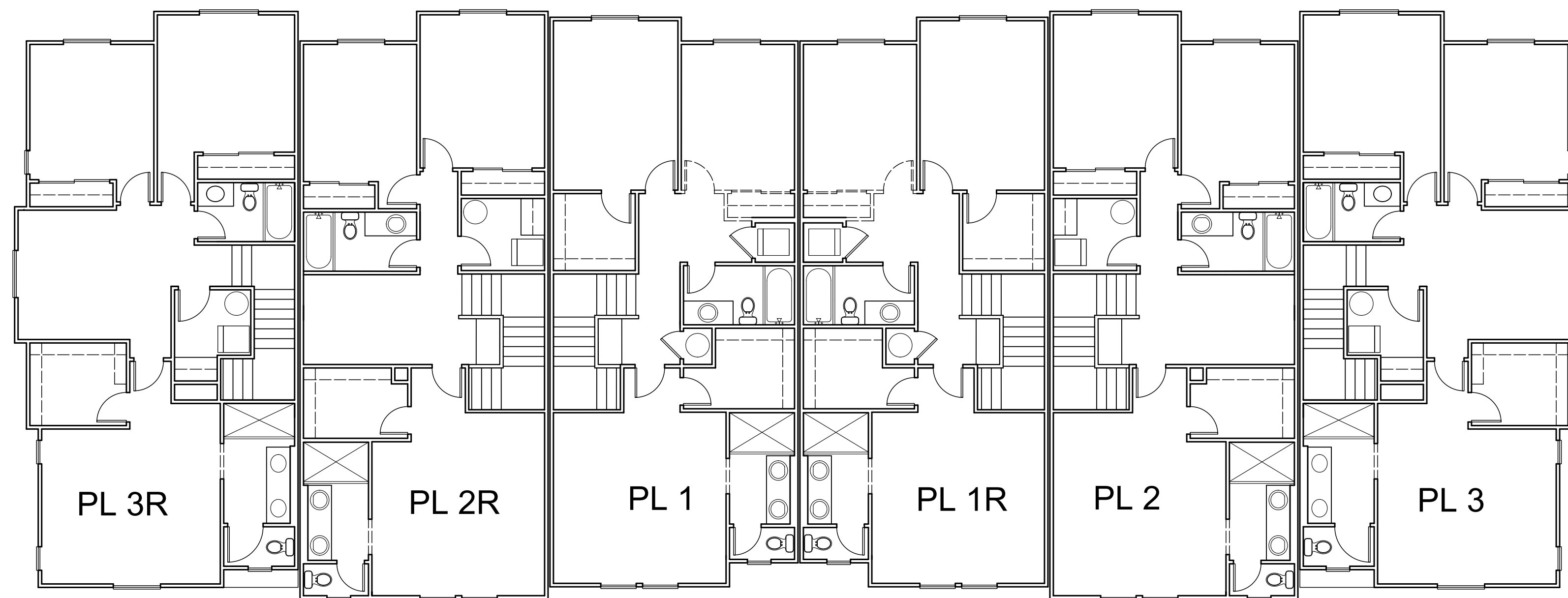
First Floor Alternate



FIRST FLOOR PLAN

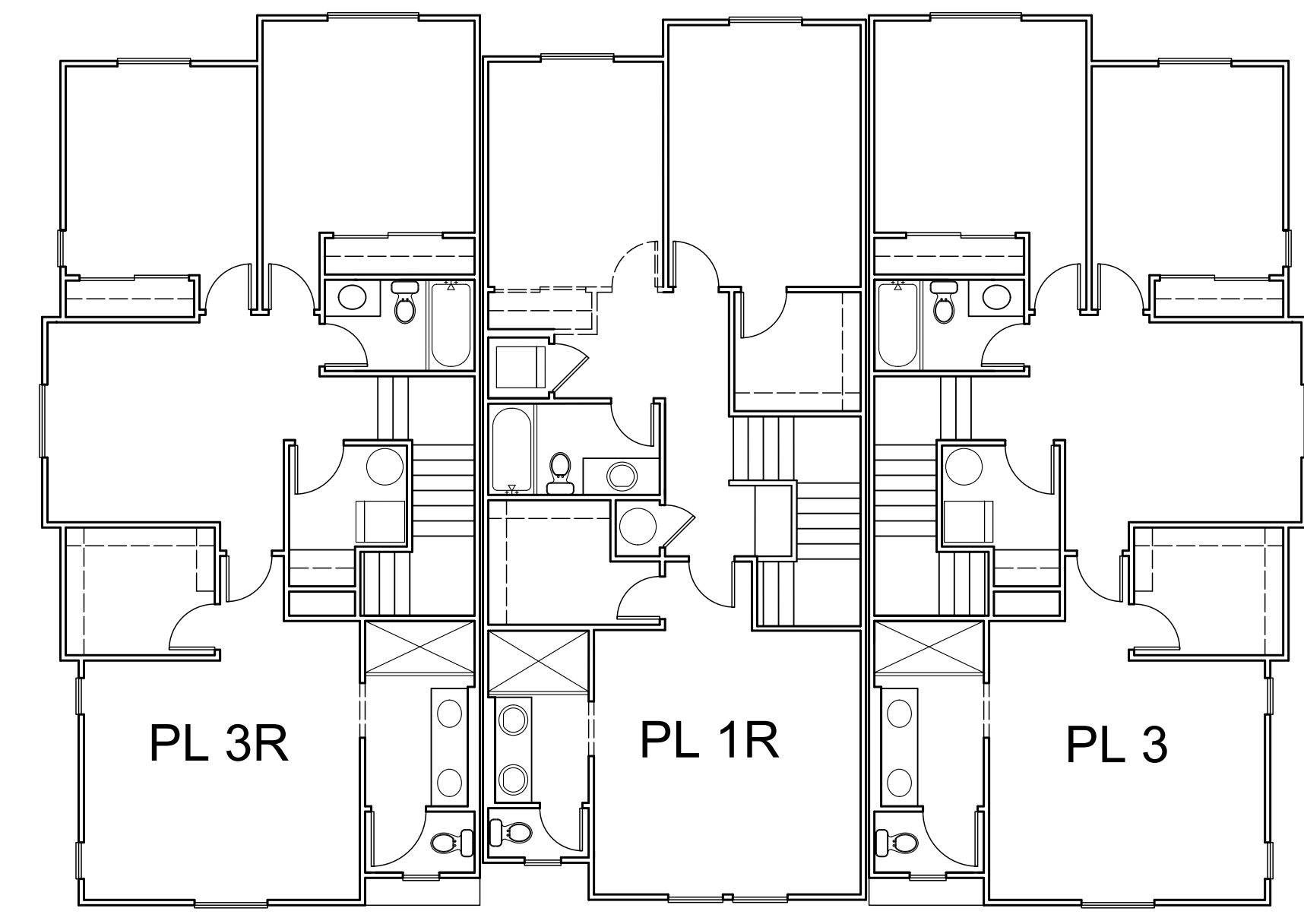


FIRST FLOOR PLAN



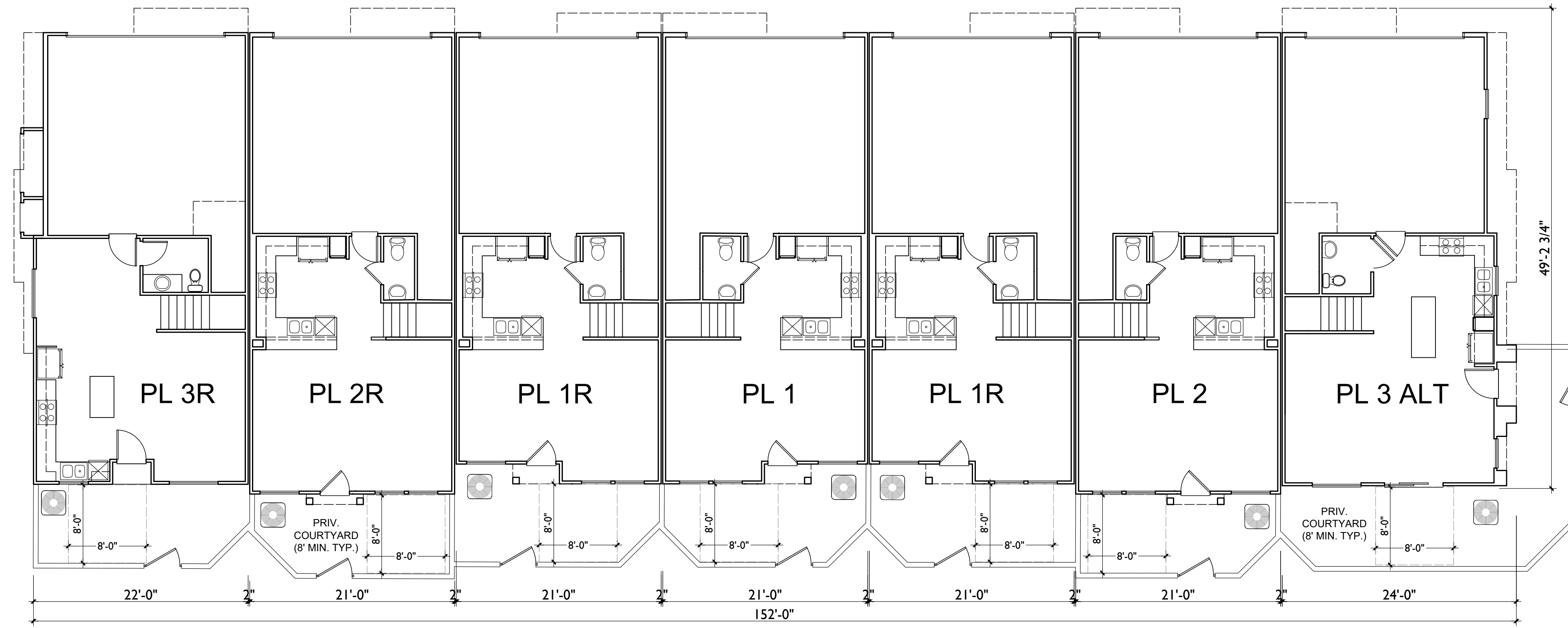
SECOND FLOOR PLAN

BLDG B

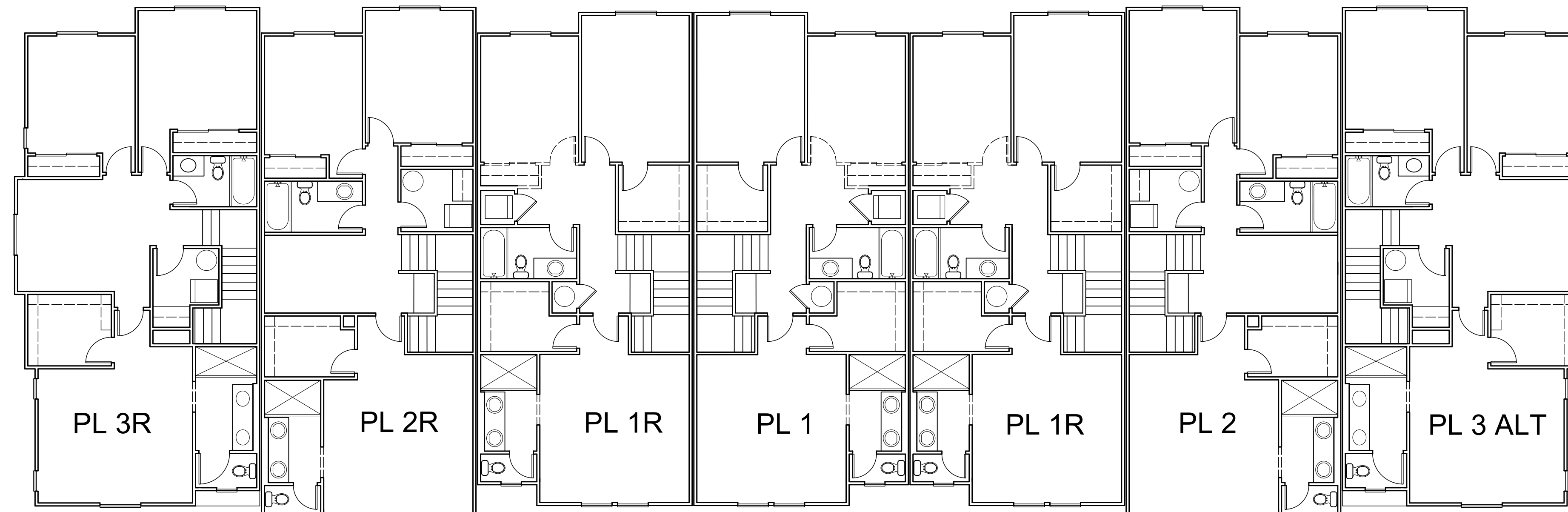


SECOND FLOOR PLAN

BLDG A

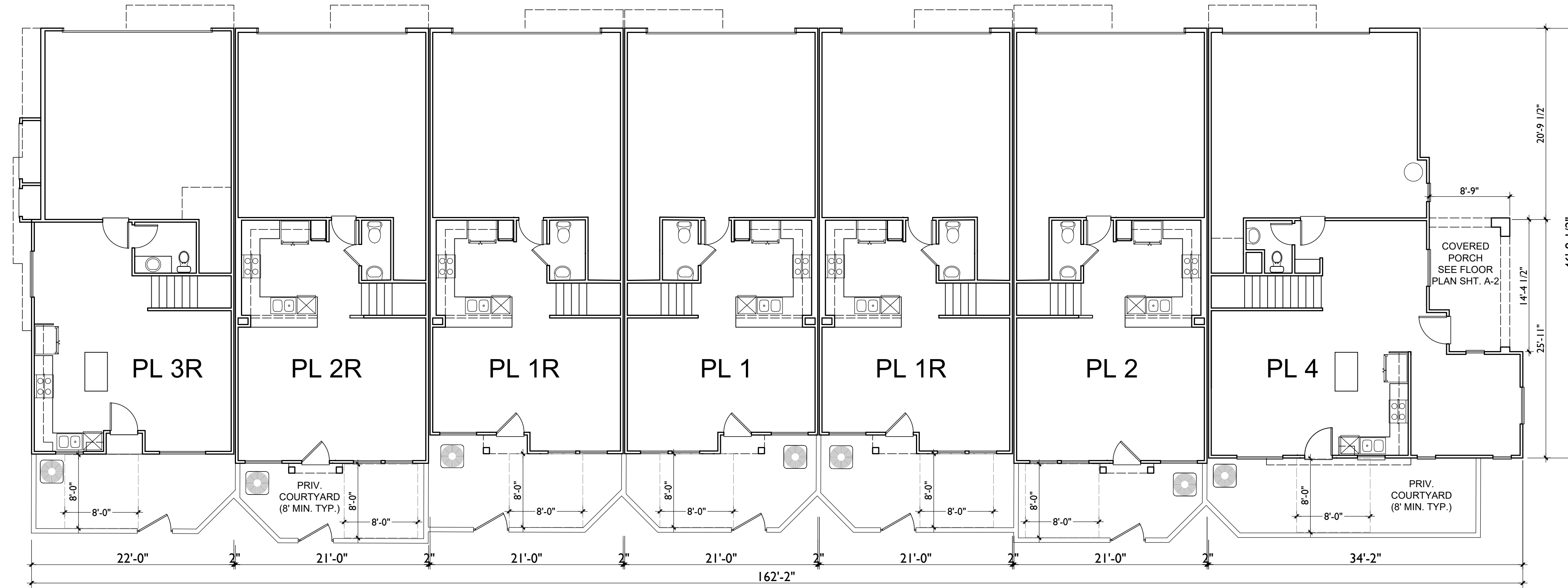


FIRST FLOOR PLAN

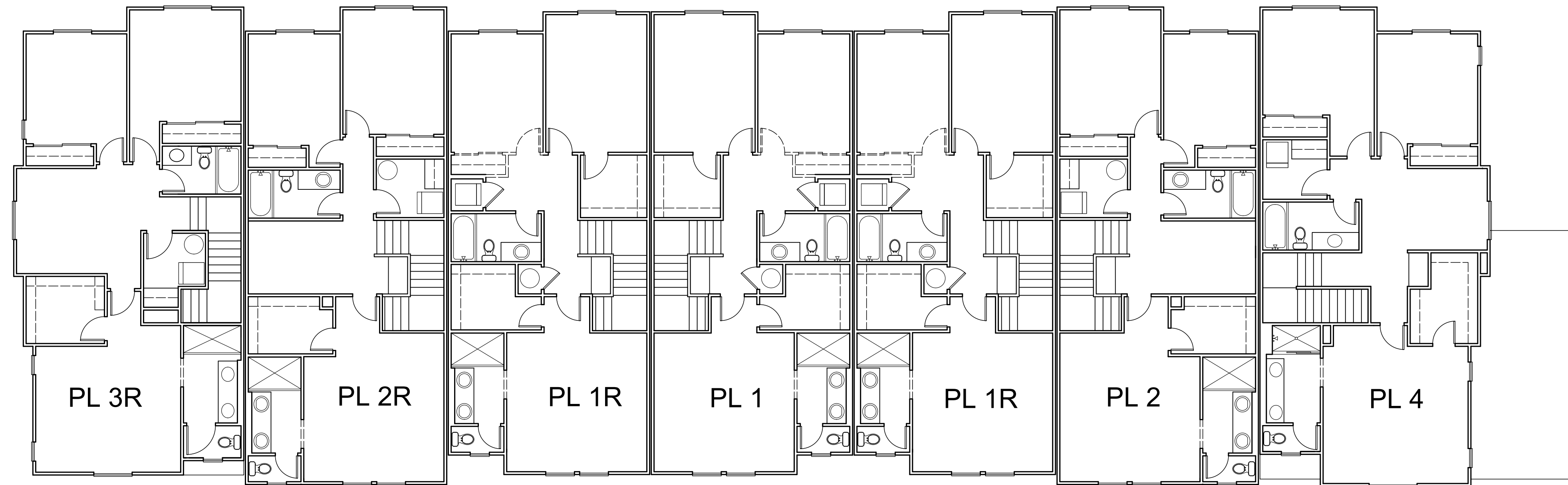


SECOND FLOOR PLAN

BLDG C

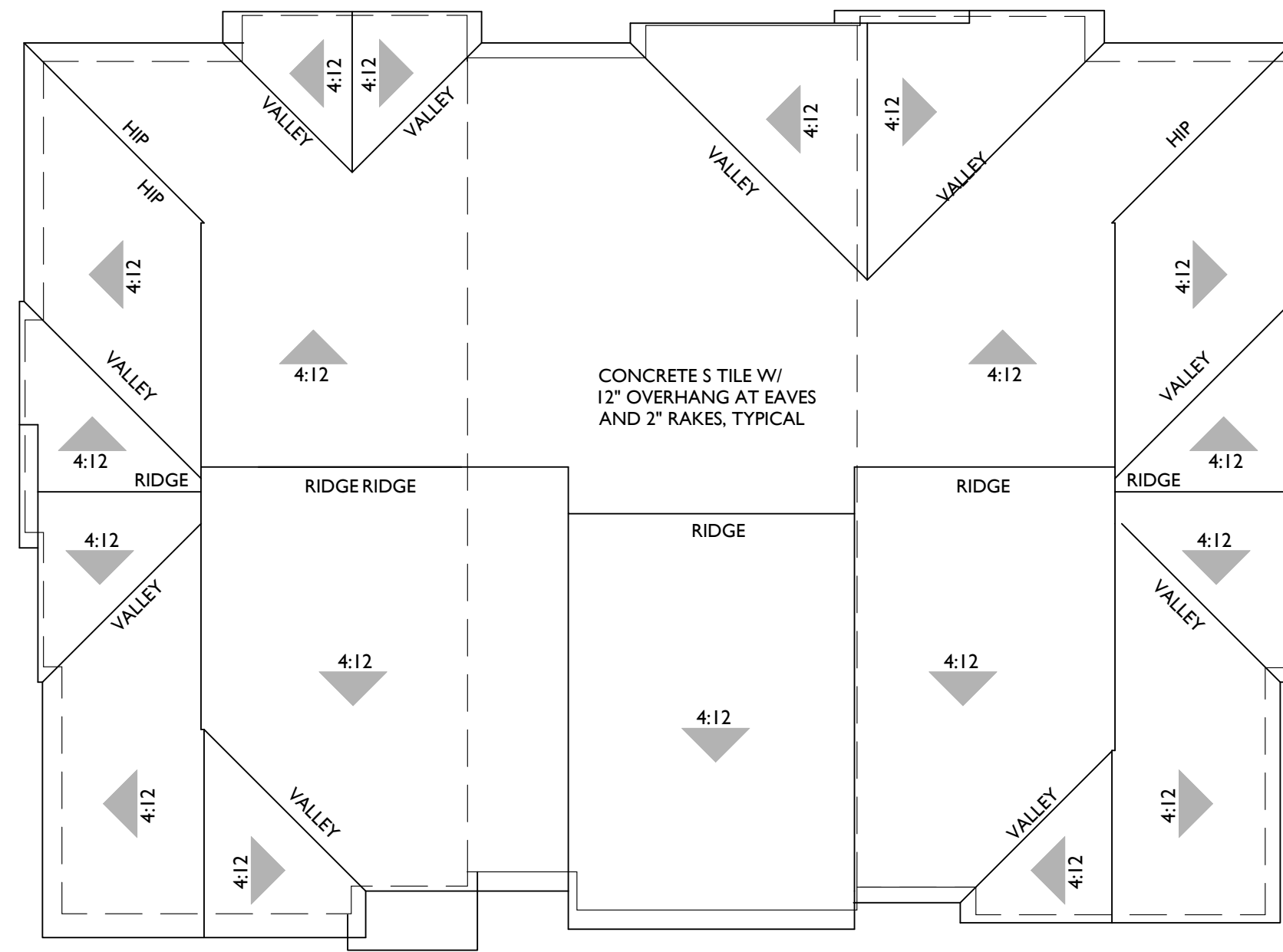


FIRST FLOOR PLAN

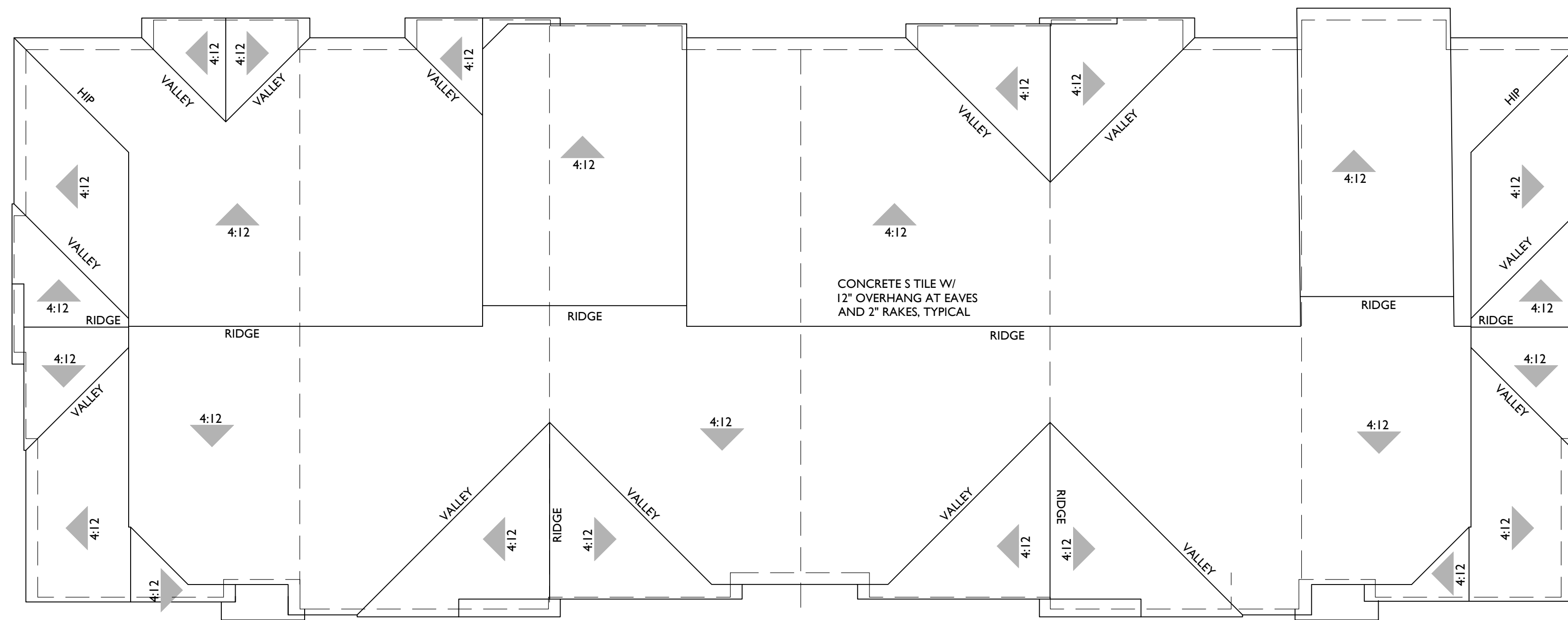


SECOND FLOOR PLAN

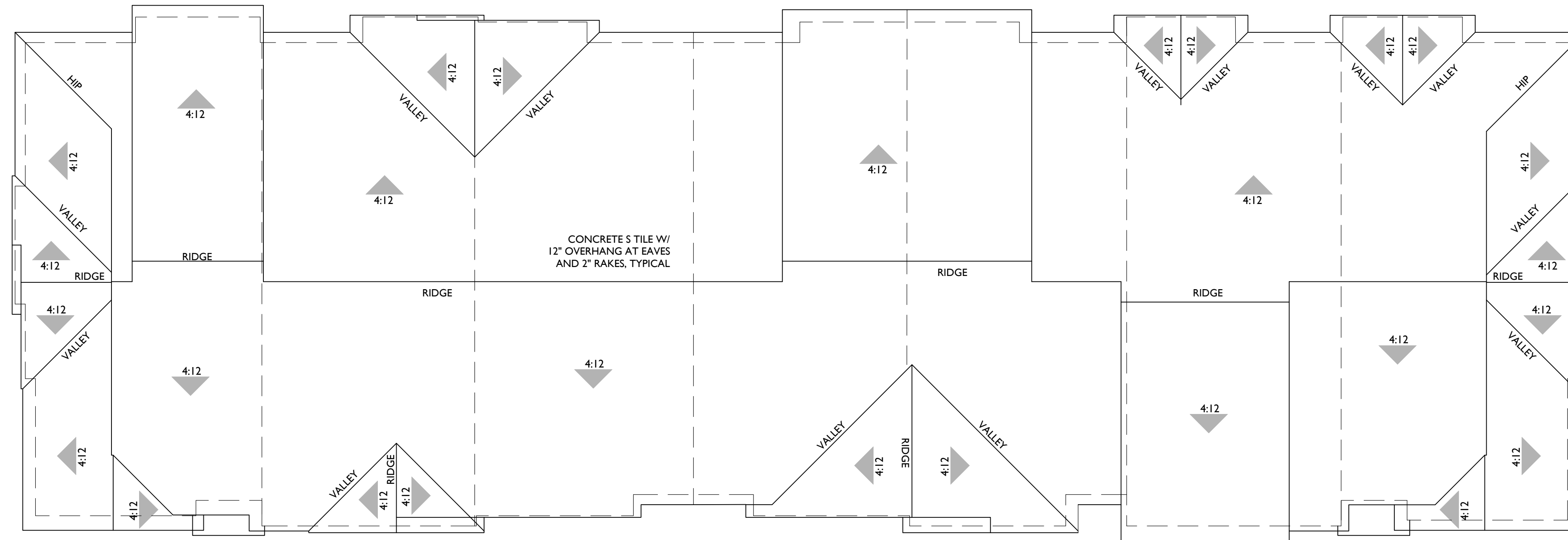
BLDG D



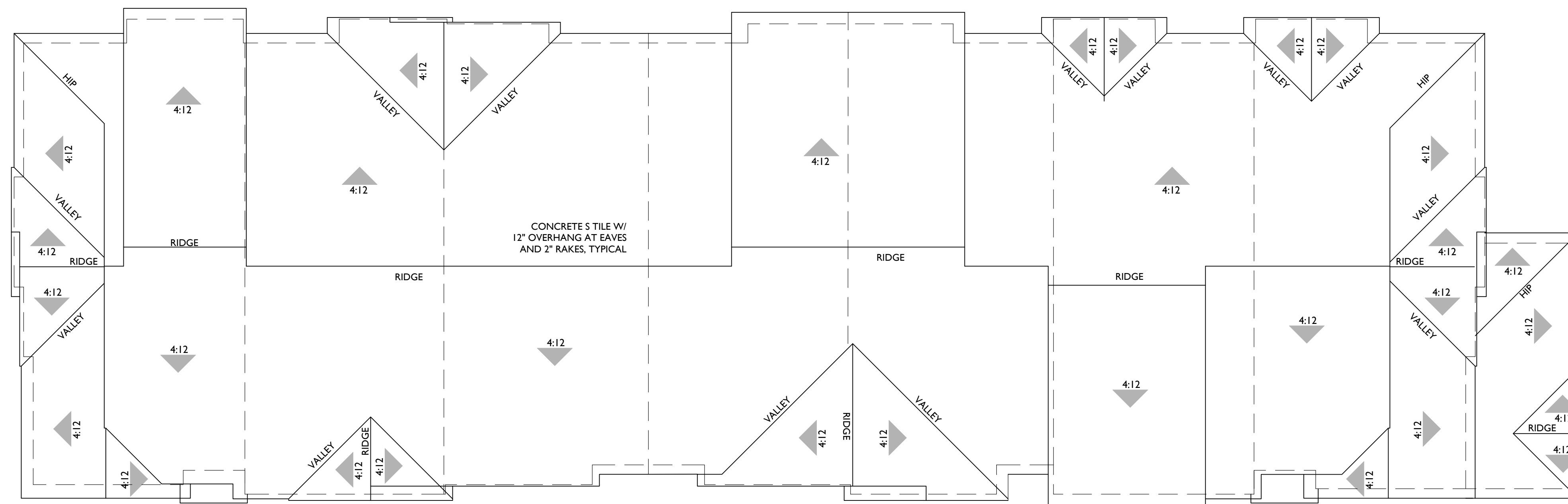
BLDG A



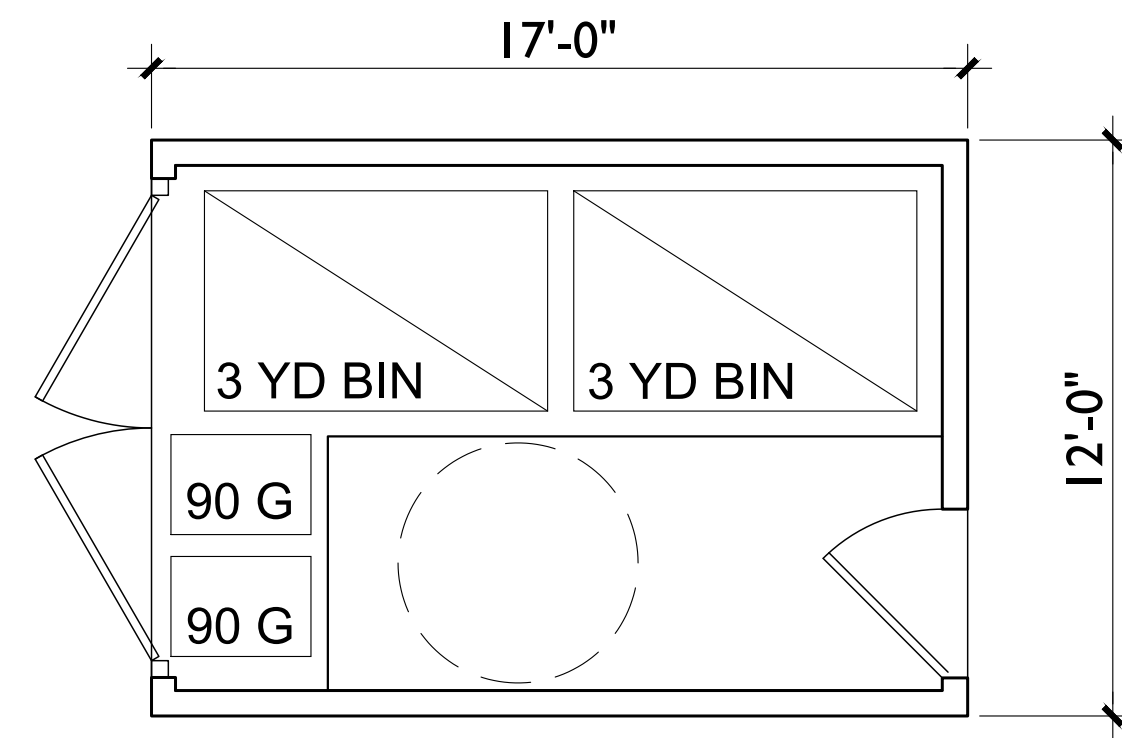
BLDG B



BLDG C



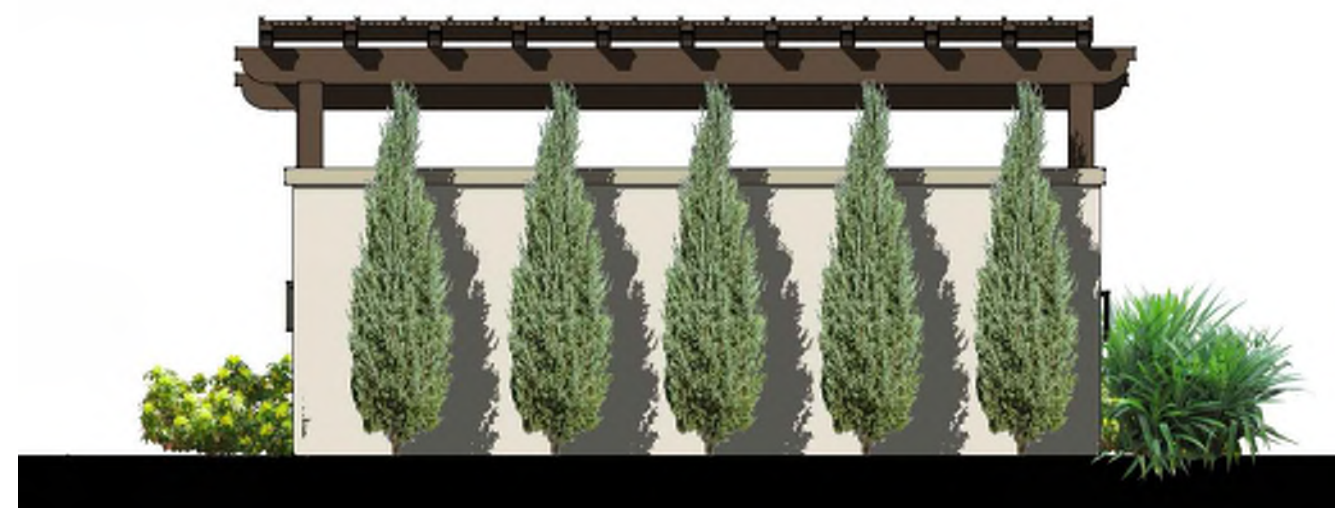
BLDG D



MATERIAL NOTES
 STUCCO O/ C.M.U. WALLS W/ 2" CAP
 6 X 6 RESAWN POSTS
 6 X 10 RESAWN BEAMS
 4X6 RESAWN TRELLIS
 SOLID STANDING SEAM METAL ROOF
 SOLID METAL GATES

MATERIAL SCHEDULE

1. ROOF - CONCRETE S TILE ROOFING
2. FASCIA - STUCCO OVER SHAPED FOAM CORNICE
3. WALL - EXTERIOR 20/30 SAND FINISH STUCCO
4. VINYL WINDOW W/ STUCCO O/ E.P.S. TRIM
5. RECESSED VINYL WINDOW W/ E.P.S. SILL & ARCHED SOFFIT
6. DECORATIVE GABLE ACCENT
7. DECORATIVE SHAPED STUCCO CORBEL OR CORNICE
8. DECORATIVE WOOD EYEBROW ROOF
9. SHAPED DECORATIVE SILL
10. DECORATIVE COMPOSITE SHUTTER
11. USABLE METAL POTSHELF
12. DECORATIVE EXTERIOR LIGHT FIXTURE
13. DECORATIVE METAL GRILLE
14. STUCCO PATIO LOW WALL W/ CAP AND METAL GATE
15. DECORATIVE TILE SURROUND OR ACCENT
16. DECORATIVE METAL BALCONY RAILING
17. ARCHED SOFFIT
18. UTILITY ROOM DOORS - COLOR TO MATCH STUCCO



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DRIVE AISLE AT PROJECT INTERIOR



CALABASH STREET



SIDE YARDS



CALABASH STREET

FONTANA

8162 CALABASH AVE TOWNHOMES

SPANISH
PERSPECTIVES

MONTE VISTA HOMES
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(951) 231-7206

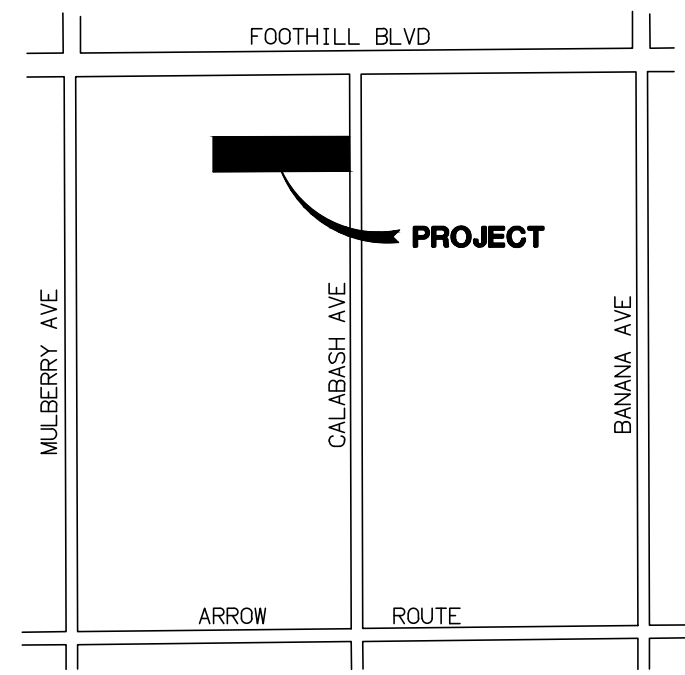
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A-12

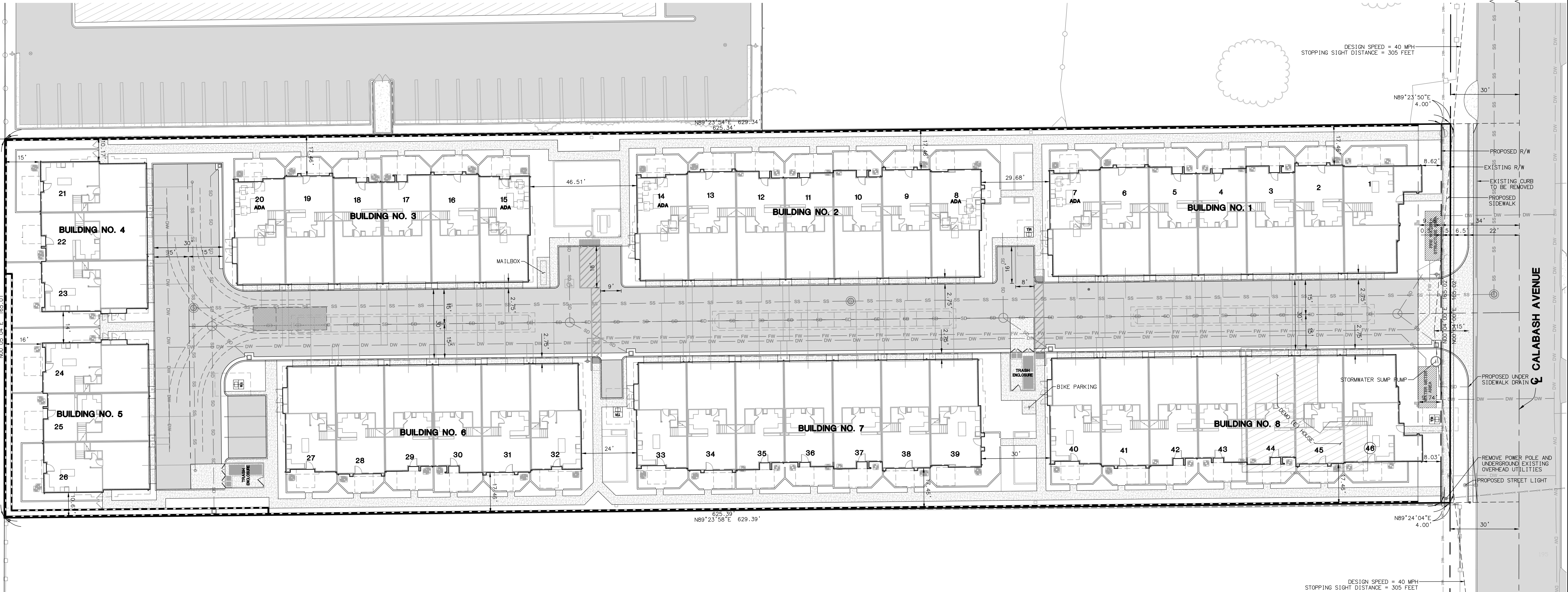
DETAILED SITE PLAN

8162 CALABASH AVENUE
FONTANA, CA



VICINITY MAP
NTS

FOOTHILL BOULEVARD

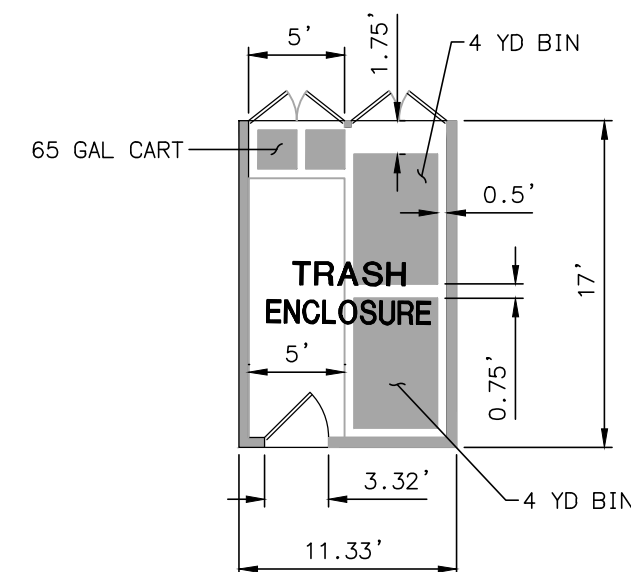


DESIGN SPEED = 40 MPH
STOPPING SIGHT DISTANCE = 305 FEET

DESIGN SPEED = 40 MPH
STOPPING SIGHT DISTANCE = 305 FEET

LEGEND

<ul style="list-style-type: none"> EX PALM TREE EX TREE EX SEWER MANHOLE EX SEWER CLEANOUT EX STREETLIGHT EX FIRE HYDRANT EX UTILITY BOX EX STORM DRAIN MANHOLE EX CATCH BASIN EX POWER POLE EX TRAFFIC LIGHT EX UNDERGROUND UTILITY VAULT EX IRRIGATION METER EX ELECTRICAL METER EX WATER VALVE COVER EX WATER METER EX MANHOLE EX STREET SIGN EX BOLLARD EX MONUMENT EX TRANSFORMER EX FIRE WATER STRUCTURE EX GAS STRUCTURE EX GAS VALVE EX PROPERTY BOUNDARY EX STREET CENTERLINE EX RIGHT-OF-WAY EX PROPERTY LINE EX EASEMENT 	<ul style="list-style-type: none"> EX MAJOR CONTOUR EX MINOR CONTOUR EX SEWER LINE EX DOMESTIC WATER LINE EX FIRE WATER LINE EX RECYCLED WATER LINE EX STORM DRAIN LINE EX OVERHEAD ELECTRIC EX OVERHEAD COMMUNICATION EX UNDERGROUND ELECTRIC EX GAS LINE EX IRON FENCE EX CHAIN LINK FENCE EX WOOD FENCE EX WALL EX CURB AND GUTTER EX SWALE EX STRIPING EX SLOPE EX CONCRETE EX STRUCTURE FOOTPRINT PR SEWER LINE PR DOMESTIC WATER LINE PR FIRE WATER LINE PR RECYCLED WATER LINE PR STORM DRAIN LINE PR WALL PR CURB AND GUTTER PR SWALE PR SLOPE
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TRASH ENCLOSURE DETAIL
SCALE: 1" = 10'

OWNER

MV M16 LLC
PO BOX 9559
RANCHO CUCAMONGA, CA 91701
(951) 231-7206

DEVELOPER

MONTE VISTA HOMES
PO BOX 9559
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(951) 231-7206

CIVIL ENGINEER

ADVANCED CIVIL GROUP, INC.
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LAGUNA NIGUEL, CA 92677
(949) 391-7772

ARCHITECT

SUMA ARCHITECTURE
5256 SOUTH MISSION ROAD, STE 404
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(760) 724-1198

LANDSCAPE ARCHITECT

HOWARD ASSOCIATES, INC.
1951 FOURTH AVENUE, SUITE 302
SAN DIEGO, CA 92101
(619) 718-9660

PROPERTY LEGAL DESC.

THE NORTH 1/2 OF LOT 258 OF FONTANA ARROW ROUTE TRACT NO. 2102, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGES 11 TO 15 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK

DESCRIPTION:
DESCRIBED BY METRO WATER DISTR SO. CALIFORNIA 1990 - RANCHO CUCAMONGA, AT ARROW HIGHWAY AND ETIWANDA AVE 15 FEET NORTH OF THE CENTERLINE OF ARROW HWY AND 30 FEET EAST OF THE CENTERLINE OF ETIWANDA AVE TOP OF EAST CURB 1 FOOT NORTH OF FIRE HYDRANT A 1-3/8 INCH BRASS SET FLUSH IN TOP OF CURB.

ELEV: 1158.05'

BASIS OF BEARING

THE CENTERLINE OF CALABASH AVENUE N00°01'00"E PER THE FONTANA ARROW ROUTE TRACT, TRACT NO. 2102 MB 31/11-15

PROJECT DESCRIPTION

46 UNIT TOWNHOME PROJECT WITH ASSOCIATED IMPROVEMENTS
ZONE

R15 FORMED BASE CODE/
ROUTE 66 GATEWAY DISTRICT

LOT SIZE

GROSS: 103,847 SF
NET: 103,187 SF

ASSESSOR PARCEL NO.'S.

0230-011-36-0-000

SITE ADDRESS

8162 CALABASH AVENUE
FONTANA, CA

SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
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ADJUST SCALES ACCORDINGLY



DRAWN BY: PSA
DESIGNED BY:
CHECKED BY:
APPROVED BY:



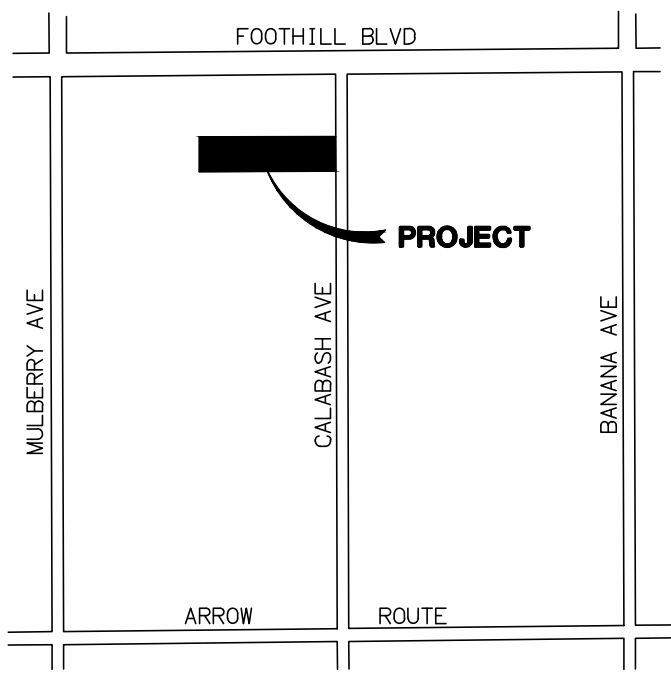
PREPARED BY:
ADVANCED CIVIL GROUP, INC.
30251 GOLDEN LANTERN, SUITE E, PMB 251
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8162 CALABASH AVENUE
FONTANA, CA
description
DETAILED SITE PLAN
prepared for
MONTE VISTA HOMES

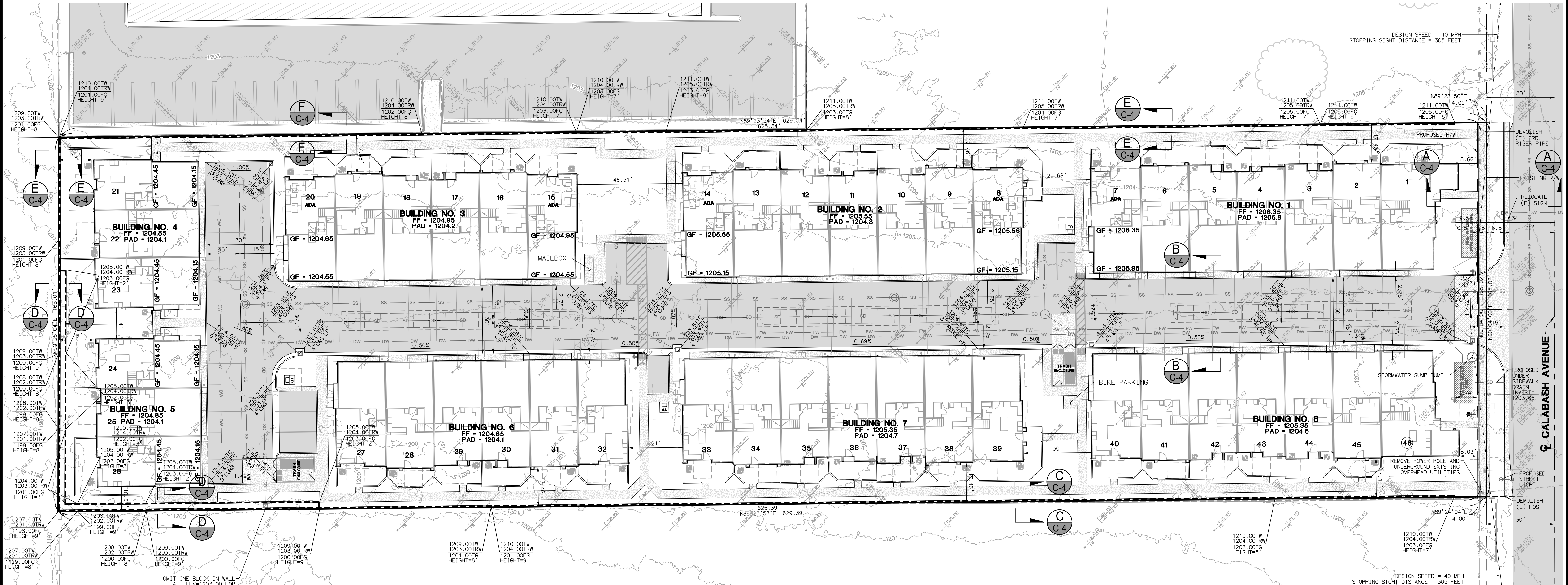
SHEET NO:
C-2
SHEET 2 OF 4
UPDATED: 4/22/2026

CONCEPTUAL GRADING PLAN

8162 CALABASH AVENUE
FONTANA, CA



VICINITY MAP
NTS



LEGEND

<ul style="list-style-type: none"> EX PALM TREE EX TREE EX SEWER MANHOLE EX SEWER CLEANOUT EX FIRE HYDRANT EX UTILITY BOX EX STORM DRAIN MANHOLE EX CATCH BASIN EX POWER POLE EX TRAFFIC LIGHT EX UNDERGROUND UTILITY VAULT EX IRRIGATION METER EX ELECTRICAL METER EX WATER VALVE COVER EX WATER METER EX MANHOLE EX STREET SIGN EX BOLLARD EX MONUMENT EX TRANSFORMER EX FIRE WATER STRUCTURE EX GAS STRUCTURE EX GAS VALVE EX PROPERTY BOUNDARY EX STREET CENTERLINE EX RIGHT-OF-WAY EX PROPERTY LINE EX EASEMENT 	<ul style="list-style-type: none"> EX MAJOR CONTOUR EX MINOR CONTOUR EX SEWER LINE EX DOMESTIC WATER LINE EX FIRE WATER LINE EX RECYCLED WATER LINE EX STORM DRAIN LINE EX OVERHEAD ELECTRIC EX OVERHEAD COMMUNICATION EX UNDERGROUND ELECTRIC EX GAS LINE EX IRON FENCE EX CHAIN LINK FENCE EX WOOD FENCE EX WALL EX CURB AND GUTTER EX SWALE EX STRIPING EX SLOPE EX CONCRETE EX STRUCTURE FOOTPRINT PR SEWER LINE PR DOMESTIC WATER LINE PR FIRE WATER LINE PR RECYCLED WATER LINE PR STORM DRAIN LINE PR WALL PR CURB AND GUTTER PR SWALE PR SLOPE
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CHECKED BY:
APPROVED BY:



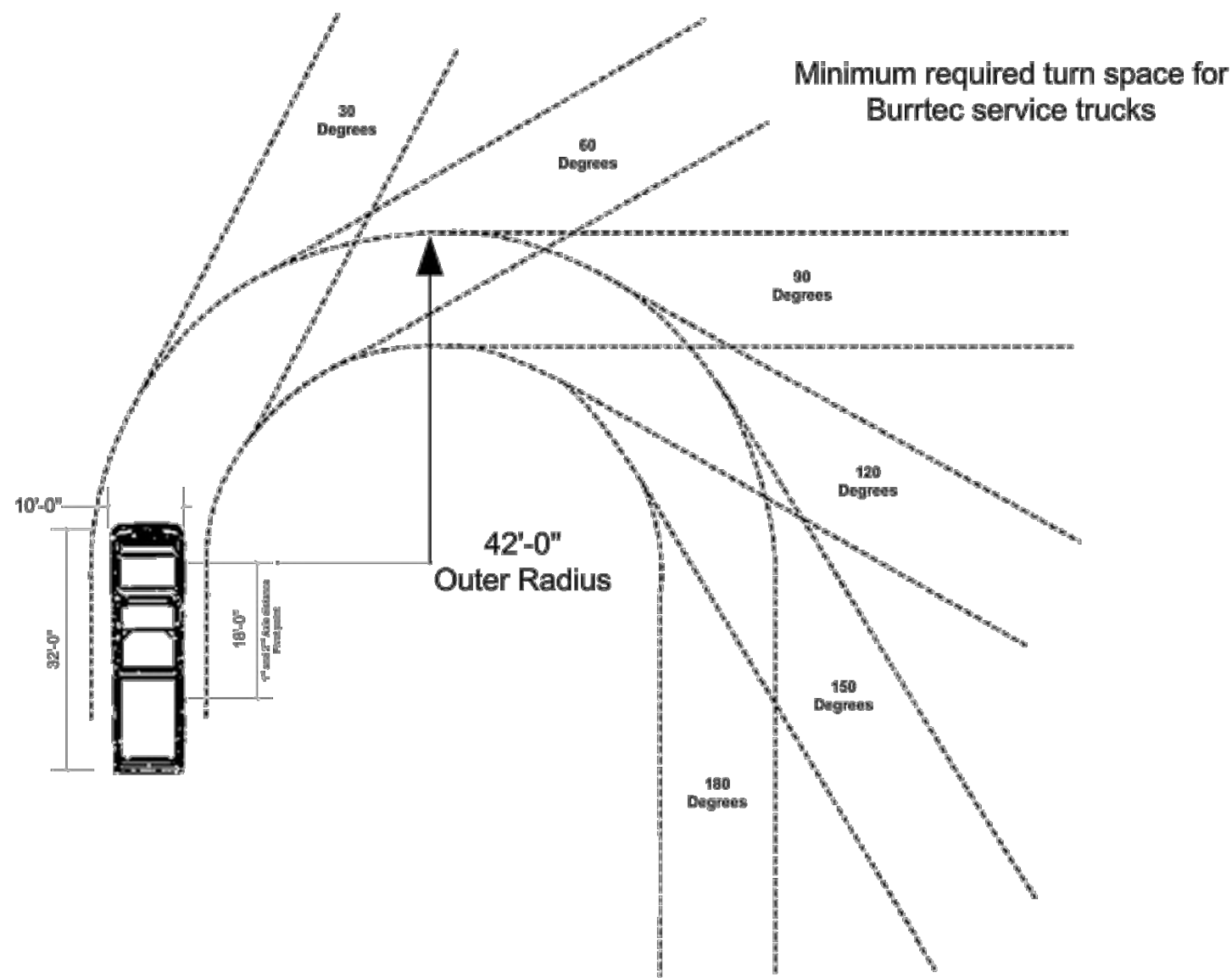
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8162 CALABASH AVENUE
FONTANA, CA
CONCEPTUAL GRADING PLAN
MONTE VISTA HOMES

SHEET NO:
C-3
SHEET 3 OF 4
UPDATED: 4/22/2026

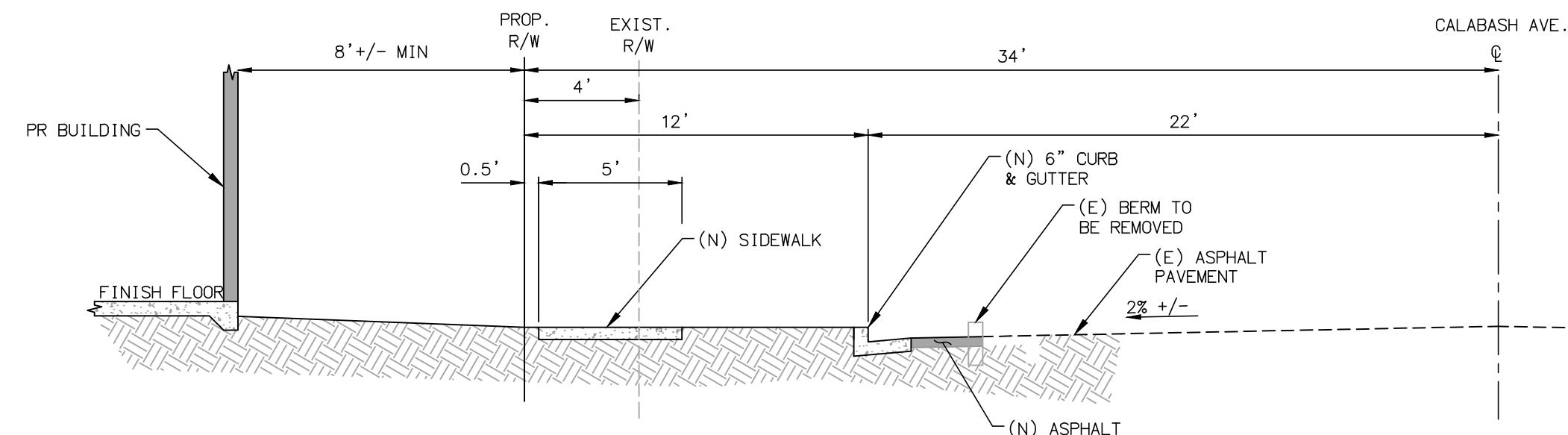
C. Truck Turning Radius

All corners and intersections on streets and driveways leading to enclosures must have a turning radius adequate for a 35-foot long, three-axle collection truck. The minimum inside curb radius shall be at least 28 feet. The minimum outside curb radius shall be at least 42 feet. All streets and driveways shall comply with applicable City standards.

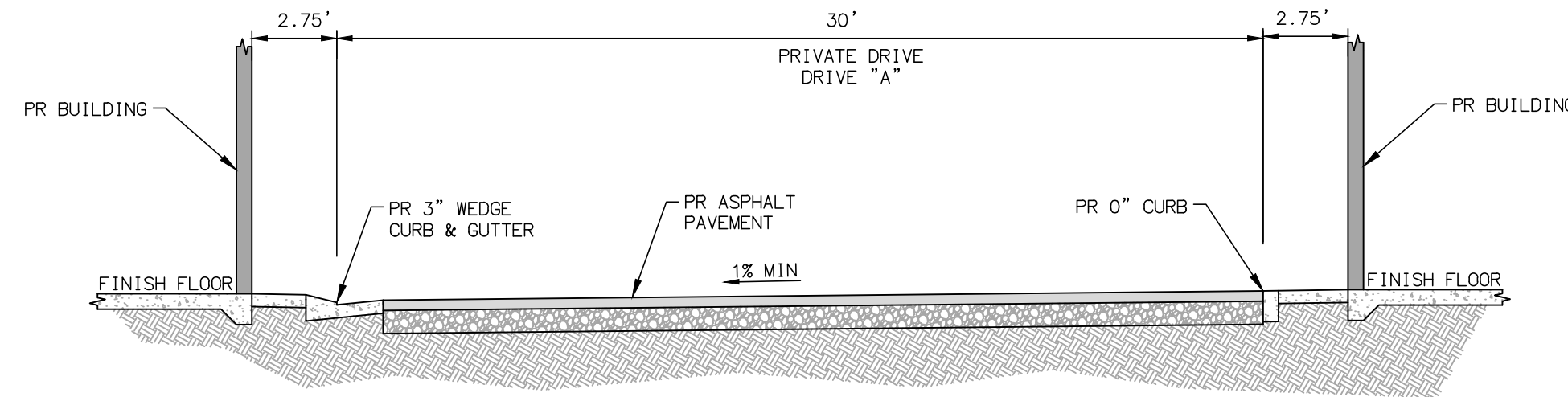


TRUCK TURNING TEMPLATE

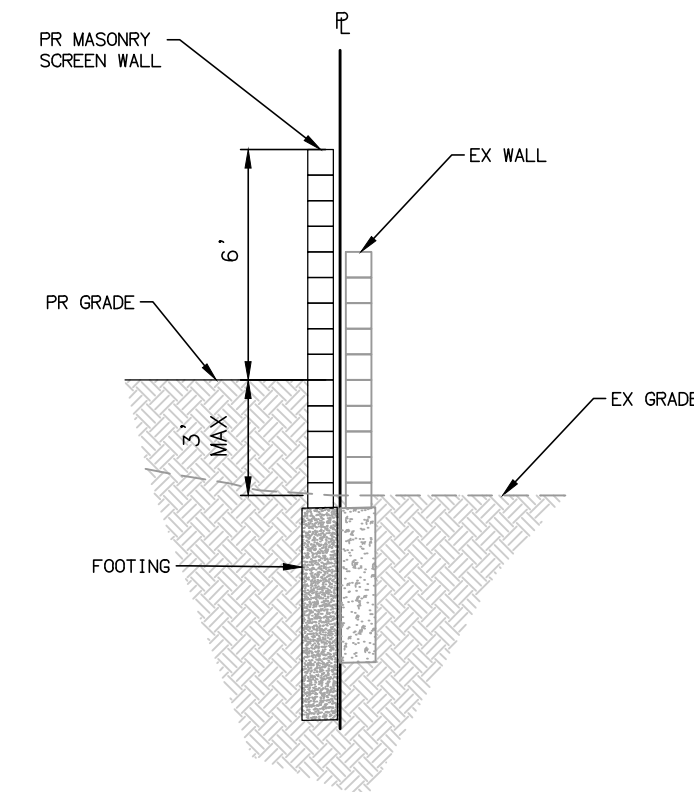
SECTIONS AND DETAILS



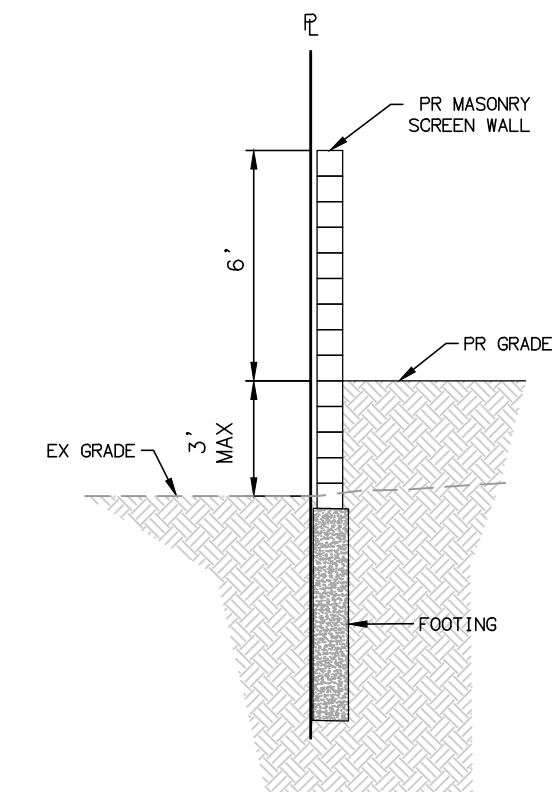
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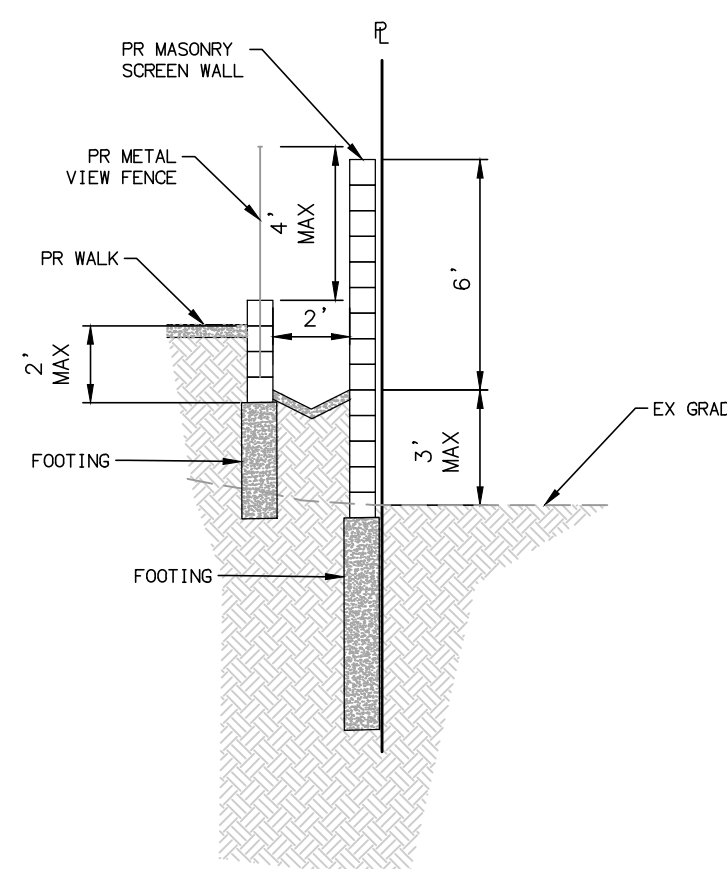
SECTION B-B
SCALE: 1"=5'



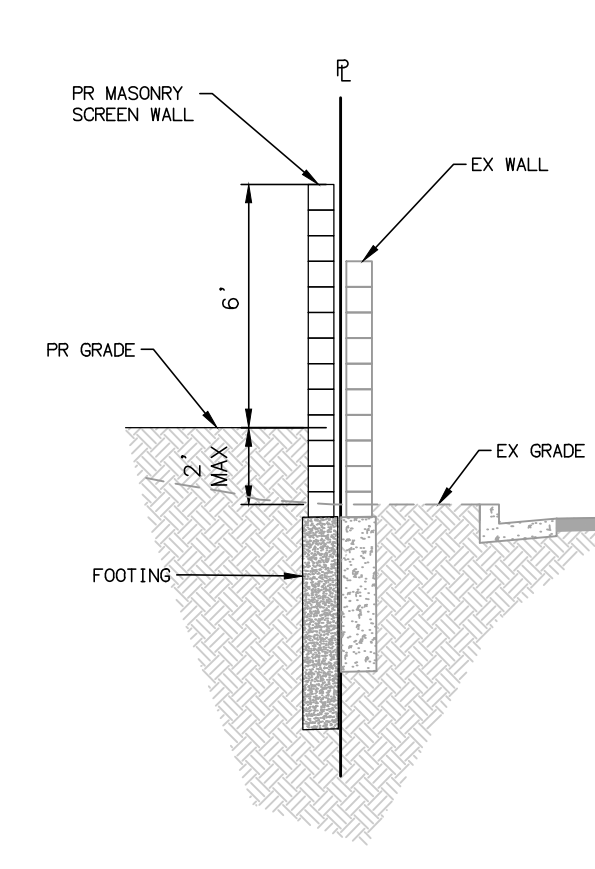
SECTION C-C
SCALE: 1"=5'



SECTION E-E
SCALE: 1"=5'



SECTION D-D
SCALE: 1"=5'



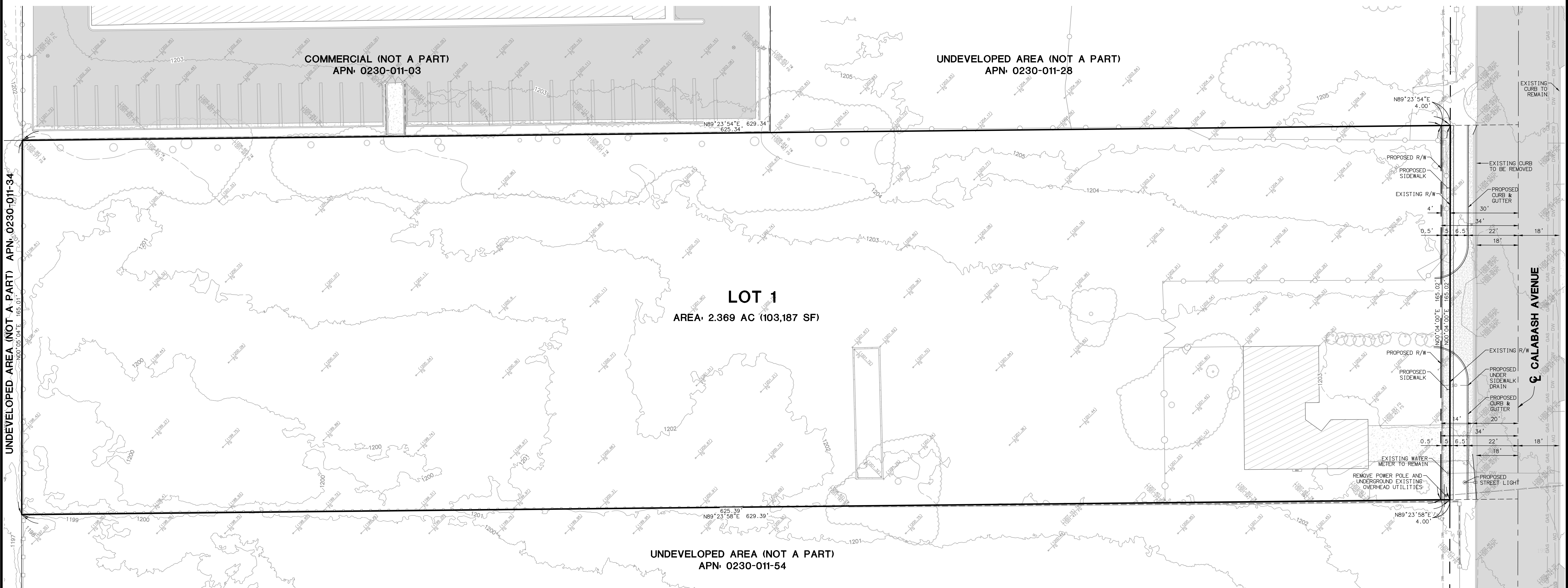
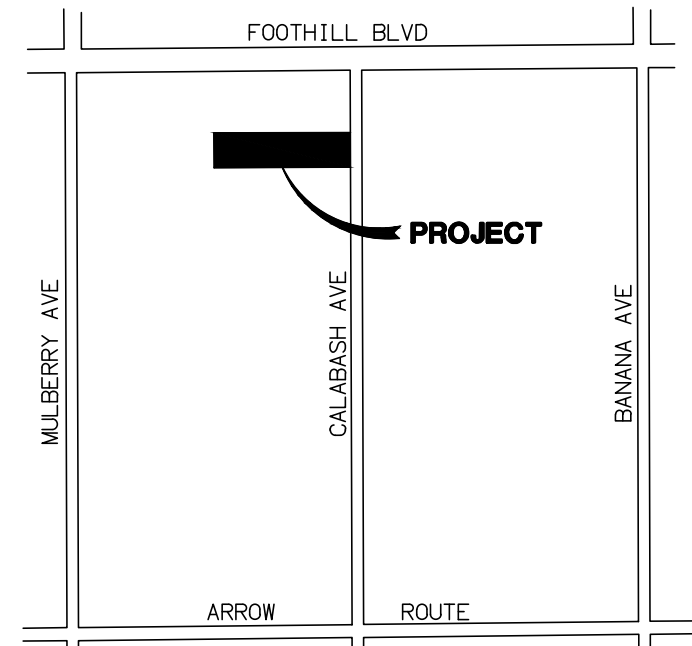
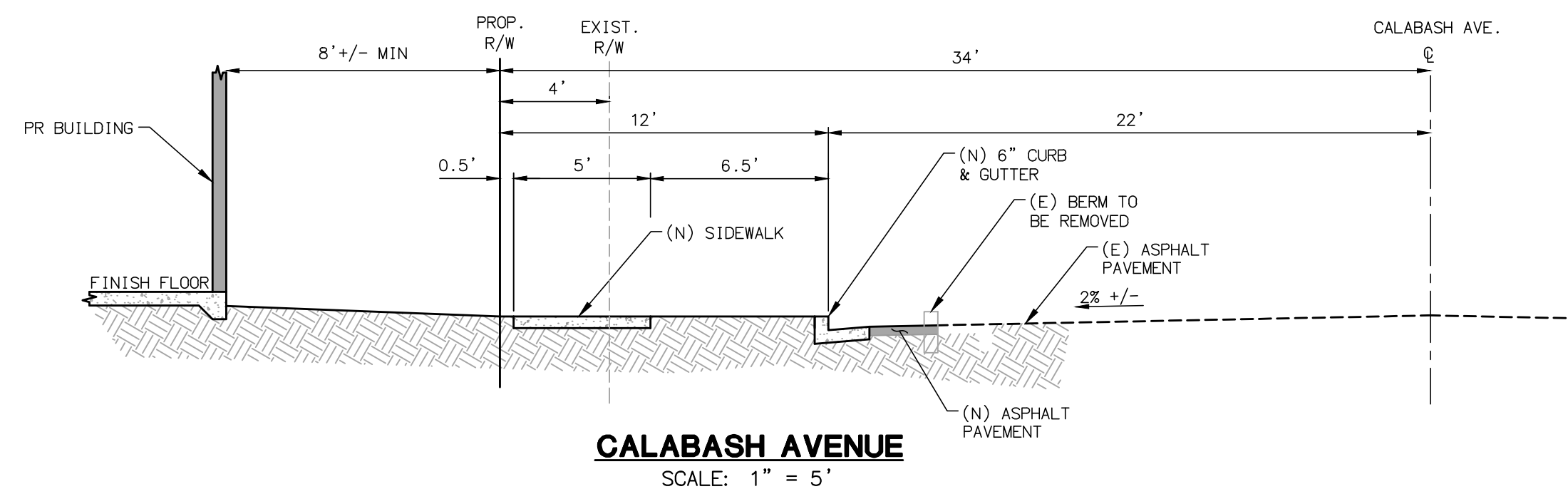
SECTION F-F
SCALE: 1"=5'

<p>SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p>		<p>DRAWN BY:</p>	<p>ADVANCED CIVIL GROUP</p>	<p>PREPARED BY:</p>	<p>8162 CALABASH AVENUE FONTANA, CA</p>	<p>SHEET NO: C-4</p>
		<p>DESIGNED BY:</p>		<p>ADVANCED CIVIL GROUP, INC. 30251 GOLDEN LANTERN, SUITE E, PMB 251 LAGUNA NIGUEL, CA 92677 (949) 391-7772 PHONE STEVE@ADVANCEDCIVILGROUP.COM WWW.ADVANCEDCIVILGROUP.COM</p>	<p>SECTIONS AND DETAILS</p>	<p>prepared for MONTE VISTA HOMES</p>

TENTATIVE TRACT MAP NO. 20498

FOR CONDOMINIUM PURPOSES

8162 CALABASH AVENUE
FONTANA, CA



LEGEND

EX PALM TREE	EX MAJOR CONTOUR
EX TREE	EX MINOR CONTOUR
EX SEWER MANHOLE	SS EX SEWER LINE
EX SEWER CLEANOUT	DW EX DOMESTIC WATER LINE
EX STREETLIGHT	FW EX FIRE WATER LINE
EX FIRE HYDRANT	RW EX RECYCLED WATER LINE
EX UTILITY BOX	SD EX STORM DRAIN LINE
EX STORM DRAIN MANHOLE	OH EX OVERHEAD ELECTRIC
EX CATCH BASIN	COMM EX OVERHEAD COMMUNICATION
EX POWER POLE	UE EX UNDERGROUND ELECTRIC
EX TRAFFIC LIGHT	EX GAS LINE
EX UNDERGROUND UTILITY VAULT	EX IRON FENCE
EX IRRIGATION METER	EX CHAIN LINK FENCE
EX ELECTRICAL METER	EX WOOD FENCE
EX WATER VALVE COVER	EX WALL
EX WATER METER	EX CURB AND GUTTER
EX MANHOLE	EX SWALE
EX STREET SIGN	EX STRIPING
EX BOLLARD	EX SLOPE
EX MONUMENT	EX CONCRETE
EX TRANSFORMER	EX STRUCTURE FOOTPRINT
EX STREET STRUCTURE	PR SEWER LINE
EX GAS STRUCTURE	PR DOMESTIC WATER LINE
EX GAS VALVE	PR FIRE WATER LINE
EX PROPERTY BOUNDARY	PR RECYCLED WATER LINE
EX STREET CENTERLINE	PR STORM DRAIN LINE
EX RIGHT-OF-WAY	PR WALL
EX PROPERTY LINE	PR CURB AND GUTTER
EX EASEMENT	PR SWALE
	PR SLOPE

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MV M16 LLC
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RANCHO CUCAMONGA, CA 91701
(951) 231-7206

DEVELOPER
MONTE VISTA HOMES
PO BOX 9559
RANCHO CUCAMONGA, CA 91701
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CIVIL ENGINEER
ADVANCED CIVIL GROUP, INC.
30251 GOLDEN LANTERN, STE E, PMB 251
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ARCHITECT
SUMMA ARCHITECTURE
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BONSALL, CA 92003
(760) 724-1198

LANDSCAPE ARCHITECT
HOWARD ASSOCIATES, INC.
1951 FOURTH AVENUE, SUITE 302
SAN DIEGO, CA 92101
(619) 718-9660

PROPERTY LEGAL DESC.
THE NORTH 1/2 OF LOT 258 OF FONTANA ARROW ROUTE TRACT NO. 2102, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGES 11 TO 15 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK
DESCRIPTION:
DESCRIBED BY METRO WATER DISTRICT SO. CALIFORNIA 1990 - RANCHO CUCAMONGA, AT ARROW HIGHWAY AND ETIWANDA AVE 15 FEET NORTH OF THE CENTERLINE OF ARROW HWY AND 30 FEET EAST OF THE CENTERLINE OF ETIWANDA AVE TOP OF EAST CURB 1 FOOT NORTH OF FIRE HYDRANT A 1-3/8 INCH BRASS SET FLUSH IN TOP OF CURB.
ELEV: 1158.05'

BASIS OF BEARING
THE CENTERLINE OF CALABASH AVENUE N00°01'00"E PER THE FONTANA ARROW ROUTE TRACT, TRACT NO. 2102 MB 31/11-15

PROJECT DESCRIPTION
46 UNIT TOWNHOME PROJECT WITH ASSOCIATED IMPROVEMENTS

ZONE
R15 FORMED BASE CODE/
ROUTE 66 GATEWAY DISTRICT

LOT SIZE
GROSS: 103,847 SF
NET: 103,187 SF

ASSESSOR PARCEL NO'S.
0230-011-36-0-000
0230-011-36-0-000

SITE ADDRESS
8162 CALABASH AVENUE
FONTANA, CA

SCALE: 1" = 20'

8162 CALABASH AVENUE
FONTANA, CA

TENTATIVE TRACT MAP NO. 20498

ADVANCED CIVIL GROUP, INC.
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PREPARED BY:
MONTE VISTA HOMES

8162 CALABASH AVENUE
FONTANA, CA

TENTATIVE TRACT MAP NO. 20498

TTM

SCALE VERIFICATION
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REGISTERED PROFESSIONAL ENGINEER
STEVEN JUSTIN
No. 68795
Exp 9-30-2027
CIVIL
STATE OF CALIFORNIA

DRAWN BY: PSA
DESIGNED BY:
CHECKED BY:
APPROVED BY:

ADVANCED CIVIL GROUP

PREPARED BY:
MONTE VISTA HOMES

8162 CALABASH AVENUE
FONTANA, CA

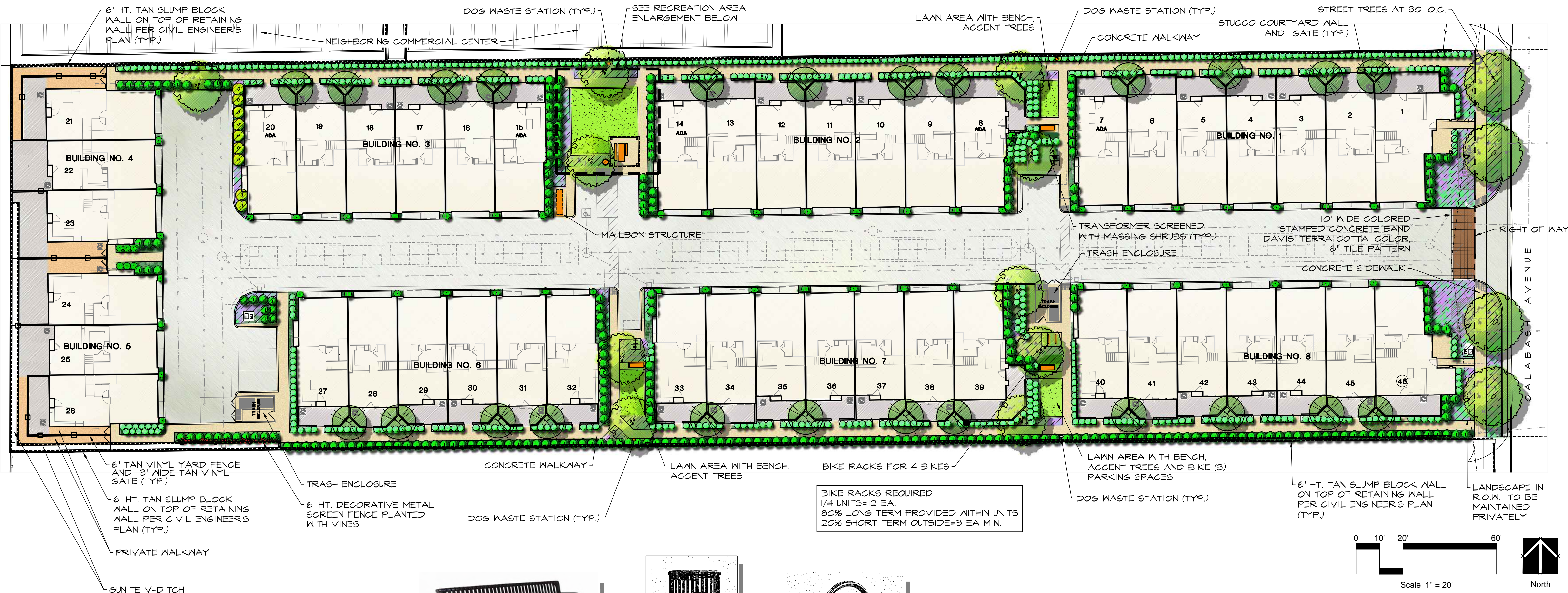
TENTATIVE TRACT MAP NO. 20498

TTM

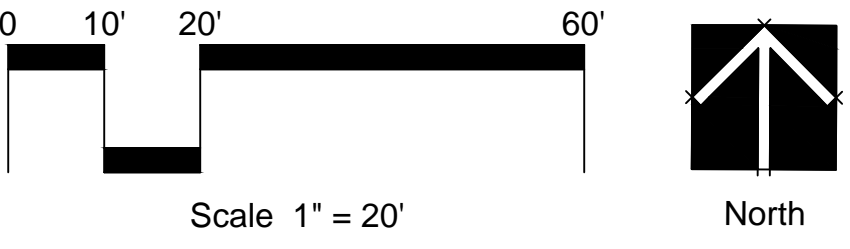
SCALE 1" = 20'

SHEET 1 OF 1

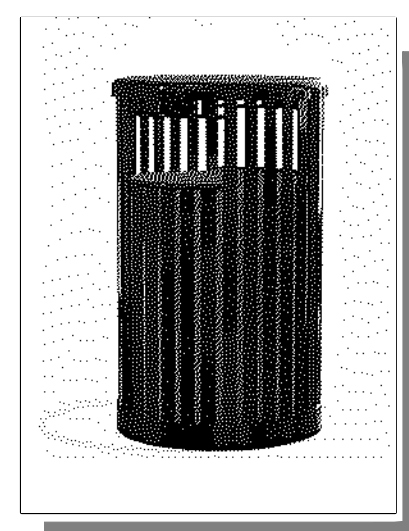
UPDATED: 4/22/2026



BIKE RACKS REQUIRED
1/4 UNITS=12 EA.
80% LONG TERM PROVIDED WITHIN UNITS
20% SHORT TERM OUTSIDE=3 EA MIN.



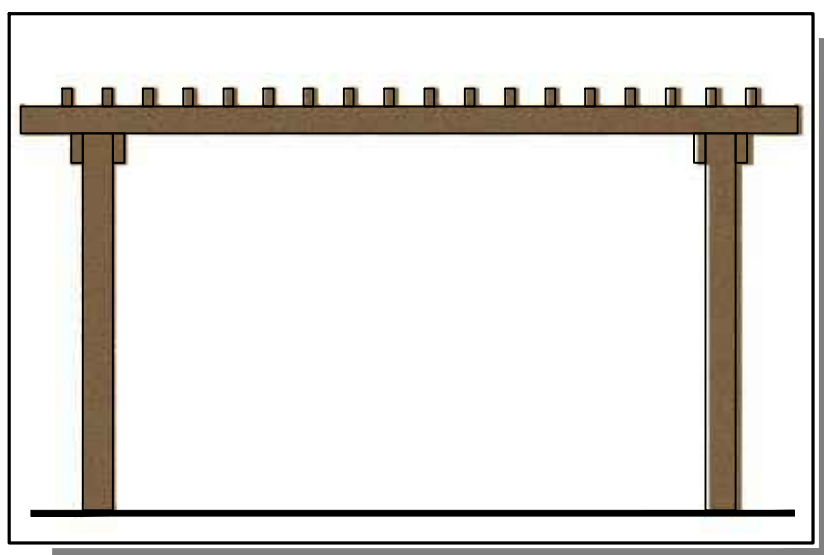
BENCH



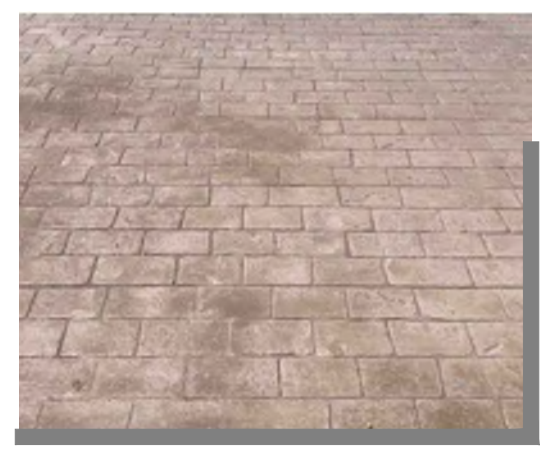
TRASH RECEPTACLE



BIKE RACK



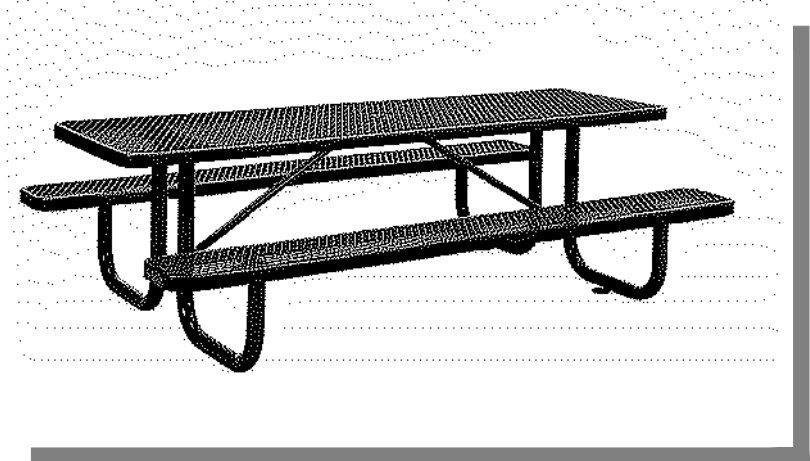
RECREATION AREA SHADE TRELLIS



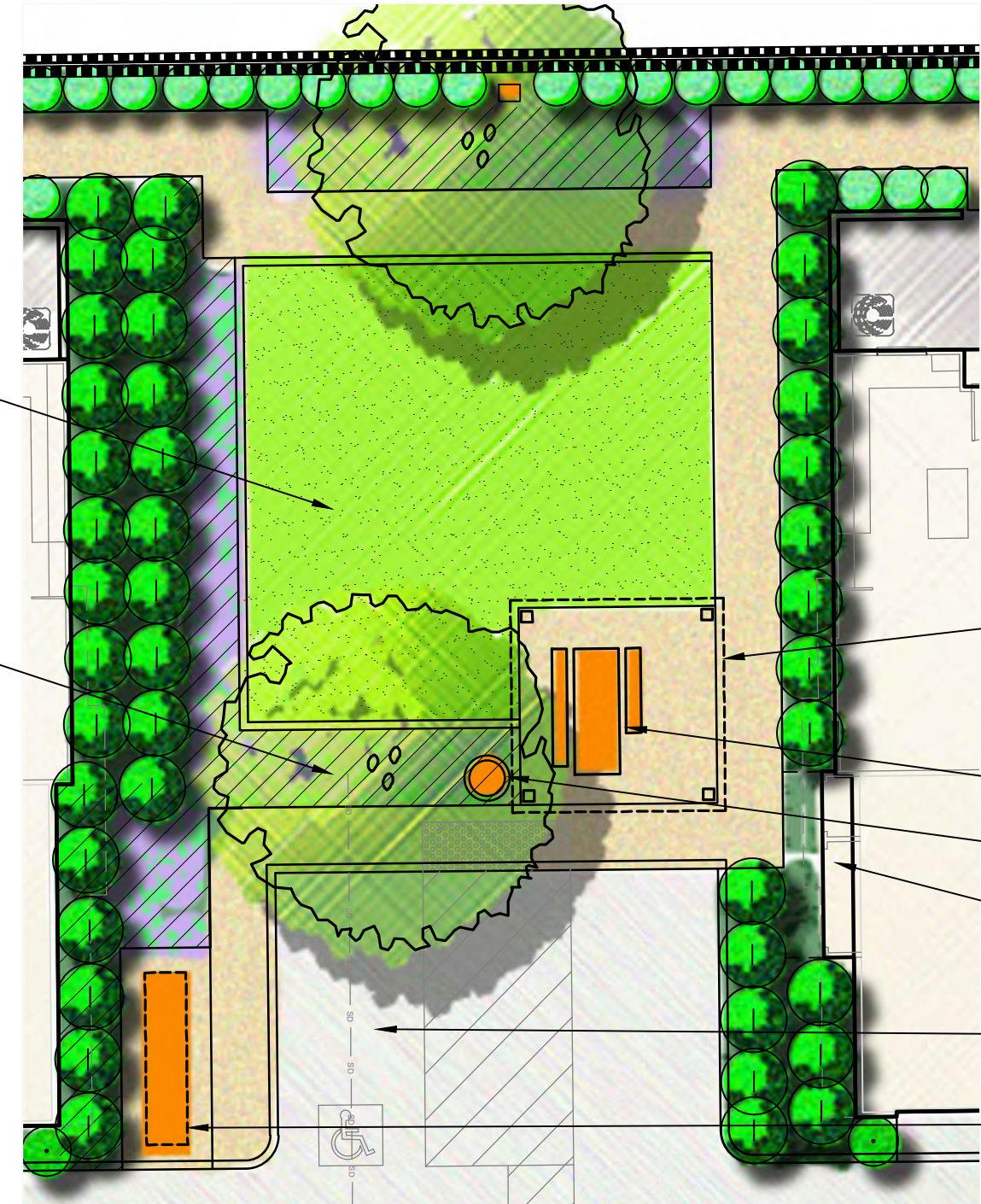
STAMPED CONCRETE



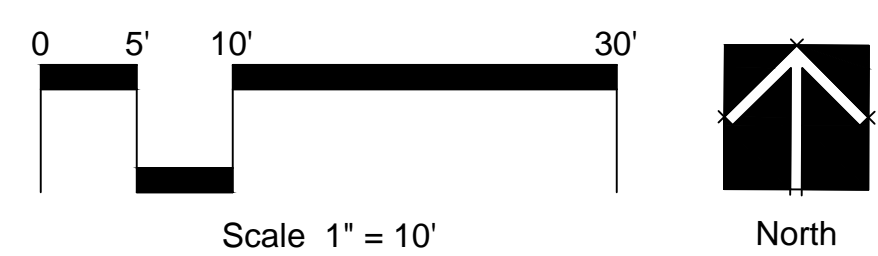
DOG WASTE STATION



PICNIC TABLE



RECREATION AREA ENLARGEMENT



SCALE VERIFICATION
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ADJUST SCALES ACCORDINGLY

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DESIGNED BY: ---
CHECKED BY: ---
APPROVED BY: ---

PREPARED BY: rla 2681

HOWARD ASSOCIATES
landscape architecture
1951 Fourth Avenue, Suite 302
San Diego, CA 92101 (619) 718-9660

OWNER/ APPLICANT:
MONTE VISTA HOMES
P.O. BOX 9589
ALTA LOMA, CA 91701

8162 CALABASH AVENUE
FONTANA, CA

LANDSCAPE CONCEPT PLAN

prepared for
MONTE VISTA HOMES

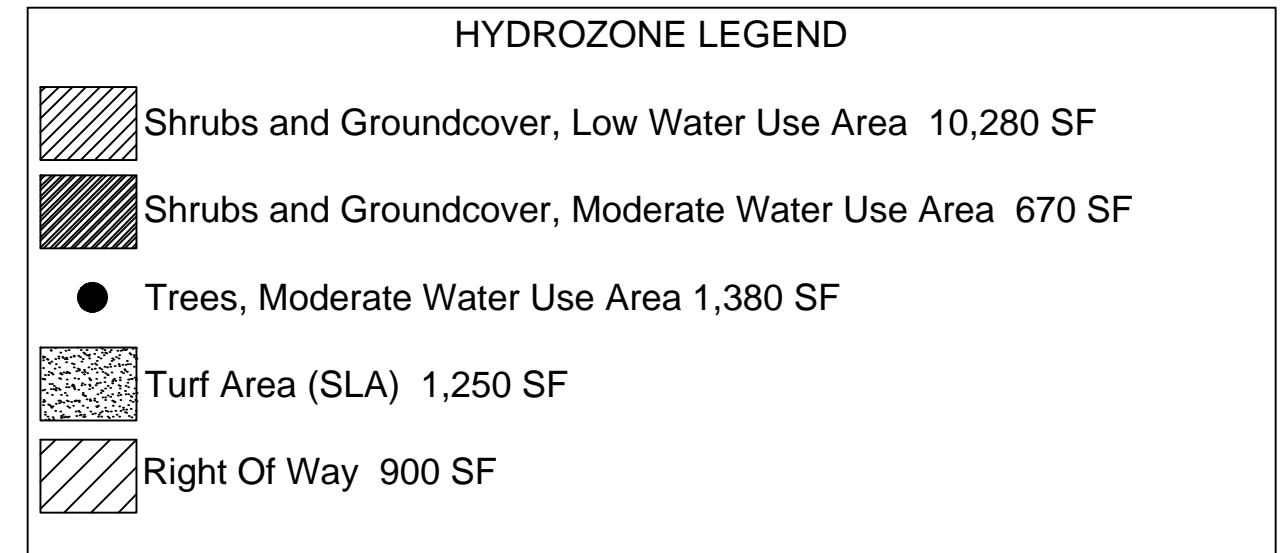
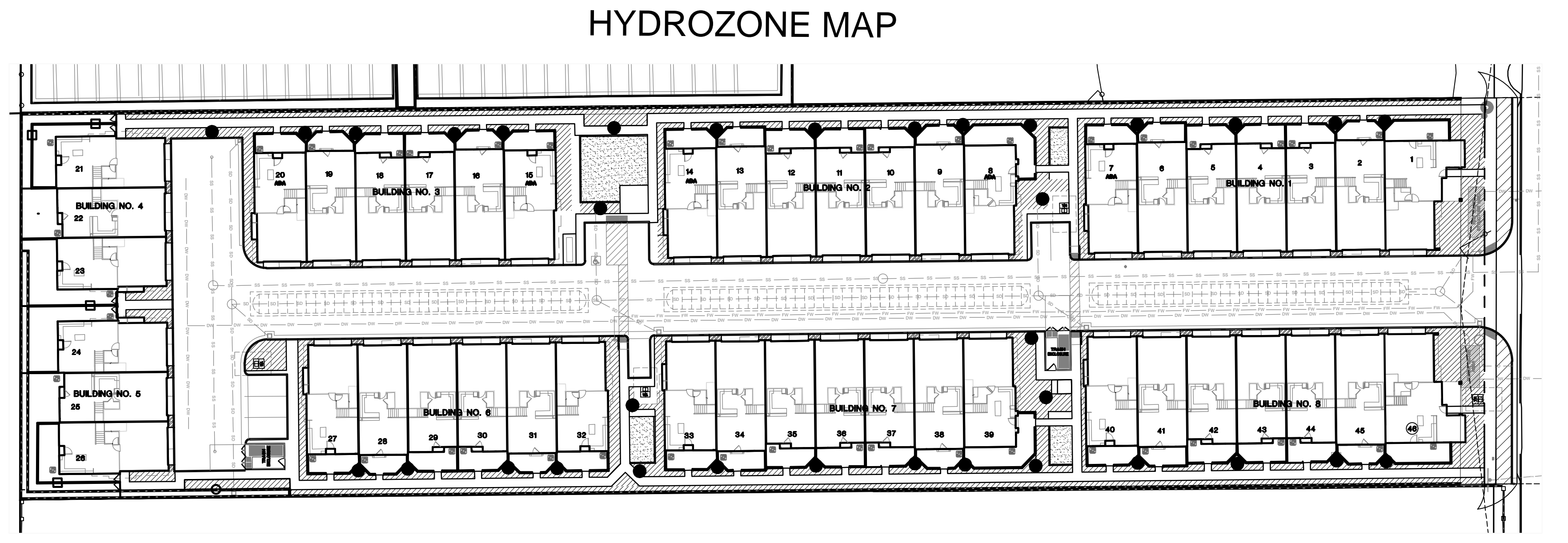
SHEET NO: **L-1**
SHEET 1 OF 3

SYMBOL		BOTANICAL NAME		COMMON NAME		QTY.	HT. x W	GROWTH RATE	FUNCTION	WUCOLS ZONE 4
STREET TREES: (36" BOX SIZE AT 30' O.C.)										
		MAGNOLIA 'MAJESTIC BEAUTY'	MAJ. BEAUTY MAGNOLIA	4	40' x 20'	MOD		STREET TREE		M
THEME TREES: (24" BOX SIZE)										
		ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	24	25' x 25'	MOD		EVERGREEN THEME TREE		M
		LAGERSTROMIA INDICA	GRAPE MYRTLE		25' x 20'	MOD		FLOWERING THEME TREE		M
		MAG. GRAND. 'LITTLE GEM'	LITTLE GEM MAGNOLIA		30' x 10'	MOD		FLOWERING THEME TREE		M
		TRISTANIOPSIS LAURINA	WATER GUM		35' x 20'	SLOW		EVERGREEN THEME TREE		M
ACCENT TREES: (25% 36" BOX, 75% 24" BOX SIZE)										
		GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	10	40' x 30'	MOD		ACCENT TREE, STD. FORM		M
		LOPHOSTOMON CONFERTA	BRISBANE BOX		60' x 40'	MOD		ACCENT TREE, STD. FORM		M
		PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE PEAR		35' x 30'	MOD		ACCENT TREE, STD. FORM		M
EVERGREEN HEDGE AND SCREENING SHRUBS: (5 GAL. SIZE AT 3'-4' O.C.) MIN. QTY. 100										
		ARBUTUS COMPACTA	NCN		6' x 4'	MOD		EVERGREEN HEDGE		L
		CALLISTEMON V. 'SLIM'	SLIM BOTTLEBRUSH		8' x 3'	MOD		EVERGREEN HEDGE		L
		CUPRESSUS S. 'TINY TOWER'	TINY TOWER ITALIAN CYPRESS		25' x 3'	SLOW		VERT. ACCENT COLUMN		L
		EVONYMUS J. 'GREEN SPIRE'	GREEN SPIRE EVONYMUS		8' x 2'	MOD		EVERGREEN HEDGE		M
		LIGUSTRUM JAPONICUM TEXANUM	TEXAS PRIVET		6' x 4'	MOD		EVERGREEN HEDGE		M
		OLEA 'LITTLE OLLIE'	DWARF OLIVE		6' x 4'	MOD		EVERGREEN HEDGE		L
		TEGOMA X 'ORANGE JUBILEE'	ORANGE BELLS		8' x 6'	MOD		ACCENT SHRUB		L
		WESTRINGIA F. 'BLUE GEM'	BLUE GEM COAST ROSEMARY		4' x 3'	MOD		EVERGREEN HEDGE		L
MASSING SHRUBS: (1 GAL. SIZE AT 3' O.C.) MIN. QTY. 50										
		CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH		3' x 3'	MOD		MASSING SHRUB		L
		HESPERALOE PARVIFLORA	RED YUCCA		3' x 3'	MOD		FLOWERING SUCCULENT		L
		ILEX 'STOKES DWARF'	STOKES DWARF HOLLY		3' x 3'	MOD		MASSING SHRUB		L
		LANTANA 'GOLD MOUND'	GOLD MOUND LANTANA		3' x 4'	FAST		FLOWERING SHRUB		L
		MUHLENBERGIA CAPILLARIS	PINK MUHLY		3' x 3'	MOD		ORNAMENTAL GRASS		L
		NANDINA 'OBSESSION'	HEAVENLY BAMBOO		3' x 3'	MOD		SHADE, MASSING		M
		RHAPHIOLEPIS U. 'MINOR'	DWARF YEDDO HAWTHORN		4' x 3'	MOD		FLOWERING SHRUB		M
DRIVE AISLE SHRUBS: (5 GAL. SIZE) MIN. QTY. 50										
		LIGUSTRUM TEXANUM	TEXAS PRIVET		6' x 4'	MOD		EG. SHRUB BETWEEN GARAGES ALONG DRIVE AISLES		M
SMALL ACCENT SHRUBS: (1 GAL. SIZE AT 2'-3' O.C.) MIN. QTY. 50										
		ANIGOSANTHUS SPP.	KANGAROO PAN		2' x 2'	MOD		VERTICAL ACCENT		L
		CRASSULA O. 'GOLLUM'	GOLLUM JADE PLANT		3' x 2'	MOD		ACCENT SUCCULENT		L
		DIANELLA R. 'LITTLE REV'	LITTLE REV FLAX LILY		2' x 1'	MOD		SMALL ACCENT SHRUB		L
SPREADING GROUND COVER: (1 GAL. SIZE AT 2'-3' O.C.)										
		LOMANDRA L. 'BREEZE'	DWARF MAT RUSH		2' x 2'	MOD		TEXTURED GROUND COVER		L
		ROSMARINUS O. 'ROMAN BEAUTY'	ROMAN BEAUTY ROSEMARY		2' x 2'	MOD		LOW SHRUB G.C.		L
		SENEGIO SERPENS	BLUE CHALK STICKS		1' x 2'	FAST		ACCENT GROUNDCOVER		L
SCREENING VINES: (5 GAL. STAKED)										
		DISTICIS BUCCINATORIA	BLOOD RED TRUMPET VINE		20'	FAST		TRAILING VINE TRAIN TO WALL		M
		MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE		25'	FAST		TRAILING VINE TRAIN TO WALL		L
LAWN:										
		MARATHON DWARF FESCUE								

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
SEWER LINES	10'
ABOVE GROUND UTILITY STRUCTURES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'

SITE AREA	103,187 SF / 100%
DRIVES/PARKING	22,010 SF / 21.3%
BUILDINGS	46,294 SF 44.9%
PRIVATE YARDS	8,134 SF 7.8%
COMMON OPEN SPACE INCLUDING AMENITY AREA PASEOS AND RECREATION AREAS	17,137 SF / 16.6%
REMAINING LANDSCAPE AREA	9,612 SF / 9.4%

SITE AREA LESS BLDG. FOOTPRINTS	57,229 SF
REQUIRED LANDSCAPING AREA (15%)	8,585 SF
LANDSCAPING AREA PROVIDED (25.3%)	14,480 SF
TREES REQUIRED (1/300 SF REQUIRED LANDSCAPE) : 29 EA	
TREES PROVIDED : 38 EA	
36" BOX TREES REQUIRED (20%) : 6 EA	
36" BOX TREES PROVIDED : 7 EA	
SHRUBS REQUIRED (3 PER TREE) : 114 EA (50% 5 GAL)	
SHRUBS PROVIDED: 250 EA	
5 GAL SHRUBS PROVIDED : 150 EA	



- Landscape and Maintenance Notes:**
- General:**
- All landscape and irrigation shall conform to the design standards and guidelines of the City of Fontana and the City of Fontana 'Water Efficient Landscape Documentation Package Submittal Requirements'.
- Irrigation:**
- The irrigation system will be designed to afford optimum coverage for the support of plant growth. The coverage will meet the water requirements for the selected plant material within a given planting area and the type of exposure. The irrigation system will be designed with respect to water conservation. All irrigation will be sub-surface drip and bubblers. The irrigation system shall be a fully automatic system and as maintenance-free as possible. The materials for the system will be of an extremely durable nature, and will have been selected for wear resistance and long life. The overall system shall be designed for ease of maintenance.
 - A separate, potable, designated irrigation water meter shall be installed.
- Planting:**
- All plant material shall be WUCOLS Zone 4 rated as low or moderate for water use. Plant material shall be grouped according to sun and wind exposure and water requirements. Tall shrubs, trees and vines shall screen perimeter walls and utilities. All proposed plant material shall be non-invasive.
 - Plants chosen for North sides of buildings, walls and fences shall be species which can tolerate dense shade.
 - Accent shrubs shall be utilized for entries and focal points, to provide textural and flowering interest.
 - 36" Box trees shall have a min caliper of 2 1/2"
 - 24" Box trees shall have a min. caliper of 1 1/2"
- Maintenance:**
- All landscape shown on this plan shall be maintained by the Homeowners' Association. The landscape areas shall be kept free of litter and debris, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

City of Fontana
Department of Engineering

WATER EFFICIENT LANDSCAPE WORKSHEET
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) **55.6 (San Bernardino)**

Water Efficient Landscape Worksheet						
Reference Evapotranspiration (Eto)	55.6	Project Type			Residential	0.55
Hydrozone # / Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)‡
Regular Landscape Areas						
Low Water Shrubs	0.3	Drip	0.81	0.37	10,280	3,807
Mod Water Shrubs	0.5	Drip	0.81	0.62	670	414
Mod Water Trees	0.5	Drip	0.81	0.62	1,380	852
Mod Right of way	0.5	Drip	0.81	0.62	900	556
				Totals	13,230	5,628
Special Landscape Areas						
Lawn Area- active use				1,250.00	0	0
				Totals	1,250.00	0
					ETWU Total	194,022
					Maximum Allowed Water Allowance (MAWA)†	293,926
ETAF Calculations						
Regular Landscape Areas						
Total ETAF x Area	5,628	Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.				
Total Area	13,230					
Average ETAF	0.43					
All Landscape Areas						
Total ETAF x Area	5,628	ETWU (Annual Gallons Required) Eto x .062 x ETAF x Area				
Total Area	14,480	MAWA (Annual Gallons Allowed) (Eto) (.62) [(ETAF x LA) - ((1-ETAF) x SLA)]				
Average ETAF	0.39					

*Hydrozone #/Planting Description: 1) front lawn, 2) low water use plantings, 3) medium water use planting

†Irrigation Method: overhead spray or drip

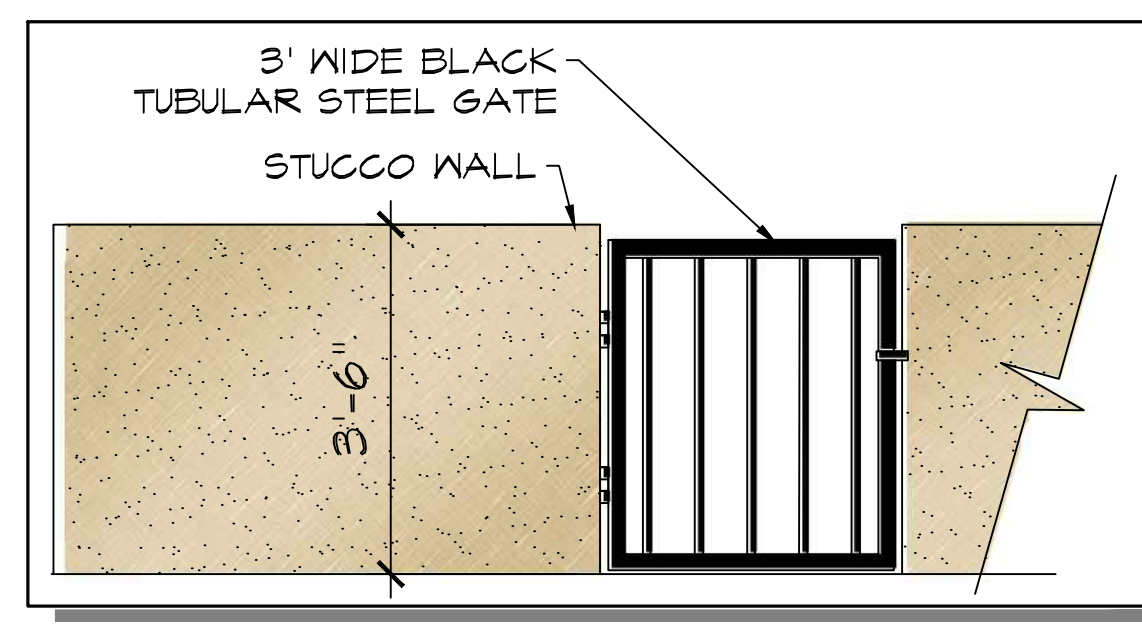
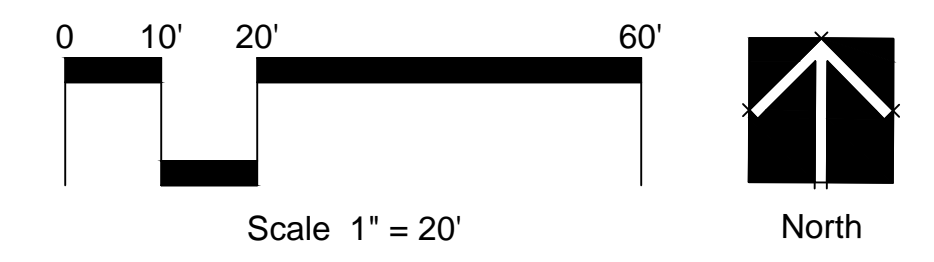
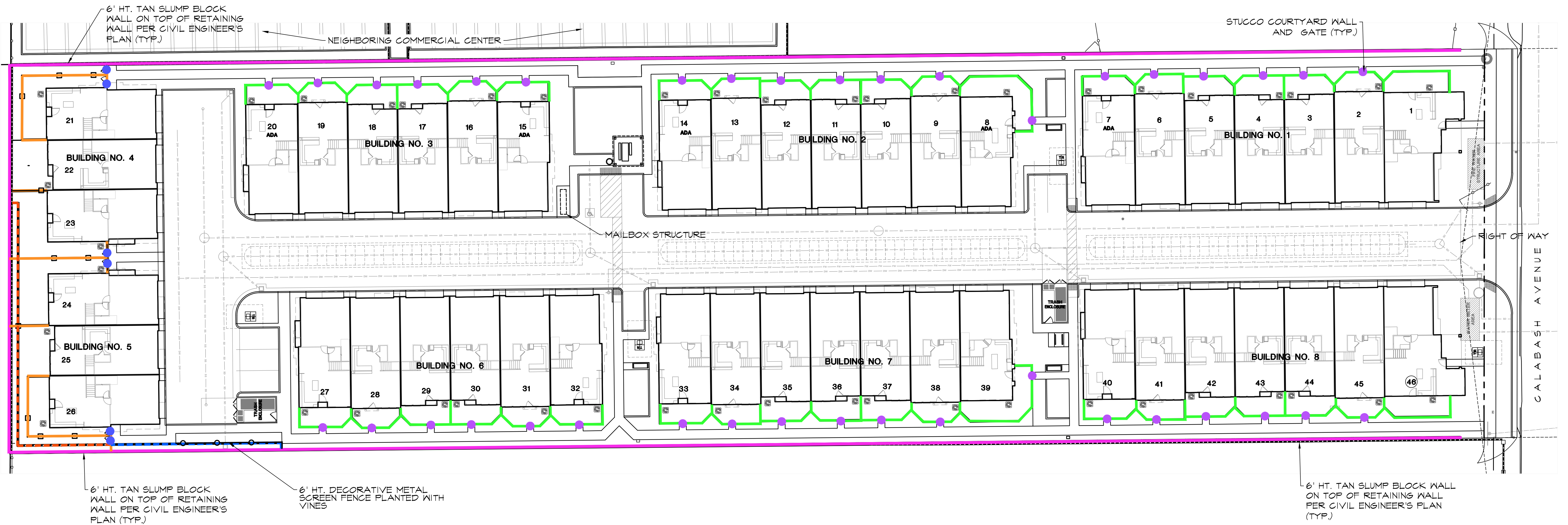
‡Irrigation Efficiency: 0.75 for spray head, 0.81 for drip

§ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

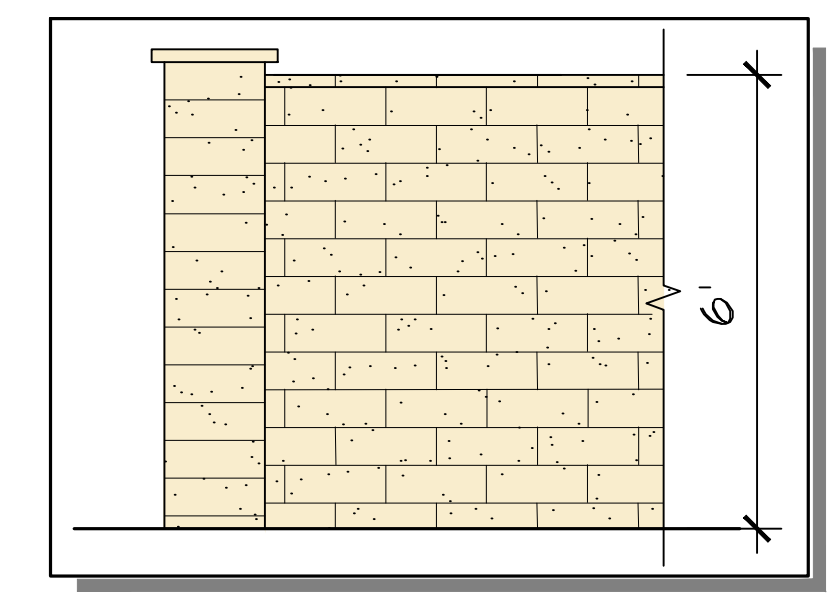
¶MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) - ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

Signed: Date: **12-23-2025**

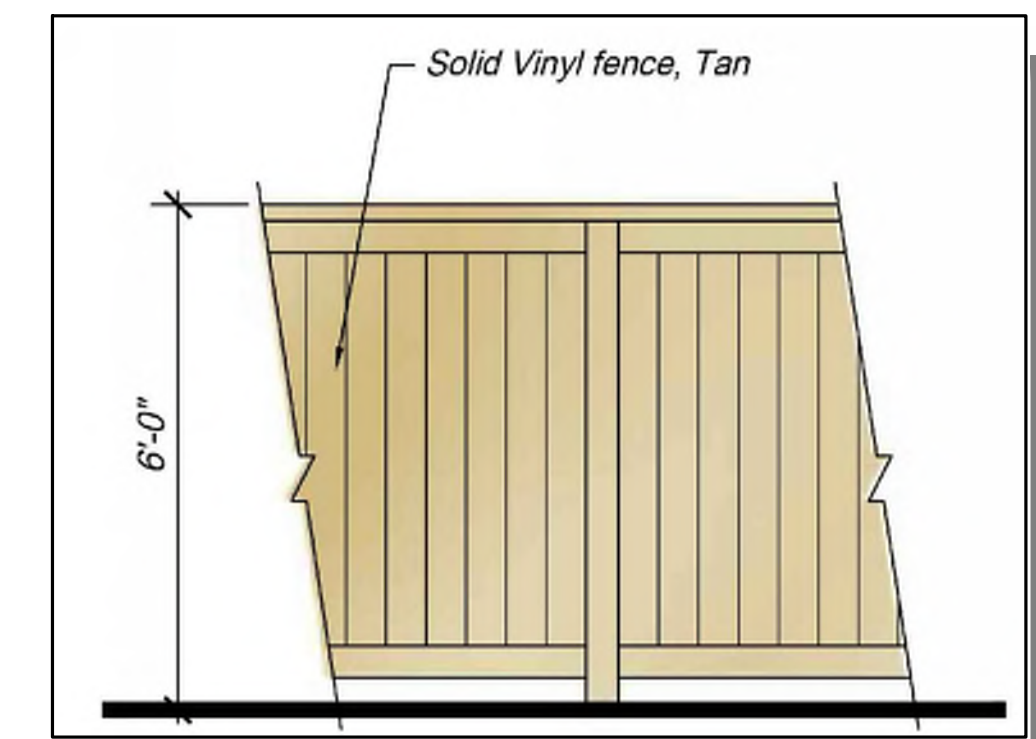
<p>SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p>		<p>DRAWN BY: LKL DESIGNED BY: --- CHECKED BY: --- APPROVED BY: ---</p>	<p>PREPARED BY: rla 2681</p> <p>HOWARD ASSOCIATES landscape architecture 1951 Fourth Avenue, Suite 302 San Diego, CA 92101 (619) 718-9660</p>	<p>8162 CALABASH AVENUE FONTANA, CA</p> <p>LANDSCAPE CONCEPT PLAN</p> <p>prepared for MONTE VISTA HOMES</p>	<p>SHEET NO: L-2 SHEET 2 OF 3</p>
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STUCCO COURTYARD WALL AND GATE



DECORATIVE TAN COLORED SLUMP BLOCK PERIMETER WALL



6' TAN VINYL YARD FENCE

- FENCES AND WALLS:**
- 6' HT. TAN SLUMP BLOCK WALL ON TOP OF RETAINING WALL PER CIVIL ENGINEER'S PLAN (TYP.)
 - 42" HT. STUCCO COURTYARD WALL
 - 3' WIDE BLACK METAL YARD GATE
 - - - RETAINING WALL CIVIL ENGINEER'S PLAN (TYP.)
 - 6' TAN VINYL YARD FENCE
 - 3' WIDE TAN VINYL GATE
 - - - 6' HT. DECORATIVE METAL SCREEN FENCE PLANTED WITH VINES



6' HT. DECORATIVE METAL SCREEN FENCE PLANTED WITH VINES

OWNER/ APPLICANT:
MONTE VISTA HOMES
P.O. BOX 9589
ALTA LOMA, CA 91701

SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY

PREPARED BY: rla 2681
HOWARD ASSOCIATES
landscape architecture
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San Diego, CA 92101 (619) 718-9660

8162 CALABASH AVENUE
FONTANA, CA
FENCE AND WALL PLAN
prepared for
MONTE VISTA HOMES

SHEET NO:
L-3
SHEET 1 OF 3