

City of Fontana

8437 Sierra Avenue
Fontana, CA 92335



Regular Agenda

Resolution No. PC 2026-004

Tuesday, March 3, 2026

6:00 PM

Steelworkers' Auditorium

Planning Commission

Joe Armendarez, Chair
Ricardo Quintana, Vice Chair
Torrie Lozano, Secretary
Dylan Keetle, Commissioner
Idilio Sanchez, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. Meetings are held at the Steelworker's Auditorium 8437 Sierra Avenue, Fontana, CA 92335. To address the Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Council Chambers is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires accommodation to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at the City Clerk's Office.

Para traducción en Español, comuníquese con la oficina, "City Clerk" al (909) 350-7602.

The City of Fontana is committed to ensuring a safe and secure environment for its residents to engage with the government. No oversized bags or backpacks (size limit of 14"x14"x6") will be allowed inside the Council Chambers. All bags are subject to search. Face masks are prohibited in the Council Chambers, but clear masks will be provided upon request to accommodate individuals with medical needs, ensuring their safety and well-being. Before entering the Council Chambers, you may be subject to a metal detector screening. The City Manager retains the discretion to grant any exemptions. Fontana aims to provide safe buildings for our community members, employees, and visitors.

CALL TO ORDER/ROLL CALL:

- A. Call To Order/Roll Call:

INVOCATION/PLEDGE OF ALLEGIANCE:

- A. Invocation/Pledge of Allegiance:

PUBLIC COMMUNICATIONS:

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

- A. Public Communications:

CONSENT CALENDAR:

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning

Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion.

A. Approval of Minutes

Approve the Regular Planning Commission Meeting Minutes of February 17, 2026.

CC-A Approval of Minutes of February 17, 2026.

[26-0840](#)

Attachments: [Draft Planning Commission Minutes of February 17, 2026](#)

Approve Consent Calendar Item as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontanaca.gov. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

- (a) hearing opened
- (b) written communication
- (c) council/staff comments
- (d) applicant comments
- (e) oral - favor
- (f) oral - opposition
- (g) hearing closed

PH-A Master Case No. (MCN) 25-0069: Conditional Use Permit (CUP) No. 25-0018; - A request to approve a new Alcoholic Beverage Control (ABC) Type 41 License (On Sale, Beer and Wine, Eating Place) for an existing restaurant (Carnitas Quiroga), located at 16110 Ceres Avenue, Suites #102-104, (APN: 0191-181-28), pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15301.

[26-0841](#)

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2026-____, and

- 1. Determine that the project is categorically exempt pursuant**

to Section No. 15301 (Class No. 1, Existing Facilities) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,

2. Approve Conditional Use Permit (CUP) No. 25-0018.

APPLICANT:

**ABL Consulting
8780 19th Street, #517
Rancho Cucamonga, CA 91701**

LOCATION:

The project site is located at 16110 Ceres Avenue, Suites 102-104, (APN: 0191-181-28), within an existing shopping center.

PROJECT PLANNER:

Mai Thao, Associate Planner

Attachments: [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Project Plans](#)
[Attachment No. 3 - Census Tract and Matrix of On-Sale Type 41 Establishments](#)
[Attachment No. 4 - Planning Commission Resolution, Findings, and Conditions of Approval](#)
[Attachment No. 5 - Notice of Exemption](#)
[Attachment No. 6 - Public Hearing Notice](#)

PH-B Master Case No. (MCN) 25-0083; Conditional Use Permit No. 25-0021, and Administrative Site Plan No. 25-0031; A request for approval to establish truck tire repair use, and a request for the site and architectural review for a new repair building with two (2) service bays, total of approximately 3,431 square feet, on a parcel located at 15817 Boyle Avenue, (APN No. 0237-052-04), pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15332. [26-0836](#)

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2026- ____, and,

1. Determine that the project is categorically exempt pursuant

to Section No. 15332 (Class No. 32, Infill Development) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and

2. Approve Conditional Use Permit (CUP) No. 25-0021, and

3. Approve Administrative Site Plan (ASP) No. 25-0031

APPLICANT:

Partap Singh
 B & K Road Service
 15460 Jackson Drive
 Fontana, Ca 92336

LOCATION:

The project site is located at 15817 Boyle Avenue, (APN: 0237-052-04).

PROJECT PLANNER:

Adelaida Bostan, Assistant Planner

Attachments: [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Project Plan Set](#)
[Attachment No. 3 - Planning Commission Resolution, Findings and Conditions of Approval](#)
[Attachment No. 4 - Notice of Exemption](#)
[Attachment No. 5 - Public Hearing Notice](#)

UNFINISHED BUSINESS:

A. None

NEW BUSINESS:

A. None

DIRECTOR COMMUNICATIONS:

A. Director Communications:

DC-A Upcoming cases scheduled for City Council and Planning Commission. [26-0839](#)

An update of future City Council agenda items for March 10, 2026 for the Planning Commission's information.

An update of future Planning Commission agenda items for March 17, 2026 for the Planning Commission's information.

Attachments: [Upcoming Items CC Memo](#)
[Upcoming Items PC Memo](#)

COMMISSION COMMENTS:

- A. Planning Commission Remarks:

WORKSHOP:

- A. None

ADJOURNMENT:

- A. Adjournment

Adjourn to the next Regular Planning Commission Meeting on Tuesday, March 17, 2026 at 6:00 p.m. in the Steelworkers' Auditorium located at 8437 Sierra Avenue, Fontana, California.



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0840
Agenda #: CC-A

Agenda Date: 3/3/2026
Category: Consent Calendar

FROM:
Planning

TITLE:
Approval of Minutes

RECOMMENDATION:
Approve the minutes of the Regular Planning Commission Meeting of February 17, 2026.

DISCUSSION:
The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of February 17, 2026. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:
Approve staff recommendation.



City of Fontana
Planning Commission
Minutes

Joseph Armendarez, Chair
Ricardo Quintana, Vice Chair
Torrie Lozano, Secretary
Idilio Sanchez, Commissioner
Dylan Keetle, Commissioner

Tuesday, February 17, 2026 6:00 P.M. Grover W. Taylor Council Chambers

CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, February 17, 2026. Chair Armendarez called the meeting to order at 6:05 p.m.

Present: Chair Armendarez, Vice Chair Quintana, Secretary Lozano, Commissioners Sanchez and Keetle.

Absent: None

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Chaplain Daniel Vasquez, the Pledge of Allegiance was led by Secretary Lozano.

PUBLIC COMMUNICATIONS:

The following individual spoke under public communications:

Ferdinand Detres, Jr., Public Information Officer with the U.S. Small Business Administration Office of Disaster Recovery and Resilience announced a disaster declaration for San Bernardino County due to flooding and mudslides occurring December 16–26. He informed the Planning Commission that affected businesses, homeowners, and renters may apply for low-interest disaster loans. An outreach center is open in Oak Hills, and applications may also be submitted online or by phone. He offered to provide informational materials.

CONSENT CALENDAR:

A. Approval of Minutes:

Approve the Regular Planning Commission Meeting Minutes of February 3, 2026.

ACTION: A Motion was made by Commissioner Keetle and seconded by Vice Chair Quintana and passed unanimously by a vote of 5-0 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Chair Armendarez, Vice Chair Quintana, Secretary Lozano, Commissioners Sanchez and Keetle

Absent: None

Abstain: None

NEW BUSINESS:

A. Master Case (MCN) No. 26-0003; Miscellaneous Project (MIS) No. 26-0003: Review of the 2025 General Plan Annual Progress Report:

Associate Planner, Cecily Session-Goins presented New Business Item A and recommended that City Council direct staff to submit the 2025 General Plan Annual Progress Report to the Governor’s Office of Land Use and Climate Innovation (LCI) and the State Department of Housing and Community Development (HCD).

Commissioner Keetle inquired about the status of the 90 submitted projects, specifically whether the 54 approved projects remain in progress and what the status is of the remaining projects.

Associate Planner, Session-Goins responded that some approved projects originated in prior calendar years, several have already moved forward to approval, and others remain in process. She stated staff is working to advance projects as quickly as possible and anticipates many 2025 submittals will come forward this year.

ACTION: Motion was made by Commissioner Sanchez and seconded by Secretary Lozano and passed by a vote of 5-0 to approve New Business Item "A".

The motion carried by the following vote:

AYES: Chair Armendarez, Vice Chair Quintana, Secretary Lozano, Commissioners Sanchez and Keetle NOES: None; ABSTAIN: None; ABSENT: None

DIRECTOR COMMUNICATIONS:

A. Director Communications:

A. Planning Commission 2025 Recap (Continued from Planning Commission meeting of February 3, 2026).

Associate Planner, Cecily Session-Goins provided the Planning Commission a 2025 Recap.

COMMENTS:

A. Public Communication Commission Comments:

Commissioner Sanchez thanked Planning staff for the comprehensive video recap of projects approved over the past year, noting the wide variety of developments considered by the Commission. He expressed appreciation for staff's responsiveness to Commission feedback and for working collaboratively with applicants and developers to address Commission requests. Commissioner Sanchez also shared that he is expecting a grandson at the end of February or early March and expressed gratitude before concluding his remarks.

Commissioner Keetle expressed appreciation to Planning staff for their presentations throughout the year and for providing the annual project recap. He noted his excitement about the continued growth and development of the City of Fontana and shared his pride in being a long-time resident. Commissioner Keetle also thanked the City Council for the opportunity to serve and encouraged everyone to remain safe during the recent weather conditions before wishing all a good evening.

Secretary Lozano thanked the Planning staff for their presentations and for addressing Commission questions throughout the year. She commented on the value of seeing a recap of the projects reviewed and stated it is an honor to serve alongside her fellow commissioners in considering and voting on projects that contribute to the City's growth. Secretary Lozano also acknowledged her upcoming 25th wedding anniversary and expressed appreciation for her husband's support of her public service.

Vice Chair Quintana thanked the Planning staff for their efforts and professionalism throughout the year and for their continued work on upcoming projects, noting that their preparation makes the Commission's responsibilities easier. He congratulated Commissioner Sanchez on his expanding family and stated it is a pleasure to serve on the Commission.

Chair Armendarez thanked the Commission and Planning staff for their hard work and dedication in preparing and conducting meetings, and expressed appreciation for the guidance he has received while learning his role. He encouraged the community to remain safe during ongoing storms and reminded the public that assistance programs are available for those experiencing concerns.

ADJOURNMENT:

Chair Armendarez adjourned the meeting at 6:25 p.m. to the next Regular Planning Commission Meeting on Tuesday, March 3, 2026, at 6:00 p.m. in the Steelworkers' Auditorium located at 8437 Sierra Avenue, Fontana, California.

Susana Gallardo
Deputy City Clerk

**THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION
ON THE 3rd DAY OF MARCH 2026.**

Joseph Armendarez
Chair



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0841
Agenda #: PH-A

Agenda Date: 3/3/2026
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. (MCN) 25-0069: Conditional Use Permit (CUP) No. 25-0018; - A request to approve a new Alcoholic Beverage Control (ABC) Type 41 License (On Sale, Beer and Wine, Eating Place) for an existing restaurant (Carnitas Quiroga), located at 16110 Ceres Avenue, Suites #102-104, (APN: 0191-181-28), pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15301.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2026-____, and,

1. Determine that the project is categorically exempt pursuant to Section No. 15301 (Class No. 1, Existing Facilities) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,
2. Approve Conditional Use Permit (CUP) No. 25-0018.

APPLICANT:

ABL Consulting
8780 19th Street, #517
Rancho Cucamonga, CA 91701

LOCATION:

The project site is located at 16110 Ceres Avenue, Suites 102-104, (APN: 0191-181-28), within an existing shopping center.

REQUEST:

Conditional Use Permit No. 25-0018 - A request for a new State of California Alcoholic Beverage Control (ABC) Type 41 License (On-Sale, Beer and Wine, Eating Place) for an existing restaurant within an existing shopping center.

PROJECT PLANNER:

Mai Thao, Associate Planner

BACKGROUND INFORMATION:

Land Use Table:

	General Plan	Zoning/Overlay	Existing Land Use
Site:	Light Industrial (I-L)	Light Industrial (M-1) Emergency Shelter Overlay	Commercial use/shopping center
North:	Medium Density Residential (R-M)	Medium Density (R-2)	Metrolink and Residential use
South:	Medium Density Residential (R-M)	Medium Density (R-2)	Residential uses
East:	Light Industrial (I-L)	Light Industrial (M-1) Emergency Shelter Overlay	Residential uses
West:	Light Industrial (I-L)	Light Industrial (M-1) Emergency Shelter Overlay	Citrus Avenue beyond vacant parcel

PROJECT DESCRIPTION:

ANALYSIS

The applicant, ABL Consulting, is requesting that the Planning Commission review and approve Conditional Use Permit No. 25-0018, for a new State of California Alcoholic Beverage Control (ABC) Type 41 License (On-Sale, Beer and Wine, Eating Place) for an existing restaurant, within an existing shopping center.

Type of License

A Type 41 (On-Sale, Beer and Wine, Eating Place) license is issued to bona fide restaurants, and authorizes the sale of beer and wine for on-site consumption on the licensed premises. This establishment must maintain suitable kitchen facilities and must make actual and substantial sales of meals for consumption on the premises.

Conditional Use Permit No. 25-0018

The property is located at 16110 Ceres Avenue, Suites #102-104. The restaurant is located within an established shopping center. The site can be accessed via two driveways on Ceres Avenue and Citrus Avenue. The hours of operation for the restaurant are Monday through Thursday, 9:00 am to 5:00 pm, Friday 9:00 am to 7:00 pm, and Saturday and Sunday from 8:00 am to 7:00 pm. The sale and consumption of beer and wine will be limited to the restaurant hours of operation. The proposal

is to obtain a Type 41 ABC License for the on-site sale and consumption of beer and wine in a restaurant that will have a full menu with limited hours.

As seen in the floor plan, the beer and wine would be displayed in the reach-in cooler, visible through its glass door, behind the cashier counter. Extra storage of beer and wine would be stored in the storage room, accessible to staff members only.

The Police Department has reviewed the project and has no objections to issuing the CUP for this establishment, provided they comply with the conditions of approval imposed by the Planning Commission and ABC and provided that the Planning Commission makes the appropriate findings.

In addition to the City of Fontana's Zoning and Development Code requirements, staff has reviewed the subject location with particular consideration to the physical relationship between and proximity of the proposed use to that of similar uses in the surrounding neighborhood. The Zoning and Development Code requirements state that when a new conditional use permit is requested it should be a minimum of 600 feet away from an existing or proposed school, park, religious institution, hospital, youth facility, and other similar uses. Staff found that there are no sensitive receptors within 600 feet of the project site.

Census Tract No.

The shopping center/restaurant is located within Census Tract 28.04. A map identifying the Census Tract boundaries is attached (Attachment No. 3)

Concentration

According to the California Department of Alcoholic Beverage Control (ABC), four (4) ABC licenses are permitted within Census Tract 28.04 before being considered over-concentrated. Currently there are two (2) (per ABC) active Type 41 ABC Licenses within Census Tract No. 28.04. With this request, there will be a total of three (3) ABC licenses, therefore the tract is not considered over-concentrated, and this license will not require a public convenience or necessity finding. A census tract information matrix is attached (Attachment No. 3).

Building Analysis

There are no changes to the exterior façade, or the footprint of the shopping center where the restaurant is located. Attachment No. 2 shows the site plan and floor plan of the existing building and the location where the alcoholic beverages will be stored.

Environmental:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines and Section No. 3.22 (Categorical Exemption) of the City of Fontana's 2019 Local Guidelines for Implementing CEQA, staff has determined that the proposed Project is categorically exempt from CEQA pursuant to CEQA Guidelines Section No. 15301 (Class 1, Existing Facilities). The Project Site meets the CEQA requirements for a Class 1 exemption, as the project is within an existing commercial shopping center and existing restaurant, and the project will not result in an increase in floor area, or expansions to the building. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply to the Project.

MOTION:

Approve staff's recommendation

ATTACHMENTS:

Attachment No. 1 - Vicinity Map

Attachment No. 2 - Project Plans

Attachment No. 3 - Census Tract Map 28.04 and Matrix of On-Sale Type 41 Establishments

Attachment No. 4 - Planning Commission Resolution, Findings & Conditions of Approval

Attachment No. 5 - Notice of Exemption

Attachment No. 6 - Public Hearing Notice



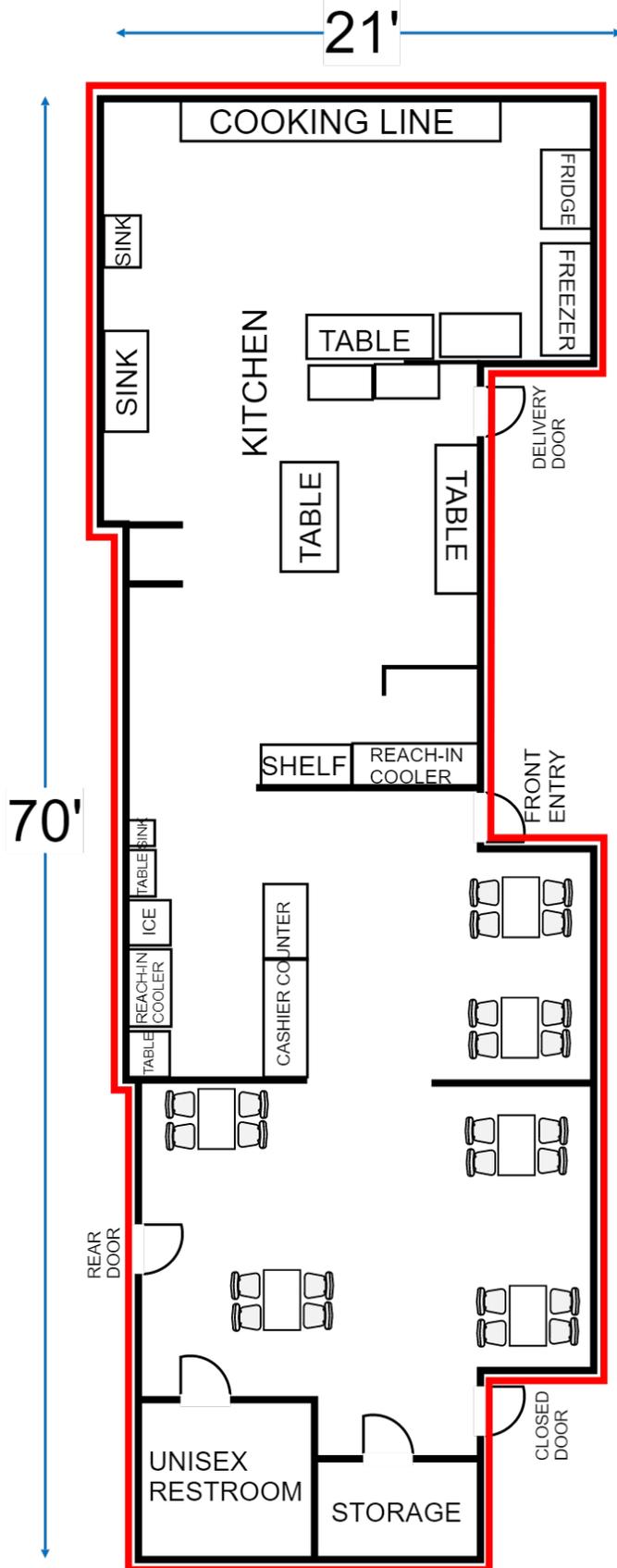
VICINITY MAP

DATE: March 3, 2026

CASE: Master Case No. 25-0069
Conditional Use Permit No. 25-0018

SITE PLAN
16110 CERES AVENUE, SUITES 102-104
FONTANA, CA 92335

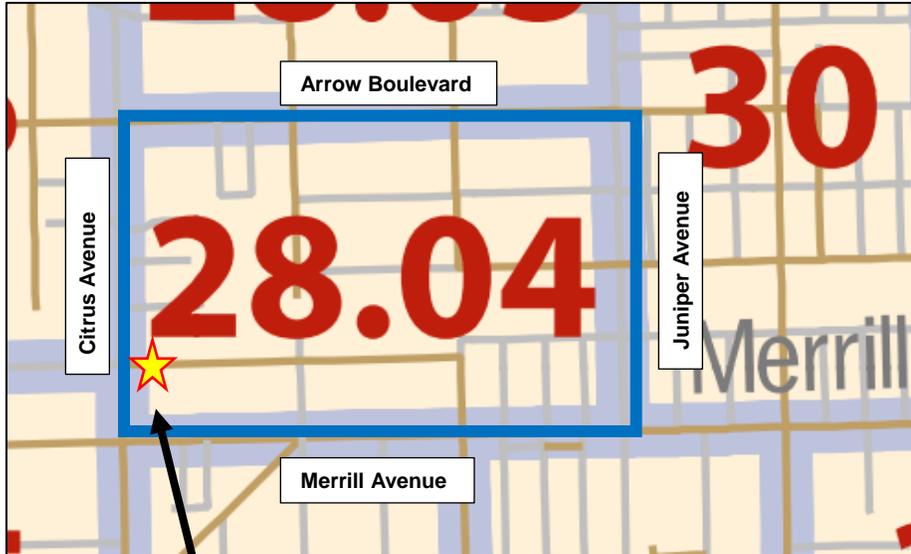




FLOOR PLAN

- 1) The register is located at the cashier counter.
- 2) Beer and wine will be stored in the storage room next to the unisex restroom.
- 3) The beer and wine will be displayed in the reach-in cooler, visible through its glass door, behind the cashier counter.
- 4) There is no outdoor dining.
- 5) The restaurant business hours are:
 Mon - Thurs: 9 am to 5 pm,
 Friday: 9 am to 7 pm,
 Saturday/Sunday: 8 am to 7 pm.

OWNER: CARNITAS QUIROGA LLC
 DBA: CARNITAS QUIROGA
 16110 CERES AVENUE, SUITES 102-104
 FONTANA, CA 92335



Project Site: Carnitas Quiroga

	Business Name	Address	License	
1	El Ray Taco Grill	16687 Arrow Blvd Suite#100	On-Sale	41
2	La Islas Marias/Casa Victoria	8990 Sierra Ave. Suite Q & R	On-Sale	41

Total: **Current:** **Allowed**
 On – Sale: 2 Active 4

Census Tract 28.04 and Matrix of On-Sale Establishments

DATE: March 3, 2026
CASE: Master Case No. 25-0069
 Conditional Use Permit No. 25-0018

RESOLUTION NO. PC 2026-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING CONDITIONAL USE PERMIT NO. 25-0018 FOR A NEW TYPE 41 (ON-SALE, BEER AND WINE, EATING PLACE) ALCOHOLIC BEVERAGE CONTROL LICENSE FOR AN EXISTING RESTURANT WITHIN A PREVIOUSLY APPROVED COMMERCIAL CENTER LOCATED AT 16110 CERES AVENUE (APN: 0191-181-08) PURSUANT TO A CATEGORICAL EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION 15301 AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION.

WHEREAS, 16110 Ceres Avenue, also identified as Assessor Parcel Number (“APN”) 0191-181-08, (“Project Site”), was annexed from San Bernardino County into the City of Fontana on June 25, 1952; and

WHEREAS, on October 1, 2025, the City of Fontana (“City”) received an application from ABL Consulting (“Applicant”) for a Conditional Use Permit (“CUP”) No. 25-0018, a request to establish a State of California Alcoholic Beverage Control (ABC) Type 41 (On-Sale, Beer and Wine) License for an established restaurant within an existing commercial shopping center located at the Project Site (the “Project”); and

WHEREAS, the Project Site has a General Plan land use designation of Light Industrial (I-L) and is located within the Light Manufacturing (M-1)/Emergency Shelter Overlay district which allows for such projects with approval conditional use permit; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section No. 15301 (Class 1, Existing Facilities) and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the California Environmental Quality Act as the project would not expand the existing use, and none of the exceptions in CEQA Guidelines Section 15300.2 apply to the project; and

WHEREAS, the City wishes to protect and preserve the quality of life throughout the City, through effective land use and planning; and

WHEREAS, the Conditions of Approval for Conditional Use Permit No. 25-0018 are attached hereto as “**Exhibit A**” and incorporated herein by reference; and

WHEREAS, all of the notices required by statute and the Fontana Municipal Code (“FMC”) have been given as required; and

WHEREAS, the owners of property within 660 feet of the Project Site were notified via public hearing notice mailer prior to the public hearing; and

WHEREAS, February 20, 2026, a notice of the public hearing was published in the Fontana Herald newspaper and simultaneously displayed at City Hall and at the Project Site;

and

WHEREAS, on March 3, 2026, a duly noticed public hearing on CUP No. 25-0018, was held by the Fontana Planning Commission (“Planning Commission”) to consider testimony and evidence presented by the Applicant, City staff and other interested parties; and

WHEREAS, on March 3, 2026, the Planning Commission carefully considered all information, evidence and testimony presented at its public hearing on CUP No. 25-0018; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. The Planning Commission hereby determines that the project is categorically exempt pursuant to Section No. 15301 (Existing Facilities) of the California Environmental Quality Act and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the California Environmental Quality Act (CEQA). This project site is exempt as the proposal is to establish an ABC License Type 41 (On-Sale, Beer and Wine, Eating Place) within an existing building, with no changes or expansions to the building as part of the application. Furthermore, none of the exemptions in CEQA Guidelines Section 15300.2 apply to the Project. The Planning Commission further directs Staff to file a Notice of Exemption pursuant to this finding.

Section 3. Conditional Use Permit Findings. The Planning Commission hereby makes the following findings for CUP No. 25-0018 in accordance with Section 30-150 “Findings for approval” for conditional use permits of the Fontana Zoning and Development Code:

Finding No. 1. **That the proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning and Development Code, Municipal Code, General Plan and any applicable Specific Plan or Area Plan and City regulations/standards.**

Findings of Fact: The Project Site is located at 16610 Ceres Avenue (APN: 0191-181-08). The General Plan Land use designation for the site is Light Industrial (I-L) and is located within the Light Manufacturing (M-1)/Emergency Shelter Overlay zoning district. The Zoning and Development Code permits an ABC Type 41 License for sit down restaurant subject to approval of a Conditional Use Permit. The Conditions of Approval will aid in regulating the sale of alcohol at the restaurant including conditions related to security and hours of operation.

Finding No. 2. The site is physically suited for the type, density, and intensity of the proposed use including access, utilities, and the absence of physical constraints and can be conditioned to meet all related performance criteria and development standards.

Findings of Fact: The Project Site is located within a 1,470 square foot restaurant within a larger commercial center. The previously approved development project was reviewed and approved by Directors Action, and it was determined that the site met the requirements, and applicable Zoning and Development Code. On-site circulation is adequate with two driveway access points on Ceres Avenue, and another access point off Citrus Avenue. The addition of the ABC Type 41 license will not negatively impact access or utilities nor create any physical constraints.

Finding No. 3. Granting the permit would not be detrimental to the public interest, health, safety, convenience, welfare, or materially injurious to persons, property, or improvements in the vicinity in which the project is located.

Findings of Fact: There will be no adverse effect to the neighboring sites or their permitted uses from this ABC Type 41 license request. The Fontana Police Department has no concerns about the Project. The Project has been reviewed by the Planning Department, Engineering Department, Building and Safety Department, and County Fire Prevention for site circulation, access, and safety and found to meet or exceed the requirements for all applicable code, zoning, and fire code standards.

Section 4. Approvals. Based on the foregoing, the Planning Commission hereby approves Conditional Use Permit No. 25-0018, subject to the Conditions of Approval attached hereto as "**Exhibit A**" and incorporated herein by this reference.

Section 5. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue. Fontana, CA. 92335. This information is provided in compliance with Public Resources Code Section 21081.6.

Section 6. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 7. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 8. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

Resolution No. PC 2026-_____

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 3rd day of March 2026.

City of Fontana

Joseph Armendarez, Chairperson

ATTEST:

I, Torrie Lozano, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on this 3rd day of March, 2026, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Torrie Lozano, Secretary

EXHIBIT "A"



**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. (MCN) 25-0069
Conditional Use Permit (CUP) No. 25-0018

March 3, 2026

LOCATION: The project site is located at 16110 Ceres Avenue (APN:0191-181-08)

PLANNING DEPARTMENT:

1. This conditional use permit is conditional upon the permittee proceeding with good faith intent to commence upon the proposed use within two (2) years after the effective date of the approval, or such other permit specified as a condition of approval.
2. The applicant shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain its own separate legal counsel to defend the interests of the City. The applicant shall be responsible for reimbursing the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing

such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

3. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - a. All requirements of the Fontana Municipal Code shall be complied with.
 - b. All Conditions of Approval imposed on this project have been fulfilled.
4. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City Manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manager's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections 30-30 and 30-31 of the Municipal Code.
5. At any time, the Director of Planning may bring a status report to the Planning Commission identifying impacts or failure to comply with conditions resulting from the Conditional Use Permit approval. Such status report may contain a police report regarding calls for service at the location. Nothing herein shall modify or limit the City's authority to regulate the business or modify or revoke the permit upon the City's determination that the business is being operated in a manner adverse to the public's health, safety, and welfare.
6. In addition to sign identifying the business, no sign shall be placed in or upon the window of any structure utilized for commercial purposes in the upper or lower one third of the total transparent area of any window. Window signage shall be limited to 25 percent of the total window and clear door area. Window signs shall be placed and maintained in a manner so that there is a clear and unobstructed view of the interior of the premises from the adjacent sidewalk or entrance to the premises.
7. The operation of the business shall not violate any federal, state, or local laws or ordinances, including the rules, regulations and orders of the State Alcoholic Beverage Control Department and all conditions of the City of Fontana's Conditional Use Permit. Failure to comply with these requirements shall constitute grounds for revocation of a conditional use permit.
8. The approved set of Conditions of Approval and the ABC license shall be posted at all times at a visible location behind the cashier or hostess counter in the facility and shall remain legible at all times.
9. The establishment shall be operated as a "Bona Fide Public Eating Place" as defined by

ABC. The restaurant shall maintain suitable kitchen facilities and must take actual substantial sales of meals for consumption on the premises.

10. At all times when the premises are open for business, the sale of alcoholic beverages shall be incidental to the sale of food.
11. The quarterly gross sales of alcoholic beverages shall not exceed 35% of the restaurant's total sales, which includes all food and all alcoholic and non-alcoholic beverages.
12. The owner of the establishment shall, upon request provide the City of Fontana with an audited report of sales ratio of food to alcoholic and non-alcoholic beverages.
13. Except within City-approved outdoor eating places, which are adequately separated from direct public access, no alcoholic beverages shall be consumed outside of an enclosed building.
14. Employees engaged in the sale of service of alcoholic beverages for on-site consumption shall be at least 21 years old.
15. The hours of operation shall not exceed 6 a.m. to 12 a.m., seven days a week.
16. Beverage coolers containing alcoholic beverages shall be located behind the cashier's counter or in areas only accessible to employees.
17. Music is limited to overhead/background music, or as directed in a separate Conditional Use Permit for entertainment. Any music allowed shall not be audible from outside the premise so as to disturb the peace, pursuant Fontana Municipal Code 16-19, 18-62, and 18-63. Such a system may be a radio, juke box (coin or token operated customer paid mechanism) or similar non-hosted device or unit, but not including any system requiring an attendant or host such as a disc jockey or similar person.
18. There shall be no live entertainment, disc jockey, karaoke, dancing, dance floor, or dance area provided on the premises unless a separate conditional use permit for live entertainment is applied for and approved by the Planning Commission.
19. At all times, the premises shall remain open to persons of all ages, as allowed by the Type 41 Department of Alcoholic Beverage license.
20. At no time shall the premises operate as a nightclub, dance hall, or event forum.
21. At no time, shall an entrance fee be charged to patrons to enter the establishment, or to enter any area within the establishment, or to view any televised event.
22. There shall be no obstructions within the storefront windows and doors which would hinder visual surveillance. Obstructions would include signage, window tint, window coverings, advertisements, etc.

23. No electronic arcade, amusement games, pool tables, dart boards, or other similar devices are permitted on the licensed premises.
24. In the event security problems occur and at the request of the Police Department, the business owner/licensee or management, at his or her own expense, shall provide a California licensed, uniformed security guard(s) on the premises, during such hours as requested by the Police Department. All uniformed security guards shall comply with Fontana City section 22-62 and shall be registered with the State of California's Bureau of Security and Investigative Services as a security guard prior to employment within the City of Fontana.
25. On a regular and reasonable basis, litter shall be removed daily from the premises, including adjacent public sidewalks, and all parking areas under the control of the business owner/licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis to control debris.
26. Install a digital video surveillance camera system. The surveillance system shall be maintained in proper working order at all times. Surveillance camera locations shall include all entrances/exits, cashier areas, manager's office, and the dining areas. Video media shall be maintained for a minimum of sixty (60) days and upon request, shall be accessible to law enforcement personnel for viewing, copying and collection purposes, during regular business hours. The video surveillance system shall have the capability for a real time feed to the police department to be used when there is a public safety call for service at the location or is related to an in-progress crime or on-going criminal investigation.
27. Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 48 hours. Abatement shall take the form of removal or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours (at 909-350-GONE) of any graffiti elsewhere on the property not under the business owner/licensee's or management control so that it may be abated by the property owner and/or the City's Graffiti Team.
28. The exterior of the premise, including all entrances, walkways, adjacent public sidewalks, alleyways, and parking lots under the control of the licensee, shall be illuminated at a minimum of one (1) foot candle of light during all hours of darkness, so that persons standing in those areas at night are identifiable by law enforcement personnel. All luminaries utilized are required to have vandal resistant light fixtures.
29. A prominent, permanent sign or signs stating, "NO LOITERING IS ALLOWED ON OR IN FRONT OF THESE PREMISES" shall be posted on the building and shall be clearly visible to patrons of the licensee. The size, format, placement, and languages of the sign or signs shall be determined by the Department of Alcoholic Beverage Control. Generally, the signs should be 24 inches length and 14 inches in width with the print of sufficient size to make them clearly readable.

30. A prominent, permanent sign or signs stating, "NO OPEN ALCOHOLIC BEVERAGE CONTAINERS ARE ALLOWED ON THE PREMISES" shall be posted on the building and shall be clearly visible to patrons of the licensee. The size, format, placement, and languages of the sign or signs shall be determined by the Department of Alcoholic Beverage Control. Generally, the signs should be 24 inches length and 14 inches in width with the print of sufficient size to make them clearly readable.
31. The operation of the business shall not violate any federal, state, or local laws or ordinances, including the rules, regulations and orders of the State Alcoholic Beverage Control Department and conditions of this Conditional Use Permit. Failure to comply with these requirements shall constitute grounds for revocation of the Conditional Use Permit.
32. The applicant shall comply with the City False Alarm Ordinance. Excessive false alarms will require replacement of the alarm system prior to the extension of any conditional use permit.
33. The business owner/licensee or management shall prevent on-site loitering. The management shall regularly police the area under its control to prevent the loitering of persons about the premises.
34. The licensee shall attend a L.E.A.D. training (Licensee Education on Alcohol and Drugs provided by the Department of Alcoholic Beverage Control) or a responsible beverage service training (RBS) from a provider listed on the Department of Alcoholic Beverage Control's website, within six (6) months, and any employee engaged in the sale of alcohol shall attend the LEAD or RBS training within 90 days of employment.

END OF CONDITIONS

NOTICE OF EXEMPTION

<p>TO: Office of Land Use and Climate Innovation <input type="checkbox"/> State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p>	<p>FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6656</p>
<p><input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:</p>	

<p>1. Project Title:</p>	<p>Master Case No. 25-0069; Conditional Use Permit No. 25-0018</p>
<p>2. Project Applicant (include address, telephone number and email address):</p>	<p>Beatriz Lozada ABL Consulting Project Applicant 8780 19th St. #517 Rancho Cucamonga, CA 91701 ablconsult8@gmail.com 626-377-6872</p>
<p>3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):</p>	<p>The project site is located at 16110 Ceres Avenue, #102-104, (APN: 0191-181-08).</p>
<p>4. (a) Project Location – City: Fontana</p>	<p>(b) Project Location – County: San Bernardino</p>
<p>5. Description of nature, purpose, and beneficiaries of Project:</p>	<p>The project is a request to approve a Type 41 ABC License (On-Sale Beer and Wine, Eating Place) within an existing restaurant (Carnitas Quiroga) and within an existing commercial shopping center.</p>

6. Name of Public Agency approving project:	City of Fontana
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	Beatriz Lozada ABL Consulting Project Applicant 8780 19th St., #517 Rancho Cucamonga, CA 91701
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:	Exempt under Section 15301, Class 1 (Existing Facilities) of the California Environmental Quality Act
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	The proposed Project is categorically exempt from CEQA pursuant to CEQA Guidelines Section No. 15301 (Class No. 1, Existing Facilities), Class 1. The Project Site meets the CEQA requirements for a Class 1 exemption, as the project is within an existing restaurant (Carnitas Quiroga) and within an existing commercial shopping center. The project will not result in an increase in floor area, or expansions to the building. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply to the Project.

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10. Lead Agency Contact Person: Telephone:	Mai Thao, Associate Planner 909-350-6650
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: March 3, 2026	

Date: March 3, 2026

Signature

Name: Salvador Quintanilla

Title: Senior Planner

Signed by Lead Agency

Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

**Master Case (MCN) No. 25-0069;
Conditional Use Permit (CUP) No. 25-0018**

A Conditional Use Permit request to establish a Type 41 ABC License (On-Sale Beer & Wine, Eating Place) for an existing restaurant (Carnitas Quiroga) within an existing retail center.

Environmental Determination: This project is Categorically Exempt pursuant to Section No. 15301 (Class 1 – Existing Facilities) of the California Environmental Quality Act and Section No. 3.22 (Categorical Exemption) of the 2019 City of Fontana Local Guidelines for Implementing CEQA.

Location of Property: 16110 Ceres Avenue
(APN: 0191-181-08)

Date of Hearing March 3, 2026

Place of Hearing: Steelworkers' Auditorium
8437 Sierra Avenue
Fontana, CA 92335

Time of Hearing: 6:00 P.M.



Should you have any questions concerning this project, please contact Mai Thao, Associate Planner, at (909) 350-6650 or by email: mthao@fontanaca.gov.

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER LISTED ABOVE.



IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish date: February 20, 2026



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0836
Agenda #: PH-B

Agenda Date: 3/3/2026
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. (MCN) 25-0083: Conditional Use Permit No. 25-0021 and Administrative Site Plan No. 25-0031; A request for approval to establish a truck tire repair use, and a request for site and architectural review for a new repair building with two (2) service bays, totaling approximately 3,431 square feet, and associated site improvements, on an approximately 1.0 acres parcel located at 15817 Boyle Avenue, (APN No. 0237-052-04), pursuant to a Categorical Exemption in accordance with CEQA Guidelines Section 15332.

RECOMMENDATION:

Based on the information contained in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2026- ____, and,

1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development) of the California Environmental Quality Act, and Section No. 3.22 (Categorical Exemption) of the Local 2019 Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and
2. Approve Conditional Use Permit (CUP) No. 25-0021, and
3. Approve Administrative Site Plan (ASP) No. 25-0031

APPLICANT:

Partap Singh
B & K Road Service
15460 Jackson Drive
Fontana, Ca 92336

LOCATION:

The project site is located at 15817 Boyle Avenue, (APN: 0237-052-04).

REQUEST:

Conditional Use Permit No. 25-0021 - A request to establish a truck tire repair use within a new building.

Administrative Site Plan No. 25-0031 - A request for site and architectural approval for a new truck tire repair building totaling 3,431 square feet, and associated site improvements on approximately 1.0 acres.

PROJECT PLANNER:

Adelaida Bostan, Assistant Planner

BACKGROUND INFORMATION:

	General Plan	Zoning/Overlay	Existing Land Use
Site:	Light Industrial (I-L)	Southwest Industrial Park (SWIP) Specific Plan (SP)-Freeway Industrial Commercial (FID) District	Vacant
North:	Light Industrial (I-L)	Southwest Industrial Park (SWIP) Specific Plan (SP)-Freeway Industrial Commercial (FID) District	Industrial and Trucking Uses
South:	Light Industrial (I-L)	Southwest Industrial Park (SWIP) Specific Plan (SP)-Freeway Industrial Commercial (FID) District	Industrial and Trucking Uses
East:	Light Industrial (I-L)	Southwest Industrial Park (SWIP) Specific Plan (SP)-Freeway Industrial Commercial (FID) District	Industrial and Trucking Uses
West:	Light Industrial (I-L)	Southwest Industrial Park (SWIP) Specific Plan (SP)-Freeway Industrial Commercial (FID) District	Non-Conforming Existing Mobile Home Park

Land Use Table

PROJECT DESCRIPTION:

A. Site Area: 46,939 square feet/Approximately 1.0 acres

B. Building Analysis:

Office: 726 square feet
 Repair: 2,705 square feet

Height:
 Required: 60 feet (Max.)
 Proposed: 26'-6" feet

C. Parking:

Required: 12 spaces
 Provided: 14 spaces

D. Landscaping:

Required: 6,391 square feet (15 percent)
Provided: 8,334 square feet (19.8 percent)

ANALYSIS:

The applicant, Partnap Singh, is requesting that the Planning Commission approve Conditional Use Permit No. 25-0021, for the establishment of a truck tire repair use, and approve Administrative Site Plan No. 25-0031, for site and architectural review for the truck tire repair building, and associated site improvements, on approximately 1.0 acres.

Conditional Use Permit No. 25-0021

The Applicant is requesting approval to establish a truck tire repair facility within a new approximately 3,431-square-foot building with two service bays, located within the Southwest Industrial Park (SWIP) Specific Plan/Freeway Industrial/Commercial District (FID). Truck tire repair (Industrial Repair) is permitted with the approval of a Conditional Use Permit (CUP). The CUP is required because some aspects of the use can impact the surrounding area, including but not limited to operational activities such as servicing heavy-duty vehicles, truck circulation, equipment use, and tire storage. Conditions of approval have been added to ensure all repair activities occur within an enclosed building and to minimize potential noise, visual, and operational impacts on surrounding properties. The proposed use will support existing trucking and logistics businesses in the southern portion of Fontana by providing needed repair services. Additionally, the project is consistent with the City's General Plan goals to promote job-producing industrial uses and economic growth near regional transportation corridors. The proposed use complies with applicable development standards of the Specific Plan and the City's Development Code.

Administrative Site Plan No. 25-0031

The Project seeks site and architectural approval for the development of a new truck tire repair facility consisting of two service bays of approximately 2,705 square feet and approximately 725 square feet of office space, for a total building area of approximately 3,431 square feet. The Project includes on- and off-site improvements such as new driveways, curbs, gutters, sidewalks, parking areas, landscaping, site lighting, and utility infrastructure necessary to support the proposed use.

The architectural elements of the new building will feature a smooth stucco exterior with stone veneer accents, and a light neutral tan tone color palette with dark brown accents. The architectural features include metal doors, glazed aluminum storefront windows, and exterior lighting. The variations to the building face, varying roof lines will make the project architecturally pleasing and be consistent with the surrounding area.

The project also includes ten (10) 12' x 70' spaces for oversized vehicles. Conditions of approval have been prepared to specify that truck parking is an ancillary use to truck tire repair and these vehicles are only stored during the duration of the time that they are being serviced. Additionally, the site shall not be used for long term truck parking.

The proposed development is designed to be compatible with surrounding industrial uses. The Project Site is physically suitable in size and configuration to accommodate the proposed development. The Project will comply with all applicable building, zoning, and fire codes and

standards, ensuring a safe, functional, and well-designed facility. Additionally, the site layout incorporates appropriate safety measures for both vehicles and pedestrians.

Grading/Walls:

The topography of the Project Site is relatively flat. The existing drainage pattern flows from the north to the south. An underground water chamber system will be constructed for the Project. The project will include a six (6) foot-high boundary wall along the west, south, and east sides of the property, and a new six (6) foot-high automated openable aluminum gate facing Boyle Avenue.

Site Access/Circulation/Parking:

Vehicle and truck access to the Project Site will be provided by a driveway along Boyle Avenue. The internal circulation has been reviewed by the Planning, Fire, Traffic, and Engineering Departments and found to be sufficient to support this type of use.

Environmental:

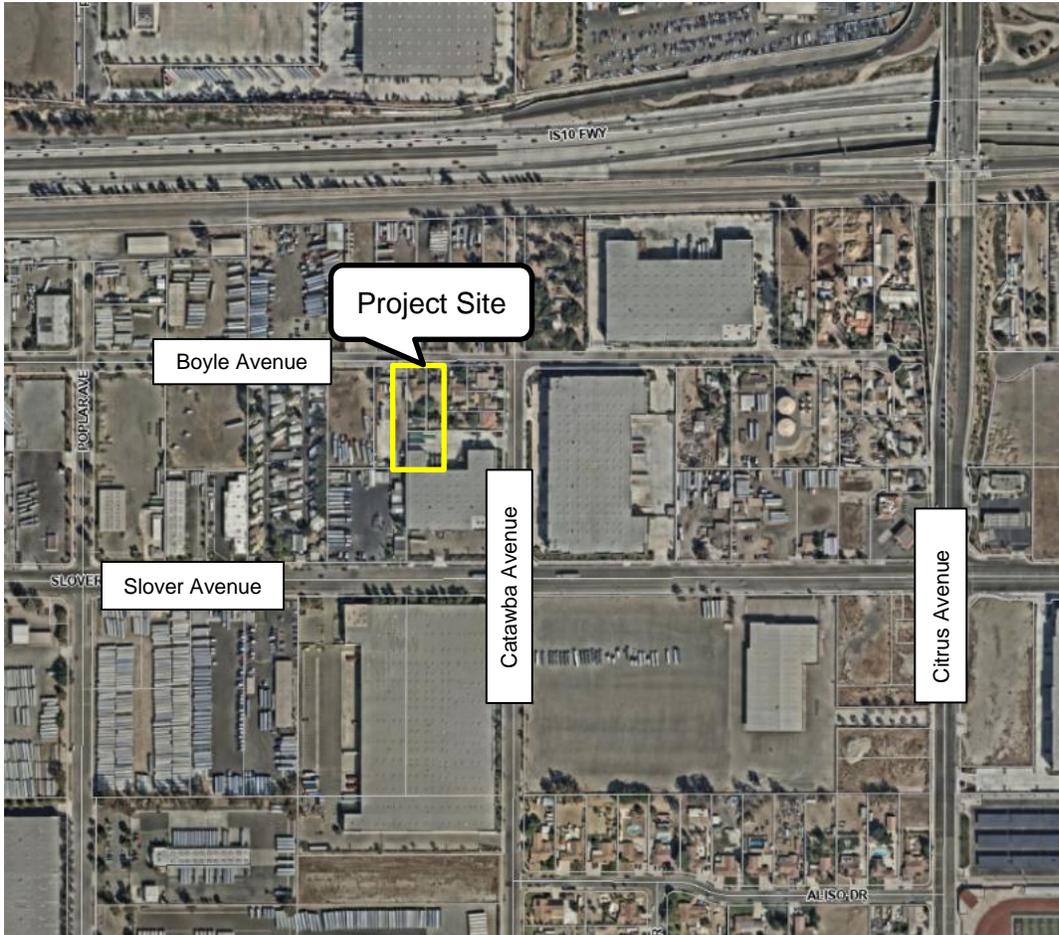
Pursuant to the California Environmental Quality Act (CEQA) Guidelines and Section No. 3.22 (Categorical Exemption) of the City of Fontana's 2019 Local Guidelines for Implementing CEQA, the proposed Project is categorically exempt from CEQA pursuant to CEQA Guidelines Section No. 15332 as a Class 32, Infill Development Project. The project site is considered Infill Development and meets the CEQA requirements of Infill: (1) The Project is consistent with the Light Industrial (I-L) designation of the General Plan and the Southwest Industrial Park Specific Plan (SWIP)/Freeway Industrial Commercial District (FID) District regulations; (2) The Project Site is less than five (5) acres; (3) The Project Site is not within any known sensitive or threatened habitat area; (4) The Project will not have any significant effects related to traffic, noise, air quality, or water quality; and (5) There are adequate public services for the development of the proposed residential project. Further, none of the exceptions in CEQA Guidelines section 15300.2 apply to the Project.

MOTION:

Approve staff's recommendation.

ATTACHMENTS:

- Attachment No.1 - Vicinity Map
- Attachment No. 2 - Project Plan Set
- Attachment No. 3 - Planning Commission Resolution, Findings & Conditions of Approval
- Attachment No. 4 - Notice of Exemption
- Attachment No. 5 - Public Hearing Notice



VICINITY MAP

DATE: March 3, 2026

CASE: Master Case No. 25-0083
 Conditional Use Permit No. 25-0021
 Administrative Site Plan No. 25-0031



CONSULTANT
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iconpak@yahoo.com

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CLIENT
B & K ROAD SERVICE
15480 JACKSON DRIVE,
FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
TIRE REPAIR SHOP**

15817 BOYLE AVENUE,
FONTANA, CA 92337

PROPOSED TRUCK TIRE REPAIR SHOP AT 15817 BOYLE AVE, FONTANA, CA 92337

HYDROLOGY REPORT - EDS23-00025: APPROVED 4.8.25
PERCOLATION REPORT: APPROVED 4.8.25
WQMP #17-000021: APPROVED 3.28.25
ONSITE WASTEWATER TREATMENT SYSTEM - WQ 2014-0153-DWQ: APPROVED 7.12.24
PRECISE GRADING PLANS: APPROVED 4.8.25
LANDSCAPE PLANS: APPROVED 11.02.23
EASEMENT DEED - DOC# 2024-0201823: RECORDED 8.17.24
COST ESTIMATE - ELPC23-000025: APPROVED 5.30.25
LAND IMPROVEMENT AGREEMENT - ASP21-028 / MCN21-054 / CUP21-008: 6.24.25 (BOND GUARANTEE \$30,170.48)
STREET LIGHT PLAN - ELPC23-000025: APPROVED 8.11.25

MCN25-0083
CUP25-0021
ASP25-0031

SHEET NO.
CS



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 15480 JACKSON DRIVE,
 FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
 TIRE REPAIR SHOP**

15817 BOYLE AVENUE,
 FONTANA, CA 92337

CONSULTANTS:
 ARCHITECT/ENGINEER
 SEAL AND SIGNATURE

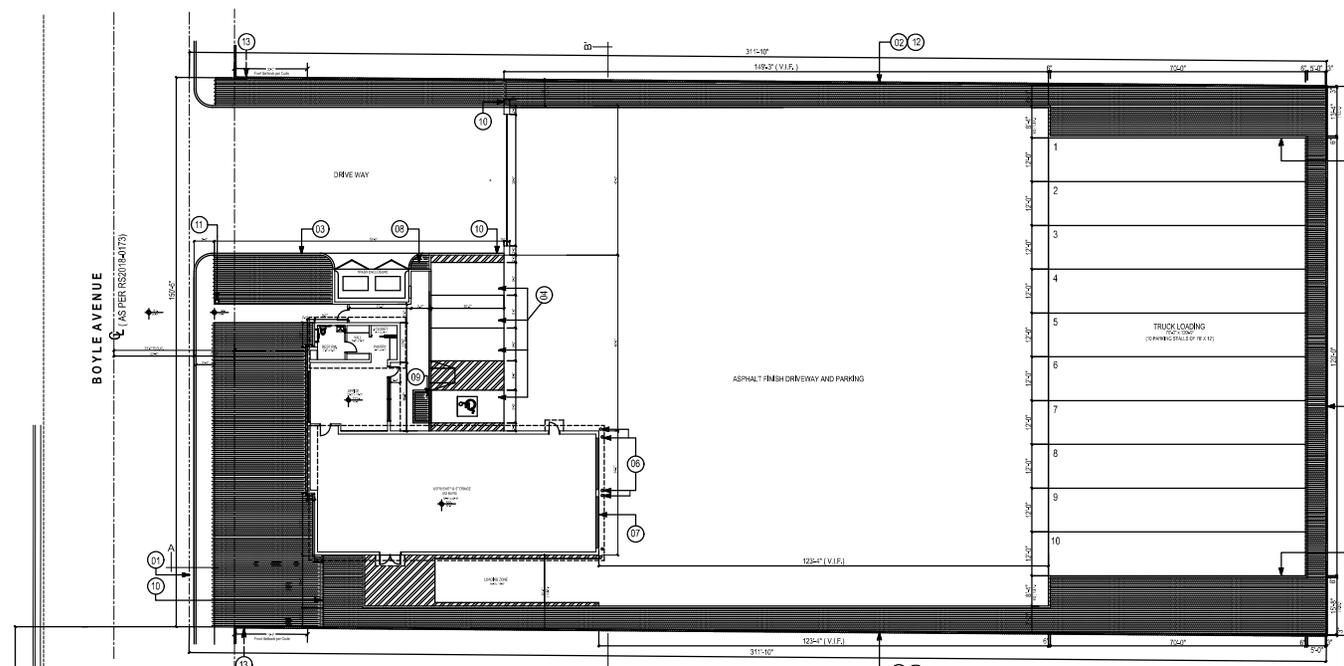
ASSOCIATE CONSULTANTS:
 SEAL AND SIGNATURES

DRAWINGS/ISSUE
 DATE DESCRIPTION DELTA

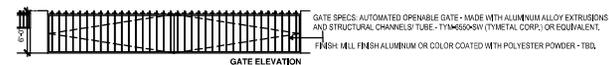
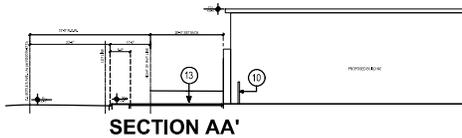
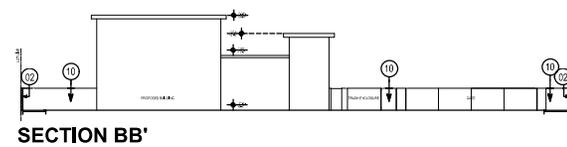
DATE 08.04.2022
 DRAWN 100
 REVIEWED 140
 PROJECTING 141/150/100
 SCALE AS NOTED
 SHEET TITLE

SITE PLAN

SHEET NO.
A-1.0



SITE PLAN
 SCALE: 1" = 16'-0"
 NORTH



SITE AREA CALCULATION

TOTAL SITE AREA:
 46,839 SF (LOT AREA)
 -3431 SF (BUILDINGS)
 =43,408 SF (LOADING ZONE)
 42,605 SF = TOTAL SITE AREA

PLANTING REQUIREMENTS

ITEM	REQUIRED	PROVIDED
■ BALM LANDSCAPE AREA	10% OF TOTAL SITE AREA 4,280 SF X 0.10 = 428 SF	0.334 SF
■ MINUM # OF TREES	1 TREE / 100 SF OF LANDSCAPED AREA 4.28 TREES	20 TREES
■ MINUM # OF TREES	1 TREE / 100 SF OF LANDSCAPED AREA 4.28 TREES	20 TREES
■ MINUM PLANT TYPES	TREES (20 TOTAL): 50% 10 GALLON # 10 TREES 40% 24 INCH BOX # 8 TREES 10% 30 INCH BOX # 2 TREES	TREES 24 INCH BOX # 17 TREES 30 INCH BOX # 3 TREES 12" BARE TRUNK HEIGHT PALMS 24" BOX # 0 TREES
SHRUBS (208 TOTAL)	50% 5 GALLON # 154 50% 1 GALLON # 154	SHRUBS 5 GALLON # 172 1 GALLON # 154
STREET TREES / PARKWAY	1 TREE (24" BOX) PER EACH 50 LF OF STREET FRONTAGE 150 LF = 6 TREES	DUE TO WIDTH OF TRUCK DRIVE AND TURNING RADIUS TREES ARE PROVIDED IN PARKWAY (10 FT) ADDITIONAL TREES IN ADJUTING YARD: 3 TREES (TOTAL)



PROJECT INFORMATION

OWNER: B & K ROAD SERVICE
 15480 JACKSON DRIVE,
 FONTANA, CA 92336,
 HOURS OF OPERATION: 07 DAYS A WEEK, 7:00 AM TO 7:00 PM
 ZONING: FREEWAY INDUSTRIAL DISTRICT WITHIN SOUTHWEST INDUSTRIAL PLAN
 BUILDING STORES: ONE
 CONSTRUCTION TYPE: V-B
 OCCUPANCY: B
 BUILDING SPRINKLED: YES
 LOT AREA: 46839 SF (1.078 ACRES)
 BUILD-UP AREA DETAILS:
 PROPOSED OFFICE BUILDING: 728 SF
 PROPOSED WORKSHOP BUILDING: 2205 SF
 TOTAL BUILT UP AREA: 2933 SF

PARKING SUMMARY

PARKING CALCULATION:
 FROM TABLE 30-314.A
 REQUIRED NUMBER OF PARKING SPACES FOR AUTOMOBILE SERVICE STATION OR REPAIR FACILITY:
 1 PARKING SPACE FOR 300 SF OF SERVICE BAY.
 1 PARKING SPACE PER EMPLOYEE.
 TOTAL AREA OF WORKSHOP SERVICE BAY: 2516 SF
 REQUIRED PARKING FOR SERVICE BAYS: 2516/300 = 8.4
 REQUIRED PARKING FOR EMPLOYEES:
 03 EMPLOYEES + 03 PARKING
 TYPICAL PARKING STALL SIZE:
 9'-0" x 20'-0"
 PARKING STALLS BREAKDOWN:
 PROPOSED STANDARD PARKING STALLS: 03
 PROPOSED HANDICAPPED STALL: 01
 PROPOSED TRUCK PARKING: 10
 PROPOSED LOADING PARKING: 01

APPLICABLE CODE SUMMARY

C.E.G. TITLE 24 ACCESS COMPLIANCE:
 THE PROJECT SHALL COMPLY WITH COR TITLE 24 (PART 6 - CALIFORNIA ENERGY COMPLIANCE AND THE AMERICANS WITH DISABILITIES ACT (ADA) FOR DISABLED ACCESS REQUIREMENTS.
CODE COMPLIANCE:
 THE PROJECT SHALL COMPLY WITH THE CODES, ORDINANCES, OR LAWS HAVING JURISDICTION ON THE PROJECT, WHICH INCLUDE, BUT ARE NOT LIMITED TO:
 2019 CALIFORNIA BUILDING CODE (PART 2, TITLE 24, CCR)
 2019 CALIFORNIA ELECTRICAL CODE (PART 7, TITLE 24, CCR)
 2019 CALIFORNIA MECHANICAL CODE (PART 4, TITLE 24, CCR)
 2019 CALIFORNIA PLUMBING CODE (PART 5, TITLE 24, CCR)
 2019 CALIFORNIA FIRE CODE (PART 9, TITLE 24, CCR)
 2019 CALIFORNIA REFERENCE STANDARDS CODE (PART 12, TITLE 24, CCR)
 AMERICANS WITH DISABILITY ACT (ADA)
 2019 CALIFORNIA GREEN BUILDING STANDARDS (PART 11, TITLE 24, CCR)

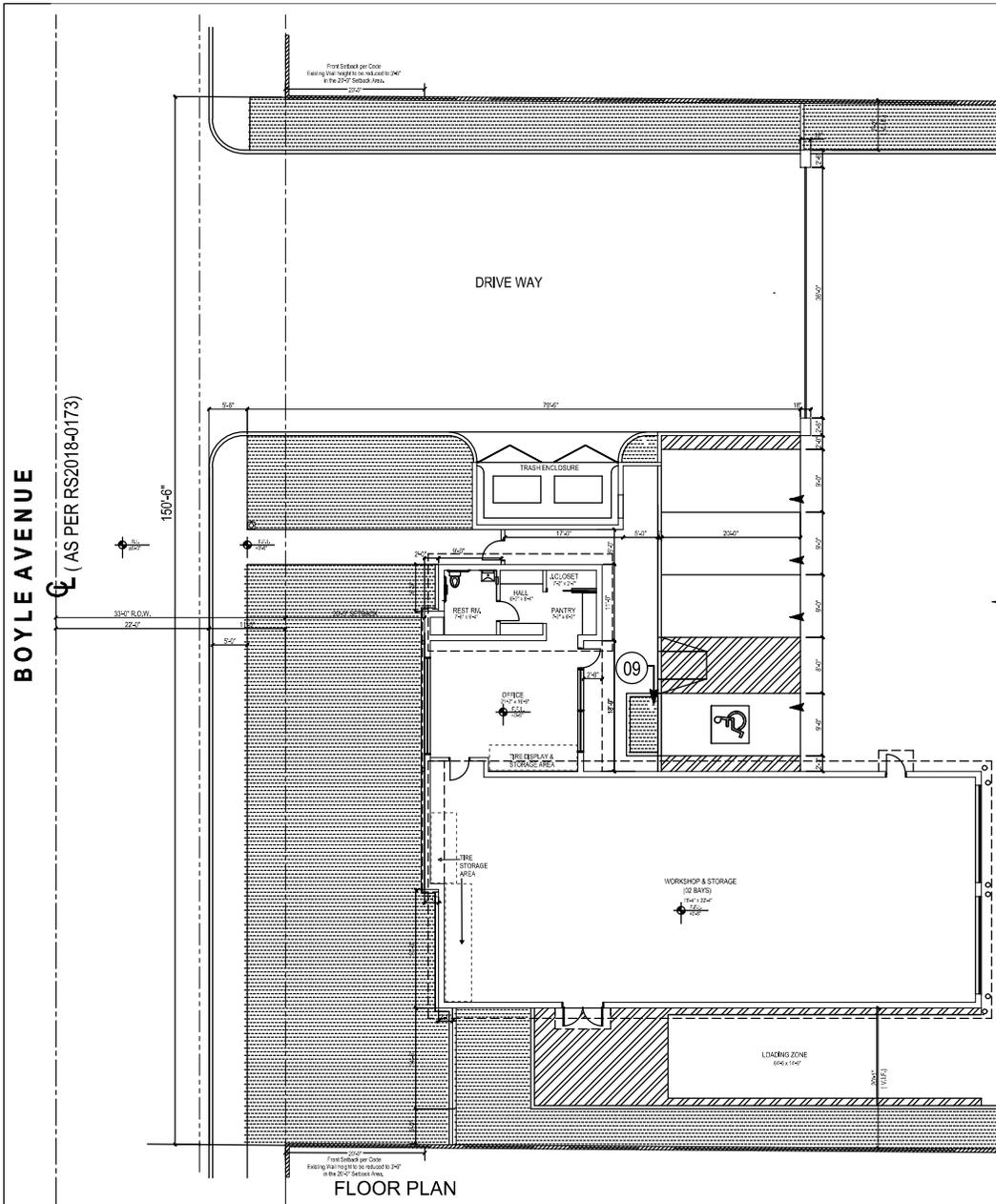
KEY NOTES

- Property Line
- Existing 6' High Boundary wall to remain
- Proposed 6" Concrete Curb
- Proposed Parking
- Proposed Landscape
- 6" Concrete Filled Bulbait
- 14'-0" W x 15'-0" H Roller Steel Shutter
- Header
- Tree Header
- Proposed 6' High Boundary wall
- Proposed Street Light
- All existing metal fencing over the existing 6' high (both side) wall towards the rear end to be removed completely and repair to match existing walls and code.
- Existing Wall Height to be reduced to 3'-0" in the 20'-0" setback Area.

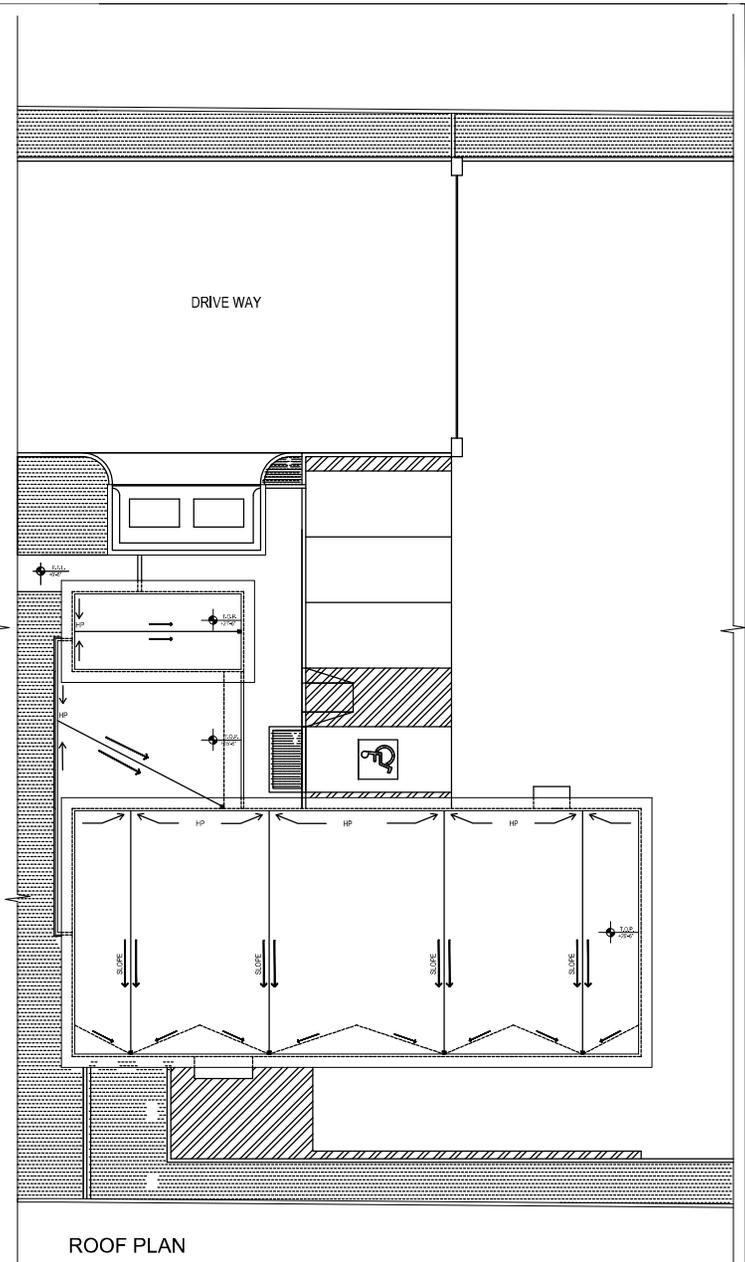
LEGEND

PROPERTY LINE
 EXISTING BOUNDARY WALL
 PROPOSED LANDSCAPE
 NO PARKING
 PROPOSED CONSTRUCTION





FLOOR PLAN
SCALE: 1/8"=1'-0"



ROOF PLAN
SCALE: 1/8"=1'-0"



CONSULTANT
ICON ATELIER, INC.
TEL. (714) 681-0823
iconpak@yahoo.com

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CLIENT
B & K ROAD SERVICE
15480 JACKSON DRIVE,
FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
TIRE REPAIR SHOP**

15617 BOYLE AVENUE,
FONTANA, CA 92337

CONSULTANTS:
ARCHITECT/ENGINEER
SEAL AND SIGNATURE

ASSOCIATE CONSULTANTS:
SEAL AND SIGNATURES

DATE	DRAWING ISSUE DESCRIPTION	DELTA

DATE	06/04/2022
DRAWING	NO
REVIEWED	HC
PROJECTING	BA1019002
SCALE	AS NOTED

SHEET TITLE

**FLOOR PLAN
& ROOF PLAN**

SHEET NO.

A-2.0



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 FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
 TIRE REPAIR SHOP**

15817 BOYLE AVENUE,
 FONTANA, CA 92337

SEAL & SIGNATURE:

ASSOCIATE CONSULTANTS:

DATE: _____ DRAWING ISSUE: _____
 DESCRIPTION: _____ DELTA: _____

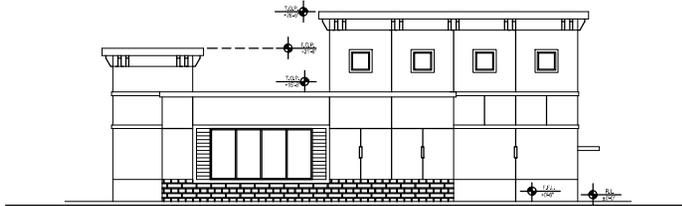
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 DRAWN: JCB
 REVIEWED: HJC
 PROJECTING: BAH/10/2022
 SCALE: AS NOTED

SHEET TITLE

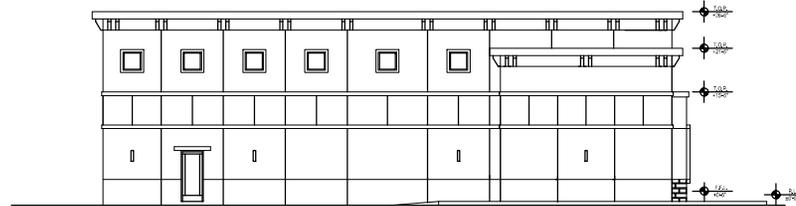
ELEVATIONS

SHEET NO.

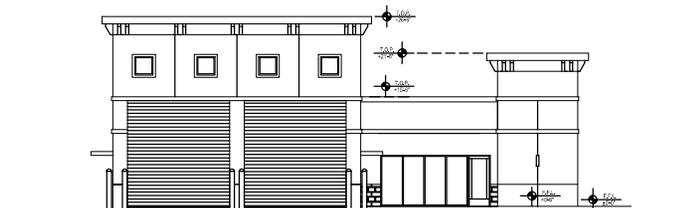
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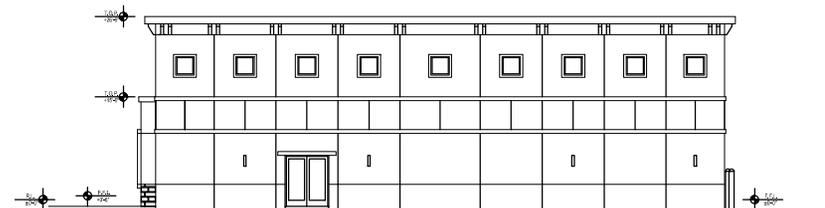
NORTH ELEVATION
 SCALE: 1/8"=1'-0"



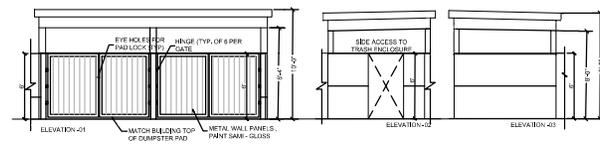
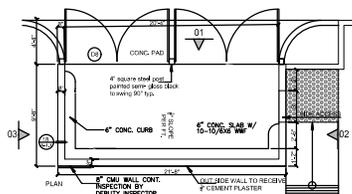
EAST ELEVATION
 SCALE: 1/8"=1'-0"



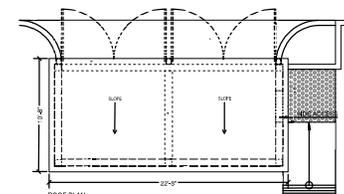
SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



WEST ELEVATION
 SCALE: 1/8"=1'-0"



TRASH ENCLOSURE
 SCALE: 3/16"=1'-0"





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B & K ROAD SERVICE
 15480 JACKSON DRIVE,
 FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
 TIRE REPAIR SHOP**

15817 BOYLE AVENUE,
 FONTANA, CA 92337

SEAL & SIGNATURE:

ASSOCIATE CONSULTANTS:

DRAWINGS/ISSUE
 DATE DESCRIPTION DELTA

DATE 08.04.2022
 DRAWN 100
 REVIEWED 140
 PROJECTING 141019/001
 SCALE AS NOTED

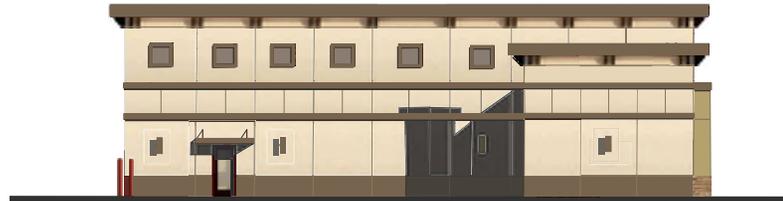
SHEET TITLE
**RENDERED
 ELEVATIONS**
PER CITY COMMENTS DATED 12.22.21

SHEET NO.

A-3.1



NORTH ELEVATION (FRONT)



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



1 - STUCCO SMOOTH
 FINISH TEXTURE



2 - FLOATING FEATHER
 DE 6142 BY DUNN EDWARDS



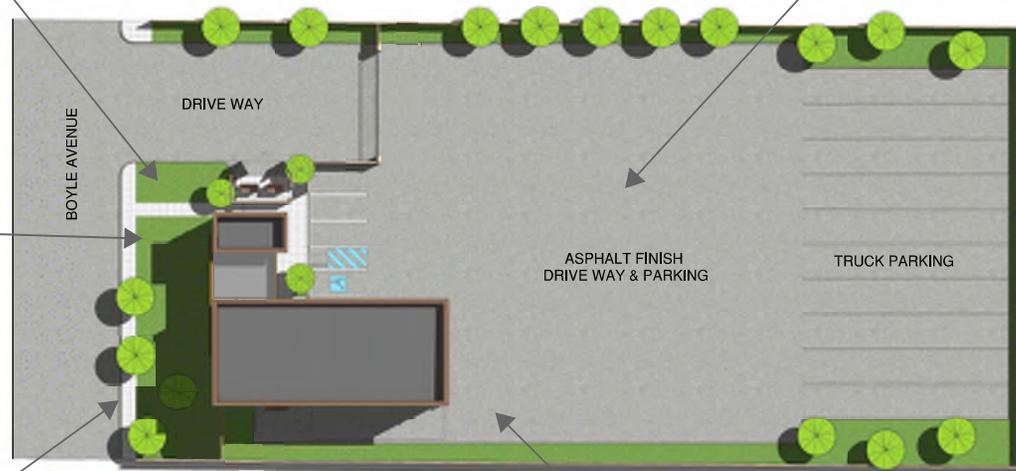
3 - GRAHAM CRACKER
 DE 6144 BY DUNN EDWARDS



4 - CORONADO "SUNRISE"
 OLD WORLD LEDGE



5 - VINTAGE WOOD
 CEDAR BY NICHIIA



SITE PLAN
SCALE : 1" = 16'-0"



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15480 JACKSON DRIVE,
FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
TIRE REPAIR SHOP**

15817 BOYLE AVENUE,
FONTANA, CA 92337

SEAL & SIGNATURE:

ASSOCIATE CONSULTANTS
SEAL AND SIGNATURES

DRAWINGS/ISSUE
DATE DESCRIPTION DELTA

DATE	08/24/2022
DRAWN	SD
REVIEWED	HC
PROJECT NO.	BA1919001
SCALE	AS NOTED

SHEET TITLE
**PROPOSED
BUILDING
VIEWS**

SHEET NO.
A-3.2

GENERAL NOTES

- ALL GRADING SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE CHAPTERS 17, 18 AND APPENDIX-J AS AMENDED BY ORDINANCE 457.
- ALL PROPERTY CORNERS, GRADING BOUNDARIES AND ALL CONSERVATION AREAS / LEAST SENSITIVE AREA (LSA) DETERMINED BY THE ENVIRONMENTAL PROGRAMS DEPARTMENT (EPD) SHALL BE CLEARLY DELINEATED AND STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION / GRADING.
- ALL WORK UNDER THIS GRADING PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND A SEPARATE REVIEW / APPROVAL (PERMIT) FROM THE TRANSPORTATION DEPARTMENT.
- ALL GRADING SHALL BE DONE UNDER A SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY LA CRESTA DATED MARCH 21, 2016 AND SLOPE STABILITY INVESTIGATION BY LCC DATED AUGUST 19, 2016.
- COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5.8. PROJECTS WITHOUT PRELIMINARY SOILS REPORT SHALL INCLUDE DETAILED SPECIFICATIONS IN ACCORDANCE WITH SECTIONS 1803.2 AND 1803.5 PREPARED BY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION OF EACH LOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT TWO DAYS BEFORE DIGGING AT 1-800-422-4133.
- PRIOR TO GRADING, A MEETING SHALL BE SCHEDULED WITH A RIVERSIDE COUNTY ENVIRONMENTAL COMPLIANCE INSPECTOR PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CUT/FILL

- MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL). NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHOULD BE PLACED IN THIN LIFTS (8-INCH MAX OR AS RECOMMENDED IN SOILS REPORT), COMPACTED AND TESTED AS GRADING PROCESS UNTIL FINAL GRADES ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5:1 (H/V) AND A HEIGHT GREATER THAN 5 FEET SHALL BE KEPT AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE 10 FEET WIDE MIN.
- THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER 30' IN VERTICAL HEIGHT, OR CUT SLOPES STEEPER THAN 2:1 HAVE BEEN VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5.
- NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN 10 FEET TO THE FINISHED GRADE.

DRAINAGE and EROSION/DUST CONTROL

- DRAINAGE ACROSS THE PROPERTY LINE SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
- PROVIDE A PAVED SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN 40 FEET TOWARDS THE CUT SLOPE.
- PROVIDE 5' WIDE BY 11" HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL).
- THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MIN. DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
- NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- FUGITIVE DUST CONTROL: CONSTRUCTION SITES SUBJECT TO PM10 FUGITIVE DUST VIOLATION SHALL COMPLY WITH AQMD CHAPTER 4.03.1.
- STORM WATER SHALL NOT BE DRAINED INTO SEWERS INTENDED FOR SANITARY DRAINAGE ONLY.
- ALL INLETS AND OUTLETS INTO AND OUT OF THE MANHOLES SHALL INCORPORATE THE USE OF A FLEXIBLE COMPRESSION JOINTS LOCATED BETWEEN 12" AND 36" FROM THE MANHOLE NO FLEXIBLE COMPRESSION JOINT SHALL BE EMBEDDED IN THE MANHOLE BASE.
- THE TWO-WAY CLEANOUT MUST BE AN APPROVED TYPE AS DEFINED IN THE OPC SECTION 203.0 & PER SECTION 707.4 EXCTION (4)

THESE PLANS ARE NOT VALID FOR LANDSCAPE IMPROVEMENTS, IRRIGATION SYSTEMS, ETC., SEE APPROVED LANDSCAPE PLANS FROM THE LANDSCAPE DIVISION

PRECISE GRADING PLAN

APN 0237-061-02
CITY OF FONTANA, CALIFORNIA

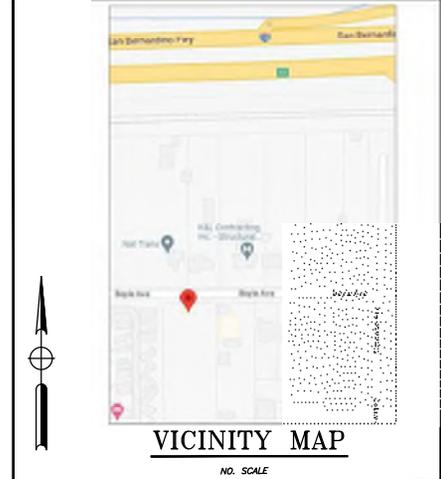
SITE ADDRESS
15817 BOYLE AVE.
FONTANA, CA.

CIVIL ENGINEER

RAHMAN ENGINEERING SERVICES, INC
13611 12TH ST., UNIT B
CHINO, CA 91710
(213) 400-8078

SOILS ENGINEER

GEOTECHNICAL AND ENVIRONMENTAL ENGINEERING CONSULTANTS, INC.
4071 E. LA PALMA AVE, STE B
MURFET, CA 95007
714-632-3366



- ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE PROVIDED ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FOR ALL SLOPES STEEPER THAN 4 TO 1 (H/V); FOR ALL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT, ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT TOLERANT GROUND COVER AT A MINIMUM SPACING AT A MINIMUM SPACING OF 12" ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT AND DROUGHT TOLERANT SHRUBS SPACED AT NO MORE THAN 10' ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED SHRUBS NOT TO EXCEED 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER OR SHRUBS NOT TO EXCEED 10' OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER C.P.C., CHAPTER 6. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SOILS SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING PRECISE GRADE INSPECTION.

- EROSION CONTROL BMP'S SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE ENTRANCE OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMP'S SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREAS EXPOSED TO THE EXTENT FEASIBLE.
- AREAS THAT ARE CLEARED AND GRADED ARE SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AN PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 21 DAYS, DURING THE STORM SEASON. ALL SLOPES SHALL BE STABILIZED PRIOR TO A PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OF REDUCE SEDIMENT TRANSPORT FROM THE SITE OR STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT. THE STATEWIDE GENERAL PERMIT-CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LINE, PESTICIDES, HERBICIDES, FERTILIZER WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENT, FUELS, OILS, LUBRICANTS, AND HYDRAULIC FLUIDS; RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSABLE OF SUCH MATERIALS SHOULD OCCUR A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST BE DISCHARGED TO RECEIVING WATERS OR THE LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE TRAINED IN THE IMPLEMENTATION AND USE OF THE REQUIRED BMP'S AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE, AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS AND ALL TRAINING DOCUMENTATION SHALL BE MAINTAINED IN THE SWPPP.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- BMP'S SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMP'S SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

COMPLETION OF WORK

- ROUGH GRADE**
- A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING REPORT AND IT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. THE REPORT SHALL ALSO PROVIDE BUILDING FOUNDATION DESIGN PARAMETERS INCLUDING ALLOWABLE SOIL PRESSURES, EXPANSION INDEX AND REMEDIAL MEASURES IF EI>20, WATER SOLUBLE SULFATE CONTENT, CORROSIIVITY AND REMEDIAL MEASURES IF NECESSARY.
 - EXCEPT FOR NON-TRACT SINGLE RESIDENTIAL LOT GRADING, THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATION LISTED IN TABLE 1705.6 OF 2013 CBC.
 - THE COUNTY OF SAN BERNARDINO REQUIRES A LICENSED PROFESSIONAL ENGINEER TO SUBMIT A WET SIGNED AND STAMPED ROUGH GRADING CERTIFICATION WHICH INCLUDES PAD CERTIFICATION PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT.
 - ROUGH GRADE ONLY PERMITS: IN ADDITION ON OBTAINING ALL REQUIRED INSPECTIONS AND APPROVAL OF ALL FINAL REPORTS, ALL SITES PERMITTED FOR ROUGH GRADE ONLY SHALL PROVIDE VEGETATIVE COVERAGE (100 PERCENT) OR OTHER MEANS OF SITE STABILIZATION APPROVED BY ENVIRONMENTAL COMPLIANCE DIVISION, PRIOR TO RECEIVING A ROUGH GRADE PERMIT FINAL.
- PRECISE GRADE**
- A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN FINAL CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO REQUEST OF PRECISE GRADING INSPECTION.

NPDES: WHEN ONE ACRE OR MORE IS BEING DISTURBED:

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMPs) FOR THE MANAGEMENT OF STORM WATER AND NON-STORM WATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP ON THE JOBSITE THROUGHOUT THE TIME OF CONSTRUCTION. THE IMPLEMENTATION AND MAINTENANCE OF SITE BMP'S IS REQUIRED TO MINIMIZE JOBSITE EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMP'S THROUGHOUT THE TIME OF CONSTRUCTION.

NOTE:

- GRADING PLAN SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES:
- 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
 - 2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
 - 2022 CALIFORNIA GREEN STANDARDS CODE AND ITS APPENDICES AND STANDARDS.
 - CITY OF FONTANA ORDINANCES AND REGULATIONS.

SCOPE OF WORK:

NEW CONSTRUCTION OF OFFICE/SHOP, WORKSHOP BAYS (02), FRONT BOUNDARY WALL, GATE, LANDSCAPE AND PARKING AREA

UTILITIES

SEWER: N/A
WATER: FONTANA WATER COMPANY, PH: 877-274-8419
ELECTRIC: SOUTHERN CALIFORNIA EDISON, PH: 909-357-6221
CABLE: TIME WARNER CABLE, PH: 909-390-4738
TELEPHONE: AT&T, PH: 714-666-7415
GAS: SOCAL GAS, PH: 909-428-8411

EARTHWORK QUANTITIES

RAW CUT-40 C.Y.
RAW FILL-750 C.Y.

QUANTITIES ARE ESTIMATES ONLY AND CONTRACTOR IS TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION

AREA OF DISTURBANCE

TOTAL AREA = 1.07 AC
DISTURBED AREA: (43,126 S.F.) (0.99) AC
TOTAL IMPERVIOUS AREA: 37,527 S.F. (0.86 AC)

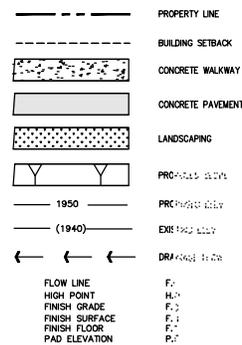
CONSTRUCTION NOTES

- CONSTRUCT 6" CURB FOR CITY OF FONTANA STD. DWG. NO. 1000
- CONSTRUCT 4" SLOPE SIDEWALK. DWG. NO. 1006
- PUMP AT WHITE SANDS LINE PARKING STRIPES
- CONSTRUCT GRADING PER CITY OF FONTANA STD. DWG. NO. 1001
- INSTALL IMPACT ENVELOPE PER ARCHITECTURAL PLANS
- CONSTRUCT ADA RAMP
- PAINT PAVEMENT ADA MARKING SYMBOL SIGNS
- PAINT PAVEMENT ADA BLUE CROSS HATCH
- INSTALL ADA "HANDICAPPED" PARKING SIGN
- CONSTRUCT 24" X 24" CATCH BASIN
- INSTALL 12" PVC PIPE @ .60X MIN. SLOPE
- CONSTRUCT ASPHALT CONCRETE PAVEMENT PER DETAILS RECOMMENDATION
- CONSTRUCT 1.0' WIDE CURB OPENING PER SOIL ON SHEET 2
- 750 GALLON SEPTIC TANK WITH LEACH LINES

QUANTITY

1000 LF	1150 SF	12 EA	850 LF	32500 SF	1 EA
---------	---------	-------	--------	----------	------

LEGEND



PARKING SUMMARY

STANDARD CAR PARKING	HANDICAPPED PARKING	TRUCK PARKING	LOADING ZONE PARKING	BICYCLE PARKING	REQUIRED	PROPOSED
3	1	9	1	2	3	10

SHEET INDEX:

SHEET NO.	TITLE
1	PRECISE GRADING PLAN AND SECTIONS
2	CONSTRUCTION CONTROL PLAN

Description:
PERMIT FOR 40,336 SF OF ROUGH GRADING AND PRECISE GRADING FOR NEW CONSTRUCTION OF OFFICE/SHOP

GRADE-25-00025

Underground Service Alert
Call: TOLL FREE 811
www.call811.com
NO WORKING DAYS BEFORE YOU DIG

CITY OF FONTANA

ENGINEERING DEPARTMENT
8353 SIERRA AVE.
FONTANA, CA 92335
TEL: (909) 350-7600

BENCH MARK:

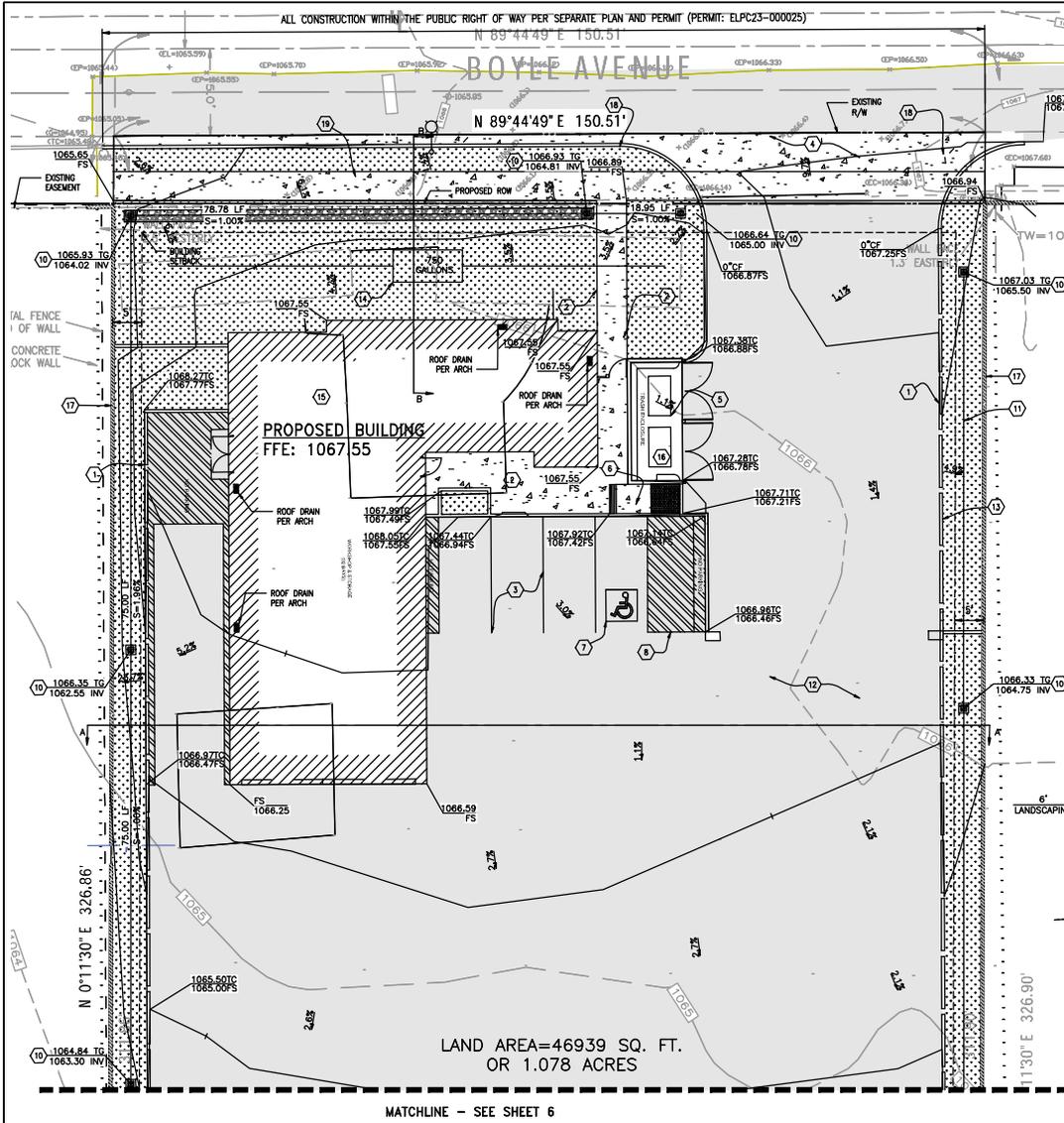
PLANS PREPARED BY
RAHMAN ENGINEERING SERVICES, INC
13611 12TH ST., UNIT B
CHINO, CA 91710
(213) 400-8078

REVISIONS	
NO.	DATE

TITLE SHEET

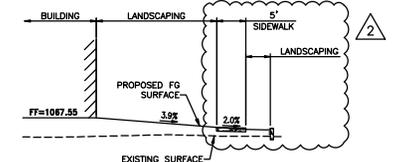
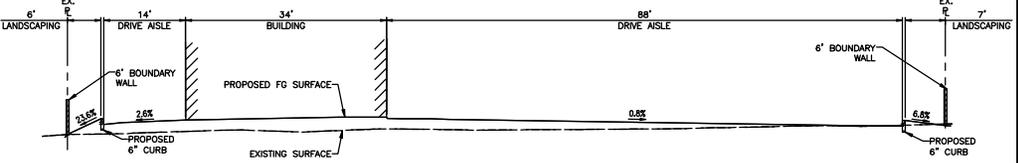
TRUCK REPAIR SHOP
15817 BOYLE AVE.
FONTANA, CA 92337

W.D. No.	
CIP No.	
PROJECT No.	
SHEET 1 OF 7	



CONSTRUCTION NOTES

- 1 CONSTRUCT 6" CURB PER CITY OF FONTANA STD. DWG. NO. 1000
- 2 CONSTRUCT 4" THICK, PCC SIDEWALK. DWG. NO. 1006
- 3 PAINT 4" WHITE DOUBLE LINE PARKING STRIPES
- 4 CONSTRUCT DRIVEWAY PER CITY OF FONTANA STD. DWG. NO. 1001 PER SEPARATE PLAN AND PERMIT
- 5 INSTALL TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- 6 CONSTRUCT ADA RAMP
- 7 PAINT PAVEMENT ADA MARKING SYMBOL SIGNS
- 8 PAINT PAVEMENT ADA BLUE CROSS HATCH
- 9 INSTALL ADA "HANDICAPPED" PARKING SIGN
- 10 CONSTRUCT 24" X 24" CATCH BASIN PER DETAIL ON SHEET 2
- 11 INSTALL 12" PVC PIPE @ .60% MIN. SLOPE
- 12 CONSTRUCT ASPHALT CONCRETE PAVEMENT PER SOILS RECOMMENDATION
- 13 CONSTRUCT 1.0' WIDE CURB OPENING PER DETAIL ON SHEET 2
- 14 750 GALLON SEPTIC TANK WITH LEACH LINES
- 15 PROPOSED BUILDING PER SEPARATE PERMIT
- 16 TRASH ENCLOSURE PER SEPARATE PERMIT
- 17 EXISTING BOUNDARY WALL, MODIFICATIONS PER SEPARATE PERMIT
- 18 CONSTRUCT 8" CURB PER CITY OF FONTANA STD. DWG. NO. 1000 PER SEPARATE PLAN AND PERMIT
- 19 CONSTRUCT 4" THICK, PCC SIDEWALK. DWG. NO. 1006 PER SEPARATE PLAN AND PERMIT



A PRECISE GRADING PLAN
SCALE: 1" = 10'

CITY OF FONTANA
ENGINEERING DEPARTMENT
8353 SIERRA AVE
FONTANA, CA 92335
TEL: (909) 350-7600

BENCH MARK:

PLANS PREPARED BY:
RAHMAN ENGINEERING SERVICES, INC
13611 12TH ST., UNIT B
CHINO, CA 91710
(213) 400-8078

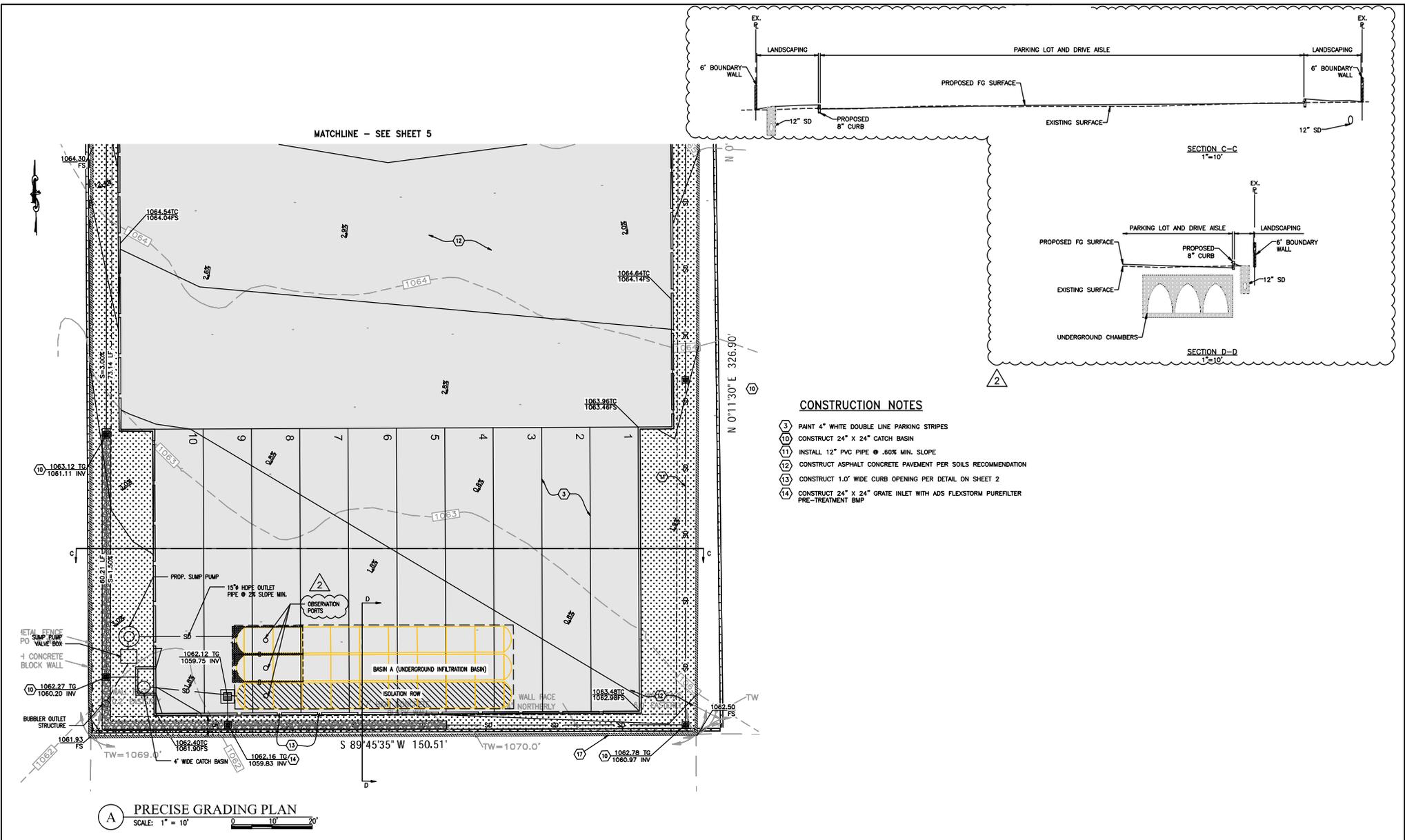


REVISIONS	
NO.	DATE

PRECISE GRADING PLAN

TRUCK REPAIR SHOP
15817 BOYLE AVE.
FONTANA, CA 92337

W.D. No.
CIP No.
PROJECT No.
SHEET 5 OF 7



CONSTRUCTION NOTES

- (3) PAINT 4" WHITE DOUBLE LINE PARKING STRIPES
- (10) CONSTRUCT 24" X 24" CATCH BASIN
- (11) INSTALL 12" PVC PIPE @ .60% MIN. SLOPE
- (12) CONSTRUCT ASPHALT CONCRETE PAVEMENT PER SOILS RECOMMENDATION
- (13) CONSTRUCT 1.0' WIDE CURB OPENING PER DETAIL ON SHEET 2
- (14) CONSTRUCT 24" X 24" GRATE INLET WITH ADS FLEXSTORM PUREFILTER PRE-TREATMENT BMP

A **PRECISE GRADING PLAN**
SCALE: 1" = 10'

CITY OF FONTANA
ENGINEERING DEPARTMENT
8353 SIERRA AVE
FONTANA, CA 92335
TEL: (909) 350-7600

BENCH MARK:

PLANS PREPARED BY:
RAHMAN ENGINEERING SERVICES, INC
13611 12TH ST., UNIT B
CHINO, CA 91710
(213) 400-8078



REVISIONS			
NO.	DESCRIPTION	APP'D	DATE

**PRECISE GRADING PLAN
AND SECTIONS**
TRUCK REPAIR SHOP
15817 BOYLE AVE.
FONTANA, CA 92337

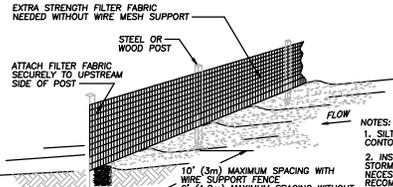
W.D. No.
CIP No.
PROJECT No.
SHEET 6 OF 7

EROSION CONTROL NOTES:

- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE ENGINEERING DEPARTMENT.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING BASINS, AND THE BASINS PUMPED DRY.
- GRADED AREAS AROUND THE TRACT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- GRAVEL BAG LAYOUT SHALL BE INSTALLED AS SHOWN PER PLAN OR AS DIRECTED BY THE CITY INSPECTOR.

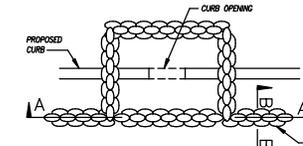
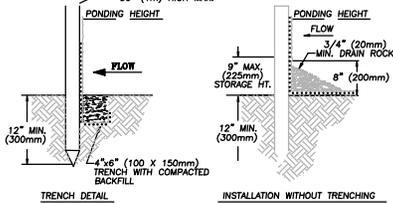
EROSION CONTROL CONSTRUCTION NOTES

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER C.A.S.Q.A. BMP TC-1. SEE DETAIL "C" HEREOF
- CONSTRUCT SILT FENCE PER C.A.S.Q.A. BMP SE-1. SEE DETAIL "B" HEREOF
- STREET SWEEPING & VACUUMING PER C.A.S.Q.A. BMP SE-7
- CONSTRUCT STORM DRAIN INLET PROTECTION PER C.A.S.Q.A. BMP SE-10

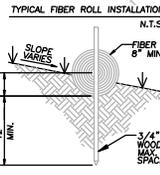
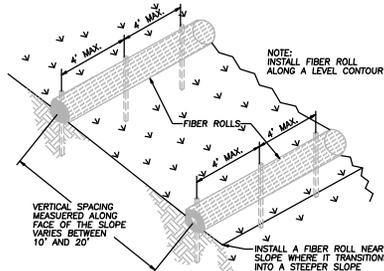


- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

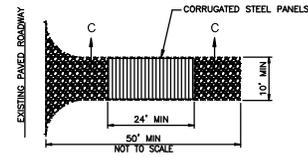
SILT FENCE (SE-1) 2
NOT TO SCALE



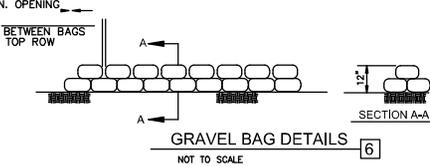
INLET PROTECTION (SE-10) 4
NOT TO SCALE



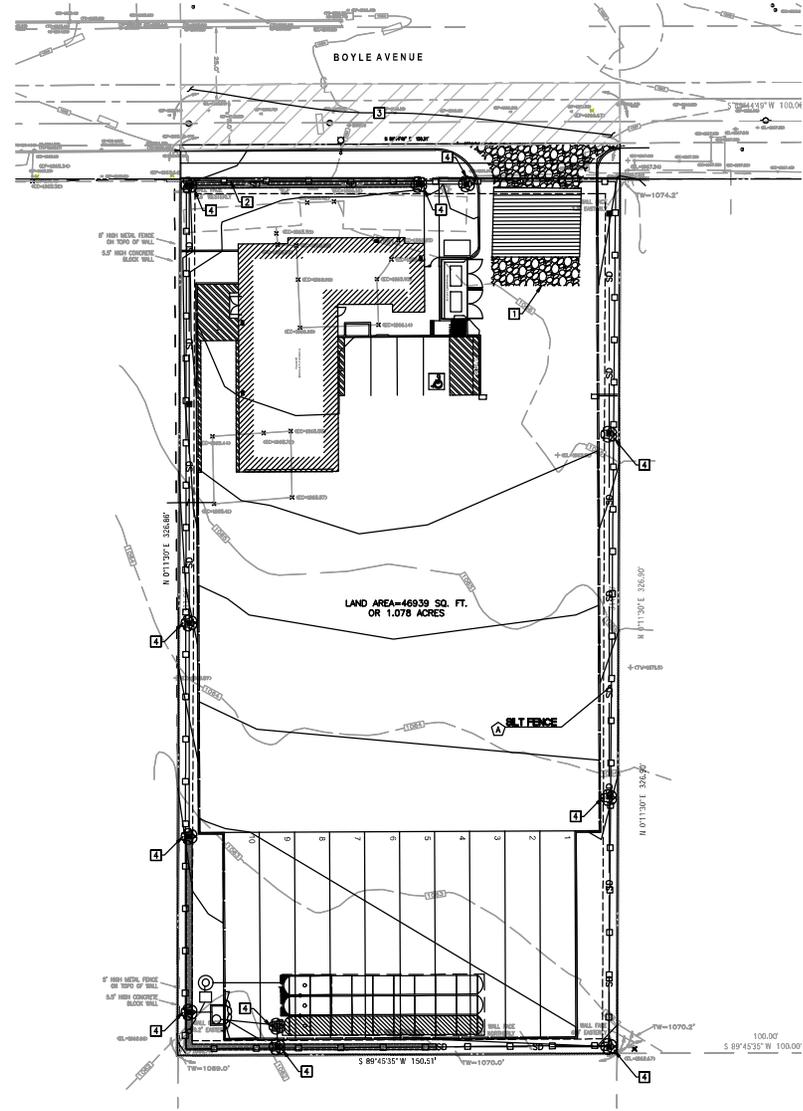
FIBER ROLL DETAIL 5
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL (TC-1) 1
NOT TO SCALE



GRAVEL BAG DETAILS 6
NOT TO SCALE



EROSION CONTROL PLAN
SCALE: 1" = 20'

CITY OF FONTANA

ENGINEERING DEPARTMENT
8353 SIERRA AVE
FONTANA, CA 92335
TEL: (909) 350-7800

BENCH MARK:

PLANS PREPARED BY:
RAHMAN ENGINEERING SERVICES, INC
13611 12TH ST., UNIT B
CHINO, CA 91710
(213) 400-8078



MOKSUDUR RAHMAN RCE C09263 DATE

REVISIONS

NO.	DESCRIPTION	DATE

EROSION CONTROL PLAN

TRUCK REPAIR SHOP
15817 BOYLE AVE.
FONTANA, CA 92337

W.D. No.
CIP No.
PROJECT No.
SHEET Z OF 7

LANDSCAPE DRAWINGS

PROPOSED TRUCK TIRE REPAIR SHOP

APN: 0237-061-02



CONSULTANT
ICON ATTELIER INC.
 TEL: (714) 881-0825
 icon@yaho.com

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CLIENT
B&K ROAD SERVICE

15480 JACKSON DRIVE,
 FONTANA, CA 92336

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP

15511 DRYLEY AVENUE,
 FONTANA, CA 92337

SEAL AND STAMP



ASSOCIATE CONSULTANTS



DEPARTMENT OF PUBLIC WORKS
 CITY OF FONTANA

DRAWINGS ISSUE

DATE: 08.24.2023
 DESCRIPTION: DELTA SUBMITTAL

DATE: 08.24.2023
 DRAWN: BFM
 REVIEWED: BFM
 PROJECT NO: 1A/0121/001
 SCALE: AS SHOWN

SHEET TITLE
TITLE SHEET

SHEET NO.
L - 0,0

PROJECT INFORMATION		VICINITY MAP	DRAWINGS INDEX	
OWNER:	B&K ROAD SERVICE 15480 JACKSON DRIVE, FONTANA, CA 92336 TEL: 1099780-8889		SHEET #	SHEET NAME
HOURS OF OPERATION:	7AM TO 7PM - SEVEN DAYS A WEEK		L - 0,0	TITLE SHEET
ZONING:	FREeway INDUSTRIAL DISTRICT WITHIN SOUTHWEST INDUSTRIAL PLAN	L - 0,1	SOIL MANAGEMENT PLAN	
BUILDING STORED:	ONE	L - 1,0	IRRIGATION PLAN	
TYPE:	WH	L - 3,1	IRRIGATION DETAILS AND CALCULATIONS	
OCCUPANCY:	B	L - 3,2	IRRIGATION DETAILS AND RUN TIMES	
BUILDING SPRINKLED:	YES	L - 1,3	IRRIGATION SPECIFICATIONS	
SCOPE OF WORK:	NEW CONSTRUCTION OF OFFICE / SHOP, WORKSHOP BAYS (01), FRONT BOUNDARY WALL, GATE, LANDSCAPE AND PARKING AREA	L - 1,4	IRRIGATION SPECIFICATIONS	
APN:	0237-061-02	L - 2,0	PLANTING PLAN	
		L - 2,1	PLANTING DETAILS	
		CONTACT DIRECTORY		
		OWNER	B&K ROAD SERVICE 15480 JACKSON DRIVE, FONTANA, CA 92336	
		CONTACT	MARTIN GUNN (562) 260-1856 martin.gunn@bkr.com	
		CONSULTANTS	ICON ATTELIER, INC. 15480 JACKSON DRIVE, FONTANA, CA 92336 (714) 881-0825 icon@yaho.com	
		CIVIL ENGINEER	GEO INNOVATION (SOIL ENGINEER) FELIX J. JACOBI (714) 655-3166	
		LANDSCAPE ARCHITECT	DEPARTMENT OF PUBLIC WORKS 400 NORTH INDIAN WELLS, SUITE 20 CLARKSBURG, CA 91711 (909) 850-1150	

STANDARD CITY LANDSCAPE NOTES

UNLESS CONTRACTED BY A SOIL TEST, SUBMIT AT A RATE OF A MAXIMUM OF FOUR CUBIC YARDS PER ONE HUNDRED (100) SQUARE FEET OF PAVED AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

A MINIMUM THREE LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT LAW, GRASSING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRACTED.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE MAINTENANCE.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

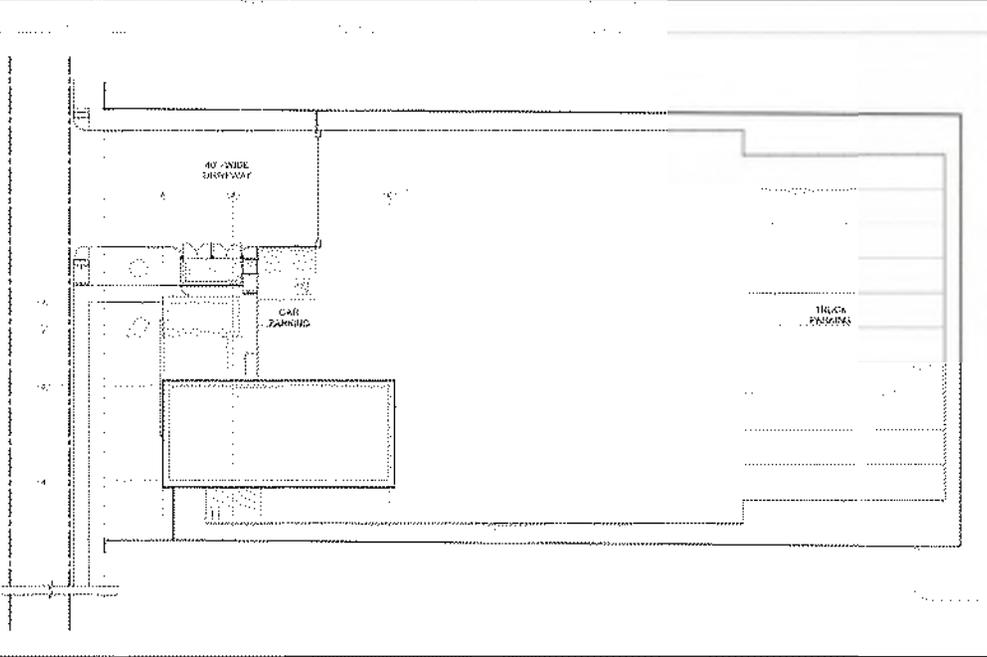
CHECK VALVES OR WATER SHUT-OFFS ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT LEAKAGE COULD OCCUR.

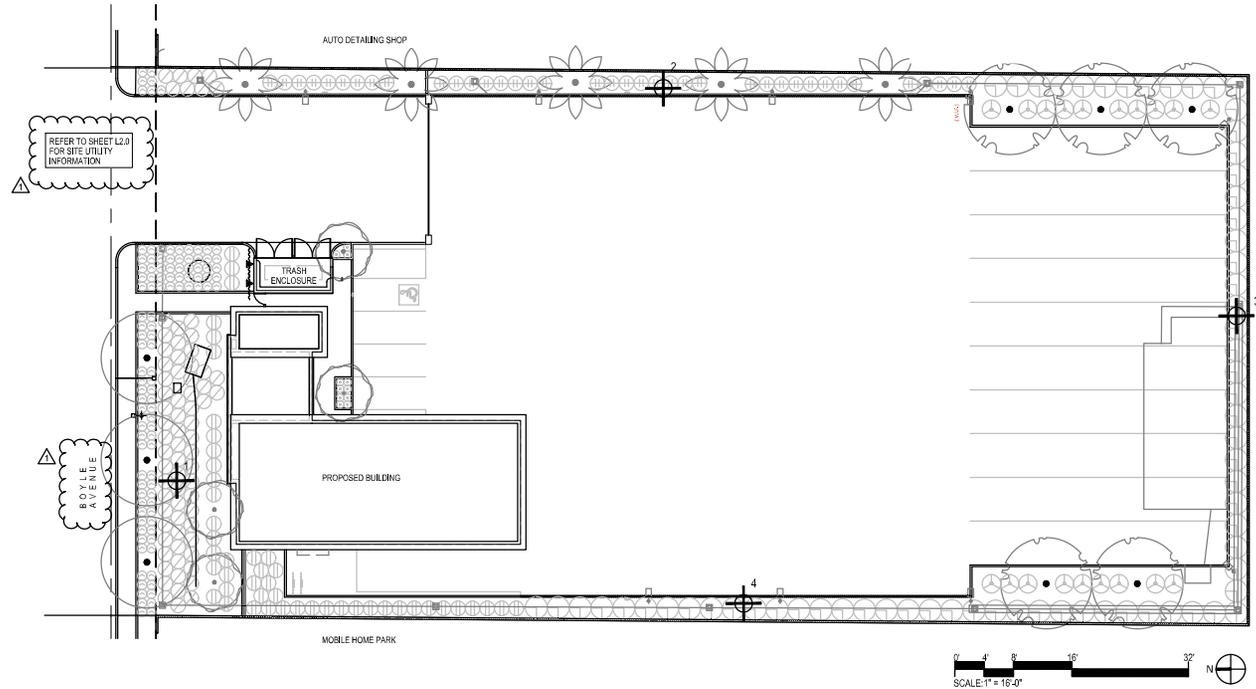
A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE DEVICES, SHALL BE KEPT WITH THE SUBMISSION CONTINGENT FOR SUBSEQUENT MANAGEMENT PURPOSES. A CERTIFICATE OF COMPLETION SHALL BE FILED OUT AND CERTIFIED BY EITHER THE OWNER OF THE PROJECT OR PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL THE CITY LANDSCAPE INSPECTOR HAS VERIFIED THAT ALL IRRIGATION DEVICES AND PLANNING PAGE HAS BEEN COMPLETED IN ACCORDANCE WITH THE PROPOSED PLANS AND SPECIFICATIONS OF FCC SECTION 16-117 AT THE OF FINAL INSPECTION.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED PER FCC SECTION 16-120 AT THE OF FINAL INSPECTION.

KEY PLAN





SOIL TESTING LEGEND		
SYMBOL	ITEM	DESCRIPTION
#	SOIL TEST LOCATION	AFTER ROUGH GRADING HAS COMPLETED, TAKE SEPARATE SAMPLES AT 0'-12" DEPTH AND 12'-36" DEPTH, PACKAGE AND LABEL SEPARATELY FOR ANALYSIS. EACH SAMPLE TO BE DRY, LABELED IN A QUART SIZED ZIP LOCK BAG APPROXIMATELY HALF FULL. 4 LOCATIONS, 8 SAMPLES TOTAL.

SOIL TESTING NOTES

- SUBMIT SAMPLES TO:
WALLACE LABORATORIES
385 CORRAL CIRCLE
EL SEGUNDO, CA 90245
310-615-0116
www.wlabs.com
- ALL SOIL SAMPLE TESTS TO BE "SOIL MANAGEMENT REPORT" PER THE WALLACE LABS SOIL SUBMITTAL FORM:
<http://us.wlabs.com/wp-content/uploads/2016/12/2019soilform.pdf>
- AMENDED TOPSOIL AND SOIL IMPROVEMENT RECOMMENDATIONS PER SOILS REPORT. **THE FOLLOWING INSTRUCTIONS ARE FOR BID PURPOSES ONLY.**
 - Soil Conditioning and Amending**
Check the soil quality after demolition, soil harvesting and prior to soil preparation. Cross rip compacted soils 12 inches deep or use other suitable means to cultivate the soil, especially within planting areas, and to pulverize the clods in order to make workable soil. Reduce the size of the clods to less than 1/2-inch in diameter. Reduce the gravel content, if elevated, if planters have been kept low. Clean the planters and scarify the base soil in the planters to avoid a sharp soil interface.
SOIL PREPARATION ON A SQUARE FOOT BASIS
Uniformly broadcast the following materials to dry soil. The rates are per 1,000 square feet for a 6-inch fill. Remove clods, rocks, debris, foreign materials larger than 1/2 inch in diameter from the each 6-inch fill. Homogeneously incorporate the materials into the soil to a depth of six inches for each fill.
Triple superphosphate (0-45-0) – 3 pounds
Gypsum – 30 pounds
Organic amendment – about 4 cubic yards, sufficient for 5% to 6% soil organic matter on a dry weight basis
Cure the soil to activate the soil conditioner. Irrigate the soil to dampen the soil to a depth of six inches. The soil does not need to be saturated, just damp. Allow the soil to dry or at least dry to the point where the stringiness has disappeared. Then rewater the soil to a 6-inch depth.
 - Tree, Shrub and Vine Backfill**
Planting of container plants. Prepare planting pits twice as wide as the rootballs. Amending of planting pits is not needed for 1 gallon plants if the general soil preparation work has been completed. The wais and bottom of the planting pits should not have compacted soil. If necessary, loosen glazed soil by scarifying the soil surface.
On a volume basis, blend the following materials into clean, dry soil. Remove debris, clods, rocks and foreign material larger than 1/2 inch in diameter. Excessive gravel should not be present. Thoroughly mix topsoil and amendment in stockpiles on site. Rates are per cubic yard:
Triple superphosphate (0-45-0) – 14 pound
Gypsum – 1.5 pounds
Organic amendment – about 20% by volume, sufficient for 4% to 8% soil organic matter on a dry weight basis

CONSULTANT
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TEL: (714) 881-0625
icona@yaho.com

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CLIENT
B&K ROAD SERVICE
15480 JACKSON DRIVE,
FONTANA, CA 92336

PROJECT
**PROPOSED TRUCK
TIRE REPAIR SHOP**
15511 BOYLE AVENUE,
FONTANA, CA 92327

SEAL AND STAMP

ASSOCIATE CONSULTANTS

DEPARTMENT OF PUBLIC WORKS
OFFICE OF THE CITY ENGINEER
SITE DESIGN STUDIO
2000 CALIFORNIA WAY #2
FONTANA, CA 92335

DRAWINGS ISSUE
DATE DESCRIPTION
08.24.23 1ST PC RESPONSE SUBMITTAL

DATE: 08.24.2023
DRAWN: BFM
REVIEWED: BFM
PROJECT NO: 1A/0121/001
SCALE: AS SHOWN

SHEET TITLE
**SOIL
MANAGEMENT
PLAN**

SHEET NO.
L - 0.1



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icon@atelier.com

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CLIENT
B&K ROAD SERVICE
15400 JACKSON DRIVE,
FONTANA, CA 92338

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
15511 BOYLE AVENUE,
FONTANA, CA 92337

SCALE AND STAMP



ASSOCIATE CONSULTANTS

DEPARTMENT OF WATER RESOURCES
DIVISION OF PLANNING AND DESIGN

SITE DESIGN STUDIO

DRAWINGS ISSUE

DATE DESCRIPTION DELTA
08.24.23 1ST PC RESPONSE SUBMITTAL

DATE: 08.24.2023
DRAWN: BFM
REVIEWED: BFM
PROJECT NO: 1A/0121/001
SCALE: AS SHOWN

SHEET TITLE
IRRIGATION PLAN

SHEET NO.
L - 1.0

SITE UTILITIES ARE NOT SHOWN FOR CLARITY. REFER TO SHEET L2.0 FOR SITE UTILITY INFORMATION.
REFER TO SHEET L-1.1 FOR MWEO CALCULATIONS
REFER TO SHEET L-1.2 FOR IRRIGATION RUN TIMES
REFER TO SHEETS L-1.3 AND L-1.4 FOR IRRIGATION SPECIFICATIONS

IRRIGATION PRESSURE CALCULATIONS

AVAILABLE PRESSURE: 80 PSI
BASIS OF CALCULATION: FARTHEST VALVE WITH HIGHEST GPM DEMAND
VALVE: A12
GPM DEMAND: 6.5

PRESSURE LOSS THROUGH EQUIPMENT

EQUIPMENT	QTY	SIZE	FLOW (GPM)	LOSS (PSI)
METER	1	1 1/2"	8.8	1
BACKFLOW PREVENTER	1	1"	8.8	5
MASTER VALVE	1	1"	8.8	1
FLOW SENSOR	1	1"	8.8	1
GATE VALVE	3	1"	8.8	3
MAINLINE (274 LF)		1"	8.8	1
VALVE	1	1"	8.8	1
LATERAL LINE LOSSES 10%				1
MISC. FITTINGS				2
ELEVATION (3' DROP)				-1
PRESSURE TO RUN DRIP EMITTERS				30
SUBTOTAL:				43
TOTAL +15%:				50

*PRESSURE LOSS ROUNDED UP TO THE NEXT WHOLE NUMBER

CERTIFICATE OF DESIGN

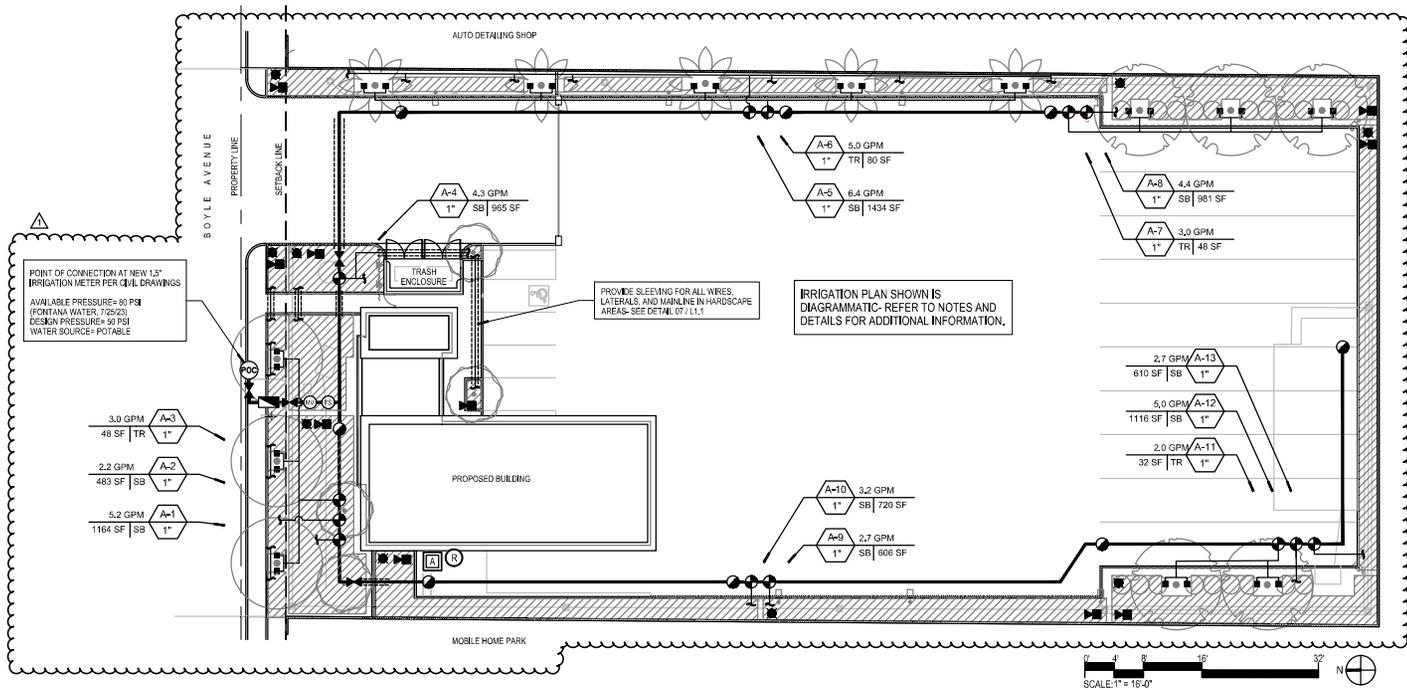
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE PLANS.

Ben Valcoy
BEN VALCOY
CALIFORNIA PROFESSIONAL LANDSCAPE ARCHITECT
LICENSE NUMBER: 8156
08/15/2023
cert@sitestudio.com
909-532-1402

HYDROZONE NOTE

ALL PLANT SPECIES SELECTED ARE RATED AS LOW WATER USE IN THE CITY OF FONTANA PER THE UC DAVIS WUCOLS DATABASE. ALL PLANTING AREAS FALL INTO THE SAME HYDROZONE BASED ON WATER USE.

- IRRIGATION NOTES**
- THE IRRIGATION DESIGN PRESENTED IN THESE DOCUMENTS IS INTENDED TO BE DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT, PIPING AND VALVE LOCATIONS TO BE COORDINATED AND CONFIRMED ON FIELD.
 - THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL DIFFERENCES IN GRADE, LOCATION OF GRABS, LOCATION OF WALLS, CURBS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL IRRIGATION WORK WITH THE GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, AND ALL OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF IRRIGATION.
 - THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND SUBMIT TO THE ARCHITECT AND OWNERS REPRESENTATIVE.
 - IF IT IS APPARENT TO THE LANDSCAPE CONTRACTOR IN THE FIELD THAT GRADE VARIATIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE CALCULATED AREA DIMENSIONS EXIST THAT MAY HAVE NOT BEEN CONSIDERED IN THE DESIGN OF THE SYSTEM, THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS INDICATED ON THE CONSTRUCTION DRAWINGS. THE OWNERS AUTHORIZED REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY SUCH DISCREPANCIES OR DIFFERENCES PRIOR TO BEGINNING ANY IRRIGATION INSTALLATION. IF NOTIFICATION IS NOT RECEIVED PRIOR TO BEGINNING INSTALLATION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS TO THE IRRIGATION SYSTEM AS DEEMED NECESSARY BY OWNERS REPRESENTATIVE AND ALL COSTS ASSOCIATED WITH THOSE REVISIONS.
 - THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE PRESSURE REGULATOR ON EACH ELECTRIC CONTROL VALVE SO THE IRRIGATION HEAD OR DRIPLINE LOCATION FARTHEST AND HIGHEST IN ELEVATION FROM ITS ASSOCIATED CONTROL VALVE FUNCTIONS WITHIN THE OPERATING PRESSURE SHOWN ON THE IRRIGATION LOG (NOT TO EXCEED 5 PSI ABOVE THE INDICATED OPERATING PRESSURE).
 - THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE FINAL CONNECTION BETWEEN THE POWER SOURCE AND THE AUTOMATIC CONTROLLER. 120 VOLT ELECTRICAL POWER SOURCE SHALL BE LOCATED BY THE GENERAL CONTRACTOR IN FIELD.
 - ADHESIVES, SEALANTS AND CAULKS SHALL MEET LOCAL OR REGIONAL AIR POLLUTION CONTROL OR SOUTH COAST AQMD RULE 1168 VOC AND STATEWIDE VOC STANDARDS.
 - MATERIALS LIST SUBMITTAL: PRIOR TO INSTALLATION OF PRODUCTS, SUBMIT A DETAILED LIST OF EACH MATERIAL PROPOSED FOR USE. PREPARE TYPEWRITTEN MATERIAL LIST USING THE FOLLOWING FORMAT:
ITEM NO. DESCRIPTION MANUFACTURER MODEL NO.
 - UPON COMPLETION OF PLANTING AND IRRIGATION, THE CONTRACTOR SHALL ARRANGE FOR A SUBSTANTIAL COMPLETION INSPECTION BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL CORRECT ANY DISCREPANCIES FOUND PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF THE PROJECT.
 - LANDSCAPE CONTRACTOR TO PROVIDE 30 DAY MAINTENANCE OF PLANTING AND IRRIGATION UPON FINAL ACCEPTANCE.
 - GUARANTEE: ALL IRRIGATION EQUIPMENT SHALL BE GUARANTEED FOR REPLACEMENT AFTER FINAL INSPECTION FOR ONE YEAR.
 - CONTROLLER CHARTS: LANDSCAPE CONTRACTOR WILL PROVIDE A LAMINATED CONTROLLER CHART FOR EACH NEW CONTROLLER SHOWING ALL STATIONS IT CONTROLS. CHART MAY BE A REPRODUCTION OF THE PROJECT RECORD DRAWING, IF THE SCALE PERMITS FITTING CONTROLLER DOORS. IF PHOTO REDUCTION PRINTS ARE REQUIRED, KEEP REDUCTION TO MAXIMUM SIZE POSSIBLE TO RETAIN FULL LEGIBILITY OF ALL LINEWORK AND TEXT. IDENTIFY AREAS OF COVERAGE OF EACH REMOTE CONTROL VALVE USING DISTINCT PASTEL COLOR TONES OVER THE APPLICABLE AREA. SUBMIT CHARTS FOR REVIEW BEFORE SUBSTANTIAL COMPLETION REVIEW.
 - IF THE INSTALLED IRRIGATION SYSTEM DIFFERS FROM THE DOCUMENTED DESIGN OF THESE DRAWINGS, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CLEAR THOROUGH ELECTRONIC SET OF AS-BUILT DRAWINGS, INCLUDING SPECIFICATIONS OF ALL EQUIPMENT NOT MATCHING THESE DRAWINGS.
 - TURNOVER ITEMS: AS PART OF THE CONTRACT, THE CONTRACTOR SHALL SUPPLY THE FOLLOWING ITEMS FOR EACH PROPERTY:
TWO (2) KEYS FOR CONTROLLER, CONTROLLER ENCLOSURE.
180' OF DRIP LINE FOR EACH DRIP LINE INTERVAL AND DISCHARGE RATE
(8) BARBED COUPLINGS
(8) BARBED 90° ELBOW FITTINGS
(8) BARBED TEE FITTINGS
(6) WIRE ADAPTERS WITH 1/2" FPT
(1) LINE FLUSHING VALVE



IRRIGATION LEGEND

SYMBOL	MANF.	MODEL NO.	BOX	BRAND	DESCRIPTION / NOTES	PSI	FLOW RATE	DETAIL
[Symbol]	RANBIRD	RWS-MB-1402			ROOT WATERING SYSTEM	30	0.50 GPM	01 / L-1,2
[Symbol]	NETAFIM	IRRIGATION DRIFLINE - TECHLINE CV DRIFLINE TLCOV 618			SPACE LATERAL ROWS AT 15'-18" DRIPPER SPACING AT 12" INSTALL ON GRADE UNDER MULCH	30	0.60 GPH	02 / L-1,2
[Symbol]	NETAFIM	AIR RELIEF VALVE-65ARA075	8" ROUND PVBSTD	ARV	INSTALL PER MANUFACTURERS SPECIFICATIONS			03 / L-1,2
[Symbol]	NETAFIM	MANUAL FLUSH VALVE-TLSOV	8" ROUND PVBSTD	MFV	INSTALL PER MANUFACTURERS SPECIFICATIONS			09 / L-1,2
[Symbol]	BUCKNER SUPERIOR	3000 NORMALLY CLOSED MASTER VALVE	STANDARD PVBSTD	MV	SIZE ACCORDINGLY PER LINE SIZE			02 / L-1,1
[Symbol]	HUNTER	FLOW-OK FLOW SENSOR	STANDARD PVBSTD	FS	METER MUST BE HARDWIRED TO THE CONTROLLER VIA SHIELDED MINIMUM 18 AWG WIRE. UP TO 1000' FROM THE CONTROLLER. SIZE ACCORDINGLY PER LINE SIZE. PROVIDE SBB-DCR ENCLOSURE BY STRONG BOX. STANDARD COLOR DARK GREEN WITH POWDERCOATED FINISH OR APPROVED EQUAL.			03 / L-1,1 04 / L-1,1
[Symbol]	WATTS	71840T BACKFLOW PREVENTER						04 / L-1,1
[Symbol]	NIBCO	T-133 BRONZE GATE VALVE	10" ROUND PVB10RND	GV	SIZE ACCORDINGLY PER LINE SIZE			05 / L-1,1
[Symbol]	RANBIRD	100 - EPB-CP WITH PRF-100-RBY	JUMBO PVB10RND	RCV AX VALVE 1/2" ETC.	BRASS REMOTE CONTROL DRIP VALVE KIT WITH PRESSURE REGULATING BASKET FILTER			09 / L-1,1
[Symbol]	RANBIRD	44-RC - 1" QUICK COUPLER VALVE	10" ROUND PVB10RND	OCV	QUICK COUPLER VALVE WITH LOCKING RUBBER COVER. INSTALL IN ROUND VALVE BOX PER DETAIL.			12 / L-1,2
[Symbol]	HUNTER	WISS-SEN WIRELESS SOLAR SYNC RAIN SENSOR			VERIFY LOCATION IN FIELD			05 / L-1,2
[Symbol]	HUNTER	I-CORE-SS I-CORE IRRIGATION CONTROLLER WITH SS CABINET			VERIFY LOCATION IN HELD-WALL MOUNT IN SS ENCLOSURE. PROVIDE LINE VOLTAGE CONNECTION			06, 07 / L-1,1
[Symbol]		MAINLINE			IRRIGATION MAINLINE - 1" PVC SCH. 80			06, 07 / L-1,1
[Symbol]		LATERAL LINE			LATERAL PIPE - 1" PVC SCH. 40			
[Symbol]		SLEEVING			SCHEDULE 40 PVC SLEEVES. SIZE TO BE 2X PIPE DIAMETER OR WIRE BUNDLE SIZE			08 / L-1,1

IRRIGATION VALVE CAYOUT

PLANT MATERIAL ABBREVIATIONS

TF Turf
SB Strub / Ground Cover
TR Trees
PT Pals
VG Vegetable Garden

ALL IRRIGATION BOXES BY RANBIRD. BOXES TO RECEIVE HEAT BRANDED LABEL INDICATING CONTENTS PER LEGEND.



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FONTANA, CA 92336

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
15511 HOPKIN AVE. #2,
FONTANA, CA 92337



ASSOCIATE CONSULTANTS



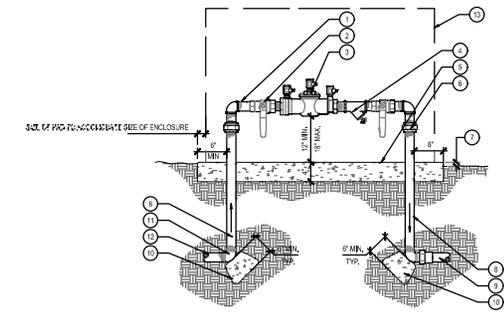
DRAWINGS ISSUE
DATE: 08.24.2023
DESCRIPTION: DELTA
1ST PC RESPONSE SUBMITTAL

DATE: 08.24.2023
DRAWN: BFM
REVIEWED: BFM
PROJECT NO: 1A/0121/001
SCALE: AS SHOWN

SHEET TITLE
IRRIGATION DETAILS AND CALCULATIONS

SHEET NO.
L - 1.1

Reference Evapotranspiration (E _{ref})		ET _{ref} (ET _{ref})		ET _{ref} (ET _{ref})		ET _{ref} (ET _{ref})		ET _{ref} (ET _{ref})	
Hydrozone #	Planting Description	Water Need (GPD)	Plant Factor (PF)	Evapotranspiration (E _{ref}) (GPD)	ET _{ref} (ET _{ref}) (GPD)	Landscaping Area (sq. ft.)	ET _{ref} (ET _{ref}) (GPD)	ET _{ref} (ET _{ref}) (GPD)	Estimated Total Water Use (GPD)
Regular Landscape Areas									
1	Grass	0.2	0.3	0.07	0.21	1764	481		14,201
2	Shrub	0.2	0.3	0.07	0.21	483	119		9,524
3	Tree	0.3	0.3	0.10	0.30	48	14		562
4	Shrub	0.2	0.3	0.07	0.21	865	227		13,471
5	Shrub	0.2	0.3	0.07	0.21	1434	381		18,804
6	Tree	0.3	0.3	0.10	0.30	80	24		1,003
7	Grass	0.2	0.3	0.07	0.21	39	10		356
8	Shrub	0.2	0.3	0.07	0.21	285	74		12,725
9	Shrub	0.2	0.3	0.07	0.21	1434	381		18,804
10	Shrub	0.2	0.3	0.07	0.21	720	207		9,293
11	Tree	0.3	0.3	0.10	0.30	37	11		241
12	Shrub	0.2	0.3	0.07	0.21	1316	343		14,248
13	Shrub	0.2	0.3	0.07	0.21	510	133		7,706
Totals						8287	3075		106,036
Special Landscape Areas									
									ETWU Total: 106,036
Maximum Allowable Water Allowance (MAWA): 128,551									
									Average ETAF: 0.87



- BRASS NIPPLE, 1/2" LENGTH MIN. (TYP)
- BALL VALVE TYPICAL FOR (2) TWO
- REDUCED PRESSURE TYPE BACKFLOW PREVENTER
- BRASS WYE STRAINER WITH 40 MESH MESH SCREEN AND HOSE BIB
- NATURAL GRAY CONCRETE BASE WITH HAND TROVELED FINISH AND TROVELED RACKS EDGES
- BRASS (IN/OUT)
- FINISH GRADE
- 1/2" BELOW F.S. IN TURF
- 1/2" BELOW F.S. IN SHRUB/CC
- PIPE OUT TO IRRIGATION SYSTEM - ADAPT AS REQUIRED
- CONCRETE THRESH BLOCK
- BRASS 90 DEGREE ELL TYPICAL FOR (4)
- 1/2" BELOW F.S. POINT OF CONNECTION - ADAPT AS REQUIRED
- PROVIDE AND INSTALL ESCURE ENCLOSURE. SEE IRRIGATION LEGEND FOR TYPE. INSTALL PER MANF. SPEC.
- INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT - VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION

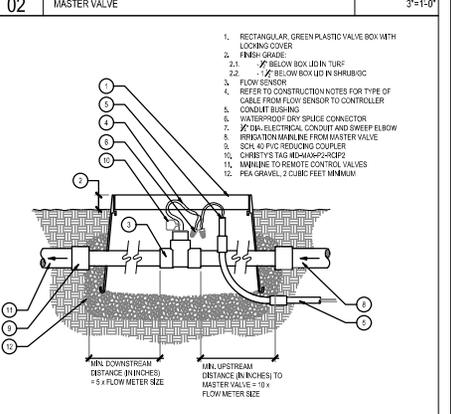
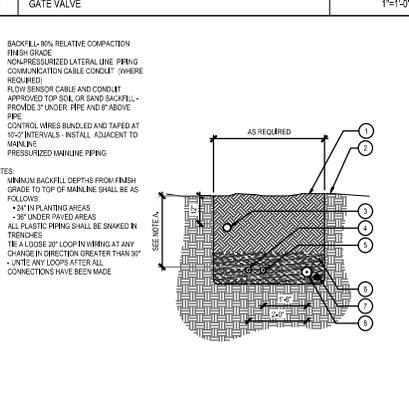
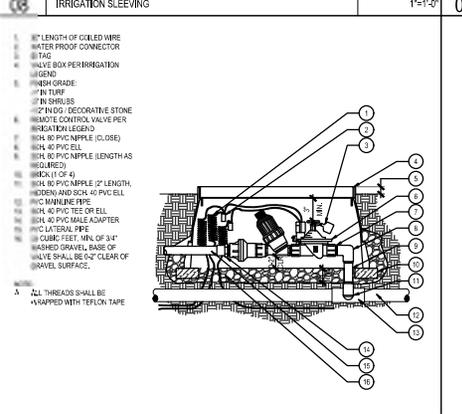
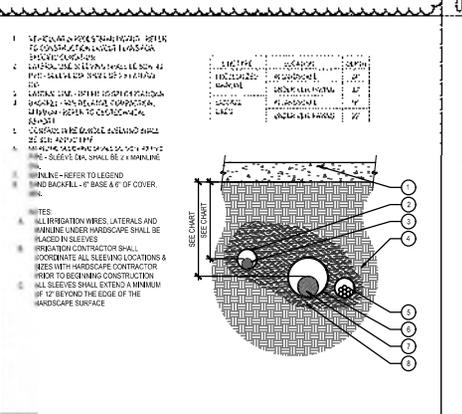
City of Fontana Department of Engineering

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (E_{ref}) = 24.8 (Annual Water Requirement)

Hydrozone #	Planting Description	Water Need (GPD)	Plant Factor (PF)	Evapotranspiration (E _{ref}) (GPD)	ET _{ref} (ET _{ref}) (GPD)	Landscaping Area (sq. ft.)	ET _{ref} (ET _{ref}) (GPD)	ET _{ref} (ET _{ref}) (GPD)	Estimated Total Water Use (GPD)
1	Grass	0.2	0.3	0.07	0.21	1764	481		14,201
2	Shrub	0.2	0.3	0.07	0.21	483	119		9,524
3	Tree	0.3	0.3	0.10	0.30	48	14		562
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7	Grass	0.2	0.3	0.07	0.21	39	10		356
8	Shrub	0.2	0.3	0.07	0.21	285	74		12,725
9	Shrub	0.2	0.3	0.07	0.21	1434	381		18,804
10	Shrub	0.2	0.3	0.07	0.21	720	207		9,293
11	Tree	0.3	0.3	0.10	0.30	37	11		241
12	Shrub	0.2	0.3	0.07	0.21	1316	343		14,248
13	Shrub	0.2	0.3	0.07	0.21	510	133		7,706
Totals						8287	3075		106,036

ETWU Total: 106,036
Maximum Allowable Water Allowance (MAWA): 128,551
Average ETAF: 0.87





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CLIENT
B&K ROAD SERVICE
 15400 JACKSON DRIVE,
 FONTANA, CA 92336

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
 15511 HOPKIN AVE #102,
 FONTANA, CA 92327



ASSOCIATE CONSULTANTS

DEPARTMENT
CONTRACT SPACE
 SITE DESIGN STUDIO
 15511 HOPKIN AVE #102
 FONTANA, CA 92327

DRAWINGS ISSUE
 DATE DESCRIPTION DELTA
 08.24.23 1ST PC RESPONSE SUBMITTAL

DATE: 08.24.2023
 DRAWN: BFM
 REVISION: BFM
 PROJECT NO: 16/0121/001
 SCALE: AS SHOWN

SHEET TITLE
IRRIGATION SPECIFICATIONS

SHEET NO.
L - 1.4

PART 3 - EXECUTION REQUIREMENTS

3. GENERAL INSTALLATION REQUIREMENTS

- A. Before work commences, schedule a pre-construction meeting with Owner, General Contractor, and Landscape Architect to discuss general details of the work.
- B. Verify dimensions and grades at job site before work is commenced.
- C. During the progress of the work, a competent superintendent and any assistants necessary shall be on-site at all installation of Owner. The superintendent shall not be engaged except with consent of Owner. All work prior to installation shall be completed to the satisfaction of the superintendent shall be as binding as if given by Contractor.
- D. Work indicated or noted on Drawings shall be provided whether or not specifically mentioned in the Specifications.
- E. If there are ambiguities between Drawings and Specifications, and specific interpretation or clarification is not issued prior to bidding, the interpretation or clarification will be made only by Owner, and Contractor shall comply with the decisions. In the event the installation contradicts the decisions given, the installation shall be corrected by Contractor at no additional cost to Owner.
- F. Layout of sprinkler lines shown on Drawings is diagrammatic. Location of sprinkler equipment is contingent upon and subject to integration with other equipment utilities. Contractor shall verify all data contained in the Contract Documents and shall verify this information at the construction site to confirm the manner by which it relates to the installation.
- G. Coordinate the installation of all sprinkler materials, including pipe, with the Landscape Drawings to avoid conflict with the trees, shrubs, or other planting material.
- H. Do not proceed with the installation of the sprinkler system when it is apparent that obstructions or grade differences exist or if conflict in construction details, legend, or specific notes are discovered. All such obstructions, conflicts, or discrepancies shall be brought to the attention of Owner's Authorized Representative.
- I. Redesign, or repair to the satisfaction of Owner, of existing paving disturbed during the course of this work. Work shall be done to same type, strength, texture, finish, and be equal in every way to the material removed.
- J. Owner retains the right to make temporary repairs as necessary to keep equipment in operating condition while working. Only Contractor is responsible for relieving Contractor of its responsibilities during the guarantee shall not be affected.
- K. Sprinkler heads will require installation of anti-drain devices to prevent backflow drainage.
- L. Coordinate the installation of all sprinkler materials, including pipe, with the Landscape Drawings to avoid conflict with the trees or other planting.

3.2 OBSERVATION OF SITE CONDITIONS

- A. Scaled dimensions are approximate. The Contractor shall check and verify all size dimensions and receive approval from the Owner's Authorized Representative prior to proceeding with work under the Section.
- B. Exercise extreme care in excavating and working near existing utilities. The Contractor shall be responsible for damages to utilities, which are caused by its operations or neglect. Check existing utilities drawings for exact utility locations.
- C. Coordinate installation of sprinkler irrigation materials including pipe, valves, and sprinkler heads with utilities or other construction or difficulty in planting trees, shrubs, and ground covers.
- D. The Contractor shall carefully check grades to satisfy that they be fully marked, proceed before starting work on the irrigation system. Any discrepancies between the drawings and actual site conditions shall be brought to the attention of the owner prior to proceeding with the work.

3.3 PREPARATION

- A. Physical Layout:
 - 1. Prior to installation, the Contractor shall stake out all pressure supply lines, routing and location of sprinkler heads.
- B. Water Supply:
 - 1. Layouts shall be reviewed by the Owner's Authorized Representative prior to installation.
 - 2. Connections shall be made at the approximate location(s) shown on the Drawings. The Contractor is responsible for minor changes caused by actual site conditions.
- C. Electrical Supply:
 - 1. Electrical connections for any and all irrigation controllers shall be made to electrical panels or connections as indicated on the Drawings.
 - 2. Connections shall be made at the approximate location(s) shown on the Drawings. The Contractor is responsible for minor changes caused by actual site conditions.

3.4 INSTALLATION

- A. Trenching:
 - 1. Dig trenches straight and support pipe continuously on bottom of trench. Lay pipe to an even grade. Trenching excavation shall follow layout indicated on the Drawings and as noted.
 - 2. Provide for a minimum of eighteen (18) inches cover for all pressure supply lines of two and one-half (2 1/2) nominal diameter or smaller.
 - 3. Provide for a minimum of twenty-four (24) cover for all pressure supply-lines of three-inch (3") nominal diameter or larger.
 - 4. Provide for a minimum of twelve inches (12") for all non-pressure lines.
 - 5. Provide for a minimum cover of eighteen inches (18") for all controlling piping.
 - 6. Provide for a minimum cover of eighteen inches (18") for all communication cable conduits.
- B. Backfilling:
 - 1. The trenches shall not be backfilled until all required tests are performed. Trenches shall be carefully backfilled with the excavated materials applied for backfilling, consisting of earth, loam, sandy clay, sand, or other approved materials, free from large clumps of earth, stones, basal or the mechanically compacted in landscape areas to a dry density equal to adjacent undisturbed soil in draining areas. Backfill will conform to adjacent grades without gaps, voids, or other surface irregularities.
 - 2. A fine granular material backfill will be initially placed on all lines, no longer material larger than one-half (1/2) inch (1/2") in size will be permitted in the initial backfill.
 - 3. Backfilling of trenches will be permitted only with approval of the Owner's Authorized Representative.
 - 4. If settlement occurs and necessitates adjustments in pipe, valves, sprinkler heads, lawn, plantings, or other installed work, the Contractor shall make all required adjustments without cost to Owner.
 - 5. Trenching and Backfill Under Paving:
 - 1. Trenches located under areas where paving, asphaltic concrete, or concrete will be installed, shall be backfilled with sand to a depth six inches (6") below the pipe and three inches (3") above the pipe and compacted to 95% compaction using manual or mechanical tamping devices. Trenches for piping shall be compacted to equal the compaction of the existing adjacent areas and shall be backfilled in firm, unyielding condition. Trenches shall be left flush with the adjoining grade. The Contractor shall set in block-top and pressure seal all pipes under paving prior to the paving work.
 - 2. Generally, paving under existing walks is done by jacking, boring, or hydraulic driving, but where any cutting or breaking of sidewalks and/or concrete is necessary, it shall be done and replaced by the Contractor as a part of the Contract. Note: Permission to cut or break sidewalks and/or concrete shall be obtained from the Owner's Authorized Representative. No hydraulic driving will be permitted under concrete paving.

- 3. Provide for a minimum cover of eighteen inches (18") between the top of the pipe and the bottom of the aggregate base for all pressure and non-pressure piping installed under asphaltic concrete paving.
- 4. PVC Pipe and Fittings:
 - 1. Install PVC pipe and fittings in accordance with manufacturer's recommendations.
 - 2. Install sprinkler heads on PVC pipe as indicated on Drawings.
 - 3. Prepare of solder-and-lead joints with manufacturer's primer prior to applying solder.
 - 4. Allow soldered-joint pipes at least 15 minutes de-aerating time before moving or handling.
 - 5. Partially center-bore pipe as trenches to prevent warping and shifting when water pressure is on.
 - 6. Do not paint pipe in pipe until a period of at least four (4) hours have elapsed for solvent/welding setting and curing, unless recommended otherwise by solvent manufacturer.
- 5. Pipe backfilling when pipes are used:
 - 1. Pipe can be backfilled by compacting the system for a short time before backfill, or by backfilling in the early part of the morning before the heat of the day.
- 6. Curing:
 - 1. When the temperature is above 80°F, allow de-aerated joints at least 24 hours curing the time before water is introduced under pressure.
 - 2. When temperature is below 80°F, allow manufacturer's recommendations.
- 7. Assemblies:
 - 1. Reading of sprinkler heads is indicated on the Drawings is diagrammatic. Install lines (and various assemblies) in such a manner as to conform to the details per the Drawings.
 - 2. Install NO multiple assemblies in plastic lines. Provide each assembly with its own outlet.
 - 3. Install all assemblies specified herein in accordance with respective detail. In absence of detail drawings or Specifications pertaining to specific items required to complete work, perform such work in accordance with best standard practice with prior approval of Owner's Authorized Representative.
- 8. PVC to Metal Connections:
 - 1. On PVC to metal connections, the Contractor shall work to metal connections first. Follow tags to approved equal, shall be used on all threaded PVC to PVC, and on all threaded PVC to metal joints. 1/2" air wrench pressure is all that is required. Where threaded PVC connections are required, use threaded PVC adapters and which the pipe may be welded.
- 9. Field Joints & Sleeves:
 - 1. Coordination: Sleeving shall be considered existing only when installed under another contract. For all other installations, provide material and conditions consult and sleeve installation with other trades as required to make smooth construction sequences.
 - 2. Consult: Furnish and install detail where control valves pass under or through walls, walks and paving. Consult to be of adequate size to accommodate removal for repair of wiring and shall extend 12 inches beyond edge of walk and pavement.
 - 3. Sleeving: Install sleeves for all pipes passing through or under walls and paving as shown on the Drawings. Sleeving to be of adequate size to accommodate removal of wiring and shall extend 12 inches beyond edge of paving or other construction.
- 10. Line Clearance:
 - 1. All lines shall have a minimum clearance of six inches (6") from each other and from lines of other trades. Parallel lines shall not be installed directly one over another.

- K. Weather Sensitive Irrigation Controller Setup, Schedule and Program:
 - 1. Preliminary irrigation controller setup, schedule and program shall be provided by the installing contractor through the client's installation period.
 - 2. At the end of the plant establishment period and turnover of the project, the irrigation controller setup, scheduling and programming shall become the responsibility of the landscape maintenance contractor.
- L. Electric Control Valves and Master Valves:
 - 1. Install electric control valves and master valves where shown on the Drawings, where grouped together with other valve boxes, allow at least twelve inches (12") between adjacent valve boxes.

- 2. Provide identification tags to electric control valves. Electric control valves shall be connected to controller in numerical sequence as shown on the Drawings.
 - 1. Each valve number shall be indicated on each valve box cover and one-half (1/2) inch (1/2") tall letters. Master valve box covers shall be back-branded with the Contractor assignment. Backing unit available from Hydroscape Products, Inc. and master number (714) 628-1650.
 - 2. Provide recycled water warning tags to electric control valves and master valves as indicated in the drawings.
 - 3. Quick Coupling Valves:
 - 1. Locate and install quick coupling valves as indicated in the drawings.
 - 2. Provide recycled water warning tags to quick coupling valves and master valves as indicated in the drawings.
 - N. Ball Valves:
 - 1. Locate and install ball valves as indicated in the drawings.
 - O. Check Valves:
 - 1. Locate and install check valves of the size and type as indicated in the drawings.
 - 2. Provide and install additional check valves as directed by the Owner's Authorized Representative to prevent and minimize back flow head damage after shut down of irrigation system.

- P. Flushing of System:
 - 1. After all new sprinkler pipelines and risers are in place and connected, all necessary check work has been completed, and prior to installation of sprinkler heads, the control valves shall be opened and full head of water used to flush out the system.
 - 2. Sprinkler heads shall be installed only after flushing of the system has been accomplished to the complete satisfaction of the Owner's Authorized Representative.
- Q. Solder Heats:
 - 1. Install the sprinkler heads as designated on the Drawings. Sprinkler heads to be installed in hot water shall be equivalent in all respects to those listed.
 - 2. Spacing of heads shall not exceed the maximum indicated on the Drawings. In no case shall a head be spaced beyond the maximum recommended by the manufacturer.
 - 3. Sprinkler heads shall be perpendicular to finish grade of the area to be irrigated unless otherwise specified on the drawings.

- S. In-Line Drop Irrigation System:
 - 1. Verify existing field dimensions of the area to be irrigated in the plan for accuracy. Begin dripper tubing layout 2' to 3' away from both north-south lines, corners, easements, walls, windows, and/or existing structures, etc., around all buildings. Mark tubing marks on the ground with flags, paint, or some other markings that can be removed without the installation.
 - 2. Dripper tubing shall be installed per irrigation construction details as shown on drawings.
 - 3. Install underground piping horizontally and as level as possible to a minimum depth of 3" and maximum depth of 5" unless otherwise specified. Optimum pipe depth is 4".
 - 4. As much as possible, supply and exhaust headers shall be installed perpendicular to controls.
 - 5. As much as possible, dripper tubing shall be installed parallel with controls.

- 6. Dripper tubing can be installed with the water column being upward or downward. Place dripper outlets in such a manner as to form a triangular pattern between parallel tubing lines. In irregular areas, some water outlets may need to be close to the improvements and may have to be capped with a dripper plug/riser.
- 7. Connect dripper tubing to barbed fittings by pushing on and over both ends until the tubing has seated against another piece of tubing. Inserted pieces of tubing should be cut to the barbed fitting. For water pressures in excess of the 45 psi, use stainless steel clamps as noted in paragraph 3. "Pipe Clamping" on all barbed fittings.
- 8. When design operating pressure exceeds 45 psi, stainless steel pipe clamps shall be used. Slip clamps over tubing before adding tubing over metal barbed fitting. Place clamp over the fitting and secure region of the barbed fitting and crop the "ear" of the clamp firmly. Crop the "ear" back to the same pipe setting.
- 9. Install a pressure regulator below grade, downstream, and in line with the remote control valve. Whenever possible, place the pressure regulator in the same valve box location for remote inspection. Place the regulator with the flow indicated on the side of the body pointing in the direction of the flow of water. Provide straight tubing on the outside of the regulator for a diameter no larger than three lengths of the overall body dimension.
- 10. Install the disc (flat) horizontally level, below grade and before and after the remote control valve as indicated in the installation details. The position of the disc filter in the valve box shall be designed to allow for removal of the disc filter for periodic servicing. Refer to the installation details for the size of the valve box.

- 11. Install the airvacuum relief valve below grade and at the highest elevation within each zone. Depending on the valve condition, lubrication and adjustment of the airvacuum relief valve may be required. The airvacuum relief valve shall be a 1/2" x 3/4" SCH 40 PVC reduction tubing and thread this assembly to a 1/2" x 1/2" heavy adapter with a 3/4" (NPT) outlet. Place the valve within a round valve box with a backing cover and a 1 cu. Ft. 3/4" gravel surge as noted on the details. Additional flow: backfill tubing may be necessary when design the dripper tubing along on mounds or berms with more than a 3' elevation difference. Blank tubing tubing shall be connected perpendicular to the dripper tubing with a short tee from the lowest elevation of dripper tubing to the highest point of the mound where the airvacuum relief valve is located. This airvacuum relief valve serves to collect and transport trapped air bubbles or release vacuum in lower elevation dripper tubing parallel to the dripper tubing located at the high point in the system. Locate an airvacuum relief valve lateral for each berm within the system.
- 12. Prior to backfilling and before connection of the line flushing valves. Flush the entire system in reverse or any set of sediments that may have entered the system during the installation.
- 13. The line flushing valve horizontally level and below grade at the hydraulic hammering position in each system. Locate it in a valve box with the dimensions of the valve fitting upward. Include a minimum of 1 cu. Ft. of 3/4" crushed rock in the bottom of the valve box per construction detail.
- 14. Prior to backfilling, open the remote control valve and operate each circuit to check for leakage around both barbed and threaded PVC fittings. Make necessary corrections to stoppages.
- 15. Remove those systems where leaks were corrected before commencing backfilling operations.

3.5 TEMPORARY REPAIRS

The Owner reserves the right to make temporary repairs as necessary to keep the irrigation system equipment in operating condition. The exercise of this right by the Owner shall not relieve the Contractor of his responsibilities under the terms of the guarantee or warranty specified.

3.6 EXISTING TREES

- A. Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees and tree roots. Excavation in areas where two-inch (2") and larger roots occur shall be done by hand. Roots two inches (2") and larger in diameter, except directly in the path of pipe or conduit, shall be turned under and shall be heavily wrapped with burlap to prevent drying or rotting. Where any roots are within one foot (1') run close to trees having roots smaller than two inches (2") in diameter, the wall of the trench shall be covered with burlap to prevent drying or rotting. Roots one inch (1") and larger in diameter shall be paired with two coats of Tree Seal or equal. Trenches dug down to a depth of 24 inches (24") or more shall be backfilled with earth in the immediate side of the trench adjacent to the trees shall be kept shaded with burlap or canvas.

3.7 FIELD QUALITY CONTROL

- A. Adjustment of the System:
 - 1. The Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and buildings as much as possible.
 - 2. If it is determined that adjustments to the irrigation equipment will provide proper and more adequate coverage, the Contractor shall make such adjustments prior to planting. Adjustments may also include changes in nozzle sizes and degrees of arc as required.
 - 3. Lowering raised sprinkler heads by the Contractor shall be accomplished within 10 (10) days after installation by the Owner.
 - 4. Sprinkler heads shall be perpendicular to finished grades unless otherwise designated on the Drawings.

- B. Testing of the Irrigation System:
 - 1. The Contractor shall not begin the presence of the Owner's Authorized Representative in writing at least 48 hours in advance of testing.
 - 2. Test all pressure lines under hydrostatic pressure of 150 pounds per square inch and prove watertight. No pipe shall be backfilled until it has been observed, tested, and approved in writing.
 - 3. Note: Testing of pressure main lines shall occur prior to installation of the electric control valves.
 - 4. Flushing under paved areas shall be under hydrostatic pressure of 150 pounds per square inch and prove watertight prior to determining the water coverage for existing areas.
 - 5. Flushing under paved areas shall be under hydrostatic pressure of 150 pounds per square inch and prove watertight prior to determining the water coverage for existing areas.
 - 6. Flushing under paved areas shall be under hydrostatic pressure of 150 pounds per square inch and prove watertight prior to determining the water coverage for existing areas.
- C. Hydrostatic tests shall be made only in the presence of the Owner's Authorized Representative. No pipe shall be backfilled until it has been observed, tested, and approved in writing.
- D. Furnish necessary force pump and all other test equipment.

When the irrigation system is completed, perform a coverage test in the presence of the Owner's Authorized Representative to determine if the water coverage for existing areas is complete and adequate. The coverage test shall be accomplished using a contractor furnished radio remote receiver and transmitter to turn each control valve on to observe sprinkler coverage and then to read the control valve of when coverage test of that system is complete. Furnish all materials and perform all work required to correct any inadequacies of coverage due to variations from the Drawings, or where the system has been fully installed as indicated on the Drawings when it is already inoperative. Without completion of each phase of work, the entire system shall be tested and adjusted to meet all requirements. The contractor shall provide an irrigation water schedule for plant establishment as well as any subsequent schedule changes for review and approval by owner. Approval of irrigation schedule includes only the schedule for plant establishment. The final irrigation schedule shall be established on the basis of the information submitted. Any adjustments to the schedule shall be plans after all water needs or changes in weather conditions shall be the responsibility of the contractor.

3.8 MAINTENANCE

- A. The entire irrigation system shall be under full automatic operation for a period of seven (7) days prior to any planting.
- B. The Owner's Authorized Representative reserves the right to waive or shorten the operation period.

3.9 CLEANUP

- A. Cleanup shall be made as each portion of work progresses. Refuse and excess dirt shall be removed from the site. All walks and drivings shall be broomed or washed down, and any damage caused by the work of others shall be repaired to original conditions.

3.10 FINAL SITE OBSERVATION REPORT TO ACCEPTANCE

- A. The Contractor shall complete each system in its entirety for the Owner's Authorized Representative at time of final observation. Any items deemed not acceptable by the Owner's Authorized Representative shall be reworked to the complete satisfaction of the Owner's Authorized Representative.

3.11 CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE THAT THE OWNER HAS RECEIVED ALL ACCESSORIES, ORAINS, RECORDS, AND EQUIPMENT AS REQUIRED BEFORE FINAL OBSERVATION CAN OCCUR.

3.11 SITE OBSERVATION SCHEDULE

- A. The Contractor shall be responsible for notifying the Owner's Authorized Representative in advance for the following observation meetings, according to the time indicated:
 - 1. Pre-Work Conference - seven (7) days
 - 2. Pressure supply line installation and testing - 48 hours
 - 3. Irrigation controller installation - 48 hours
 - 4. Irrigation controller activation and scheduling - 48 hours
 - 5. Final field observation - 48 hours
 - 6. Water line and sprinkler installation - 48 hours
 - 7. Plant of construction installation - 48 hours
 - 8. Master Valve, basket strainer and flow sensor installation - 48 hours
 - 9. Final sensor conduct installation - 48 hours
 - 10. Coverage test - 48 hours
 - 11. Final site observation - seven (7) days

When site observations have been conducted by a party other than the Owner's Authorized Representative, allow evidence in writing of when and why these observations were made.

Prior to walking irrigation system with Owner's Authorized Representative, the Contractor shall pre-walk irrigation system with its own crew to ensure compliance with plans and specifications. The Contractor shall observe these items shown on the construction observation checklist below and initial and date that all items observed are in accordance with plans and specifications. This list shall be presented to the Owner's Authorized Representative prior to the final installation walkthrough with the Owner's Authorized Representative.

No site observations will be conducted without record drawings or Construction Observation Check List. In the event the Contractor calls for a site visit without record drawings or Construction Observation Check List, without completing necessary record conditions, or without preparing the system for site visit, it shall be responsible for reimbursing the Owner's Authorized Representative at its current hourly billing rate, partial or partial (per transportation costs), for the non-recovery. No further site observations will be scheduled until this change has been paid and received.

The following field test and accuracy form shall be prepared with the Contractor's Internship. The form shall be completed by the contractor and sent to the site of the installation shown on the sample checklist form shown on this page.

DATE: 08.24.2023

DRAWN: BFM

REVISION: BFM

PROJECT NO: 16/0121/001

SCALE: AS SHOWN

SHEET TITLE
IRRIGATION SPECIFICATIONS

SHEET NO.

L - 1.4



CONSULTANT
ICON ATELIER INC.
 TEL: (714) 881-0625
 icona@icona.com

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CLIENT
B&K ROAD SERVICE
 15480 JACKSON DRIVE,
 FONTANA, CA 92336

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
 15511 BOYLE AVENUE,
 FONTANA, CA 92337

SEAL AND STAMP



ASSOCIATE CONSULTANTS

DEPARTMENT OF PUBLIC WORKS
 COUNTY OF SAN BERNARDINO

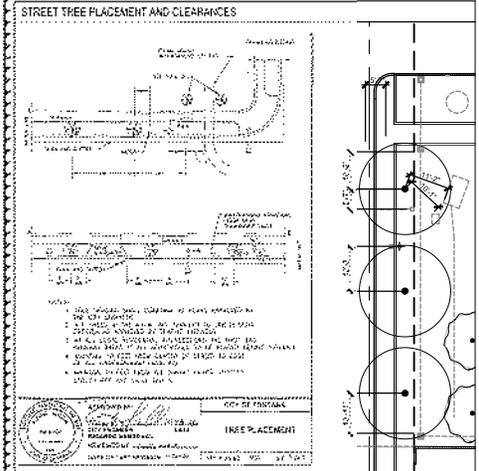
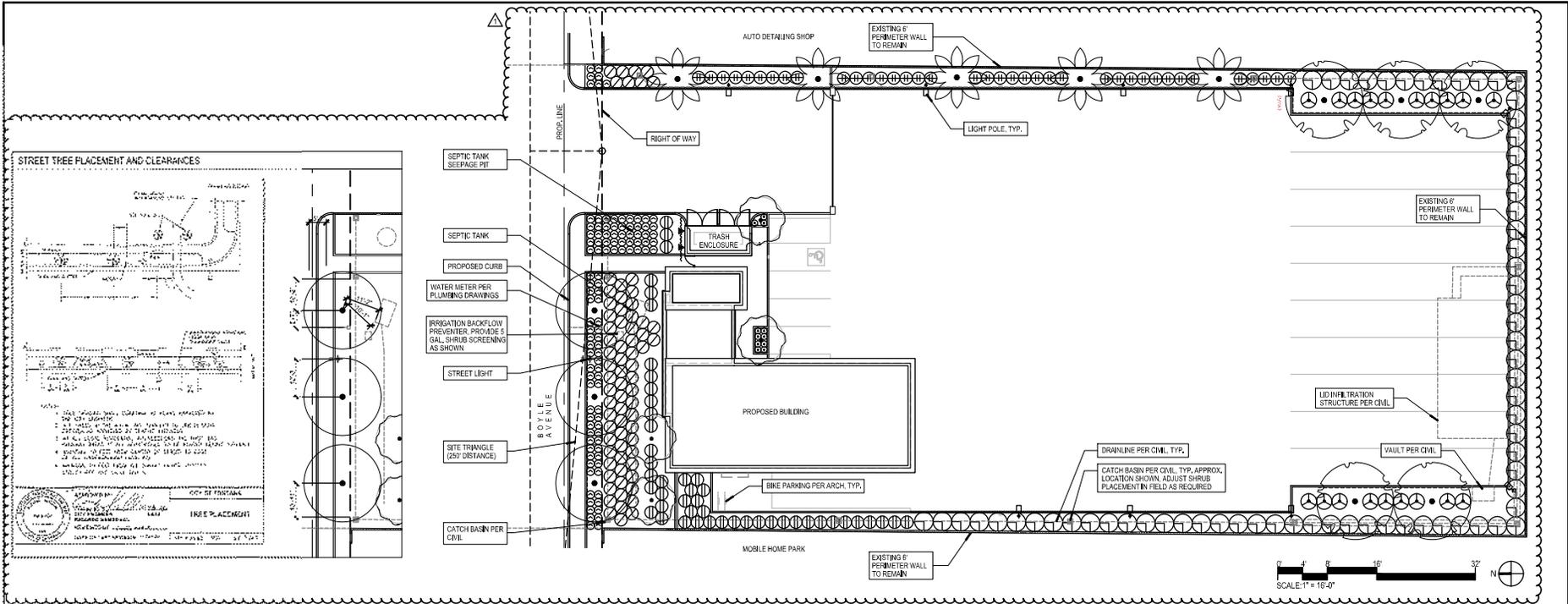
SITE DESIGN STUDIO

DRAWINGS ISSUE
 DATE DESCRIPTION DELTA
 08.24.23 1ST PC RESPONSE SUBMITTAL

DATE: 08.24.2023
 DRAWN: BFM
 REVIEWED: BFM
 PROJECT NO: 160121/001
 SCALE: AS SHOWN

SHEET TITLE
PLANTING PLAN

SHEET NO.
L - 2.0



- GENERAL PLANTING NOTES**
- VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK.
 - CONTRACTOR SHALL APPLY A CONTACT HERBICIDE WHERE WEEDS ARE PRESENT PER MANUFACTURERS SPECIFICATIONS A MINIMUM OF TEN (10) DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. WEEDS SHALL BE ALLOWED TO COMPLETELY DIE BACK, INCLUDING THE ROOTS BEFORE PROCEEDING WITH WORK.
 - REMOVE WEEDS AND GRASSES AND PROPERLY DISPOSE OF WASTE AT A LICENSED DUMP SITE.
 - LANDSCAPE CONTRACTOR TO PROVIDE THE FOLLOWING SUBMITTALS FOR REVIEW AND APPROVAL:
 - SOILS REPORT (SEE SHEET L-2.0)
 - PHOTOGRAPHS OF PLANT MATERIAL 15 GALLON AND SMALLER (SHRUBS) WITH NURSERY LOCATION
 - PHOTOGRAPHS OF TREES WITH DIMENSIONS AND NURSERY LOCATION FOR TAGGING
 - CUT SHEETS OF ALL PROPOSED DRY GOOD MATERIALS INCLUDING BUT NOT LIMITED TO TREE STAKES, TREE TIES, PLANT TAGS, EROSION CONTROL MAT, MULCH, AMENDMENT, SITE NETTING
 - NO SUBSTITUTIONS FOR PLANT MATERIAL SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. IF SPECIFIED PLANTS ARE UNAVAILABLE, CONTRACTOR SHALL PROVIDE ALTERNATIVE AVAILABLE SIZE OR SPECIES FOR CONSIDERATION.
 - INSTALL BROODGRADABLE OPEN WEAVE JUTE MESH IN ALL LANDSCAPE AREAS EXCEEDING 4% SLOPE.
 - LANDSCAPE ARCHITECT SHALL HAVE THE OPPORTUNITY TO INSPECT AND APPROVE ALL SPECIMEN AND BOX MATERIALS AT JOB SITE PRIOR TO PLANTING. ALL UNACCEPTABLE MATERIAL SHALL BE REMOVED FROM JOB SITE AND REPLACED WITH ACCEPTABLE MATERIAL AT CONTRACTOR'S EXPENSE.
 - LANDSCAPE ARCHITECT SHALL APPROVE FINAL PLACEMENT OF TREES PRIOR TO PLANTING. CONTRACTOR SHALL GIVE AT LEAST THREE (3) BUSINESS DAYS NOTICE FOR PLANT LAYOUT APPROVAL.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEY OR DAMAGE TO PLANT MATERIAL ONCE PLANT MATERIAL IS DELIVERED TO THE JOB SITE. PROVIDE PROPER MEASURES TO SECURE AND PROTECT MATERIAL. A REPRESENTATIVE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK SUPPLIER, SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.
 - AFTER PLANTING IS COMPLETE BUT PRIOR TO INSTALLING BARK MULCH OR AGGREGATE MULCH, APPLY GRANULAR FERTILIZER/SMITHITE AT MANUFACTURER SUGGESTED RATE. PENICILLIN, BONER, OR SNAPSHOT IN ALL SHRUB AND GROUND COVER AREAS. APPLY 2" MIN. LAYER OF MULCH. FOREST BLEND BY WOLFENBARGER'S BROS-2745.
 - KEEP MULCH 1' CLEAR FROM ALL PLANT MATERIAL, EXCEPT ORNAMENTAL GRASSES.
 - ALL AREAS SHALL BE GRADED TO SLOPE TO CATCH BASINS OR FLOW LINES AS INDICATED ON THE CIVIL PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. SOIL SHALL BE 1.5' BELOW ADJACENT HEADERS AND PAVING IN GROUND COVER AREAS.
 - UPON COMPLETION OF ALL PLANTING OPERATIONS, THE PORTION OF THE PROJECT USED FOR THE APPARATUS OF THE WORK SHALL BE CLEANED OF ALL DEBRIS, SUPERFLUOUS MATERIAL, AND EQUIPMENT. ALL SUCH MATERIALS AND EQUIPMENT SHALL BE ENTIRELY REMOVED FROM THE PROJECT SITE. PAVING SHALL BE WASHED CLEAN AT THE COMPLETION OF WORK.
 - UPON COMPLETION OF PLANTING, THE CONTRACTOR SHALL ARRANGE FOR A SUBSTANTIAL COMPLETION INSPECTION BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL CORRECT ANY DISCREPANCIES FOUND PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF THE PROJECT.
 - CONTRACTOR SHALL INCLUDE AND PERFORM A 90 DAY MAINTENANCE PERIOD UPON SUBSTANTIAL COMPLETION OF THE ENTIRE SCOPE OF WORK. MAINTENANCE PERIOD IS FOR THE ENTIRE SITE. NO INDIVIDUAL PORTIONS WILL BE RELEASED UNDER A SEPARATE MAINTENANCE PERIOD PRIOR TO WRITTEN APPROVAL. IF PROVIDED, DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED WITHIN ONE WEEK DURING THE MAINTENANCE PERIOD. GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR REPLACEMENT AFTER FINAL INSPECTION AS FOLLOWS:
 - 15 GAL. AND SMALLER-30 DAYS
 - 24" BOX AND LARGER-90 DAYS
 - UPON FINAL ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER SIGNED ORIGINALS OF ALL MATERIALS AND LABOR RELEASES.
 - PLANT QUANTITIES IN LEGEND ARE FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE AND INSTALL ALL PLANT MATERIAL SHOWN ON PLANS.

SITE AREA CALCULATION

TOTAL SITE AREA:	46,939 SF (LOT AREA)
	-3431 SF (BUL. DINGS)
	-203 SF (LOADING ZONE)
	42,805 SF = TOTAL SITE AREA

PLANTING REQUIREMENTS

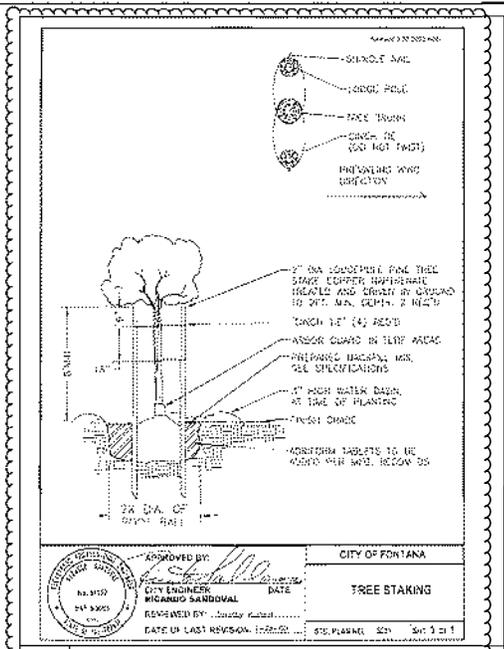
ITEM	REQUIRED	PROVIDED
MINIMUM LANDSCAPE AREA	15% OF TOTAL SITE AREA 42,805 SF x 0.15 = 6,421 SF	8,287 SF
MINIMUM # OF TREES	1 TREE / 500 SF OF LANDSCAPED AREA 8,287 SF / 500 SF = 17 TREES	17 TREES
MINIMUM PLANT SIZES	TREES (17 TOTAL) 50% 15 GALLON = 9 TREES 40% 24 INCH BOX = 7 TREES 10% 30 INCH BOX = 1 TREES	TREES 15 GALLON = 0 TREES 24 INCH BOX = 14 TREES 30 INCH BOX = 3 TREES
	SHRUBS (360 TOTAL) 50% 5 GALLON = 180 50% 1 GALLON = 180	SHRUBS 5 GALLON = 184 1 GALLON = 176
STREET TREES IN PARKWAY	1 TREE (24" BOX) WILL PER EACH 30 LF OF STREET FRONTAGE 150 LF = 5 TREES	DUE TO WIDTH OF TRUCK DRIVE AND TURNING RADI 3 TREES ARE PROVIDED IN PARKWAY WITH 2 ADDITIONAL TREES IN ADJUTING YARD (5 TREES TOTAL)

SHRUB AND GROUND COVER LEGEND

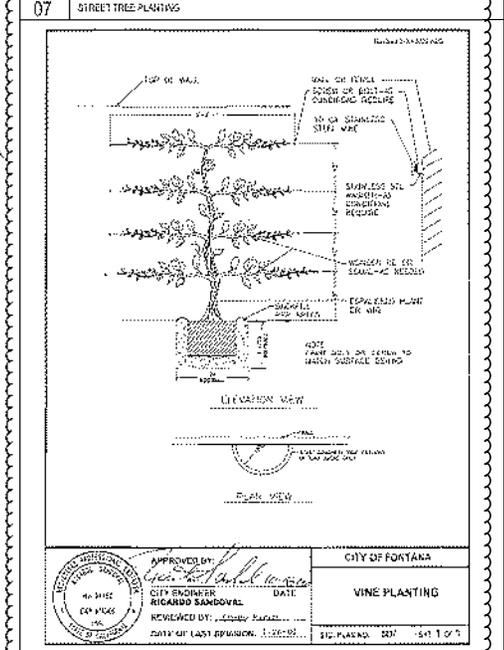
SYMBOL	BOTANIC NAME COMMON NAME	SIZE	QTY.	WATER REQ.	DETAIL
☉	ACACIA REDOLENS 'LOW BOY' PROSTRATE ACACIA	5 GAL	19	LOW	02 / L-2.1
⊙	AMISOZANTHOS 'BUSH DAWN' YELLOW KANGAROO PAW	5 GAL	11	LOW	
⊙	CAREX TUMULUCOLA BERKLEY SEDGE	1 GAL	105	LOW	
⊙	ELEAGNUS PLUNGENS 'FRUITLANDIF' FRUITLAND SILVERBERRY	5 GAL	68	LOW	
⊙	LANTANA SELLOWIANA LANTANA	1 GAL	72	LOW	
⊙	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS SAGE	5 GAL	48	LOW	
⊙	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GAL	38	LOW	
⊙	MACFADYENA UNGUIS-CATI CAT'S CLAW VINE	5 GAL	2	LOW	09 / L-2.1

TREE LEGEND

SYMBOL	BOTANIC NAME COMMON NAME	SIZE	QTY.	WATER REQ.	DETAIL
☉	BRACHYCHITON POPULNEUS BOTTLE TREE	24" BOX STD.	5	LOW	07 / L-2.1
☉	CHITRALPA TASH-KENTENSIS CHITRALPA	24" BOX STD.	4	LOW	01 / L-2.1
☉	GLEDITSIA TRIACANTHOS VAR. INERMIS THORNLESS HONEY LOCUST	38" BOX STD.	3	LOW	01 / L-2.1
☉	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM	12" BTH	5	LOW	03 / L-2.1
---	ROOT BARRIER				06 / L-2.1

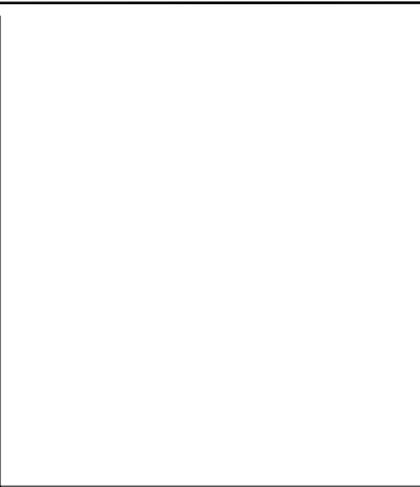


APPROVED BY: *[Signature]* DATE: _____
 CITY ENGINEER
RICARDO SANDOVAL
 REVIEWED BY: _____ DATE OF LAST REVISION: _____
 CITY OF FONTANA
TREE STAKING
 SHEET: 1 OF 1



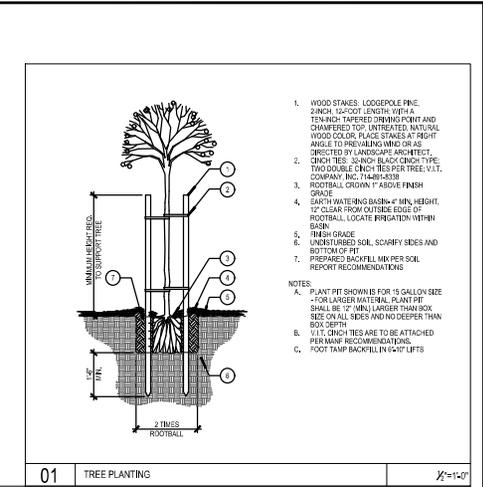
APPROVED BY: *[Signature]* DATE: _____
 CITY ENGINEER
RICARDO SANDOVAL
 REVIEWED BY: _____ DATE OF LAST REVISION: _____
 CITY OF FONTANA
VINE PLANTING
 SHEET: 1 OF 1

07 STREET TREE PLANTING 1/2"=1'-0"



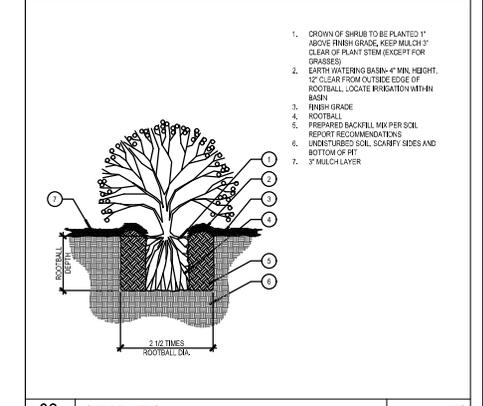
- 24" X 4" ROOT CONTROL BARRIER 3/4" DEEP ROOT 4 1/2" W/100, TOP OF BARRIER SHALL BE 1/2" BELOW FINISH GRADE AND SHALL NOT BE VISIBLE.
 - TREE ROOTBALL
 - ADJACENT HARDSCAPE
 - CONCRETE CURB AND GUTTER WHERE APPLICABLE
 - MATURE DRIP LINE OF TREE AS SHOWN PER PLAN
 - TREE TRUNK
- NOTES:
- USE ROOT BARRIERS EVERYWHERE THE CENTER OF TREE TRUNKS ARE PLANTED WITHIN 9' OF ANY HARDSCAPE ELEMENT (CURB, PARKING WALL, UTILITY, ETC.) OR WITHIN 1/3 X THE NOMINAL BOX SIZE.
 - POSITION ROOT BARRIER AS CLOSE TO HARDSCAPE ELEMENT AS POSSIBLE. DO NOT WRAP TREE ROOT BALL. ROOT BARRIER REBS SHALL BE FACING TOWARDS THE TREE.
 - LENGTH OF ROOT BARRIER SHALL BE EQUAL TO THE MATURE DROPLINE OF THE PARTICULAR TREE TO BE PLANTED AS DEFINED BY PLANTING PLAN SWIMS, SEE NOTE BY THE INCLUDED SITE.
 - APPLY MASTIC SEALER TO JOINT BETWEEN CONCRETE SURFACE AND ROOT BARRIER FOR ADDED ROOT PROTECTION AND TO AVOID SOIL AND DEBRIS FROM BEING TRAPPED BETWEEN BARRIER AND CONCRETE. HOLD BARRIER EDGE 1/2" FROM TOP OF CONCRETE.
 - ROOT BARRIERS TO BE CONTINUOUS WHERE MULTIPLE TREES ARE ALIGNED AND MEET CRITERIA OF NOTE 4.
 - INSTALL PER MANUFACTURERS RECOMMENDATIONS.

06 ROOT BARRIER 1/2"=1'-0"



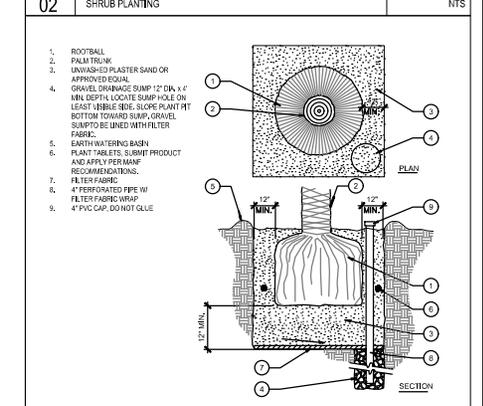
- WOOD STAKES, LOGS/POLE 1/2" X 2" MIN. LENGTH WITH A TAPERED TAPERED DRIVING POINT AND CHAMFERED TOP. INTEGRATED NATURAL WOOD COLOR. PLACE STAKES AT RIGHT ANGLE TO PREVAILING WIND OR AS DIRECTED BY LANDSCAPE ARCHITECT.
 - 3/4" CH. TES. SAWN BLACK CHINA TYPE TWO DOUBLE CHINA TES PER TREE. V.I.T. COMPANY, INC. 1-800-430-8338
 - ROOTBALL CROWN 1" ABOVE FINISH GRADE
 - EARTH WATERING BASIN 4" MIN. HEIGHT, 12" CLEAR FROM OUTSIDE EDGE OF ROOTBALL. LOCATE IRRIGATION WITHIN BASIN
 - FINISH GRADE
 - UNDISTURBED SOIL, SCARIFY SIDES AND BOTTOM OF PIT
 - PREPARED BACKFILL MIX PER SOIL REPORT RECOMMENDATIONS
- NOTES:
- PLANT PIT SHOWN FOR 15 GALLON SIZE - FOR LARGER MATERIAL PLANT PIT SHALL BE 2" MIN. LARGER THAN BOX SIZE ON ALL SIDES AND NO DEEPER THAN BOX DEPTH
 - 1/1.5" GROUND TES ARE TO BE ATTACHED PER MANUFACTURERS RECOMMENDATIONS.
 - ROOT TAMP BACKFILL IN 6" LIFTS

09 PALM TREE PLANTING 1/2"=1'-0"



- CROWN OF SHRUB TO BE PLANTED 1" ABOVE FINISH GRADE. KEEP BELOW 3" CLEAR OF PLANT STEM EXCEPT FOR DRUSES
- EARTH WATERING BASIN 4" MIN. HEIGHT, 12" CLEAR FROM OUTSIDE EDGE OF ROOTBALL. LOCATE IRRIGATION WITHIN BASIN
- FINISH GRADE
- ROOTBALL
- PREPARED BACKFILL MIX PER SOIL REPORT RECOMMENDATIONS
- UNDISTURBED SOIL, SCARIFY SIDES AND BOTTOM OF PIT
- 3" MULCH LAYER

01 TREE PLANTING 1/2"=1'-0"



- ROOTBALL
- PALM TRUNK
- UNWASHED PLASTER SAND OR APPROVED SOIL
- GRAVEL DRAINAGE SUMP 12" DIA. X 4" MIN. DEPTH LOCATE SUMP HOLE ON LEAST VISIBLE SIDE. SLOPE PLANT PIT BOTTOM TOWARD SUMP. GRAVEL SUMP TO BE UNED WITH FILTER FABRIC.
- EARTH WATERING BASIN
- PLANT TABLETS, SUBMIT PRODUCT AND APPLY PER MANF RECOMMENDATIONS.
- FILTER FABRIC
- 4" PERFORATED PIPE W/ FILTER FABRIC WRAP
- 4" PVC CAP, 60MM GLL

02 SHRUB PLANTING NTS

03 PALM TREE PLANTING NTS



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CLIENT
B&K ROAD SERVICE
 15480 JACKSON DRIVE,
 FONTANA, CA 92338

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
 15511 DUFFLE ACENUE,
 FONTANA, CA 92327

ASSOCIATE CONSULTANTS



DRAWINGS ISSUE
 DATE DESCRIPTION DELTA
 08.24.23 1ST PC RESPONSE SUBMITTAL

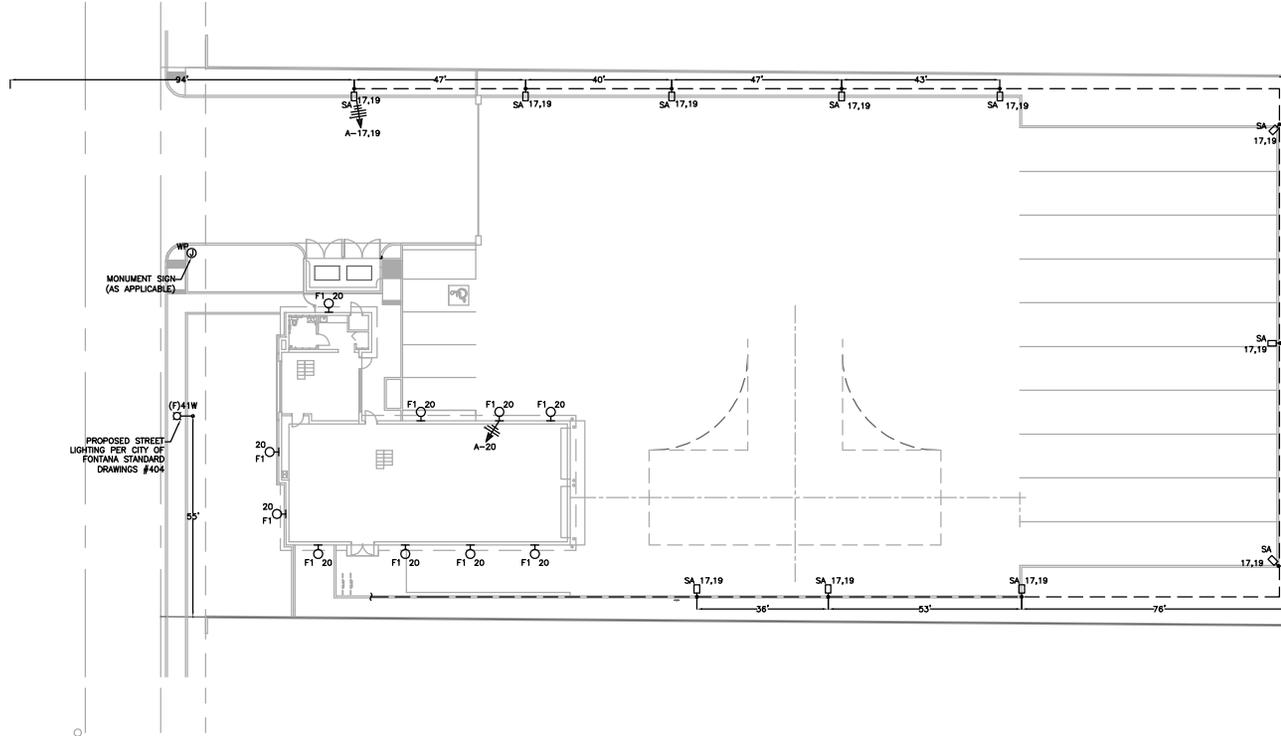
DRAWING NO. BFM
 REVIEWED BY: BFM
 PROJECT NO. 1A/0121/001
 SCALE: AS SHOWN

SHEET TITLE
PLANTING DETAILS

SHEET NO.
L - 2.1

GENERAL NOTES:

1. ALL EXTERIOR COMMERCIAL DOORS, DURING THE HOURS OF DARKNESS, SHALL BE ILLUMINATED WITH A MINIMUM OF ONE(1) FOOTCANDLE OF LIGHT. ALL EXTERIOR BULBS SHALL BE PROTECTED BY WEATHER AND VANDALISM-RESISTANT COVER(S).
2. OPEN PARKING LOTS, AND ACCESS THERETO, PROVIDING MORE THAN TEN(10) PARKING SPACES AND FOR USE BY THE GENERAL PUBLIC, SHALL BE PROVIDED WITH A MAINTAINING MINIMUM OF ONE(1) FOOTCANDLE OF LIGHT ON THE PARKING SURFACE FROM DUSK UNTIL THE TERMINATION OF BUSINESS EVERY OPERATING DAY.
3. ALL COMMERCIAL AND INDUSTRIAL BUILDINGS MUST DISPLAY, ON THE ROOF, THE ADDRESS OF THE BUILDING. IF THE BUILDING IS SUBDIVIDED INTO A MULTI-USE WITH A COMMON ROOF, EACH USE MUST BE IDENTIFIED WITH A NUMBER, LETTER, OR ITS INDIVIDUAL ADDRESS IS REQUIRED.



① EXTERIOR LIGHTING PLAN
SCALE: 1/16"=1'-0"

FOR REFERENCE ONLY



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iconpak@yahoo.com

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CLIENT
B&K ROAD SERVICE
15480 JACKSON DRIVE,
FONTANA, CA 92338

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
15817 BOYLE AVENUE,
FONTANA, CA 92337



ASSOCIATE CONSULTANTS
05.09.23 1ST PC RESPONSE SUBMITTAL
10.14.23 2ND PC RESPONSE SUBMITTAL

DRAWINGS ISSUE
DATE DESCRIPTION DELTA

DATE: 07/19/2023
DRAWN:
REVIEWED:
PROJECT NO:
SCALE:

SHEET TITLE
EXTERIOR LIGHTING PLAN

SHEET NO.
E-2.2



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B&K ROAD SERVICE
 15480 JACKSON DRIVE
 FONTANA, CA 92338

PROJECT
PROPOSED TRUCK TIRE REPAIR SHOP
 15817 BOYLE AVENUE
 FONTANA, CA 92337



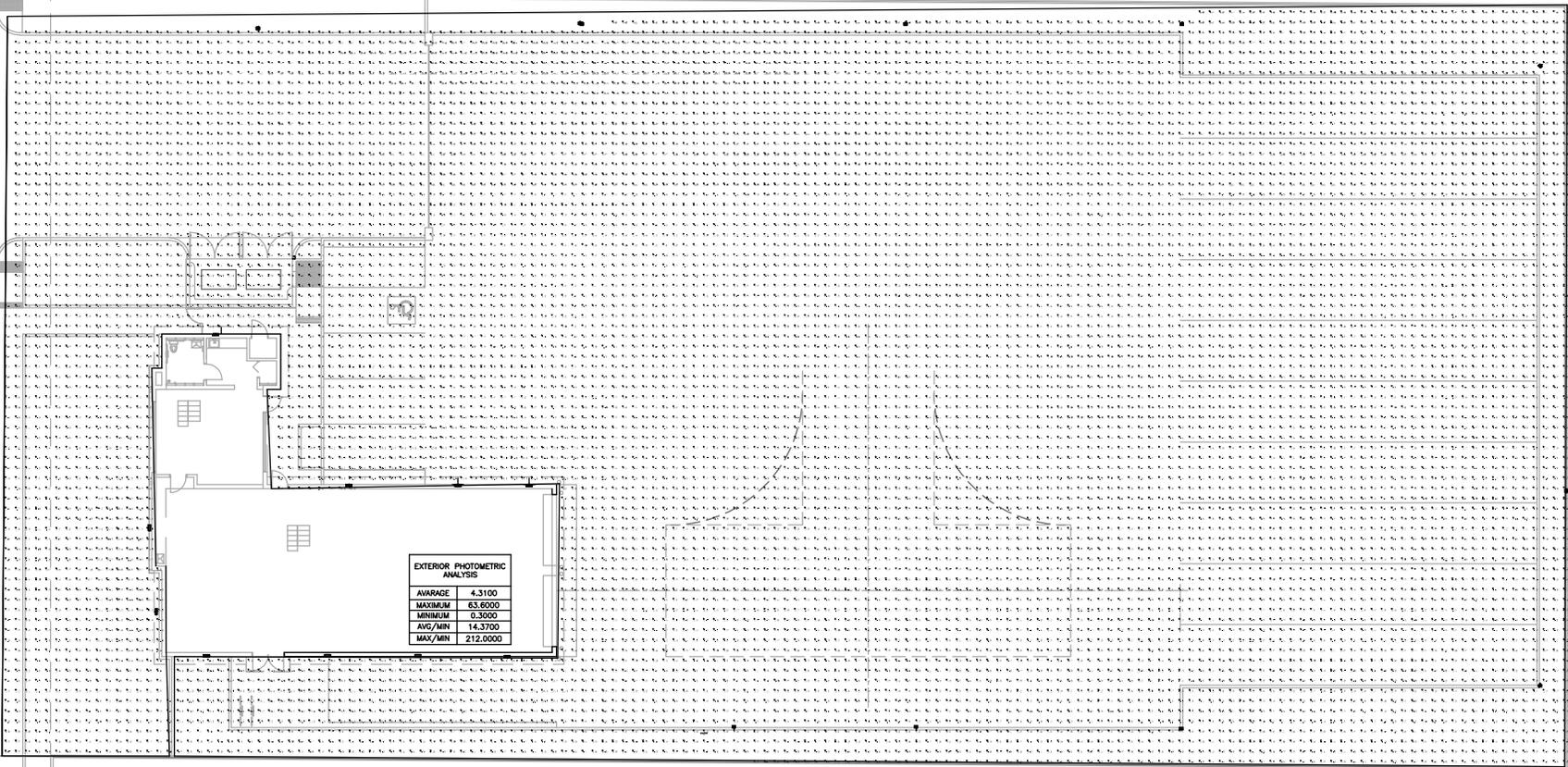
ASSOCIATE CONSULTANTS
 05.09.23 1ST PC RESPONSE SUBMITTAL
 10.14.23 2ND PC RESPONSE SUBMITTAL

DRAWINGS ISSUE
 DATE DESCRIPTION DELTA

DATE: 07/19/2023
 DRAWN:
 REVIEWED:
 PROJECT NO:
 SCALE:

SHEET TITLE
PHOTOMETRIC STUDY

SHEET NO.
E-3.2



① PHOTOMETRIC STUDY
 SCALE: 3/32"=1'-0"

FOR REFERENCE ONLY

RESOLUTION NO. PC 2026-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING CONDITIONAL USE PERMIT NO. 25-0021 TO ESTABLISH A TRUCK TIRE REPAIR USE AND APPROVING ADMINISTRATIVE SITE PLAN NO. 25-0031 FOR SITE AND ARCHITECTURAL REVIEW FOR THE DEVELOPMENT OF A 3,431 SQUARE FOOT TRUCK TIRE REPAIR BUILDING AND ASSOCIATED SITE IMPROVEMENTS, ON APPROXIMATELY 1.0 GROSS ACRES LOCATED AT 15817 BOYLE AVENUE, (APN: 0237-052-04) PURSUANT TO A CATEGORICAL EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION 15332.

WHEREAS, 15817 Boyle Avenue, also identified as Assessor Parcel Number (“APN”) 0237-052-04, (“Project Site”), was annexed from San Bernardino County into the City of Fontana on September 19, 2026; and

WHEREAS, on November 18, 2025, the City of Fontana (“City”) received an application from Partap Singh (“Applicant”) for a Conditional Use Permit (“CUP No. 25-0021”), to establish a truck tire repair use, and Administrative Site Plan (“ASP No. 25-0031”), to develop a new 3,341 square foot truck tire repair building and associated site improvements, at the Project Site (“Project”); and

WHEREAS, the Project Site has a General Plan land use designation of Light Manufacturing (I-L) and is located within the Southwest Industrial Park (“SWIP”) Specific Plan, Freeway Industrial/Commercial (FID) District which allows for such projects with a conditional use permit; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt pursuant to Section No. 15332 (Class 32, Infill Development) and Section No. 3.22 of the 2019 Local Guidelines for Implementing CEQA; and

WHEREAS, the City wishes to protect and preserve the quality of life throughout the City, through effective land use and planning; and

WHEREAS, the Conditions of Approval for Conditional Use Permit No. 25-0021 are attached hereto as “**Exhibit A**” and Administrative Site Plan No. 25-0031 are attached hereto as “**Exhibit B**” and incorporated herein by reference; and

WHEREAS, all of the notices required by statute and the Fontana Municipal Code (“FMC”) have been given as required; and

WHEREAS, the owners of property within 660 feet of the Project Site were notified via public hearing notice mailer prior to the public hearing; a notice of the public hearing was published in Fontana Herald newspaper on February 20, 2026, and was simultaneously displayed at City Hall; and

WHEREAS, on March 3, 2026, a duly noticed public hearing on CUP No. 25-0021 and ASP No. 25-0031, was held by the Fontana Planning Commission (“Planning Commission”) to consider testimony and evidence presented by the Applicant, City staff and other interested parties; and

WHEREAS, on March 3, 2026, the Planning Commission carefully considered all information, evidence and testimony presented at its public hearing on CUP No. 25-0021 and ASP No. 25-0031; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. The Planning Commission hereby determines that the project is categorically exempt pursuant to Section No. 15332 (Infill Development) of the California Environmental Quality Act and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the California Environmental Quality Act (CEQA). This project site is considered In-Fill Development and meets the CEQA requirements of Infill: (1) The project is consistent with the Light Industrial (I-L) General Plan land use designation, and the SWIP/FID district regulations; (2) The project site is less than five (5) acres at approximately 1.0 adjusted gross acres; (3) The project site is not within any known sensitive or threatened habitat area; (4) The project site will not have any significant effect related to traffic, noise, air quality, or water quality; and (5) There are adequate public utilities services for the development of the proposed residential development. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply to the Project. The Planning Commission further directs Staff to file a Notice of Exemption pursuant to this Finding.

Section 3. Conditional Use Permit Findings. The Planning Commission hereby makes the following findings for CUP No. 25-0021 in accordance with Section 30-150 “Findings for approval” for conditional use permits of the Fontana Zoning and Development Code:

Finding No. 1. That the proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning and Development Code, Municipal Code, General Plan and any applicable Specific Plan or Area Plan and City regulations/standards.

Findings of Fact: The Project Site is located at 15817 Boyle (APN: 0237-052-04). The General Plan Land use designation for the site is Light Industrial (I-L) and is located within the Southwest Industrial Park Specific Plan/Freeway Industrial/Commercial District. The Southwest Industrial Park Specific Plan permits truck tire repair use subject to approval of a Conditional Use Permit. The Project complies with the General Plan and the Southwest

Industrial Park (SWIP) specific plan.

Finding No. 2. The site is physically suited for the type, density, and intensity of the proposed use including access, utilities, and the absence of physical constraints and can be conditioned to meet all related performance criteria and development standards.

Findings of Fact: The Project Site is approximately 1.0-acres which can accommodate the proposed truck tire repair facility and complies with setbacks, landscaping, lot coverage and parking requirements. There will be one main vehicle access point to the site from Boyle Avenue. The driveway will be designed to accommodate passenger vehicle traffic, tractor-trailer traffic and service vehicles as necessary. The site plan also depicts a loading area and truck and trailer parking stalls to accommodate the vehicles that are being serviced on-site within the enclosed building. The physical characteristics of the site were reviewed by the Fontana Planning Department, and it was determined that the site met the requirements for yards, setbacks, walls, landscaping requirements and applicable Specific Plan and Zoning and Development Code regulations.

Finding No. 3. Granting the permit would not be detrimental to the public interest, health, safety, convenience, welfare, or materially injurious to persons, property, or improvements in the vicinity in which the project is located.

Findings of Fact: There will be no adverse effect to the neighboring sites as currently proposed. The Project has been reviewed by Planning, Engineering, Building and Safety, and County Fire Prevention for site circulation, access, safety, and found to meet or exceed the requirements for all applicable building code, zoning and fire code standards.

Section 4. Administrative Site Plan Findings. The Planning Commission hereby makes the following findings for ASP No. 25-0031 in accordance with Section 30-81 "Findings for approval" of the Fontana Zoning and Development Code:

Finding No. 1. The proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.

Findings of Fact: The project consists of a request for Site Plan and Architectural Review for the construction of a 3,431-square-foot truck tire repair facility on an approximately 1.0-acre site. The proposed facility includes an office area and two (2) service bays. In addition, ten (10) oversized vehicle parking stalls are proposed at the rear of the site to accommodate ancillary truck and trailer parking during vehicle servicing. The project site is located at 15817 Boyle Avenue and is designated Light Industrial (I-L) under the General Plan and zoned Southwest Industrial Park (SWIP) Specific Plan / Freeway Industrial/Commercial District. The proposed use is permitted within this land use district subject to approval

of a Conditional Use Permit. The project has been designed to comply with all applicable zoning and development standards of the Zoning and Development Code.

Finding No. 2. The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe and desirable development promoting the public health, safety, and welfare of the community.

Findings of Fact: The Project Site will incorporate associated site improvements which include new landscaping, parking, lighting, fencing, and a new trash enclosure. The Project Site is adequate in size, shape, topography, and accessibility to accommodate the proposed repair building. The project has adequate parking, and the Project meets or exceeds the criteria in the Administrative Site Plan section of the Zoning and Development Code. The Project has been reviewed by Planning, Building and Safety, Engineering, and Fire Departments. Additional improvements include sidewalks, parkway landscaping, curb and gutter, and drainage and grading improvements, which together will result in a safe, well-designed project that promotes the public health, safety, and welfare of the community.

Finding No. 3. The proposal, in its design and appearance is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact: The Project Site will incorporate associated on-site improvements which include new landscaping, parking, lighting, fencing and a new trash enclosure. The Project improvements will create an aesthetically pleasing design to enhance the surrounding neighborhood. The applicable building codes, zoning codes, fire codes and standards will make for a safe, attractive, and well-designed project.

Finding No. 4. The site improvements are appropriate and will result in a safe, well-designed facility.

Findings of Fact: The project includes appropriate site improvements consisting of new landscaping, parking areas, lighting, fencing, and a trash enclosure, all designed in compliance with the Zoning and Development Code. The site is adequate in size, configuration, and accessibility to accommodate the proposed improvements. The project also includes required public improvements such as sidewalks, parkway landscaping, curb and gutter, and drainage and grading improvements to ensure safe vehicular and pedestrian circulation. The project has been reviewed by the Planning, Building and Safety, Engineering, and Fire Departments, and all site improvements are designed to meet applicable codes and standards, resulting in a safe, functional, and well-designed facility.

Section 5. Approvals. Based on the foregoing, the Planning Commission hereby

approves Conditional Use Permit No. 25-0021 and Administrative Site Plan No. 25-0031, subject to the Conditions of Approval attached hereto as “**Exhibit A**” and “**Exhibit B**”, respectively, and incorporated herein by this reference.

Section 6. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA. 92335. This information is provided in compliance with Public Resources Code Section 21081.6.

Section 7. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 8. Effective Date. This Resolution shall become effective immediately upon its adoption.

Section 9. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 3rd day of March 2026.

City of Fontana

Joseph Armendarez, Chairperson

ATTEST:

I, Torrie Lozano, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on this 3rd day of March 2026, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Torrie Lozano, Secretary

EXHIBIT "A"



CITY OF FONTANA

CONDITIONS OF APPROVAL

CASE: Conditional Use Permit No. 25-0021

DATE: March 3, 2026

Master Case No. 26-0086

LOCATION: The project site is located at 15817 Boyle Avenue (APN: 0237-052-04)

PLANNING DEPARTMENT:

1. This approval shall become null and void two years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion of the first Building and Safety Department inspection, has commenced within this period.
2. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building or grading plans prior to issuance of any building or grading permits.
3. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until both of the following have occurred:
 - A. All of the improvements, construction, alteration and other work set forth in this project have been completed and have been accepted by the City as evidenced by the City's issuance of a Certificate of Occupancy or other document evidencing the City's final inspection and acceptance of the work; and
 - B. All other Conditions of Approval imposed by this project have been fulfilled.
3. This project will comply with all applicable provisions, regulations and development standards of the City of Fontana Municipal Code.
4. The applicant shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims,

actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging California Environmental Quality Act (CEQA) actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

5. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that the City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections 30-30 and 30-31 of the Municipal Code.
6. The applicant shall post a publicly visible sign on the project site with the telephone number and 24-hour point of contact for dust, noise and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have authority to commit additional assets to control dust, or respond to construction complaints after hours, on weekends and on holidays.
7. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the structure until corrections are approved in writing by all appropriate staff.
8. All truck tire repair shall occur within the enclosed building.
9. There shall be no storage of trucks, trailers, or shipping containers on the premises, other

than those trucks receiving service. There shall be no outdoor storage, including storage of equipment, tires or parts.

10. There shall be no queuing of trucks or vehicles in the public right-of-way.
11. The permitted hours of operation for the facility shall be between the hours of 7:00 a.m. and 7:00 p.m., seven days a week.
12. Conditional Use Permit No. 25-0021 shall comply with all applicable development standards of Chapter 30 (Zoning and Development) and the Southwest Industrial Park Specific Plan.
13. The project shall incorporate graffiti resistant materials. The property owner shall at all times maintain an adequate amount of paint, matching the project, and shall abate any graffiti at the project site within 48 hours of appearance of such graffiti.
14. Adhere to the City standard of one foot candle minimum for all entrances, exits, pedestrian paths, parking lots, and activity areas. Reflect all light fixtures on the site plan. All areas shall be illuminated during all hours of darkness and all luminaries utilized shall be vandal-resistant fixtures. The type of lighting shall be fluorescent, white L.E.D.s or metal halide. Applicant must provide a photometric layout under separate exhibit to ensure the minimum light standard is met.
15. The applicant shall post a publicly visible sign at the project site with the telephone number and 24-hour point of contact for dust, noise, and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have the authority to receive complaints and immediately initiate corrective actions for dust, noise, and construction issues. Construction shall be limited to 7:00 am to 6:00 pm on weekdays, 8:00 am to 5:00 pm on Saturdays, and no construction on Sundays and Holidays.
16. All landscaping shall be healthy and maintained in a reasonable manner as determined by the Director of Community Development or his/her designee. The landscaping utilized on fencing shall be maintained in a manner to sufficiently screen the truck dock and truck parking areas.
17. All installed roof-mounted mechanical units shall be screened from view of adjacent streets by a parapet in height equal or greater to the installed unit, unless another method of visual screening is approved by the Director of Planning.

END OF CONDITIONS

EXHIBIT "B"



CITY OF FONTANA

CONDITIONS OF APPROVAL

CASE: Master Case No. (MCN) 25-0021
Administrative Site Plan No. 25-0031

DATE: March 3, 2026

LOCATION: The project site is located at 15817 Boyle Avenue (APN:0237-052-04)

PLANNING DEPARTMENT:

1. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until both of the following have occurred:
 - A. All of the improvements, construction, alteration and other work set forth in this project have been completed and have been accepted by the City as evidenced by the City's issuance of a Certificate of Occupancy or other document evidencing the City's final inspection and acceptance of the work; and
 - B. All other Conditions of Approval imposed by this project have been fulfilled.
2. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the structure until corrections are approved in writing by all appropriate staff.
3. All signs shall be reviewed under a separate Design Review Sign application.
4. This approval shall become null and void two years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion

of the first Building and Safety Department inspection, has commenced within this period.

5. Exterior lighting compatible with the design of the building shall be provided for the parking lot. The lighting shall be directed and shielded so as to illuminate only the parking area and to avoid glare impacts on adjacent properties.
6. This project will comply with all applicable provisions, regulations, and development standards of the City of Fontana Municipal Code and the Southwest Industrial Park Specific Plan.
7. Prior to the issuance of a Certificate of Occupancy, the applicant shall underground all utilities, which for the purpose of this condition shall include all boxes, structures and/or other equipment located in the public rights-of-way, any public utility easement(s), and on any private property, to the satisfaction of the Director of Planning.
8. All Commercial buildings shall provide refuse collection areas (AB 1327). Design plans shall be submitted and approved prior to construction and shall meet the following design requirements:
 - A. The trash enclosure shall be of an adequate size to contain a refuse and recycling bin and provide convenient accessibility for the collection of these materials. Standard bin sizes for commercial establishments are 7'L x 4'W x 5'H.
 - B. Collection areas must adequately protect recyclable materials from the harmful effects of the weather (FMC 24-12, AB 1327 [1993]).
9. The applicant shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging California Environmental Quality Act (CEQA) actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall

not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

10. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections 30-30 and 30-31 of the Municipal Code.
11. The Applicant shall obtain approval of a fencing plan and all applicable permits from the Planning Department and Building and Safety Department addressing all existing and proposed fencing and block walls.
12. After the fifteen (15) day appeal period, the applicant shall remove the notice of Filing sign(s) from the project site. The applicant may request a refund of the sign deposit; the request shall be in writing accompanied with a refund application. The request shall be submitted to the Planning Division.
13. The occupants of this facility shall comply with applicable provisions of local, state and federal laws and regulations with respect to noise, vibration, smoke, odors, fire and explosive hazards, including, but not limited to the City's adopted Hazardous Materials Management Plan and Industrial Wastewater/Discharge requirements.
14. The applicant shall post a publicly visible sign on the project site with the telephone number and 24-hour point of contact for dust, noise and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have authority to commit additional assets to control dust, or respond to construction complaints after hours, on weekends and on holidays.
15. All roof-mounted equipment shall be screened from view of adjacent properties and public rights-of-way by a parapet in height equal to or exceeding the installed unit with colors and materials that complement the building architecture, as approved by the Director of Planning.
16. Applicant shall pay all applicable service fees pursuant to the City of Fontana Municipal Code.
17. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

18. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

19. All Development fees must be paid prior to Certificate of Occupancy.

PRIOR TO ISSUANCE OF GRADING PERMIT

20. All Conditions of Approval contained herein shall be incorporated into all applicable final

construction plans and a copy of these conditions shall be placed on a sheet in the final building or grading plans prior to issuance of any building or grading permits.

ENGINEERING DEPARTMENT:

21. The proposed on-site septic system must be reviewed and Approved by the Santa Ana Regional Water Quality Board. A copy of such approvals must be provided to the City at time of plan submittal.
22. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
23. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

24. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.
25. The Applicant shall submit, and gain approval of a final drainage study prepared in accordance with the County of San Bernardino Hydrology Manual and Fontana Master Plan of Drainage.

PRIOR TO MAP RECORDATION

26. The Applicant shall provide a Land Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

27. The Applicant shall record All map's, lot line adjustments, right-of-way dedications, easements, reciprocal access agreement as required for the development.
28. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

29. Complete all public improvements required of the project. Underground utilities required of the project. Ensure streetlights are energized and operating properly.

30. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans. The Applicant/Developer shall provide a copy of the streetlight electric bill.
31. Slurry seal roads effected by the development as directed by the inspector. Slurry seal limits may extend past the project frontage to address existing striping/pavement markings that conflicts with new striping/pavement markings, repair trenches, and other areas as determined by the inspector.
32. The Surveyor of Record shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
33. The Surveyor of Record shall set survey monuments as required by the map and corner records must be recorded with the County. The Surveyor of Record shall notify the City in writing that monuments have been set in accordance with the recorded subdivision map and he/she has been paid in full for doing so.
34. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
35. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
36. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
37. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practice transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

BUILDING AND SAFETY DEPARTMENT

38. Shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Electrical Code
 - C. California Mechanical Code
 - D. California Plumbing Code
 - E. California Energy Code
 - F. California Fire Code
 - G. California Green Building Standards Code
 - H. City of Fontana Ordinance
 - I. Disabled access for the site and building must be in accordance to the State of CA and ADA regulations.
39. The applicant shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
40. The applicant shall comply with the requirements of the South Coast Air Quality Management District (909-396-2000). SCAQMD requirements shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
41. The applicant shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
42. The applicant shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.
43. The applicant shall verify that all lot lines, easement lines, etc. will be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.
44. The applicant shall have the tract or parcel map recorded prior to the issuance of any building permits.
45. The applicant shall comply with the following grading requirements:
 - A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.

- C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
- D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
- E. E. No water course or natural drainage shall be obstructed.
- F. F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
- G. G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
- H. H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety. The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
- I. I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.); and
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.); and
 - iii. All proposed drainage structures; and
 - iv. Any proposed and/or required walls or fencing.

46. The applicant is required to obtain permits for the removal and/or demolition of structures.

47. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMIT

48. The following items (as applicable) shall be completed by the applicant and submitted to Building & Safety prior to the issuance of building permits for this project:

- A. Precise grading plans shall be approved.
- B. Rough grading completed.

- C. Compaction certification.
- D. Pad elevation certification.
- E. Rough grade inspection signed off by a City Building Inspector

Specific Conditions:

- 49. When the Entitlement Review is approved submit complete construction drawings including structural calculations to Building and Safety for plan review in accordance with the current edition of the CA Building and Fire Codes including all local ordinances and standards.

FIRE DEPARTMENT:

- 50. Jurisdiction: The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
- 51. Fire Access Road Width: Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys, and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1.
- 52. Turnaround: An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code Chapter 5 & SBCoFD Standard A-1.
- 53. Fire Lanes: The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.
- 54. Water System Commercial: All water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix BB of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet (4"x2.5"x2.5") shall be provided. All fire hydrants shall be spaced no more than three hundred (300) feet apart as measured along vehicular travel-ways. California Fire Code Chapter 5 & SBCoFD Standard W-2. The Fire Flow for

this project shall be: 1,500 GPM for a two-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 3,431 Square Foot structure.

55. Hydrant Marking: Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCoFD Standard W-2.
56. Water Improvement Plan: The applicant shall submit "Water Improvement Plans" to Fontana Fire Prevention. W.I.P. to include site plan, existing & proposed PUBLIC fire hydrant locations, building construction type, square foot details of the largest building, total square foot of ALL floors in a multifloored building, square foot size of entire site, and description of what is being constructed/occupancy type. Once approved by Fire Department, applicant will provide stamped/approved W.I.P to water purveyor for their construction needs. ***ON-SITE PRIVATE FIRE WATER SUPPLY SHALL BE INSPECTED AND IN WORKING CONDITION PRIOR TO PLACING COMBUSTIBLE MATERIALS ON THE JOBSITE.*** California Fire Code Chapter 5. Combustible Protection: Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
57. Combustible Protection: Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
58. Fire Sprinkler-NFPA #13: An automatic fire sprinkler system complying with NFPA 13 and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The plans shall include hydraulic calculations and manufacturer specification sheets. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-1.
59. Fire Alarm, Manual or Automatic: A manual, automatic or manual and automatic fire alarm system complying with the California Fire Code, NFPA 72 and all applicable codes is required. A fire alarm contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9, SBCFD Standard F-5, & NFPA 72.
60. Fire Alarm, Waterflow Monitoring: A water flow monitoring fire alarm system complying with the California Fire Code, NFPA and all applicable codes is required for fire sprinkler systems with twenty (20) sprinkler heads or more. A fire alarm contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9, NFPA 72 & SBCoFD Standard F-5.
61. Fire Extinguishers: Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. California Fire Code Chapter 9.

62. Commercial Addressing. Commercial, industrial, and multi-family developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum six (8) inches in height and with a one (1) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated contrasting six (6) inch numbers shall be displayed at the property access entrances. California Fire Code Chapter 5 & SBCoFD Standard B-1
63. Key Box. An approved Fire Department key box is required. The key box shall be provided with a tamper switch and shall be monitored by a Fire Department approved central monitoring service. California Fire Code Chapter 5 & SBCoFD Standard A-4
64. Security Gates. In commercial, industrial, and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. California Fire Code Chapter 5 & SBCoFD Standard A-3
65. Material Identification Placards. The applicant shall install, in all locations deemed appropriate by the Fire Department, approved material identification placards on the outside of all buildings and/or storage tanks that store hazardous or flammable materials. Additional placards shall be required inside the buildings when chemicals are segregated into separate areas. California Fire Code Chapter 50 & NFPA 704.
66. High-Piled Storage: The applicant shall submit an application for a High-Piled Storage permit for storage of over 12' in height of Class I-IV commodities and/or over 6' in height of high hazard commodities. Three (3) sets of detailed plans and a commodity analysis report shall be submitted to the Fire Department for review and approval. The applicant shall submit to the Fire Department concurrently with any racking permits to the Building and Safety division. California Fire Code Chapter 32 & SBCoFD Standard S-1.
67. San Bernardino County Fire Standards/Codes: Items not directly called out on these Conditions of Approval, shall also adhere to currently adopted San Bernardino County Fire Standards, California Fire Code, & NFPA.

END OF CONDITIONS



FONTANA
CALIFORNIA

NOTICE OF EXEMPTION

<p>TO: <input type="checkbox"/> Office of Land Use and Climate Innovation State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p>	<p>FROM: Name: City of Fontana (Public Agency) Address: 8353 Sierra Ave, Fontana CA 92335 Telephone: 909-350-6656</p>
<p><input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:</p>	

<p>1. Project Title:</p>	<p>Master Case No. 25-0083; Conditional Use Permit No. 25-0021, and Administrative Site Plan No. 25-0031</p>
<p>2. Project Applicant (include address, telephone number and email address):</p>	<p>Partap Singh Project Applicant basratransport@gmail.com 15460 Jackson Drive Fontana, Ca 92336 (559) 286-8869</p>
<p>3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):</p>	<p>The project site is located at 15817 Boyle Avenue (APN: 0237-052-04)</p>
<p>4. (a) Project Location – City: Fontana</p>	<p>(b) Project Location – County: San Bernardino</p>
<p>5. Description of nature, purpose, and beneficiaries of Project:</p>	<p>A request to construct and operate a 3,431 square foot truck tire repair facility consisting of an office and two (2) service bays on an approximate 1.0-acre lot.</p>
<p>6. Name of Public Agency approving project:</p>	<p>City of Fontana</p>

<p>7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:</p>	<p>Partap Singh Project Applicant basratransport@gmail.com 15460 Jackson Drive Fontana, Ca 92336 (559) 286-8869</p>
<p>8. Exempt status: (check one)</p>	
<p>(a) <input type="checkbox"/> Ministerial project.</p>	<p>(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)</p>
<p>(b) <input type="checkbox"/> Not a project.</p>	<p>State CEQA Guidelines 15050(c)(2)-(3)</p>
<p>(c) <input type="checkbox"/> Declared Emergency</p>	<p>(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))</p>
<p>(d) <input type="checkbox"/> Emergency Project.</p>	<p>(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))</p>
<p>(e) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:</p>	<p>Exempt under Section 15332-Class 32 (Infill-Development) of the California Environmental Quality Act</p>
<p>(f) <input type="checkbox"/> Statutory Exemption. State Code section number:</p>	
<p>(g) <input type="checkbox"/> Other. Explanation:</p>	
<p>9. Reason why project was exempt:</p>	<p>The proposed Project is categorically exempt from CEQA pursuant to CEQA Guidelines Section No. 15332 (Class No. 32-Infill Development). The project meets the CEQA requirements of Infill: (1) The Project is consistent with the Light Industrial (I-L) land use designation of the General Plan and FID District of the SWIP zoning district; (2) The Project Site is less than five (5) acres; (3) The Project Site has previously been developed, and is not within any known sensitive or threatened habitat area; (4) The Project will not have any significant effects related to traffic, noise, air quality, or water quality; and (5) There are adequate public services for the development of the proposed residential project.</p>

10. Lead Agency Contact Person: Telephone:	Adelaida Bostan. Assistant Planner 909-350-7608
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: March 3, 2026	

Date:

Signature

Name: Salvador Quintanilla

Title: Senior Planner

Signed by Lead Agency

Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section No. 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Section No. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the Planning Department by calling (909) 350-6718. Notification 48 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case (MCN) No. 25-0083; Conditional Use Permit (CUP) No. 25-0021, and Administrative Site Plan (ASP) No. 25-0031

A Conditional Use Permit is a request to establish and operate a truck tire repair facility and an Administrative Site Plan request for the site and architectural review for the construction of a 3,431-square-foot truck tire repair building consisting of an office and two (2) service bays on an approximately 1.0-acre site.

Environmental Determination:

This project is Categorical Exempt pursuant to Section 15332, Class 32 (In-fill Development) of the California Environmental Quality Act (CEQA), and Section 3.22 (Categorical Exemption) of the 2019 City of Fontana Local Guidelines for Implementing the California Environmental Quality Act.

Location of Property:

15817 Boyle Avenue
(APN: 0237-052-04)

Date of Hearing:

March 3, 2026

Place of Hearing:

Steelworkers' Auditorium
8437 Sierra Avenue
Fontana, CA

Time of Hearing:

6:00 PM



Should you have any questions concerning this project, please contact **Adelaida Bostan, Assistant Planner**, at 909-350-7608 or by e-mail at abostan@fontanaca.gov.



ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER IDENTIFIED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish date: February 20, 2026



City of Fontana

8437 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 26-0839
Agenda #: DC-A

Agenda Date: 3/3/2026
Category: Director Comments

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO: Planning Commission
FROM: Patty Nevins, Director of Planning PN
RE: Agenda for Upcoming City Council Items
DATE: March 3, 2026

The items listed below are for agenda forecast purposes and are subject to change.

<u>CITY COUNCIL MARCH 10, 2026</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN#26-0003; MIS#26-0001 General Plan Annual Review for 2025 Citywide	Cecily Session-Goins	New Business



MEMORANDUM

TO: Planning Commission
FROM: Patty Nevins, Director of Planning PN
RE: Agenda for Upcoming Planning Commission Items
DATE: March 3, 2026

The items listed below are for agenda forecast purposes and are subject to change.

<u>PLANNING COMMISSION MARCH 17, 2026</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN#18-000053; TPM#18-000005; DRP#18-000010 Subdivision of one parcel into two lots for the construction of Two industrial buildings totaling approx. 72,000 square feet Hilton Drive	Salvador Quintanilla	Public Hearing
2. MCN#26-007; MCA#26-0001 Code Amendment– Modifications to medical land uses, business park definition and standards, loading area screening requirements, and Form-Based Code zone frontage, setback, glazing and landscaping standards	Cecily Session-Goins	Public Hearing