

City of Fontana

8353 Sierra Avenue
Fontana, CA 92335



Regular Agenda

Resolution PC No. 2023-030

Tuesday, September 5, 2023

6:00 PM

Grover W. Taylor Council Chambers

Planning Commission

Cathline Fort, Chair
Idilio Sanchez, Vice Chair
Ralph Thrasher, Secretary
Raj Sangha, Commissioner
Ricardo Quintana, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. A complete agenda packet is located in the binder on the table in the lobby of the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335. To address the Planning Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335 is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such a request to the City Clerk’s Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection in the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335.

Traducción en Español disponible a petición. Favor de notificar al Departamento "City Clerk". Para mayor información, favor de marcar el número (909) 350-7602.

CALL TO ORDER/ROLL CALL:

- A. Call To Order/Roll Call:

INVOCATION/PLEDGE OF ALLEGIANCE:

- A. Invocation/Pledge of Allegiance:

PUBLIC COMMUNICATIONS:

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

- A. Public Communications:

CONSENT CALENDAR:

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion.

- A. Approval of Minutes

Approve the Regular Planning Commission Meeting Minutes of August 15, 2023.

CC-A Approval of Minutes of August 15, 2023.

[21-2448](#)

Attachments: [Draft Planning Commission Minutes of August 15, 2023](#)

Approve Consent Calendar Item as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontanaca.gov. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

- (a) hearing opened
- (b) written communication
- (c) council/staff comments
- (d) applicant comments
- (e) oral - favor
- (f) oral - opposition
- (g) hearing closed

PH-A Master Case No. 16-061R1 and Tentative Tract Map No. 20078 (TTM No. 16-015) - a request to subdivide one (1) parcel of approximately 9.5 gross acres, into 20 lots for the development of single-family homes and five (5) letter lots (Lot "A," Lot "B," Lot "C," Lot "D," and Lot "E").

[21-2457](#)

RECOMMENDATION:

Staff recommends that the Planning Commission:

- 1. Open the public hearing, take testimony from anyone wishing to speak, and close the public hearing; and,**
- 2. Adopt a motion continuing the item to a date uncertain.**

APPLICANT:

**Highland R & S Plaza LLC
300 East Bonita Avenue, Box No. 697
San Dimas, CA 91773**

LOCATION:

The project site is located approximately 140 feet north of the intersection of Labrador Avenue and Moncton Way (at the existing terminus of Moncton Way) and also known as Phase

No. "4" of the Hunter's Ridge Specific Plan (APN: 0226-421-06).

PROJECT PLANNER:

Jon S. Dille, Associate Planner

PH-B Master Case No. 22-128, Tentative Tract Map 22-008 (Tract No. 20580) and Design Review No. 22-059; A request for a determination that the Project has been reviewed under a previous Final EIR, pursuant to Section 15126 and 15183 of the CEQA Guidelines and section 8.10 of the City's 2019 Local CEQA Guidelines, and for the site and architectural review and approval for the construction of 48 detached single-family residences, including four (4) affordable residences, and a project recreation area.

[21-2445](#)

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023- _____; and,

1. Find that the previously adopted Environmental Impact Report (State Clearinghouse No. 2016021099) approved on November 13, 2018, has adequately identified the impacts associated with the project, no further review is required pursuant to Section 15162 and 15183 of the California Environmental Quality Act and Section 8.10 of the 2019 Local Guidelines for Implementing CEQA, and direct staff to file a Notice of Determination; and,

2. Approve Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059.

APPLICANT:

Matt Livingston
550 North Larchmont Blvd., Suite 201
Los Angeles, CA 90004

LOCATION:

The project site is located 15912, 15936 & 15956 Chase Road (Accessor Parcel Number: 0228-151-17, -18 and -19).

PROJECT PLANNER:

Alejandro Rico, Associate Planner

- Attachments:** [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Project Plans](#)
[Attachment No. 3 - Planning Commission Resolution, Finding, and Conditions of Approval](#)
[Attachment No. 4 - Notice of Determination](#)
[Attachment No. 5 - Public Hearing Notice](#)

UNFINISHED BUSINESS:

- A. None

NEW BUSINESS:

- A. None

DIRECTOR COMMUNICATIONS:

- A. Director Communications:

DC-A Upcoming cases scheduled for City Council and Planning Commission. [21-2449](#)

An update of future City Council agenda items for September 5, 2023, September 12, 2023, and September 26, 2023 for the Planning Commission's information.

An update of future Planning Commission agenda items for September 19, 2023 and October 3, 2023 for the Planning Commission's information.

- Attachments:** [Upcoming City Council Items Memo](#)
[Upcoming Planning Commission Items Memo](#)

COMMISSION COMMENTS:

- A. Planning Commission Remarks:

WORKSHOP:

- A. None

ADJOURNMENT:

- A. Adjournment

Adjourn to the next Regular Planning Commission Meeting on Tuesday, September 19, 2023 at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2448
Agenda #: CC-A

Agenda Date: 9/5/2023
Category: Consent Calendar

FROM:
Planning

TITLE:
Approval of Minutes

RECOMMENDATION:
Approve the minutes of the Planning Commission Meeting of August 15, 2023.

DISCUSSION:
The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of August 15, 2023. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:
Approve staff recommendation.



City of Fontana
Planning Commission
Minutes

Cathline Fort, Chair
Idilio Sanchez, Vice Chair
Ralph Thrasher, Secretary
Raj Sangha, Commissioner
Ricardo Quintana, Commissioner

Tuesday, August 15, 2023 6:00 P.M. Grover W. Taylor Council Chambers

CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, August 15th, 2023. Chair Fort called the meeting to order at 6:02 p.m.

Present: Chair Fort, Commissioners Sangha and Quintana

Absent: Vice Chair Sanchez and Secretary Thrasher

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Fontana Police Department Chaplain, Daniel Vasquez, the Pledge of Allegiance was led by Commissioner Quintana.

PUBLIC COMMUNICATIONS:

A. Public Communications:

None.

CONSENT CALENDAR:**A. Approval of Minutes:**

Approve the Regular Planning Commission Meeting Minutes of July 18, 2023.

ACTION: A Motion was made by Commissioner Sangha and seconded by Commissioner Quintana and passed by a vote of 3-0-2 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Chair Fort, Commissioners Sangha and Quintana

Absent: Vice Chair Sanchez and Secretary Thrasher

PH-A Master Case No. 22-011; Tentative Parcel Map No. 20761 (TPM No. 22-033), Conditional Use Permit No. 22-002, Design Review No 22-005 (a request to construct a new retail center containing a fueling station, sit-down restaurant, quick service restaurant, retail with drug store and multi-tenant retail building on a vacant site of approximately 6.53 adjusted gross acres located in the General Commercial (C-2) zoning district.) and Mitigated Negative Declaration.

Chair Fort opened the Public Hearing

Associate Planner, Cecily Session-Goins presented the staff report and answered questions of the commission. Associate Planner, Session -Goins noted for the record that staff would be adding a Condition of Approval which states that all improved areas of the subject site that are not a part of the initial construction of the retail center shall be enclosed with spilt rail fencing (or similar) and have soil stabilizer installed prior to the issuance of a Certificate of Occupancy for any completed building on the site. All required on-site and off-site improvements shall be constructed prior to the issuance of a Certificate of Occupancy for the first building on the site.

The commission requested clarification on whether the presentation included the full developed project. Staff commented on a parcel which is proposed to remain vacant for the time.

Another discussion took place regarding the height and materials of the berm. Commissioner Quintana suggested a block wall in the place of the berm. Staff commented on the importance of the berm and how it would add to the overall landscaping of the project.

The applicant, Dan Goalwin, architect for the project stated that he had read and agreed to the Conditions of Approval and also commented on the height and materials of the berm.

Lastly, the commission and the applicant discussed the brand of the incoming gas station and names of possible tenants.

No one spoke in favor or opposition of this item.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023-029; and,

- 1. Adopt the Mitigated Negative Declaration and Mitigation Monitoring Program (MMRP) and direct staff to file a Notice of Determination; and,**
- 2. Adopt a resolution approving Tentative Parcel Map No. 20761 (TPM No. 22-033), Conditional Use Permit No. 22-002, and Design Review No. 22-005.**

ACTION: Motion was made by Commissioner Sangha and seconded by Commissioner Quintana and passed by a vote of 3-0-2 to adopt Resolution PC No. 2023-029 and approve Tentative Parcel Map No 20761 (TPM No. 22-033), Conditional Use Permit No. 22-002 and Design Review No. 22-005 with an added Condition of Approval, which states that all improved areas of the subject site that are not a part of the initial construction of the retail center shall be enclosed with spilt rail fencing (or similar) and have soil stabilizer installed prior to the issuance of a Certificate of Occupancy for any completed building on the site. All required on-site and off-site improvements shall be constructed prior to the issuance of a Certificate of Occupancy for the first building on the site.

The motion carried by the following vote:

AYES: Chair Fort, Commissioners Sangha and Quintana.

ABSENT: Vice Chair Sanchez and Secretary Thrasher

PH-B. Draft Environmental Impact Report (DEIR) for Master Case No. 22-079, General Plan Amendment No. 22-007, Specific Plan Amendment No. 22-003, Tentative Parcel Map No. 20638 (TPM No. 22-016), and Design Review No. 22-040 - a request to receive comments of the DEIR, State Clearinghouse No. 2022090611 for the development of a new industrial commerce center building totaling approximately 490,565 square feet within a 19-acre site.

Chair Fort opened Public Hearing.

Alejandro Rico, Associate Planner, presented the staff report and answered questions of the commission.

Staff provided the commission information on the items that will be included in the Final Environmental Impact Report.

The commission requested clarification on potential significant impacts and whether these items were still being studied.

Chair Fort noted the last day for public to submit comments would be August 28, 2023.

No one spoke in favor or opposition of this item.

The Public Hearing was closed.

RECOMMENDATION:

Staff recommends that the Planning Commission: 1) Open the public hearing on the Draft EIR prepared for the Poplar South Distribution Center Project to receive comments from the public; 2) Review and provide Planning Commission comments on the DEIR; and, 3) Direct staff to address comments that are received within the Final EIR.

ACTION: Motion was made by Commissioner Quintana and seconded by Commissioner Sangha and passed by a vote of 3-0-2 to approve staff recommendation on Draft Environmental Impact Report (DEIR) for Master Case No. 22-079, General Plan Amendment No. 22-007, Specific Plan Amendment No. 22-003, Tentative Parcel Map No. 20638 (TPM No. 22-016), and Design Review No. 22-040 - a request to receive comments of the DEIR, State Clearinghouse No. 2022090611 for the development of a new industrial commerce center building totaling approximately 490,565 square feet within a 19-acre site.

The motion carried by the following vote:

AYES: Chair Fort, Commissioners Sangha and Quintana.

ABSENT: Vice Chair Sanchez and Secretary Thrasher

DIRECTOR COMMUNICATIONS:

A. Director Communications:

None.

COMMENTS:

A. Public Communication Commission Comments:

Commissioner Sangha thanked the Planning staff for their reports and the public for the opportunity to serve.

Commissioner Quintana thanked Planning staff for their reports; shared his excitement for this upcoming project and thanked the Fontana Police Department for attending tonight's meeting and for keeping the public safe.

Chair Fort expressed her gratitude for the opportunity to serve on the Planning Commission and commented on the information that was provided by staff that helped make decisions at tonight's meeting.

ADJOURNMENT:

Chair Fort adjourned the meeting at 6:41 p.m. to the next Regular Planning Commission Meeting on Tuesday, September 5, 2023, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

Susana Gallardo
Specialist to the Deputy City Clerk

THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION ON THE 5th DAY OF SEPTEMBER 2023.

Cathline Fort
Chairperson



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2457
Agenda #: PH-A

Agenda Date: 9/5/2023
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 16-061R1 and Tentative Tract Map No. 20078 (TTM No. 16-015) - a request to subdivide one (1) parcel of approximately 9.5 gross acres, into 20 lots for the development of single-family homes and five (5) letter lots (Lot "A," Lot "B," Lot "C," Lot "D," and Lot "E").

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Open the public hearing, take testimony from anyone wishing to speak, and close the public hearing; and,
2. Adopt a motion continuing the item to a date uncertain.

APPLICANT:

Highland R & S Plaza LLC
300 East Bonita Avenue, Box No. 697
San Dimas, CA 91773

LOCATION:

The project site is located approximately 140 feet north of the intersection of Labrador Avenue and Moncton Way (at the existing terminus of Moncton Way) and also known as Phase No. "4" of the Hunter's Ridge Specific Plan (APN: 0226-421-06).

REQUEST:

The applicant is requesting that the Planning Commission continue this project to a date uncertain to allow the applicant and staff additional time to finalize the tentative tract map and the supporting documents for the project. The project will be renoticed once all plans have been updated.

PROJECT PLANNER:

Jon S. Dille, Associate Planner

PROJECT DESCRIPTION:

The project is a request from Highland R & S Plaza LLC to subdivide one (1) parcel of approximately 9.5 adjusted gross acres into 20 lots for the purpose single-family homes and five (5) letter lots (Lot "A," Lot "B," Lot "C," Lot "D," and Lot "E"), over approximately 5.8 adjusted gross acres with a remainder parcel of approximately 3.7 acres that will remain as public open space.

MOTION:

Approve Staff's Recommendation



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2445
Agenda #: PH-B

Agenda Date: 9/5/2023
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 22-128, Tentative Tract Map 22-008 (Tract No. 20580) and Design Review No. 22-059; A request for a determination that the Project has been reviewed under a previous Final EIR, pursuant to Section 15126 and 15183 of the CEQA Guidelines and section 8.10 of the City's 2019 Local CEQA Guidelines, and for the site and architectural review and approval for the construction of 48 detached single-family residences, including four (4) affordable residences, and a project recreation area.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023- ____; and,

1. Find that the previously adopted Environmental Impact Report (State Clearinghouse No. 2016021099) approved on November 13, 2018, has adequately identified the impacts associated with the project, no further review is required pursuant to Section 15162 and 15183 of the California Environmental Quality Act and Section 8.10 of the 2019 Local Guidelines for Implementing CEQA, and direct staff to file a Notice of Determination; and,

2. Approve Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059.

APPLICANT:

Matt Livingston
550 North Larchmont Blvd., Suite 201
Los Angeles, CA 90004

LOCATION:

The project site is located 15912, 15936 & 15956 Chase Road (Accessor Parcel Number: 0228-151-17, -18 and -19).

REQUEST:

Tentative Tract Map No. 22-008 (Tract No. 20580) is a request for the subdivision of forty-eight (48) single-family lots.

Design Review No. 22-059 is a request for site and architectural review and approval for the construction of forty-eight (48) single-family residential lots including four (4) affordable residences on 6.8 acres.

PROJECT PLANNER:

Alejandro Rico, Associate Planner

BACKGROUND INFORMATION:

A. Land Use Designations:

	<u>General Plan Designation</u>	<u>Zoning District</u>	<u>Existing Land Use</u>
Site:	Single Family Residential (R-SF)	Single Family (R-1)	Vacant Lot
North:	Single Family Residential (R-SF)	Single Family (R-1)	Single-Family Residences
South:	Single Family Residential (R-SF)	Providence Point	Single-Family Residences
East:	Single Family Residential (R-SF)	Single Family (R-1)	Single-Family Residences
West:	Residential Planned Community (R-PC)	Rancho Fontana Specific Plan	Single-Family Residences

B. Previous Approvals:

On November 13, 2018, the City Council approved the General Plan Environmental Impact Report (EIR).

PROJECT DESCRIPTION:

A. Project Area: Approximately 6.8 acres

B. Building Analysis:

Plan 1:	3 bedrooms, 2.5 bathrooms	1,582 square feet
Plan 2:	3 bedrooms, 2.5 bathrooms	1,631 square feet
Plan 3:	3 bedrooms, 2.5 bathrooms	1,652 square feet

- C. Park Analysis:
Single-Family Homes: Two Garage Spaces per 48 units

Public Parking: 37 spaces

ANALYSIS:

The applicant, Matt Livingston on behalf of RC Homes, Inc., requests that the Planning Commission review and approve Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059 to construct forty-eight (48) detached single-family units and recreation area. The proposed single-family units' range in size from 1,582 square feet to 1,652 square feet and will be constructed within the Single Family Residential District (R-1).

Design Review:

The applicant is proposing a variety of architectural styles for the residential units. These styles include Spanish, Cottage, Ranch, Bungalow and Farmhouse styles. Architectural enhancements range from thick window trimming, banding, siding, carriage lights, accent colors, recessed windows and decorative metal fixtures. Entries to the units are located on the sides of the units to create paseos leading to the front door and backyard areas. Landscaping has been incorporated into the design with trees, shrubs and ground cover.

As part of this project, the applicant is proposing four (4) affordable units per the State's Density Bonus Law (California Government Code Sections 65915 - 65918). Under State law, the applicant is proposing four Very Low Affordable units which would allow the applicant to increase the density of the project area by 35%. Currently, the Zoning Code would allow development at five (5) units per acre which would allow thirty-five (35) single-family units on the site. However, the State Density bonus would allow an additional thirteen (13) units for a total of forty-eight (48) single-family units. The Density Bonus Law prohibits local jurisdiction from enforcing Zoning Requirements that would prevent this density from being reached such as lot size square footage minimums, lot size dimension minimums and building setback minimum requirements. The applicant is also allowed selected incentives; for this project, the applicant is selecting relief from the provision of block walls between the lots and is instead using vinyl fencing. Block walls are being used for areas adjacent to the common areas such as the driveway and roadway areas.

A recreation area is proposed on the southeast corner of the project site. The amenity includes an eighteen by forty foot pool, lawn chairs, gazebos, barbeque area and fitness room.

Grading/Walls:

The existing site is vacant and undeveloped, and there is an existing block walls along the west, north and east portions of the project site. The applicant will not be modifying the walls.

Circulation and Access:

Access to the area is proposed from Chase Road to the south and Cascade Drive to the north portion of the site. Chase Road leads to Citrus Avenue which is a Primary Highway. Cascade Drive currently dead ends along the east and west of the site. This project will connect Cascade Road and allow access to and from the site to Baseline Boulevard, a Primary Highway, to the south. The streets within the project site will be operated privately. The Engineering Department implemented a

Condition of Approval to ensure the private portion of Cascade Drive is maintained.

Environmental:

A Final EIR (SCH No. 2016021099) for the General Plan was prepared for the project area and was certified by the City Council on November 13, 2018 and based on CEQA Guidelines, Sections 15162 through 15164 et seq, Section 15183, and Section 8.10 of the City of Fontana's 2019 Local CEQA Guidelines, staff has determined that the previously certified Final EIR has adequately identified the impacts associated with Design Review No. 22-055 and Tentative Tract Map No. 22-008 (Tract No. 20580). The applicant conducted technical studies documenting that there will be no project specific mitigations required or impacts not addressed in the previously certified General Plan EIR per the CEQA checklist. Staff recommends that a Notice of Determination be filed accordingly. The Final EIR for the General Plan can be viewed at the following link:

<https://www.fontanaca.gov/2137/Environmental-Documents>.

MOTION:

Approve staff's recommendation

ATTACHMENTS:

1. Vicinity Map
2. Project Plans
3. Planning Commission Resolution, Finding, and Conditions of Approval
4. Notice of Determination
5. Notice of Public Hearing



Project Site



VICINITY MAP

DATE: September 5, 2023
CASE: Master Case No. 22-128
Tentative Parcel Map No. 20580 (TPM 22-008)
Design Review No. 22-059

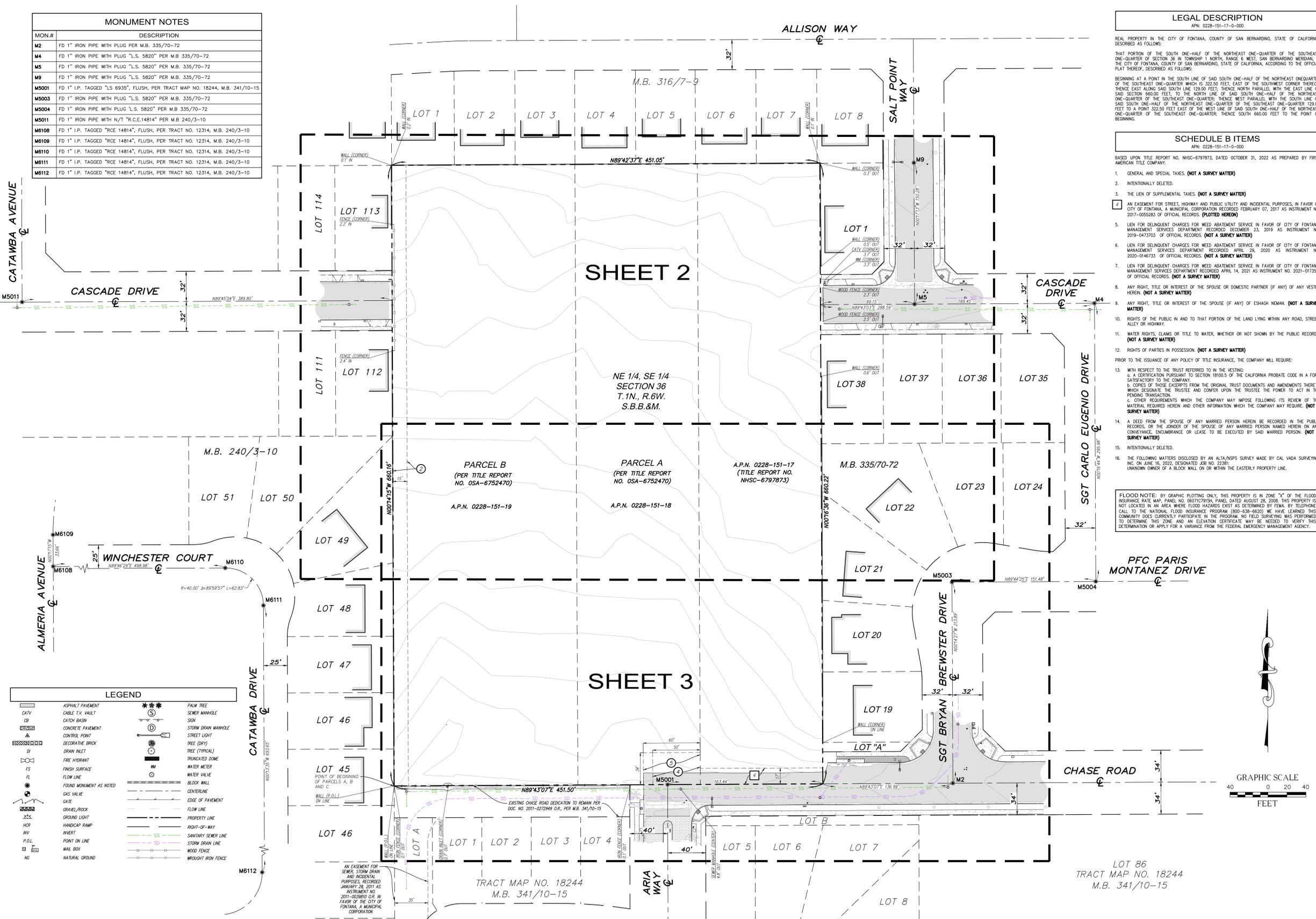
**FULL SET OF PLANS & ELEVATIONS
CURRENT / UPDATED VERSIONS**

**ALTA SURVEY / TOPO ARCHITECTURAL SITE PLAN
CIVIL SITE DEVELOPMENT PLAN (SDP) CONCEPTUAL
GRADING & DRAINAGE TTM 20580
FLOORPLANS & ELEVATIONS
RENDERINGS
COLOR & MATERIALS BOARDS
LANDSCAPE PLANS**

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

15956 CHASE ROAD, FONTANA, CA 92336

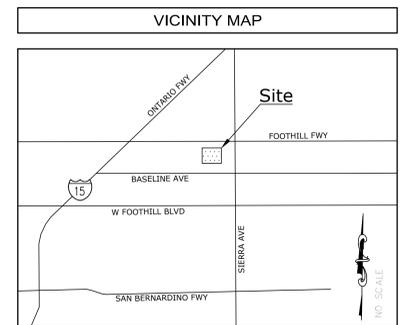
MONUMENT NOTES	
MON.#	DESCRIPTION
M2	FD 1" IRON PIPE WITH PLUG PER M.B. 335/70-72
M4	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M9	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5001	FD 1" I.P. TAGGED "L.S. 6935", FLUSH, PER TRACT MAP NO. 18244, M.B. 341/10-15
M5003	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5004	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5011	FD 1" IRON PIPE WITH N/T "R.C.E.14814" PER M.B. 240/3-10
M6108	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6109	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6110	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6111	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6112	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10



LEGAL DESCRIPTION
 APN: 0228-151-17-0-000
 REAL PROPERTY IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 THAT PORTION OF THE SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE SOUTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER WHICH IS 322.50 FEET, EAST OF THE SOUTHWEST CORNER THEREOF, THENCE EAST ALONG SAID SOUTH LINE 129.00 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION 660.00 FEET, TO THE NORTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER, THENCE SOUTH 129.00 FEET TO A POINT 322.50 FEET EAST OF THE WEST LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER; THENCE SOUTH 660.00 FEET TO THE POINT OF BEGINNING.

- SCHEDULE B ITEMS**
 APN: 0228-151-17-0-000
- BASED UPON TITLE REPORT NO. NHSC-6797873, DATED OCTOBER 31, 2022 AS PREPARED BY FIRST AMERICAN TITLE COMPANY.
- GENERAL AND SPECIAL TAXES. (NOT A SURVEY MATTER)
 - INTENTIONALLY DELETED.
 - THE LIEN OF SUPPLEMENTAL TAXES. (NOT A SURVEY MATTER)
 - AN EASEMENT FOR STREET, HIGHWAY AND PUBLIC UTILITY AND INCIDENTAL PURPOSES, IN FAVOR OF CITY OF FONTANA, A MUNICIPAL CORPORATION RECORDED FEBRUARY 07, 2017 AS INSTRUMENT NO. 2017-0055283 OF OFFICIAL RECORDS. (PLOTTED HEREON)
 - LIEN FOR DELINQUENT CHARGES FOR WEED ABATEMENT SERVICE IN FAVOR OF CITY OF FONTANA, MANAGEMENT SERVICES DEPARTMENT RECORDED DECEMBER 23, 2019 AS INSTRUMENT NO. 2019-0473703 OF OFFICIAL RECORDS. (NOT A SURVEY MATTER)
 - LIEN FOR DELINQUENT CHARGES FOR WEED ABATEMENT SERVICE IN FAVOR OF CITY OF FONTANA, MANAGEMENT SERVICES DEPARTMENT RECORDED APRIL 29, 2020 AS INSTRUMENT NO. 2020-0146733 OF OFFICIAL RECORDS. (NOT A SURVEY MATTER)
 - LIEN FOR DELINQUENT CHARGES FOR WEED ABATEMENT SERVICE IN FAVOR OF CITY OF FONTANA, MANAGEMENT SERVICES DEPARTMENT RECORDED APRIL 14, 2021 AS INSTRUMENT NO. 2021-0173561 OF OFFICIAL RECORDS. (NOT A SURVEY MATTER)
 - ANY RIGHT, TITLE OR INTEREST OF THE SPOUSE OR DOMESTIC PARTNER (IF ANY) OF ANY VESTEE HEREIN. (NOT A SURVEY MATTER)
 - ANY RIGHT, TITLE OR INTEREST OF THE SPOUSE (IF ANY) OF ESHAGH NEMAN. (NOT A SURVEY MATTER)
 - RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.
 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY MATTER)
 - RIGHTS OF PARTIES IN POSSESSION. (NOT A SURVEY MATTER)
 - RIGHTS OF PARTIES IN POSSESSION. (NOT A SURVEY MATTER)
 - WITH RESPECT TO THE TRUST REFERRED TO IN THE VESTING:
 - A CERTIFICATION PURSUANT TO SECTION 18100.5 OF THE CALIFORNIA PROBATE CODE IN A FORM SATISFACTORY TO THE COMPANY.
 - COPIES OF THOSE EXCERPTS FROM THE ORIGINAL TRUST DOCUMENTS AND AMENDMENTS TO THEM WHICH DESIGNATE THE TRUSTEE AND CONFER UPON THE TRUSTEE THE POWER TO ACT IN THE PENDING TRANSACTION.
 - OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL, REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE. (NOT A SURVEY MATTER)
 - A DEED FROM THE SPOUSE OF ANY MARRIED PERSON HEREIN BE RECORDED IN THE PUBLIC RECORDS, OR THE JOINDER OF THE SPOUSE OF ANY MARRIED PERSON NAMED HEREIN ON ANY CONVEYANCE, ENCUMBRANCE OR LEASE TO BE EXECUTED BY SAID MARRIED PERSON. (NOT A SURVEY MATTER)
 - INTENTIONALLY DELETED.
 - THE FOLLOWING MATTERS DISCLOSED BY AN ALTA/NSPS SURVEY MADE BY CAL VADA SURVEYING, INC. ON JUNE 16, 2022, DESIGNATED JOB NO. 22381:
 - UNKNOWN OWNER OF A BLOCK WALL ON OR WITHIN THE EASTERLY PROPERTY LINE.

FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 060710790N, PANEL DATED AUGUST 28, 2008. THIS PROPERTY IS NOT LOCATED IN AN AREA WHERE FLOOD HAZARDS EXIST AS DETERMINED BY FEMA. BY TELEPHONE CALL TO THE NATIONAL FLOOD INSURANCE PROGRAM (800-838-6620) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN FLOOD INSURANCE. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



LEGAL DESCRIPTION
 APNS: 0228-151-18-0-000 & 0228-151-19-0-000
 REAL PROPERTY IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL A: (APN: 0228-151-18-0-000)
 THAT PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE JUNE 2, 1874, DESCRIBED AS FOLLOWS:
 BEGINNING IN THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 153.5 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE EAST ALONG SAID SOUTH LINE, 129 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION, 660 FEET TO THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 129 FEET TO A POINT 053.5 FEET EAST OF THE WEST LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660 FEET TO THE POINT OF BEGINNING.
PARCEL B: (APN: 0228-151-19-0-000)
 THAT PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE JUNE 2, 1874, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, THENCE EAST ALONG THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 153.5 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION, 660 FEET TO THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 129 FEET TO THE WEST LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660 FEET TO THE POINT OF BEGINNING.

- SCHEDULE B ITEMS**
 APNS: 0228-151-18-0-000 & 0228-151-19-0-000
- BASED UPON TITLE REPORT NO. OSA-6752470, DATED FEBRUARY 7, 2023 AS PREPARED BY FIRST AMERICAN TITLE COMPANY.
- GENERAL AND SPECIAL TAXES. (NOT A SURVEY MATTER)
 - THE LIEN OF SUPPLEMENTAL TAXES. (NOT A SURVEY MATTER)
 - AN EASEMENT FOR ROAD, PIPELINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 29, 1923 IN BOOK 802 OF DEEDS, PAGE 134. (PLOTTED HEREON)
 - AN EASEMENT FOR STREET, HIGHWAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED SEPTEMBER 02, 2015 AS INSTRUMENT NO. 15-379483 OF OFFICIAL RECORDS. (PLOTTED HEREON)
 - AN EASEMENT FOR STREET, HIGHWAY, PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED DECEMBER 09, 2015 AS INSTRUMENT NO. 15-538405 OF OFFICIAL RECORDS. (PLOTTED HEREON)
 - RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.
 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY MATTER)
 - RIGHTS OF PARTIES IN POSSESSION. (NOT A SURVEY MATTER)
 - RIGHTS OF PARTIES IN POSSESSION. (NOT A SURVEY MATTER)
 - WITH RESPECT TO THE BLACK COMPANY, A CALIFORNIA GENERAL PARTNERSHIP: A. THAT A CERTIFIED COPY OF A STATEMENT OF PARTNERSHIP PURSUANT TO SECTION 16303 OF THE CALIFORNIA CORPORATIONS CODE (FROM CP-1), EXECUTED BY AT LEAST TWO PARTNERS; AND A CERTIFIED COPY OF ANY AMENDMENTS TO SUCH STATEMENT (FROM CP-7), BE RECORDED IN THE PUBLIC RECORDS; B. A FULL COPY OF THE PARTNERSHIP AGREEMENT AND ANY AMENDMENTS; C. OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL, REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE. (NOT A SURVEY MATTER)
 - ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY AN ALTA/NSPS SURVEY MADE BY CAL VADA SURVEYING, INC. ON MAY 20, 2022-LAST REVISED NOVEMBER 8, 2022, DESIGNATED JOB NUMBER JOB NO. 22381:
 - UNKNOWN OWNER OF A BLOCK WALL ALONG THE WESTERLY BOUNDARY OF PARCEL B.
 - WROUGHT IRON FENCE LONG THE SOUTHERLY BOUNDARY.
 - UNKNOWN OWNER OF A BLOCK WALL ALONG THE NORTHERLY BOUNDARY.
 - PVC RISER 2" LOCATED IN THE SOUTHERLY PORTION OF PARCEL B.

POSSIBLE ENCROACHMENT NOTES
 NO APPARENT ENCROACHMENTS

ITEMS CORRESPONDING TO TABLE A ITEMS
ITEM 14
 THE NEAREST INTERSECTING STREET TO THE PROPERTY IS AS SHOWN HEREON.
ITEM 16
 NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
ITEM 17
 NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

SURVEYOR'S NOTES
 - THE UTILITIES SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE ONLY, THIS SURVEY WOULD NOT SHOW UTILITIES COVERED BY CANS/TRUCKS OR RECENTLY PAVED ASPHALT/CONCRETE OR OVERGROWN BRUSH, TREES AND SHRUBS.
 - THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.
 - UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

SURVEYOR'S CERTIFICATE
 TO THE BLACK COMPANY, A CALIFORNIA GENERAL PARTNERSHIP, AND ESHAGH NEMAN AND SIMN NEMAN, AS TRUSTEES OF THE ESHAGH NEMAN AND SIMN NEMAN REVOCABLE TRUST, U/D/T DATED JANUARY 15, 2003 AND MOUSSA WAKEDI, Y. B. RAHIM, EACH AS TO AN UNDIVIDED 1/3 INTEREST, AS TENANTS IN COMMON, AND FIRST AMERICAN TITLE INSURANCE COMPANY.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 7(b), 7(c), 8, 13, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 20, 2022.
 DATE OF PLAT OR MAP: MARCH 3, 2023

LEGEND	
	ASPHALT PAVEMENT
	CABLE TV VAULT
	CATCH BASIN
	CONCRETE PAVEMENT
	CONTROL POINT
	DECORATIVE BRICK
	DRAIN INLET
	FIRE HYDRANT
	FINISH SURFACE
	FLOW LINE
	FOUND MONUMENT AS NOTED
	GAS VALVE
	GATE
	GRAVEL/ROCK
	GROUND LIGHT
	HANDICAP RAMP
	INVERT
	POINT ON LINE
	MAIL BOX
	NATURAL GROUND
	PALM TREE
	SEWER MANHOLE
	SIGN
	STORM DRAIN MANHOLE
	STREET LIGHT
	TREE (DRY)
	TREE (TYPICAL)
	TRUNCATED DOME
	WATER METER
	WATER VALVE
	BLOCK WALL
	CENTERLINE
	EDGE OF PAVEMENT
	FLOW LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	SANITARY SEWER LINE
	STORM DRAIN LINE
	WOOD FENCE
	WROUGHT IRON FENCE

REVISIONS			
NO.	DATE	REVISIONS	BY
0	06/16/22	SUBMITTAL	JT/CE/DM
1	11/08/22	COMMENTS	RG
2	03/03/23	UPDATED TITLE REPORTS	CE

UTILITY STATEMENT
 BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH CALVADA SURVEYING, INC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR TRUTHFULNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. CALVADA SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.



PREPARED FOR
 UNITED CIVIL
 3041 AGUIRA RD, SUITE 215
 AGUIRA HILLS, CA 91301
 PHONE: (818) 707-8648

BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 5, (2022.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (SNA/NA) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS.S.):
 S.N.A. CORS:
 NORTHING = 188113.56' EASTING = 8778811.29'
 S.N.A. EWP:
 NORTHING = 1860640.50' EASTING = 6705286.05'

BENCHMARK
 THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE "SITE" BENCHMARK, PER CITY OF FONTANA OFF-SITE STORM DRAIN IMPROVEMENT PLAN PREPARED BY ALLARD ENGINEERING, DATED 10/11/11.
 DESCRIPTION:
 SW CORNER, SEC. 31, T.1N., R.5W., S.B.M.-27' 19" WITH BRASS CAP, C.S.M. AT THE INTERSECTION OF BASELINE AVENUE AND CIRIUS AVENUE. ELEVATION: 1395.02'

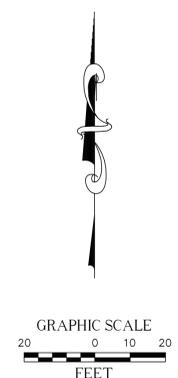
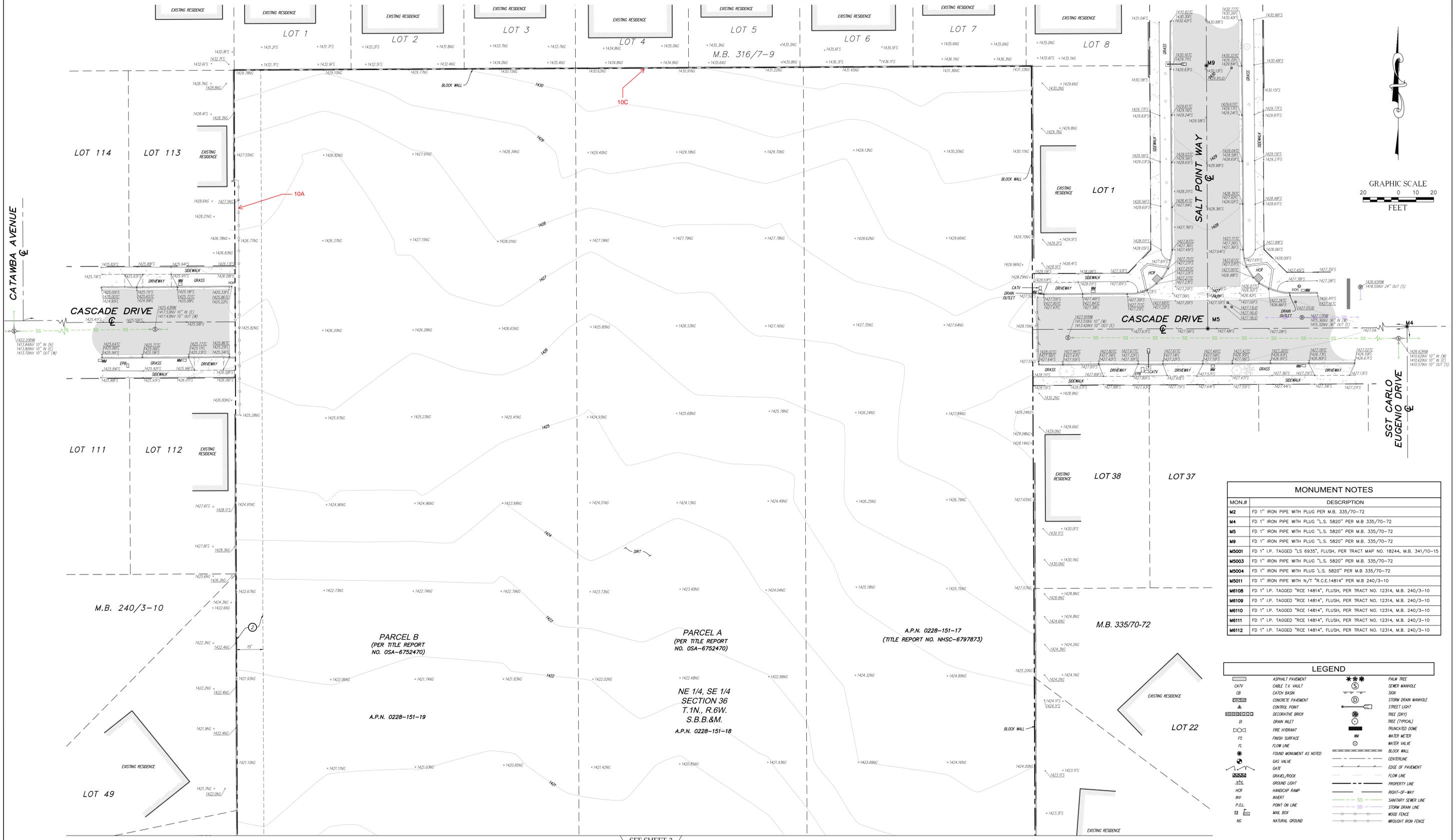
SITE INFORMATION
 SITE ADDRESS: 15956 CHASE ROAD, FONTANA, CA 92336
 SAN BERNARDINO COUNTY
 PROPERTY AREA: GROSS: 6.839 AC. OR 297,928 SQ. FT.
 NET: 6.142 AC. OR 293,594 SQ. FT.
 ASSESSOR'S PARCEL NOS.: 0228-151-18 and 0228-151-19

SURVEYOR OF RECORD
 FIELD COMPLETION DATE: MAY 20, 2022
CAL VADA SURVEYING, INC.
 411 Jenks Cir., Suite 205, Corona, CA 92880
 Phone: 951-280-9960 Fax: 951-280-9746
 Toll Free: 800-CALVADA www.calvada.com
 EST. 1989 JOB NO. 22381



TOPOGRAPHIC SURVEY

15936 CHASE ROAD, FONTANA, CA 92336



MON.#	DESCRIPTION
M2	FD 1" IRON PIPE WITH PLUG PER M.B. 335/70-72
M4	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M9	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5001	FD 1" I.P. TAGGED "L.S. 6935", FLUSH, PER TRACT MAP NO. 18244, M.B. 341/10-15
M5003	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5004	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5011	FD 1" IRON PIPE WITH N/T "R.C.E.14814" PER M.B. 240/3-10
M6108	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6109	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6110	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6111	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6112	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10

LEGEND	
	ASPHALT PAVEMENT
	CATV
	CB
	CONCRETE PAVEMENT
	CONTROL POINT
	DECORATIVE BRICK
	DI
	FIRE HYDRANT
	FS
	FL
	FLOW LINE
	FOUND MONUMENT AS NOTED
	GAS VALVE
	GATE
	GRAVEL/ROCK
	GROUND LIGHT
	HCR
	INV
	P.O.L. ON LINE
	MAIL BOX
	NATURAL GROUND
	PALM TREE
	SEWER MANHOLE
	SOD
	STORM DRAIN MANHOLE
	STREET LIGHT
	TREE (DRY)
	TREE (TYPICAL)
	TRUNCATED DOME
	WATER METER
	WATER VALVE
	BLOCK WALL
	CENTERLINE
	EDGE OF PAVEMENT
	FLOW LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	SANITARY SEWER LINE
	STORM DRAIN LINE
	WOOD FENCE
	WROUGHT IRON FENCE

REVISIONS			UTILITY STATEMENT		PREPARED FOR	BASIS OF BEARINGS	BENCHMARK	SITE INFORMATION	SURVEYOR OF RECORD	
NO.	DATE	REVISIONS	BY	BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH CALVADA SURVEYING, INC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR TRUTHFULNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POTHOLING. CALVADA SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.	UNITED CIVIL 30141 AGUIRA RD., SUITE 215 AGUIRA HILLS, CA 91301 PHONE: (818) 707-8648	S.N.A. C.B.S. NORTHING = 181113.50' EASTING = 8778811.29' S.N.A. E.M.P. NORTHING = 1860640.50' EASTING = 6705286.05'	THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE "SITE" BENCHMARK, PER CITY OF FONTANA OFF-SITE STORM DRAIN IMPROVEMENT PLAN PREPARED BY ALLARD ENGINEERING, DATED 10/11/11. DESCRIPTION: SW CORNER, SEC. 31, T.1N., R.5W., S.B.M.-27 1' WITH BRASS CAP, C.S.M. AT THE INTERSECTION OF BASLINE AVENUE AND CITRUS AVENUE. ELEVATION: 1395.02	SITE ADDRESS: 15936 CHASE ROAD, FONTANA, CA 92336 SAN BERNARDINO COUNTY PROPERTY AREA: GROSS: 6.839 AC. OR 297,928 SQ. FT. NET: 6.142 AC. OR 293,594 SQ. FT. ASSESSOR'S PARCEL NOS.: 0228-151-18 AND 0228-151-19	CAL VADA SURVEYING, INC. 411 Jenks Cir., Suite 205, Corona, CA 92880 Phone: 951-280-9960 Fax: 951-280-9746 Toll Free: 800-CALVADA www.calvada.com EST. 1989 JOB NO. 22381 Registration No. 7780	
0	06/16/22	SUBMITTAL	JT/CE/DM						FIELD COMPLETION DATE: MAY 20, 2022	
1	11/08/22	COMMENTS	RG						SHEET 2 OF 3	
2	03/03/23	UPDATED TITLE REPORTS	CE							



SEE SHEET 3

TOPOGRAPHIC SURVEY

15936 CHASE ROAD, FONTANA, CA 92336



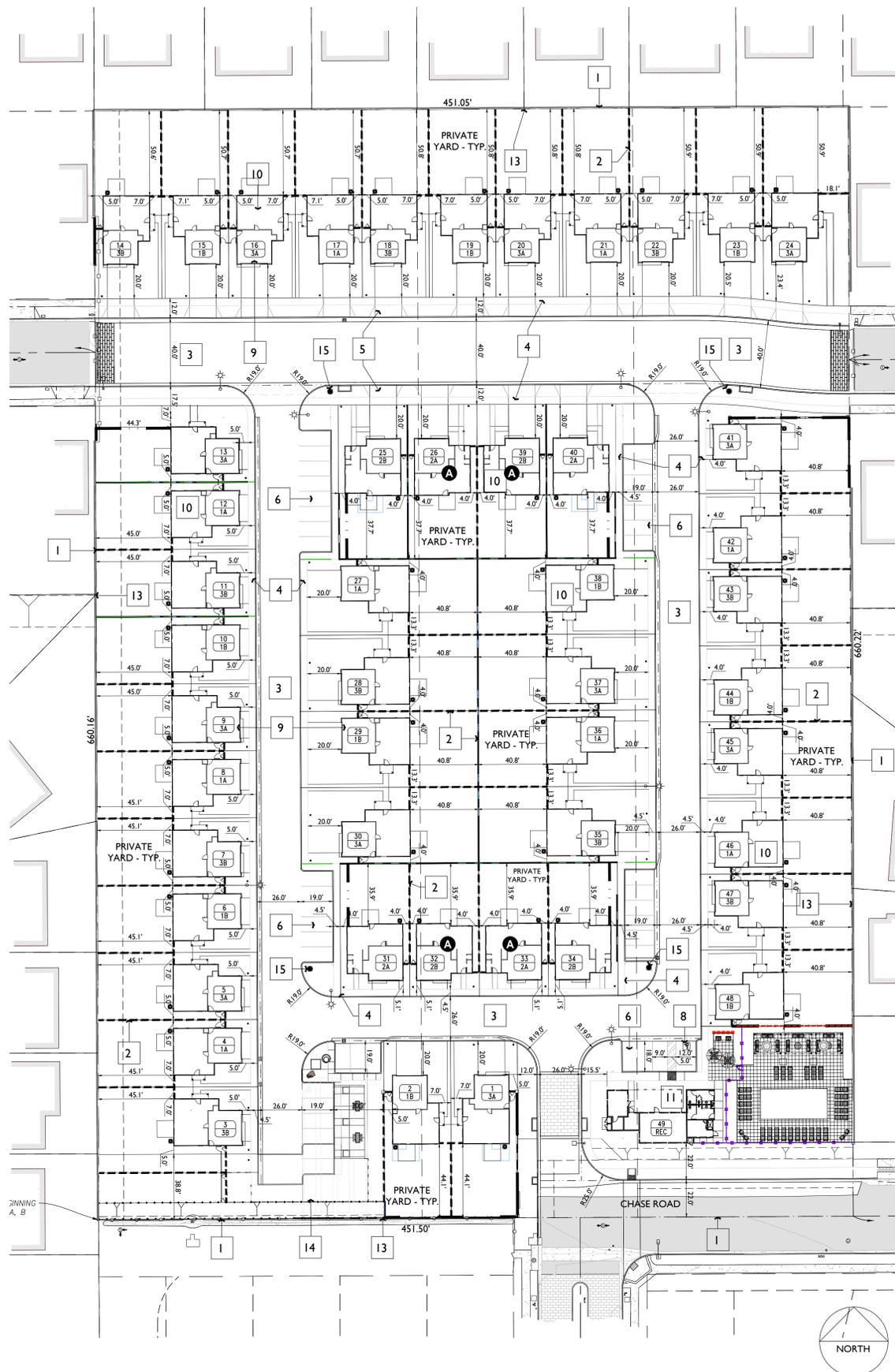
LEGEND			
	ASPHALT PAVEMENT		PALM TREE
	CABLE TV VAULT		SEWER MANHOLE
	CITY		SIDEWALK
	CATCH BASIN		STORM DRAIN MANHOLE
	CONCRETE PAVEMENT		STREET LIGHT
	CONTROL POINT		TREE (DRY)
	DECORATIVE BRICK		TREE (TYPICAL)
	DRAIN INLET		TRUNCATED DOME
	FIRE HYDRANT		WATER METER
	FINISH SURFACE		WATER VALVE
	FLOW LINE		BLOCK WALL
	FOUND MONUMENT AS NOTED		CENTERLINE
	GAS VALVE		EDGE OF PAVEMENT
	GATE		FLOW LINE
	GRAVEL/ROCK		PROPERTY LINE
	GROUND LIGHT		RIGHT-OF-WAY
	HANDICAP RAMP		SANITARY SEWER LINE
	INVERT		STORM DRAIN LINE
	MAIL BOX		WOOD FENCE
	NATURAL GROUND		WROUGHT IRON FENCE

MONUMENT NOTES	
MON.#	DESCRIPTION
M4	FD 1" IRON PIPE WITH PLUG PER M.B. 335/70-72
M2	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M8	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5001	FD 1" I.P. TAGGED "LS 6935", FLUSH, PER TRACT MAP NO. 18244, M.B. 341/10-15
M5003	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5004	FD 1" IRON PIPE WITH PLUG "L.S. 5820" PER M.B. 335/70-72
M5011	FD 1" IRON PIPE WITH N/T "R.C.E.14814" PER M.B. 240/3-10
M6108	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6109	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6110	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6111	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10
M6112	FD 1" I.P. TAGGED "RCE 14814", FLUSH, PER TRACT NO. 12314, M.B. 240/3-10

REVISIONS				UTILITY STATEMENT		PREPARED FOR		BASIS OF BEARINGS		BENCHMARK		SITE INFORMATION		SURVEYOR OF RECORD	
NO.	DATE	REVISIONS	BY	BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE. RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH CALVADA SURVEYING, INC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. CALVADA SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.	UNITED CIVIL	THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCSB3, ZONE 5, (2022.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (SNA.N.A.) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):	THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE "SITE BENCHMARK" PER CITY OF FONTANA OFF-SITE STORM DRAIN IMPROVEMENT PLAN PREPARED BY ALLARD ENGINEERING, DATED 10/11/11.	15956 CHASE ROAD, FONTANA, CA 92336 SAN BERNARDINO COUNTY	ASSessor'S PARCEL NO.S:	0228-151-18 AND 0228-151-19	EST. 1989	Registration No. 7780			
0	06/16/22	SUBMITTAL	JT/CE/DM		3014 AGOURA RD, SUITE 215 AGOURA HILLS, CA 91301 PHONE: (818) 707-8648	S.N.A. C.O.R.S. NORTHING = 188113.5' EASTING = 8778811.2'	SW CORNER, SEC. 31, T.1N., R.5W., S.B.M.-27 15' WITH BRASS CAP, C.S.M. AT THE INTERSECTION OF BASTIAN AVENUE AND CITRUS AVENUE. ELEVATION: 1395.02	PROPERTY AREA: GROSS: 6.839 AC. OR 297,928 SQ. FT. NET: 6.142 AC. OR 293,594 SQ. FT.							
1	11/08/22	COMMENTS	RG												
2	03/03/23	UPDATED TITLE REPORTS	CE												



CALVADA SURVEYING, INC.
411 Jenks Cir., Suite 205, Corona, CA 92880
Phone: 951-280-9960 Fax: 951-280-9746
Toll Free: 800-CALVADA www.calvada.com
EST. 1989 JOB NO. 22381



AFFORDABLE HOUSING NOTES:
 Dedicated Affordable Housing units are located on sites marked with **A** symbol:

- Lot 26
- Lot 39
- Lot 32
- Lot 33

- SITE PLAN KEYNOTES:**
- 1 PROPERTY LINE
 - 2 INTERIOR LOT LINE
 - 3 PRIVATE STREET - FIRE LANE
 - 4 CONCRETE SIDEWALK
 - 5 PARKWAY
 - 6 STANDARD OPEN PARKING STALL - 9' X 18' (TYP.)
 - 7 ACCESSIBLE PARKING STALL 9' X 18' W/ MIN. 5' LOADING VAN ACCESSIBLE STALL W/ MIN. 8' LOADING ZONE
 - 8 2 CAR GARAGE PER UNIT PLANS (20' X 20') TYP.
 - 9 2-STORY SINGLE FAMILY DWELLING
 - 10 RECREATION AREA
 - 11 PERIMETER BLOCK WALL - REFER TO LANDSCAPE PLANS
 - 12 TUBULAR STEEL FENCE TO REMAIN
 - 13 WATER QUALITY BASIN - REFER TO CIVIL PLANS
 - 14 ON-SITE FIRE HYDRANT
 - A** AFFORDABLE HOUSING UNIT

Site Information			
Address: 15912, 15936 & 15956 Chase Road Fontana, CA 92336			
APN: 0228-151-17-0-000 0228-151-18-0-000 0228-151-19-0-000			
Current Use:	Vacant		
Gross Area:	6.839 acres	ALTA Survey, 6/16/2022	
297,928 sq. ft.			
Planning & Zoning Information			
General Plan:	R-SF	Note: Proposed Project is submitted under provisions of the State Of California Density Bonus Law (Gov §65915 Et Seq)	
Zoning:	R-1		
Specific Plan:	N/A		
Overlay District:	N/A		
Density:	5.0 du/acre		
State Density Bonus Law (GOV §65915 et seq) Calculation			
A.	Site Area	6.839 acres	See: ALTA Survey
B.	General Plan Density:	5.0 du/acre	See: General Plan
C.	Base Yield:	34,197 du	= A * B
D.	Base Yield (Rounded)	35 du	Round-up C
E.	Affordable Units (Very Low) Provided	4 du	Assumption
F.	Affordable Units as % of Total Units	11.43% du	= E / D
G.	Allowed Density Bonus per GOV §65915 et seq	35% of base yield	See: Table at GOV §65915(f)(2)
H.	Allowable Density Bonus Units	12.25 du	= G * D
I.	Allowable Density Bonus Units, Rounded Up	13 du	Round-up H
J.	Total Unit / Lot Yield	48 du / lots	= D + I
Program Summary			
Lot Attributes & Mix	Type 1	Type 2	Type 3
Lot Mix	23 lots	8 lots	17 lots
Lot Width (typical)	40'	41.5'	45.3'
Lot Depth (typical)	95' to 112'	79.5' to 92'	90.5' to 106.5'
Lot Area-Average (estimated)	4,177 sq. ft.	3,553 sq. ft.	4,467 sq. ft.
Overall Lot Size-Tract Average	4,229 sq. ft.		
Parking Summary	Garage	Full Driveway	Apron Driveway
On-Lot Parking			
Lot Type 1	23 lots	13 lots	13 lots
Lot Type 2	8 lots	4 lots	4 lots
Lot Type 3	17 lots	8 lots	9 lots
Total	48 lots	25 lots	26 lots
Spaces per Parking Location	2 spaces	2 spaces	0 spaces
Total Parking - On Lot	96 spaces	50 spaces	0 spaces
Off-Lot Parking			
Surface-Head in	40 spaces		
Parking Ratio Summary			
Resident Parking (Private)	96 spaces	2.0 spaces per lot	
Guest Parking - On Lot (Private)	50 spaces	2.0 spaces per lot	
Additional Resident & Guest Parking - Off-Lot (Common)	40 spaces	1.5 spaces per lot	
Total	186 spaces	3.9 spaces per lot	
Plan Mix	Plan 1	Plan 2	Plan 3
Market Rate	19 du	4 du	21 du
Affordable	=	4 du	=
Total Units by Plan	19 du	8 du	21 du
Total Plan Type Mix	40%	17%	44%
Plan Description	Plan 1	Plan 2	Plan 3
Size	1,582 sq. ft.	1,631 sq. ft.	1,652 sq. ft.
Floors	2 stories	2 stories	2 stories
Garage	2-car, attached	2-car, attached	2-car, attached
Bedrooms	3 bedrooms	3 bedrooms	3 bedrooms
Convertible Loft	no	no	yes; possible 4th bedroom
Bathrooms	2.5 bathrooms	2.5 bathrooms	2.5 bathrooms
Development Standard Conformance			
Please refer to application supporting narratives for discussion of State Density Bonus Law applicability to this project for a detailed review of development standards and required relief from standards.			

NOTE TO REVIEWER:
 PLEASE REFER TO "SITE DEVELOPMENT PLAN" ON NEXT SHEET FOR FURTHER ENGINEERING AND DIMENSIONAL INFORMATION REQUIRED BY CITY SUBMITTAL STANDARDS.

RC HOMES, INC.
 550 N Larchmont Blvd., Suite 201
 Los Angeles, CA 90004
 323.450.2331

CHASE ROAD DETACHED HOMES (TRACT 20580)
 15912-15956 CHASE ROAD, FONTANA CA 92336
 APN 0228-151-17, 0228-151-18, 0228-151-19

JULY 11, 2023

SCALE: 0 40 80 120

SUMMA
 ARCHITECTURE
 5256 S. Mission Road, Suite 404
 Bonsall, CA 92003
 www.summarch.com
 760.724-1198

SP

SITE DEVELOPMENT PLAN

TRACT NO. 20580

IN THE CITY OF FONTANA, COUNTY OF
SAN BERNARDINO, STATE OF CALIFORNIA

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A: (APN: 0228-151-18-0-000)

THAT PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE JUNE 2, 1874, DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 193.5 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE EAST ALONG SAID SOUTH LINE, 129 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION, 660 FEET TO THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 129 FEET TO A POINT OF 193.5 FEET EAST OF THE WEST LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660 FEET TO THE POINT OF BEGINNING.

PARCEL B: (APN: 0228-151-19-0-000)

THAT PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE JUNE 2, 1874, DESCRIBED AS FOLLOWS:

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PARCEL C: (APN: 0228-151-17-0-000)

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BEGINNING AT A POINT IN THE SOUTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER WHICH IS 322.50 FEET, EAST OF THE SOUTHWEST CORNER THEREOF, THENCE EAST ALONG SAID SOUTH LINE 129.00 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION 660.00 FEET, TO THE NORTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER, 129.00 FEET TO A POINT 322.50 FEET EAST OF THE WEST LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660.00 FEET TO THE POINT OF BEGINNING.

APN: 0228-151-17-0-000 AND 0228-151-18-0-000 AND 0228-151-19-0-000

LAND USE:

- EXISTING LAND USE:
 - ONSITE - VACANT
 - NORTH - SINGLE FAMILY RESIDENTIAL
 - SOUTH - SINGLE FAMILY RESIDENTIAL
 - EAST - SINGLE FAMILY RESIDENTIAL
 - WEST - SINGLE FAMILY RESIDENTIAL

EXISTING ZONING: R-1

PROPOSED PROJECT SUBMITTED UNDER PROVISIONS OF STATE OF CALIFORNIA DENSITY BONUS LAW (GOV §65915 et seq)

PROJECT AREA:

GROSS AREA: 6.84 ACRES

PARKING:

HEAD-IN PARKING (9' X 18'): 39 STALLS

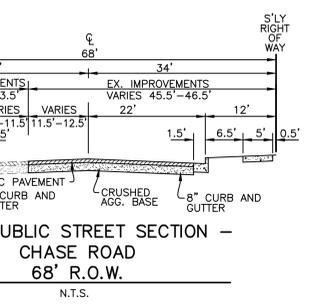
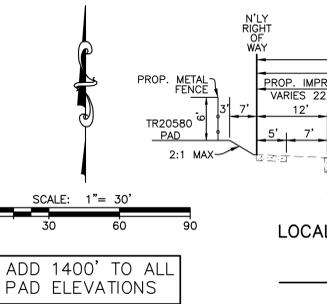
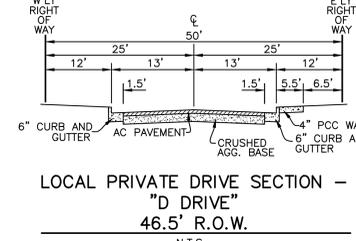
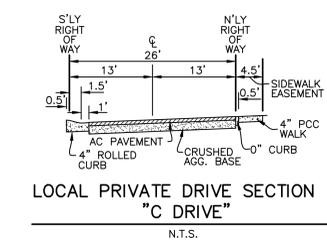
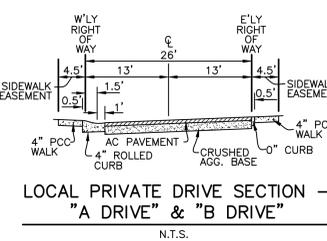
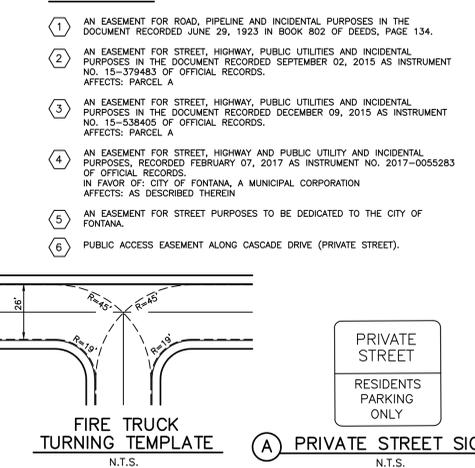
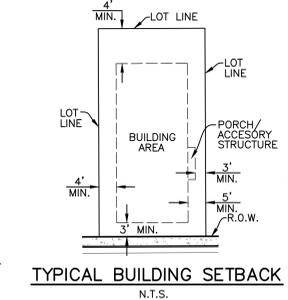
HANDICAP PARKING: 1 STALLS

EARTHWORK:

	CUT	FILL
RAW EXCAVATION:	6,328 CY	4,680 CY
REMOVAL/RECOMPACTION:	55,172 CY	55,172 CY
STREET UNDERCUT (2'):	4,239 CY	920 CY
SUBSIDENCE (1'):		4,414 CY
SHRINKAGE (8%):		4,414 CY
TOTALS:	65,739 CY	65,186 CY
NET EXPORT:	553 CY	

LEGEND:

- PROP. DOMESTIC WATER
- PROP. FIRE WATER
- PROP. SEWER
- FIRE HYDRANT



ADD 1400' TO ALL PAD ELEVATIONS

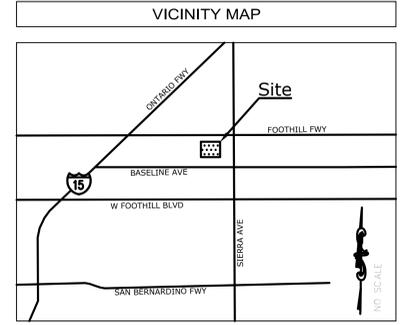
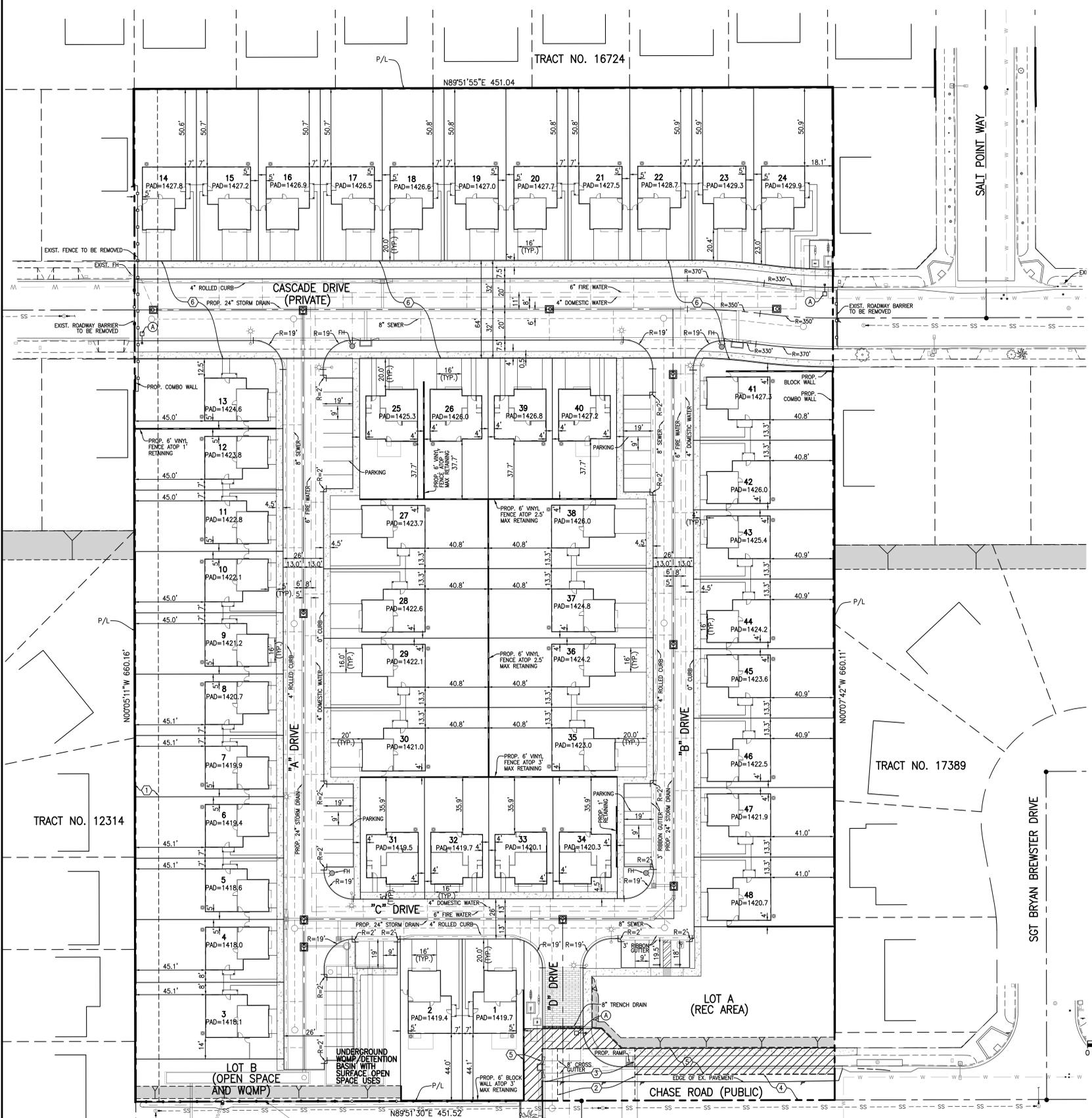
PREPARED BY:

UNITED CIVIL INC.
30141 Agoura Road, Suite 215
Agoura Hills, CA 91301
PH: (818) 707-8648

REGISTERED PROFESSIONAL ENGINEER
NO. 48026
EXP. 12-31-2022
CIVIL
STATE OF CALIFORNIA

REV #	DATE	REVISIONS

CITY OF FONTANA
SITE DEVELOPMENT
PLAN NO. 20580



DEVELOPER:

RC HOMES, INC.
RIDGE CREST REAL ESTATE, LLC
550 N LARCHMONT BLVD., SUITE 201
LOS ANGELES, CA 90004
P: (323) 450-2354

CITY OF FONTANA UTILITY, NOTIFICATION LIST

UTILITY	CONTACT INFORMATION
CITY OF FONTANA	3155 SIERRA AVE, FONTANA, CA 92335 (909) 350-6632
FONTANA WATER COMPANY	15966 ARROW BOULEVARD, FONTANA, CA 92335 (909) 822-2201
SO. CALIF. GAS COMPANY	1981 W. LUGONIA AVE, REDLANDS, CA 92374 (909) 335-7967
AT&T	3073 ADAMS STREET, RIVERSIDE, CA 92504 (951) 359-2629
EMERGENCIES:	(800) 427-2200
SO. CALIF. EDISON COMPANY	300 N. PEPPER AVE, RIALTO, CA 92376 (909) 820-5598
UNDERGROUND	(909) 875-5100
TRANSMISSION	(213) 637-1233
PIPELINES	(909) 357-6505
DISTRIBUTION	
UNDERGROUND SERVICE ALERT	(800) 422-4133
CHARTER COMMUNICATIONS	(909) 821-8024

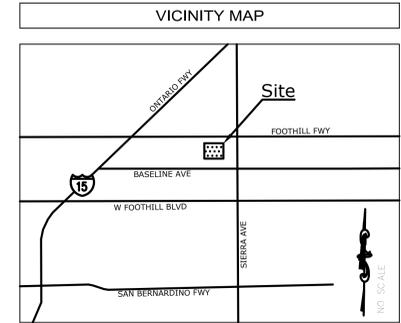
EASEMENTS:

- 1 AN EASEMENT FOR ROAD, PIPELINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 29, 1923 IN BOOK 802 OF DEEDS, PAGE 134.
- 2 AN EASEMENT FOR STREET, HIGHWAY, PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED SEPTEMBER 02, 2015 AS INSTRUMENT NO. 15-379483 OF OFFICIAL RECORDS. AFFECTS: PARCEL A
- 3 AN EASEMENT FOR STREET, HIGHWAY, PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED DECEMBER 09, 2015 AS INSTRUMENT NO. 15-538405 OF OFFICIAL RECORDS. AFFECTS: PARCEL A
- 4 AN EASEMENT FOR STREET, HIGHWAY AND PUBLIC UTILITY AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 07, 2017 AS INSTRUMENT NO. 2017-0055283 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF FONTANA, A MUNICIPAL CORPORATION AFFECTS: AS DESCRIBED THEREIN
- 5 AN EASEMENT FOR STREET PURPOSES TO BE DEDICATED TO THE CITY OF FONTANA.
- 6 PUBLIC ACCESS EASEMENT ALONG CASCADE DRIVE (PRIVATE STREET).

CONCEPTUAL GRADING, DRAINAGE & WQMP PLAN

TRACT NO. 20580

IN THE CITY OF FONTANA, COUNTY OF
SAN BERNARDINO, STATE OF CALIFORNIA



LEGAL DESCRIPTION:

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PARCEL C: (APN: 0228-151-17-0-000)

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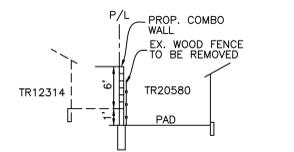
APN: 0228-151-17-0-000 AND 0228-151-18-0-000 AND 0228-151-19-0-000

DEVELOPER:

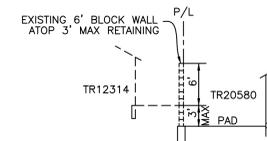
RC HOMES, INC.
RIDGE CREST REAL ESTATE, LLC.
550 N LARCHMONT BLVD., SUITE 201
LOS ANGELES, CA 90004
P: (323) 450-2334

EARTHWORK:

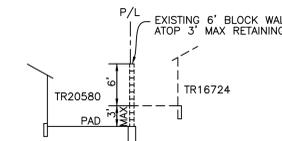
	CUT	FILL
RAW EXCAVATION:	6,328 CY	4,680 CY
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(5' ENTIRE SITE)		
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SUBSIDENCE (1):		4,414 CY
SHRINKAGE (8%):		4,414 CY
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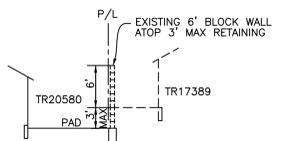
SECTION A-A
NTS



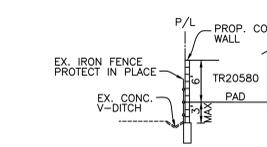
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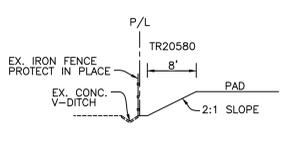
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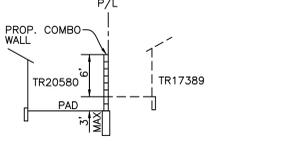
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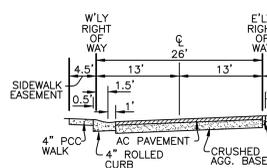
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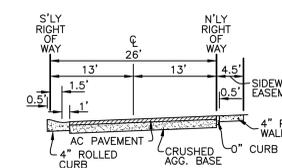
SECTION F-F
NTS



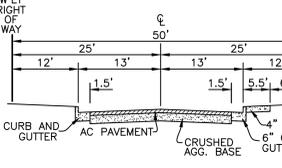
SECTION G-G
NTS



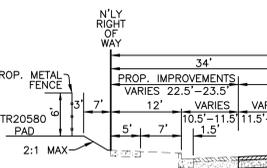
LOCAL PRIVATE DRIVE SECTION -
"A DRIVE" & "B DRIVE"
N.T.S.



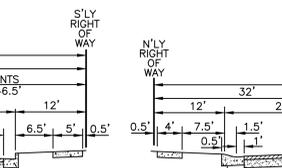
LOCAL PRIVATE DRIVE SECTION -
"C DRIVE"
N.T.S.



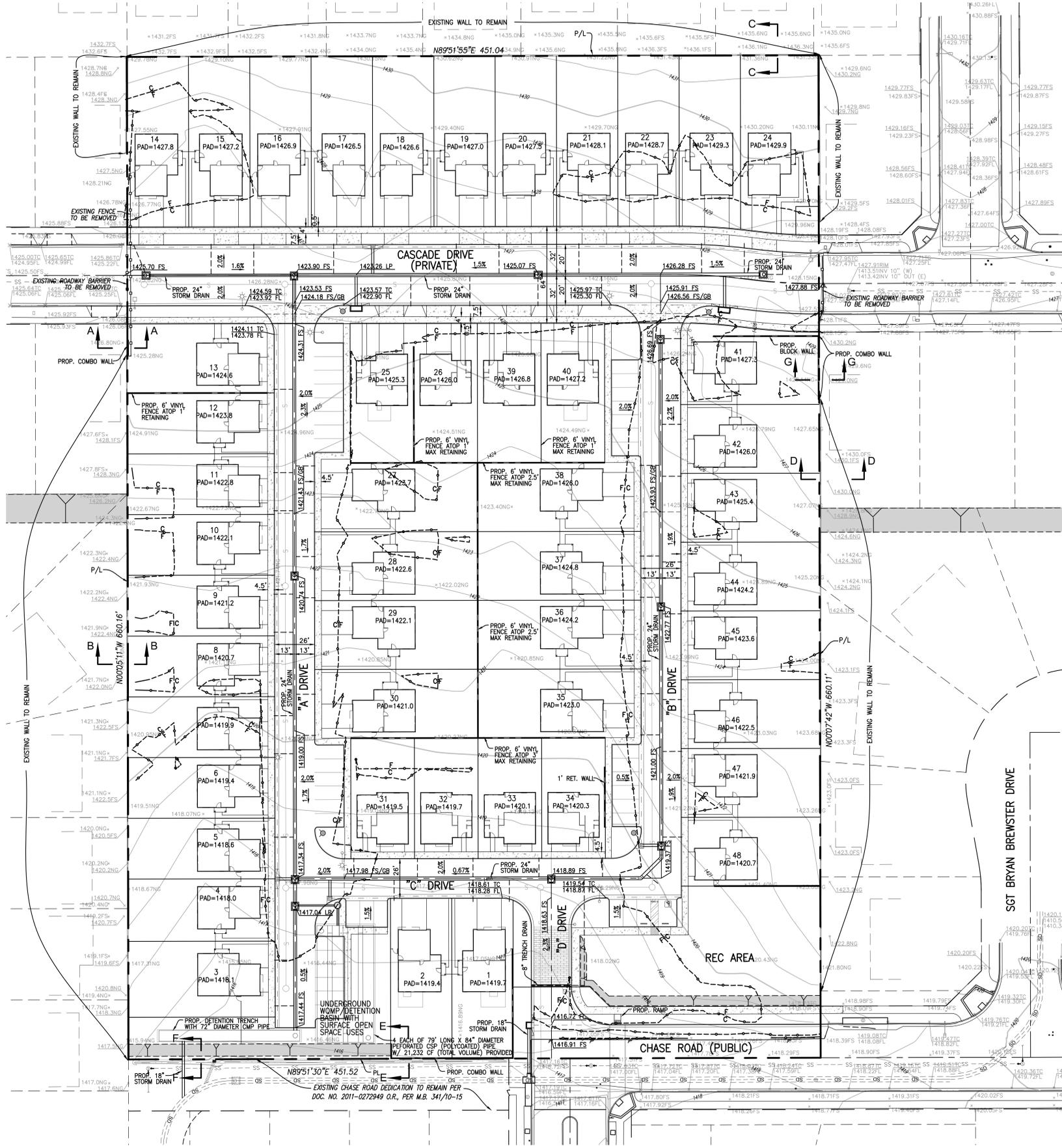
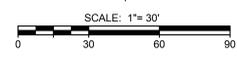
LOCAL PRIVATE DRIVE SECTION -
"D DRIVE"
46.5' R.O.W.
N.T.S.



LOCAL PUBLIC STREET SECTION -
CHASE ROAD
68' R.O.W.
N.T.S.



LOCAL PRIVATE STREET SECTION -
CASCADE DRIVE
64' R.O.W.
N.T.S.



PREPARED BY:

UNITED CIVIL INC
30141 Agoura Road, Suite 215
Agoura Hills, CA 91301
PH: (818) 707-8648

REGISTERED PROFESSIONAL ENGINEER
NO. 46026
CIVIL
STATE OF CALIFORNIA

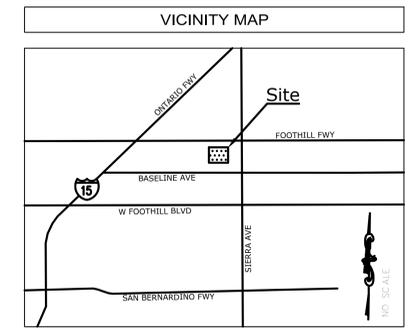
REV #	DATE	REVISIONS

**CONCEPTUAL GRADING &
DRAINAGE PLAN**
MAP NO. 20580
FONTANA, CA

DATE: 6/15/2023

TENTATIVE TRACT MAP NO. 20580

IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA



LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A: (APN: 0228-151-18-0-000)

THAT PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE JUNE 2, 1874, DESCRIBED AS FOLLOWS:

BEGINNING IN THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 193.5 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE EAST ALONG SAID SOUTH LINE, 129 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION, 660 FEET TO THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 129 FEET TO A POINT OF 193.5 FEET EAST OF THE WEST LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660 FEET TO THE POINT OF BEGINNING.

PARCEL B: (APN: 0228-151-19-0-000)

THAT PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE JUNE 2, 1874, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 193.5 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION, 660 FEET TO THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 193.5 FEET TO THE WEST LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660 FEET TO THE POINT OF BEGINNING.

PARCEL C: (APN: 0228-151-17-0-000)

THAT PORTION OF THE SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36 IN TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER WHICH IS 322.50 FEET EAST OF THE SOUTHWEST CORNER THEREOF, THENCE EAST ALONG SAID SOUTH LINE 129.00 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SECTION 660.00 FEET, TO THE NORTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER, 129.00 FEET TO A POINT 322.50 FEET EAST OF THE WEST LINE OF SAID SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 660.00 FEET TO THE POINT OF BEGINNING.

APN: 0228-151-17-0-000 AND 0228-151-18-0-000 AND 0228-151-19-0-000

LAND USE:

EXISTING LAND USE

- ONSITE - VACANT
- NORTH - SINGLE FAMILY RESIDENTIAL
- SOUTH - SINGLE FAMILY RESIDENTIAL
- EAST - SINGLE FAMILY RESIDENTIAL
- WEST - SINGLE FAMILY RESIDENTIAL

EXISTING ZONING: R-1

PROPOSED PROJECT SUBMITTED UNDER PROVISIONS OF STATE OF CALIFORNIA DENSITY BONUS LAW (GOV 650915 et seq)

PROJECT AREA:

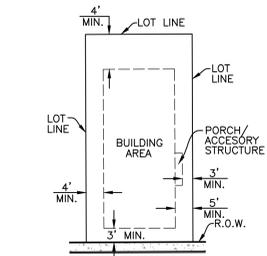
GROSS AREA: 6.84 ACRES

PARKING:

HEAD-IN PARKING (9' x 18'): 39 STALLS
HANDICAP PARKING: 1 STALL

EARTHWORK:

	CUT	FILL
RAW EXCAVATION:	6,328 CY	4,680 CY
REMOVAL/RECOMPACTION:	55,172 CY	55,172 CY
STREET UNDERCUT (2'):	4,239 CY	
SUBSIDENCE (1"):		920 CY
SHRINKAGE (8%):		4,414 CY
TOTALS:	65,739 CY	65,186 CY
NET EXPORT:	553 CY	

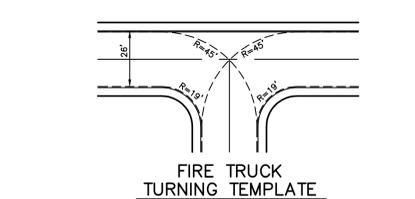


TYPICAL BUILDING SETBACK
N.T.S.

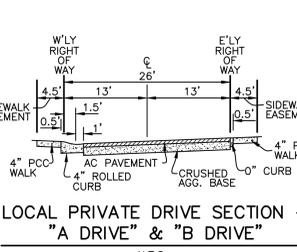


PRIVATE STREET SIGN
N.T.S.

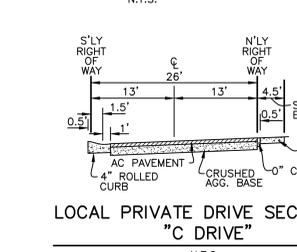
- ## EASEMENTS:
- 1 AN EASEMENT FOR ROAD, PIPELINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 29, 1923 IN BOOK 802 OF DEEDS, PAGE 134.
 - 2 AN EASEMENT FOR STREET, HIGHWAY, PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED SEPTEMBER 02, 2015 AS INSTRUMENT NO. 15-379483 OF OFFICIAL RECORDS.
 - 3 AN EASEMENT FOR STREET, HIGHWAY, PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED DECEMBER 09, 2015 AS INSTRUMENT NO. 15-538405 OF OFFICIAL RECORDS.
 - 4 AN EASEMENT FOR STREET, HIGHWAY AND PUBLIC UTILITY AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 07, 2017 AS INSTRUMENT NO. 2017-0055283 OF OFFICIAL RECORDS. IN FAVOR OF CITY OF FONTANA, A MUNICIPAL CORPORATION AFFECTS: AS DESCRIBED THEREIN
 - 5 AN EASEMENT FOR STREET PURPOSES TO BE DEDICATED TO THE CITY OF FONTANA.
 - 6 PUBLIC ACCESS EASEMENT ALONG CASCADE DRIVE (PRIVATE STREET).



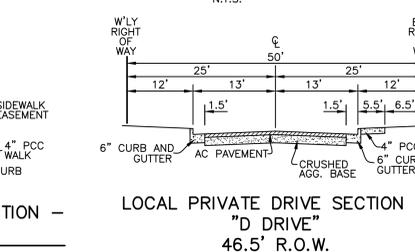
FIRE TRUCK TURNING TEMPLATE
N.T.S.



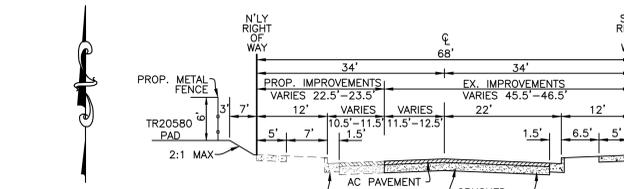
LOCAL PRIVATE DRIVE SECTION - "A DRIVE" & "B DRIVE"
N.T.S.



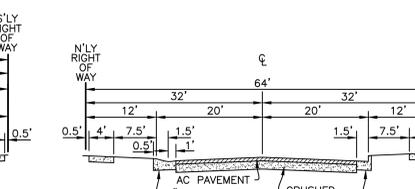
LOCAL PRIVATE DRIVE SECTION - "C DRIVE"
N.T.S.



LOCAL PRIVATE DRIVE SECTION - "D DRIVE"
46.5' R.O.W.
N.T.S.



LOCAL PUBLIC STREET SECTION - CHASE ROAD
68' R.O.W.
N.T.S.



LOCAL PRIVATE STREET SECTION - CASCADE DRIVE
64' R.O.W.
N.T.S.

SCALE: 1" = 30'

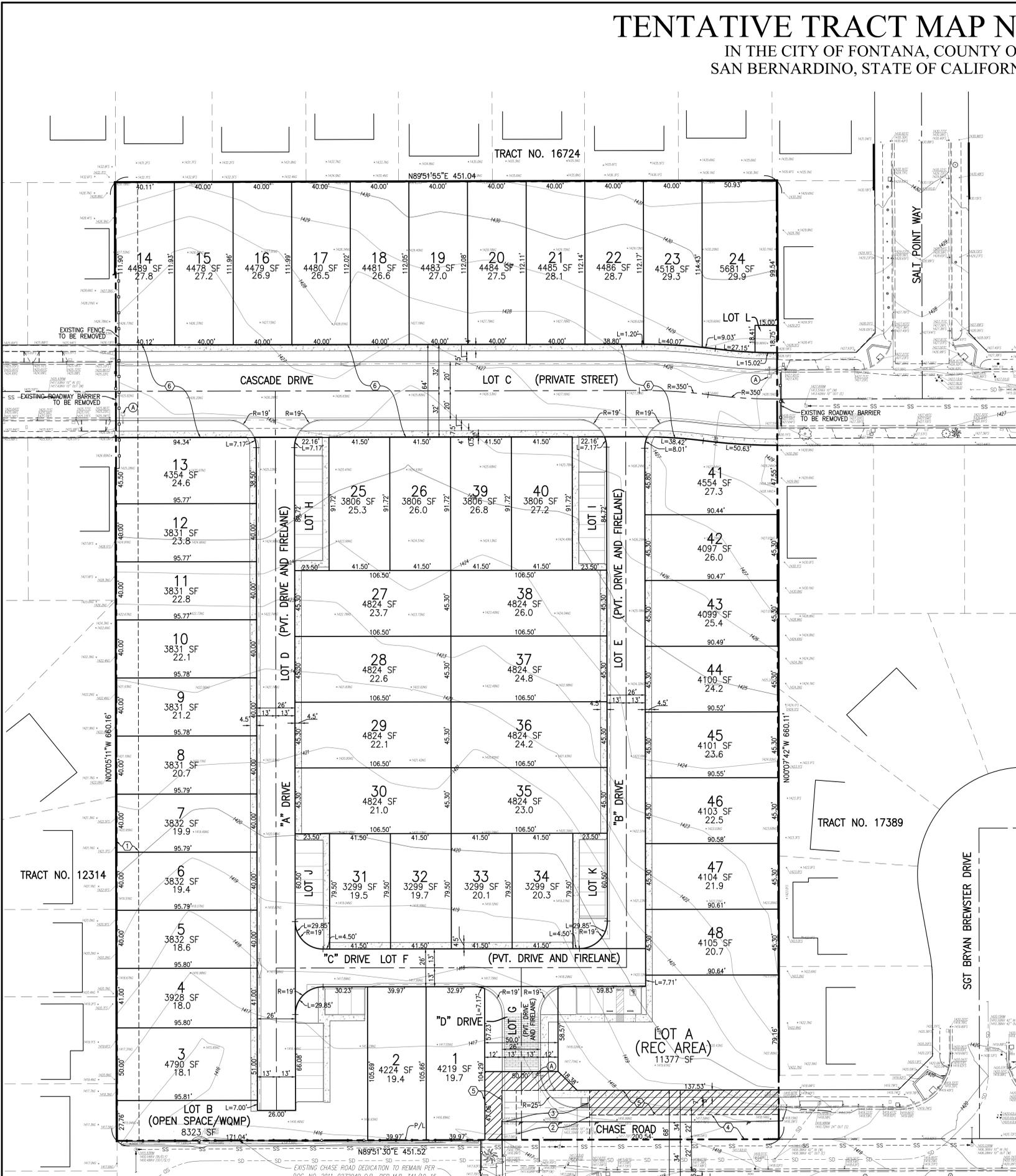
ADD 1400' TO ALL PAD ELEVATIONS

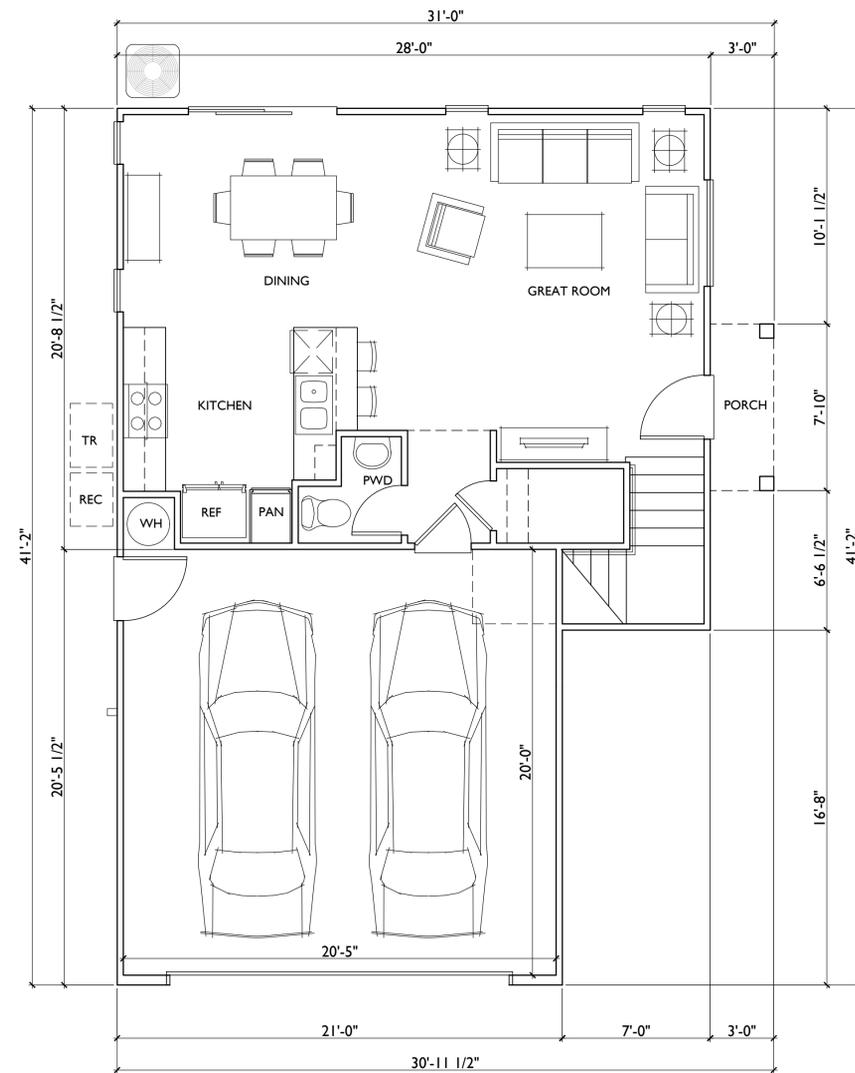
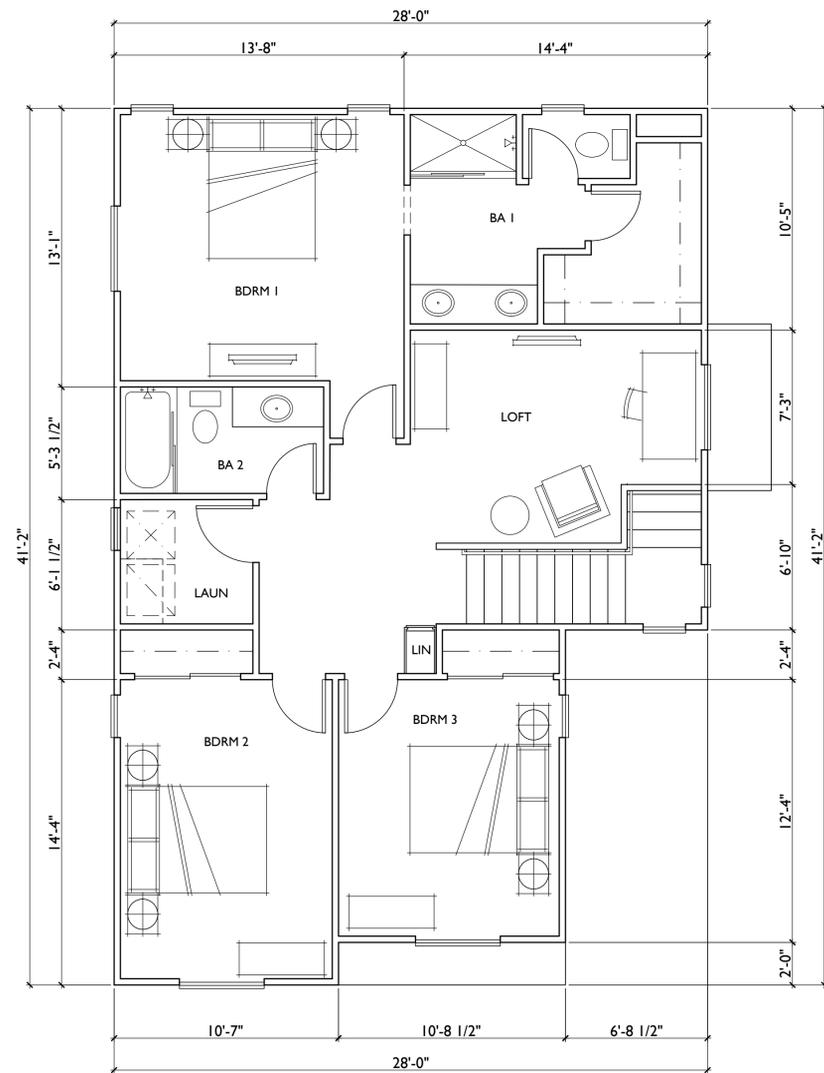
PREPARED BY:
UNITED CIVIL INC
30141 Agoura Road, Suite 215
Agoura Hills, CA 91301
PH: (818) 707-8648

REGISTERED PROFESSIONAL ENGINEER
NO. 48026
SEP 12-31-2022
CIVIL
STATE OF CALIFORNIA

REV #	DATE	REVISIONS

CITY OF FONTANA
TENTATIVE TRACT
MAP NO. 20580





PLAN I	GROSS
1ST FLR	600 S.F.
2ND FLR	982 S.F.
TOTAL	1,582 S.F.
GARAGE	435 S.F.
PORCH	24 S.F.

PLAN I - 1,582 S.F.

PLAN I

RC HOMES, INC.
 550 N Larchmont Blvd.; Suite 201
 Los Angeles, CA 90004
 323.450.2331

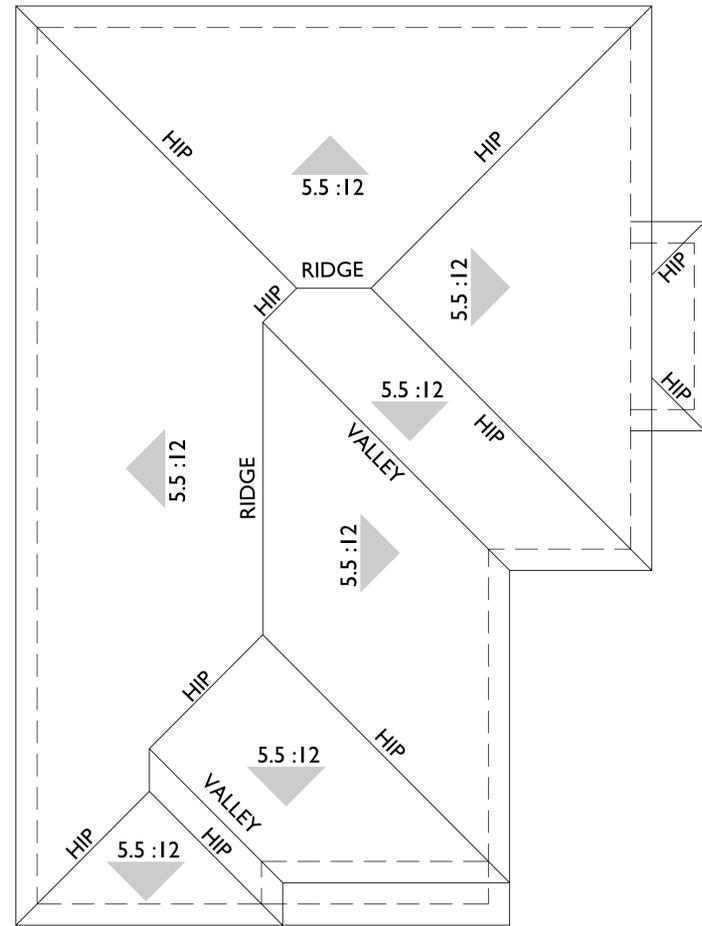
CHASE ROAD DETACHED HOMES (TRACT 20580)
 15912-15956 CHASE ROAD, FONTANA CA 92336
 APN 0228-151-17, 0228-151-18, 0228-151-19

JULY 11, 2023

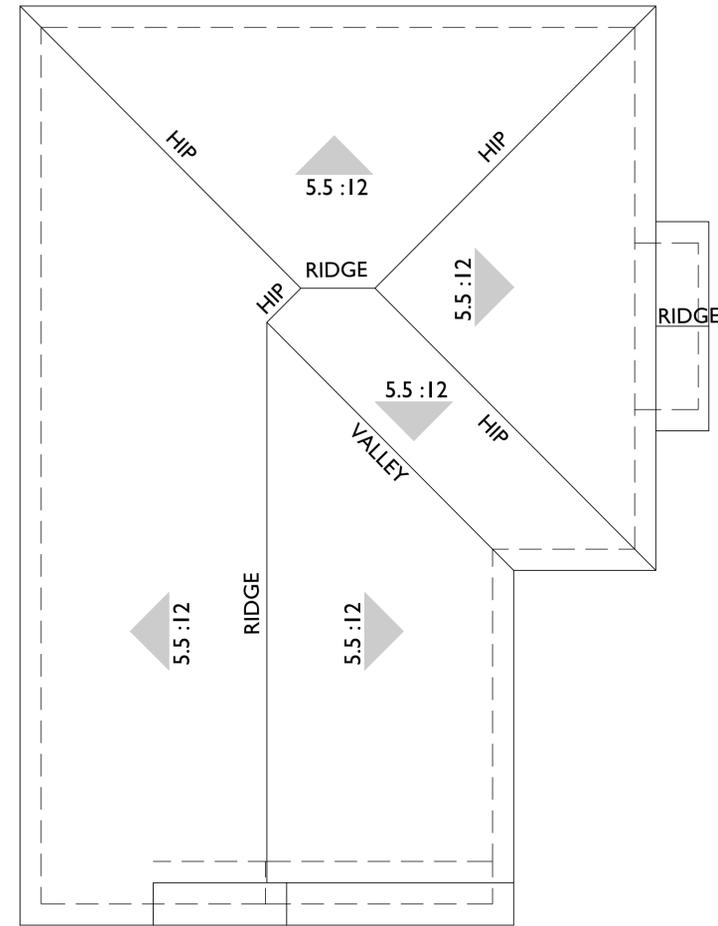


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 Bonsall, CA 92003
 www.summarch.com
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A-1



PLAN IB ROOF



PLAN IA ROOF

PLAN I - ROOF



LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE			
1	ROOF - CONCRETE TILE	7	DECORATIVE EXTERIOR LIGHT FIXTURE
2	FASCIA - 2X RESAWN WOOD	8	SECTIONAL GARAGE DOOR
3	WALL - 1620 FINISH STUCCO		WAYNE DALTON 9100 STYLE PER ELEVATION
4	TRIM - STUCCO OVER FOAM TRIM	9	DECORATIVE METAL GRILLE
5	EAVE - STUCCO OVER SHAPED FOAM	10	UTILITY LIGHT
6	DECORATIVE GABLE ACCENT	11	RECESSED WINDOW W/ DECORATIVE SILL



RIGHT ELEVATION

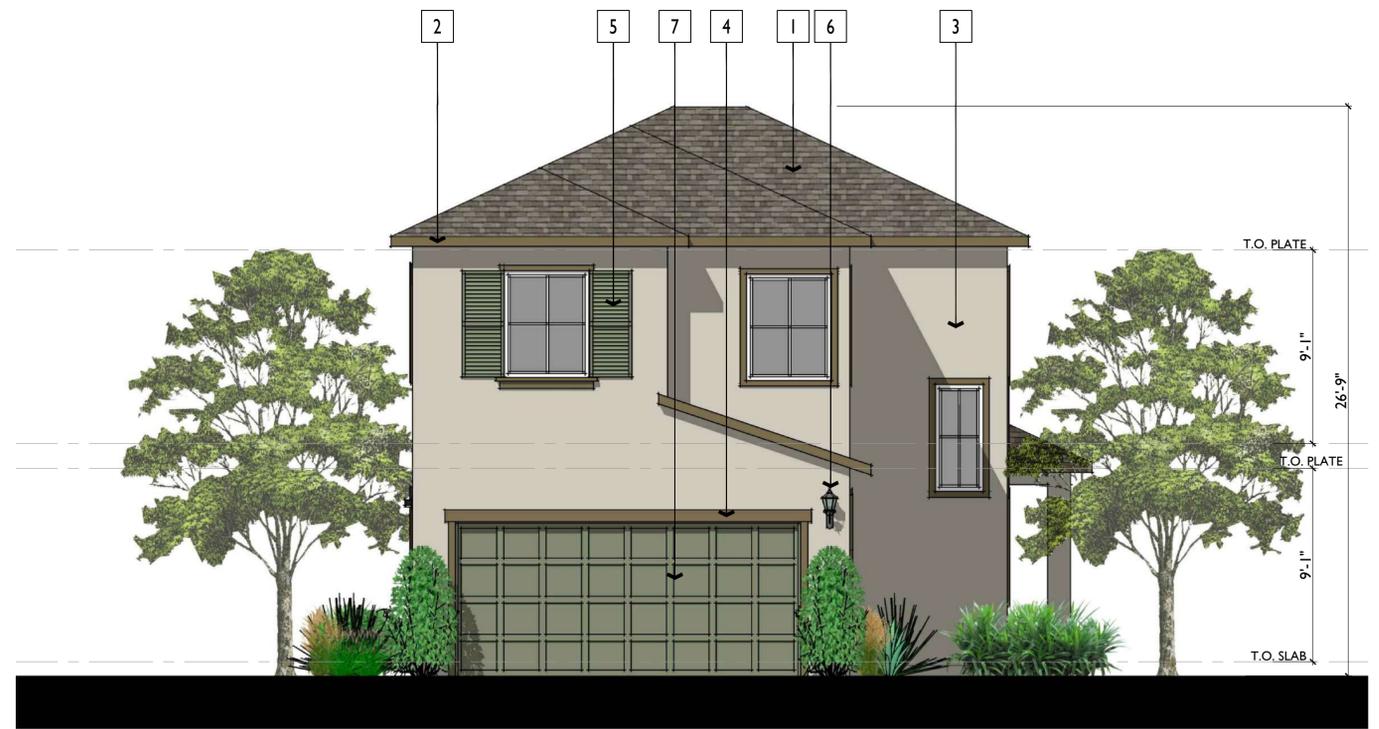


REAR ELEVATION

PLAN 1A ELEVATIONS (SPANISH STYLE)



LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE			
1	ROOF - CONCRETE TILE	7	SECTIONAL GARAGE DOOR
2	FASCIA - 2X RESAWN WOOD		WAYNE DALTON 9100 STYLE PER ELEVATION
3	WALL - 1620 FINISH STUCCO	8	UTILITY LIGHT
4	TRIM - STUCCO OVER FOAM TRIM		
5	DECORATIVE SHUTTERS		
6	DECORATIVE EXTERIOR LIGHT FIXTURE		



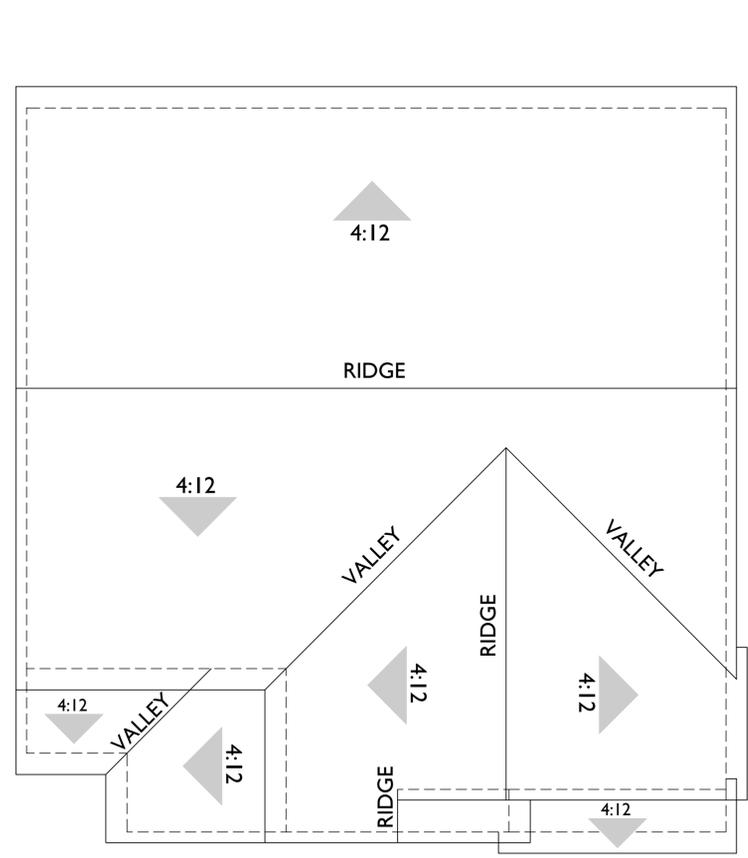
RIGHT ELEVATION



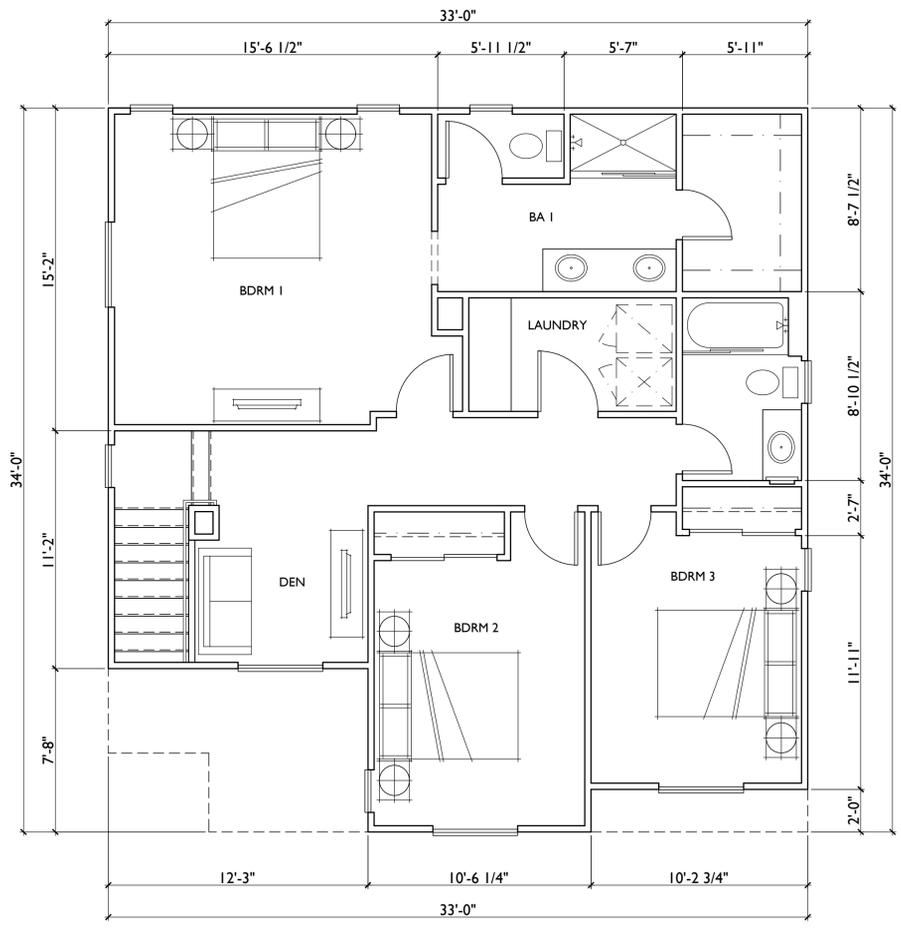
REAR ELEVATION

PLAN 1B ELEVATIONS (COTTAGE STYLE)

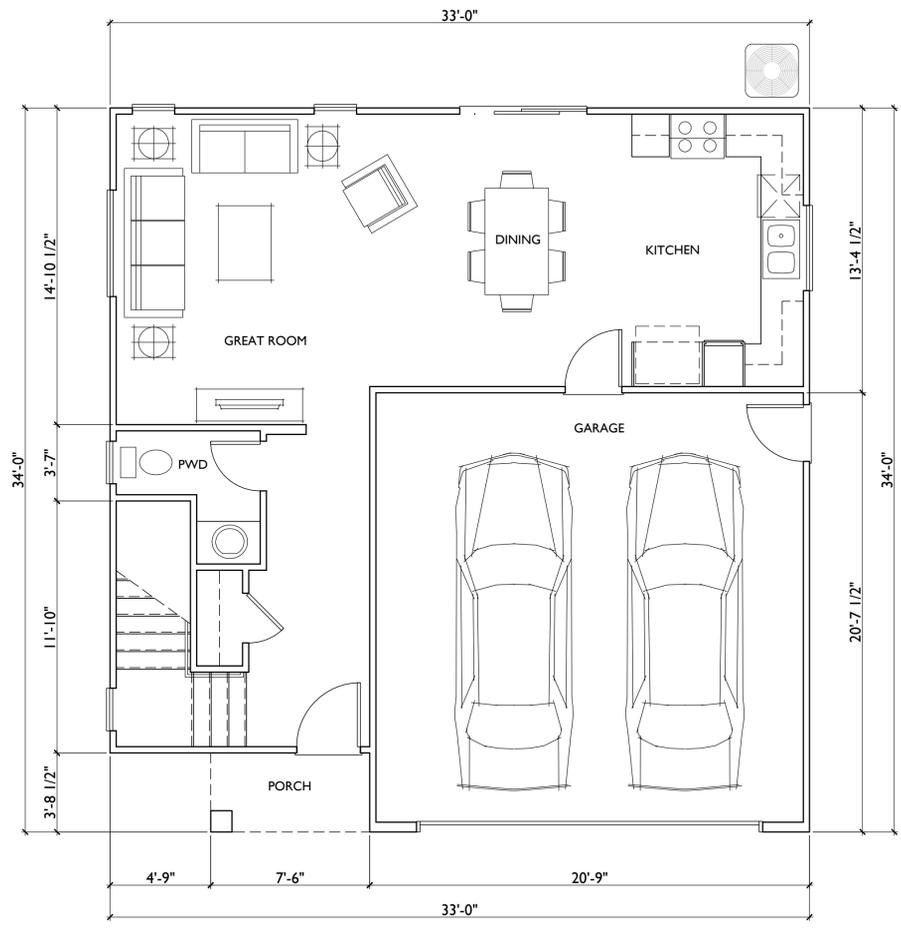
PLAN 2	GROSS
1ST FLR	653 S.F.
2ND FLR	789 S.F.
TOTAL	1,631 S.F.
GARAGE	432 S.F.
PORCH	27 S.F.



PLAN 2 - ROOF



PLAN 2 - 1,631 S.F.



PLAN 2



LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE			
1	ROOF - CONCRETE TILE	7	EXTERIOR LIGHT FIXTURE
2	FASCIA - 2X RESAWN WOOD	8	SECTIONAL GARAGE DOOR
3	WALL - 1620 FINISH STUCCO	9	WAYNE DALTON 9100 STYLE PER ELEVATION
4	TRIM - STUCCO OVER FOAM TRIM	10	UTILITY LIGHT
5	EAVE - STUCCO OVER SHAPED FOAM	11	DECORATIVE SHUTTERS
6	DECORATIVE GABLE ACCENT		DECORATIVE METAL GRILLE



RIGHT ELEVATION



REAR ELEVATION

PLAN 2A ELEVATIONS (SPANISH STYLE)

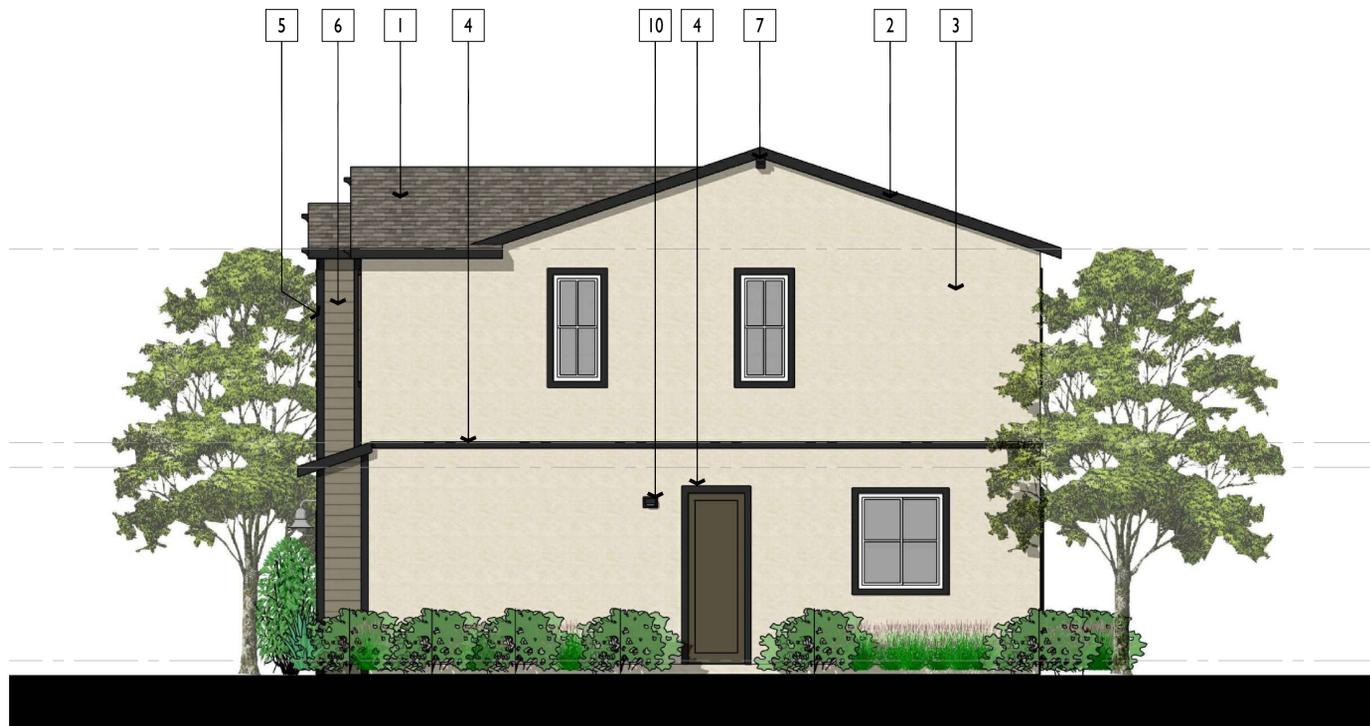


LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE			
1	ROOF - CONCRETE TILE	7	DECORATIVE WOOD OUTLOOKER
2	FASCIA - 2X RESAWN WOOD	8	EXTERIOR LIGHT FIXTURE
3	WALL - 1620 FINISH STUCCO	9	SECTIONAL GARAGE DOOR WAYNE DALTON 9100 STYLE PER ELEVATION
4	TRIM - STUCCO OVER FOAM TRIM	10	UTILITY LIGHT
5	TRIM - HARDIE	11	DECORATIVE SHUTTERS
6	HARDIE HORIZONTAL LAP SIDING		

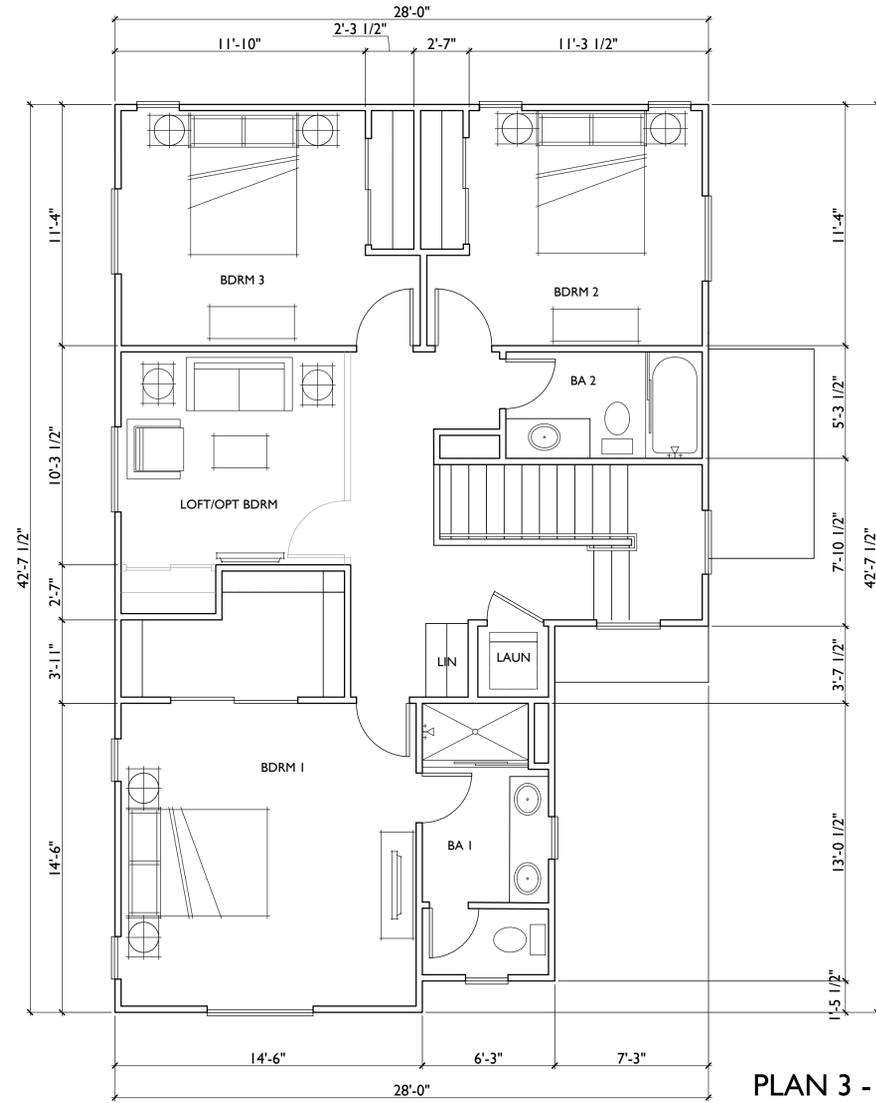


RIGHT ELEVATION

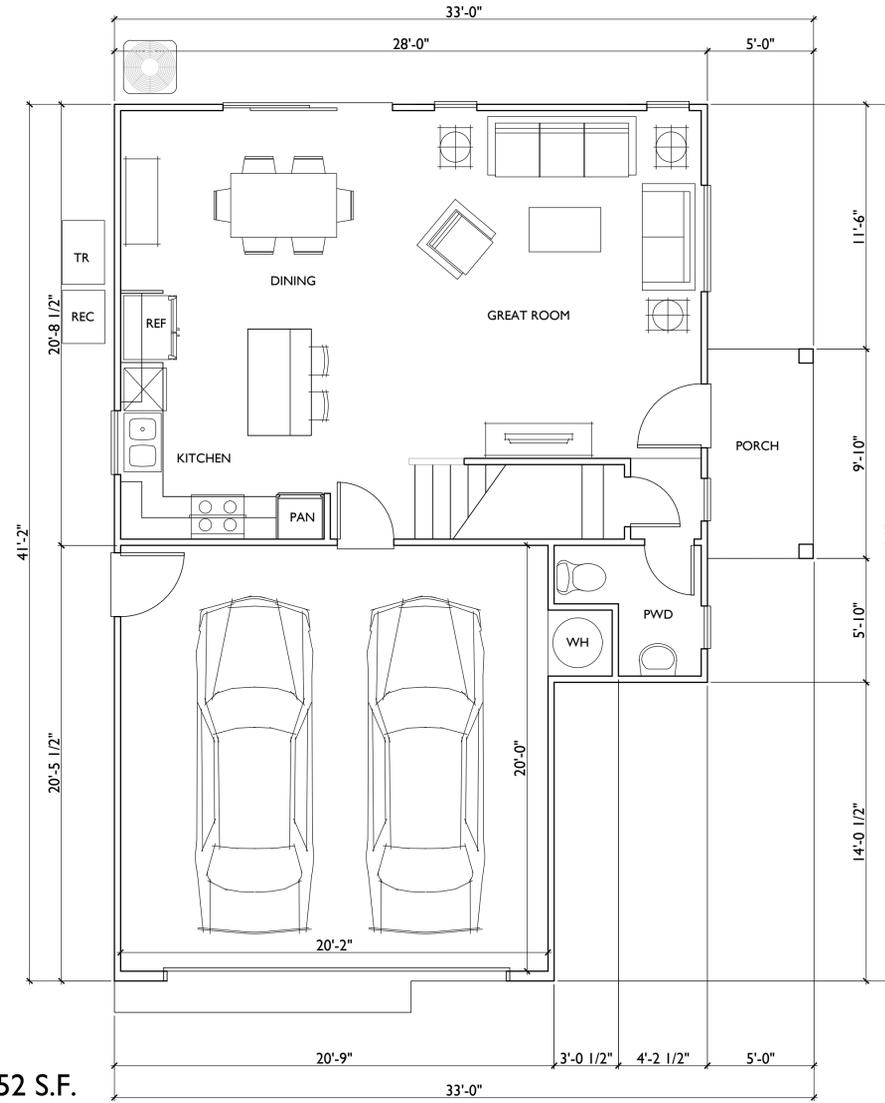


REAR ELEVATION

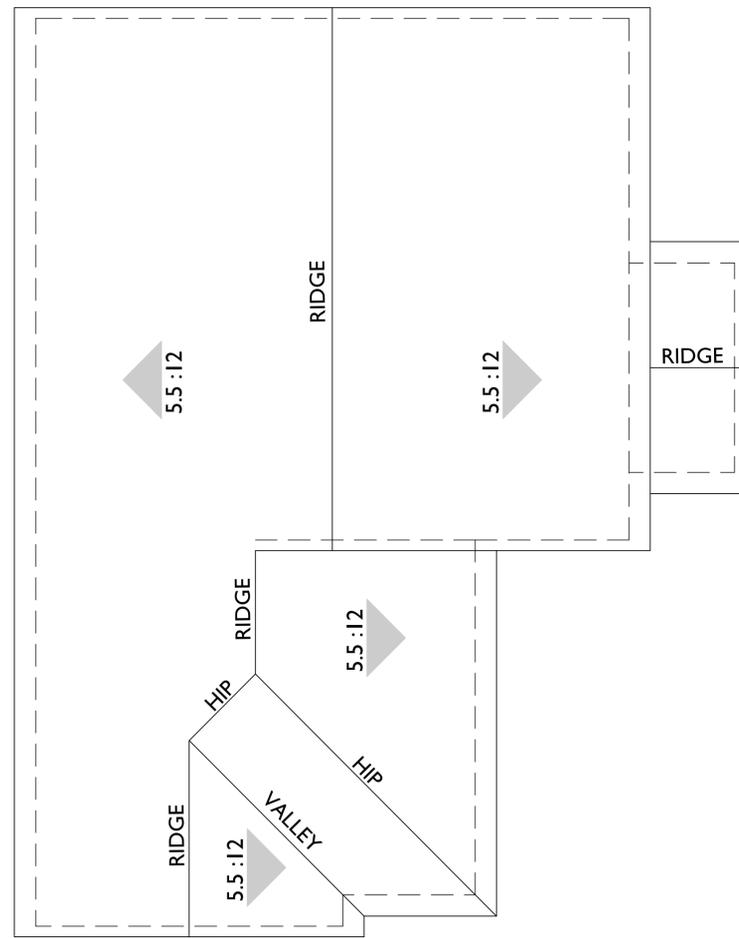
PLAN 2B ELEVATIONS (RANCH STYLE)



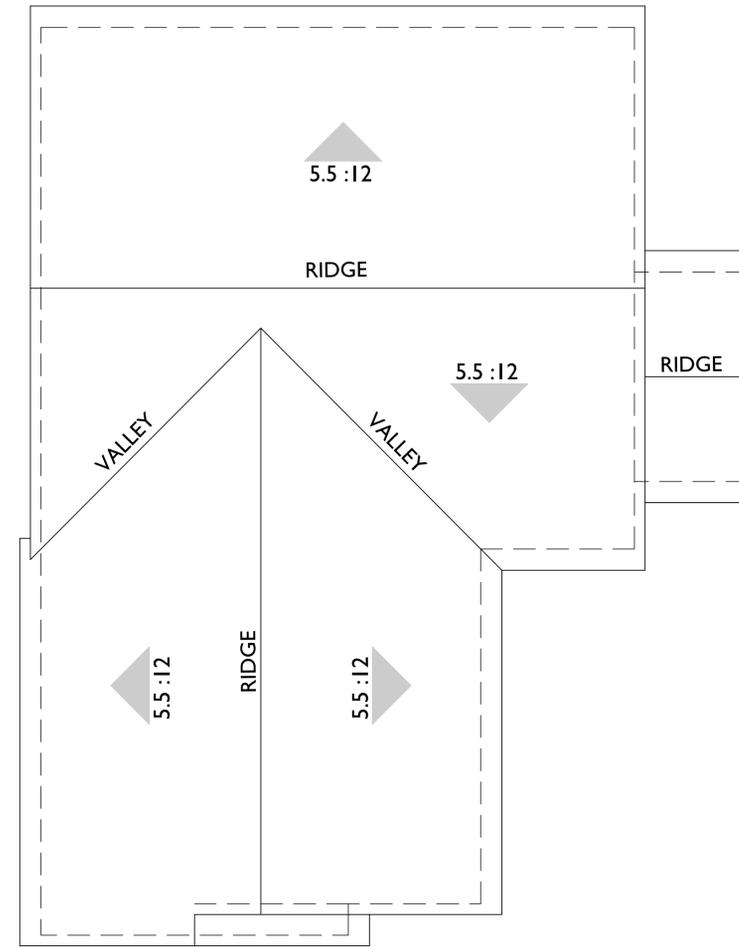
PLAN 3 - 1,652 S.F.



PLAN 3	GROSS
1ST FLR	618 S.F.
2ND FLR	1,034 S.F.
TOTAL	1,652 S.F.
GARAGE	433 S.F.
PORCH	49 S.F.



PLAN 3B ROOF



PLAN 3A ROOF

PLAN 3 - ROOF



LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE	
1	ROOF - CONCRETE TILE
2	FASCIA - 2X RESAWN WOOD
3	WALL - 1620 FINISH STUCCO
4	TRIM - STUCCO OVER FOAM TRIM
5	TRIM - HARDIE
6	HARDIE HORIZONTAL LAP SIDING
7	DECORATIVE WOOD OUTLOOKER
8	DECORATIVE WOOD CORBEL
9	GABLE ATTIC VENT
10	EXTERIOR LIGHT FIXTURE
11	SECTIONAL GARAGE DOOR WAYNE DALTON 9100 STYLE PER ELEVATION
12	UTILITY LIGHT
13	DECORATIVE SHUTTERS



RIGHT ELEVATION



REAR ELEVATION

PLAN 3A ELEVATIONS (BUNGALOW STYLE)

RC HOMES, INC.
550 N Larchmont Blvd.; Suite 201
Los Angeles, CA 90004
323.450.2331

CHASE ROAD DETACHED HOMES (TRACT 20580)
15912-15956 CHASE ROAD, FONTANA CA 92336
APN 0228-151-17, 0228-151-18, 0228-151-19

JULY 11, 2023

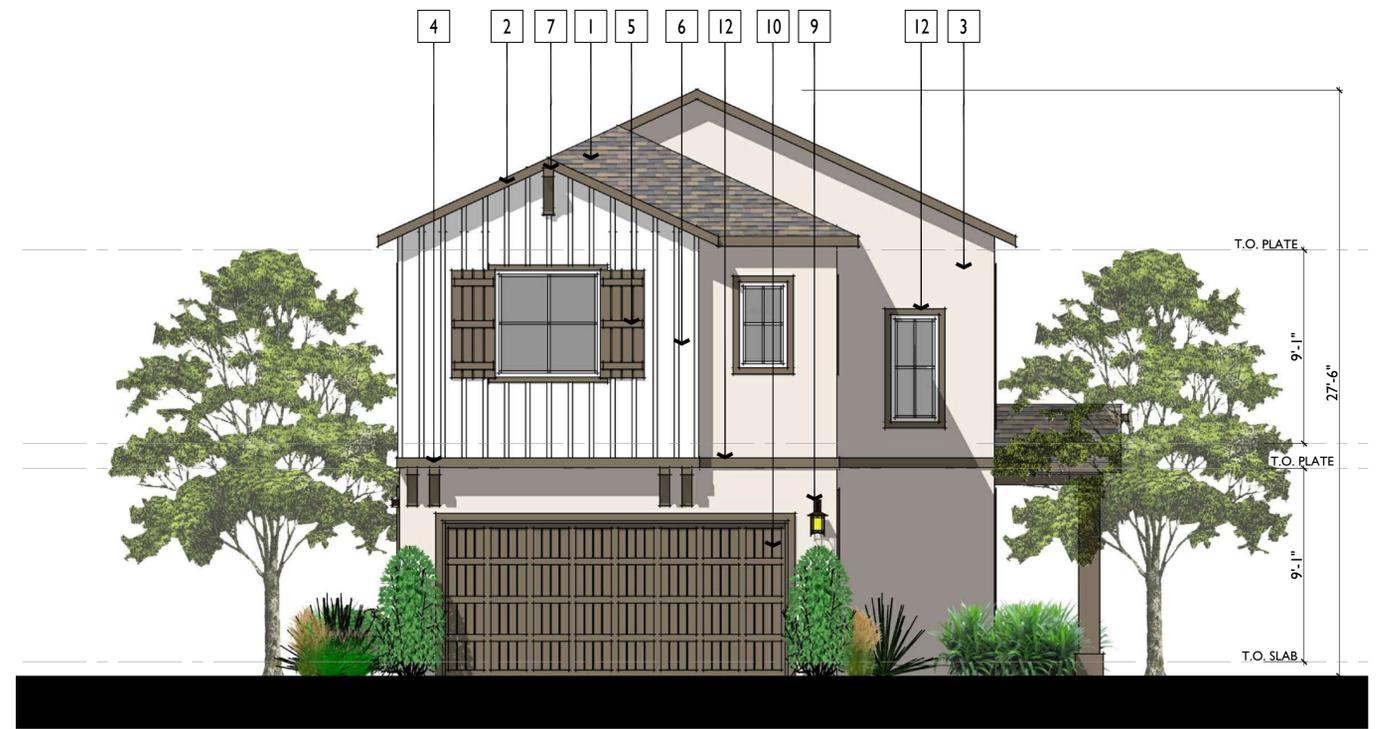
SCALE: 0 4 8 12

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A-10

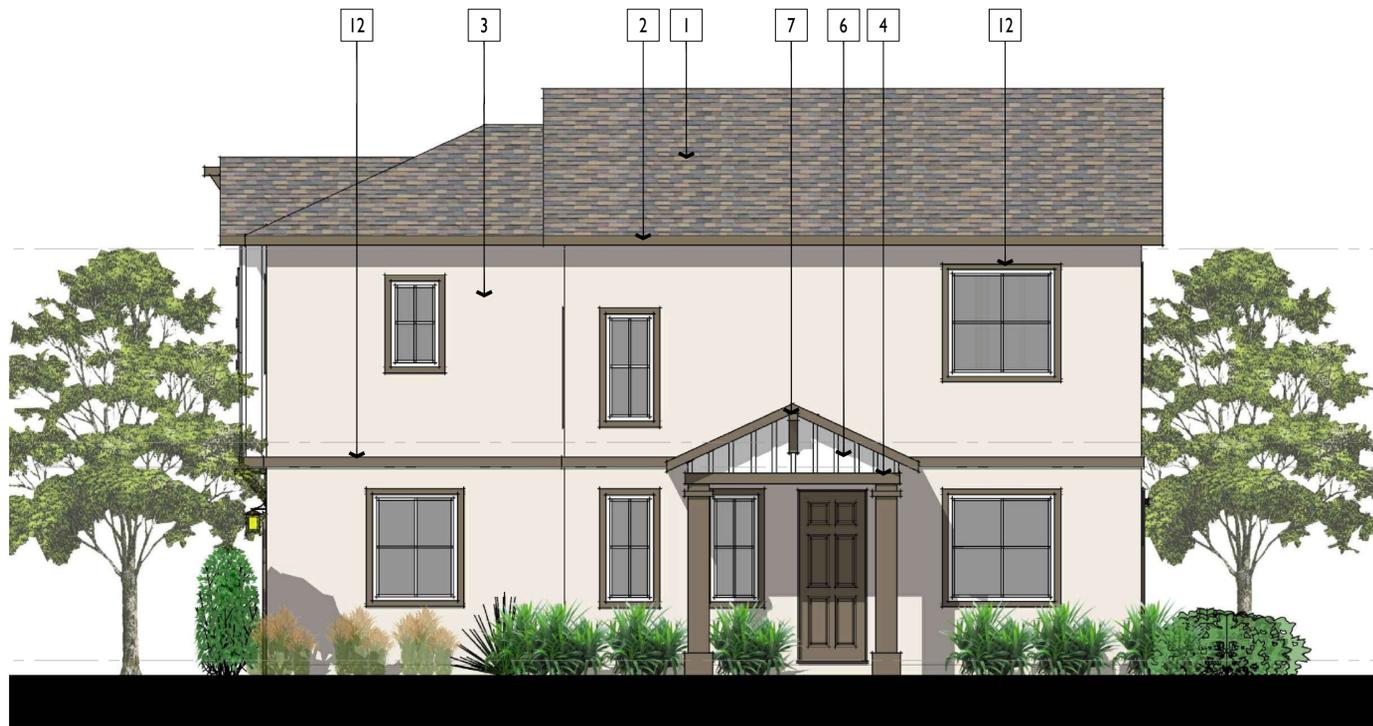


LEFT ELEVATION

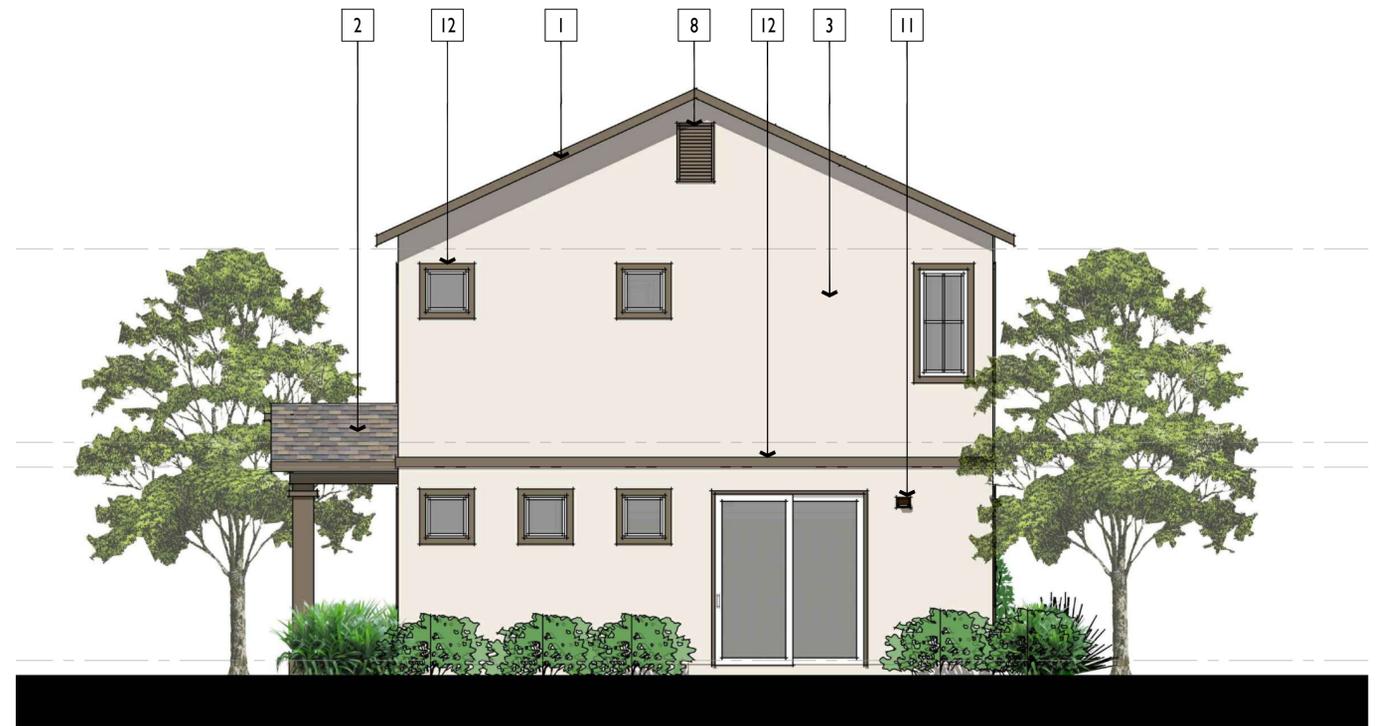


FRONT ELEVATION

MATERIAL SCHEDULE	
1	ROOF - CONCRETE TILE
2	FASCIA - 2X RESAWN WOOD
3	WALL - 1620 FINISH STUCCO
4	TRIM - HARDIE
5	DECORATIVE SHUTTERS
6	HARDIE BOARD/BATTEN SIDING
7	DECORATIVE WOOD OUTLOOKER
8	GABLE ATTIC VENT
9	EXTERIOR LIGHT FIXTURE
10	SECTIONAL GARAGE DOOR WAYNE DALTON 9100 STYLE PER ELEVATION
11	UTILITY LIGHT
12	TRIM - STUCCO OVER FOAM TRIM



RIGHT ELEVATION



REAR ELEVATION

PLAN 3B ELEVATIONS (FARMHOUSE STYLE)

RC HOMES, INC.
550 N Larchmont Blvd., Suite 201
Los Angeles, CA 90004
323.450.2331

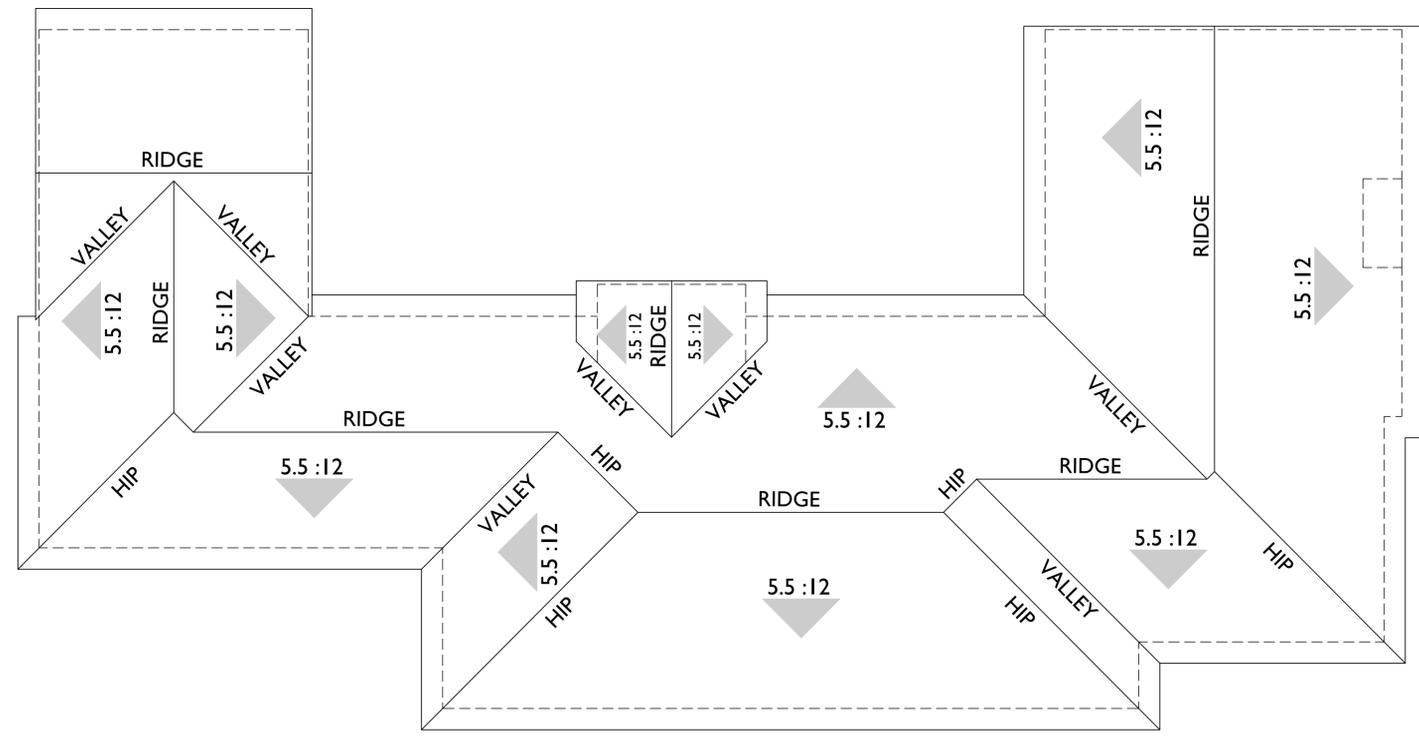
CHASE ROAD DETACHED HOMES (TRACT 20580)
15912-15956 CHASE ROAD, FONTANA CA 92336
APN 0228-151-17, 0228-151-18, 0228-151-19

JULY 11, 2023

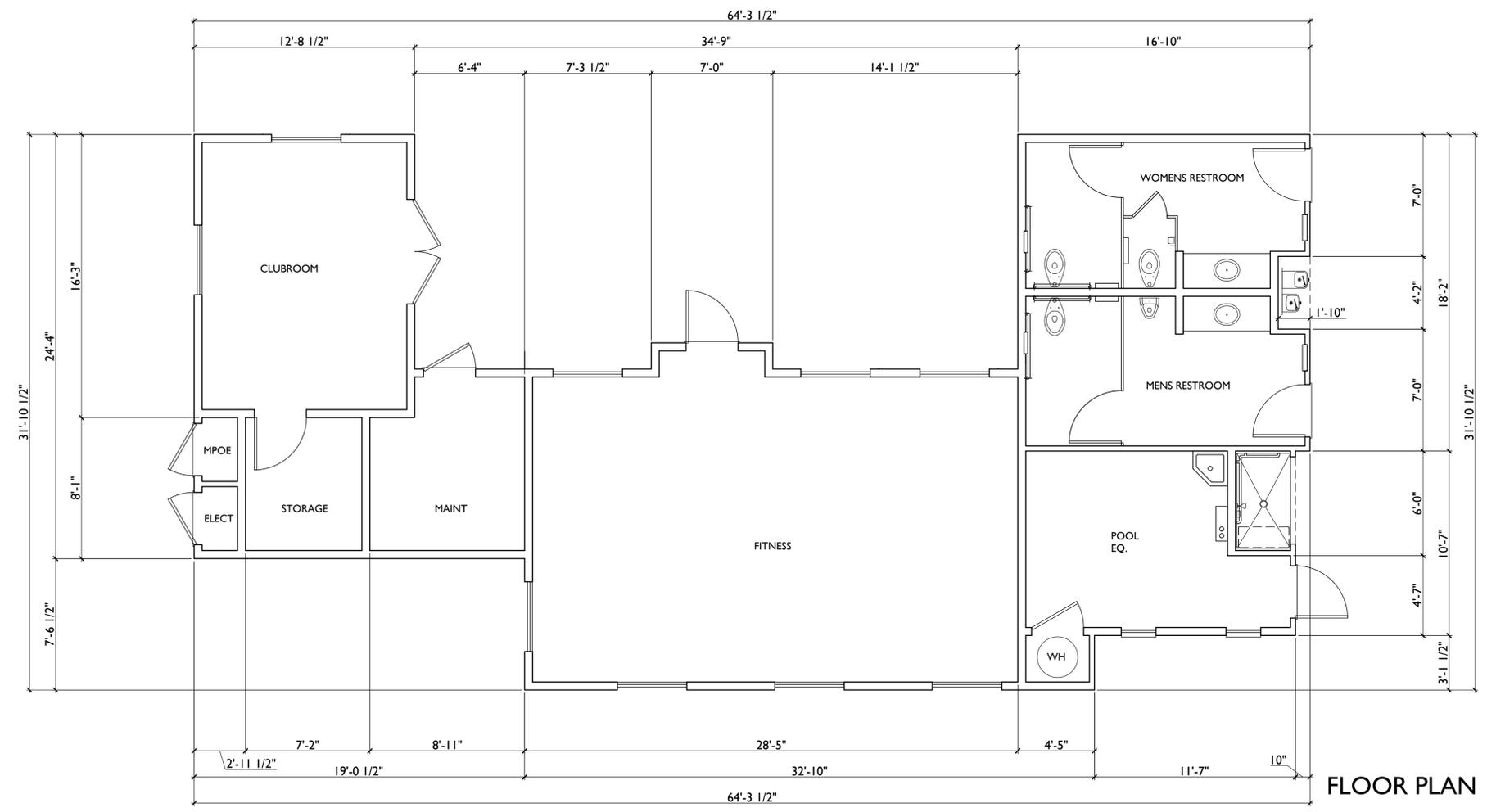
SCALE: 0 4 8 12

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A-11



ROOF PLAN



FLOOR PLAN

REC BLDG	GROSS
CLUBROOM	206 S.F.
FITNESS	542 S.F.
RESTROOMS	296 S.F.
POOL/MAINT./UTILITY	349 S.F.
TOTAL	1,393 S.F.

AMENITY BUILDING - FLOOR & ROOF PLAN



LEFT ELEVATION



FRONT ELEVATION

MATERIAL SCHEDULE			
1	ROOF - CONCRETE TILE	6	DECORATIVE WOOD OUTLOOKER
2	FASCIA - 2X RESAWN WOOD	7	EXTERIOR LIGHT FIXTURE
3	WALL - 1620 FINISH STUCCO	8	DECORATIVE METAL GRILLE
4	TRIM - STUCCO OVER FOAM TRIM	9	HIGH/LOW DRINKING FOUNTAIN
5	DECORATIVE FABRIC AWNING	10	EXTERIOR TILE SHOWER



RIGHT ELEVATION



REAR ELEVATION

AMENITY BUILDING ELEVATIONS

RC HOMES, INC.
 550 N Larchmont Blvd.; Suite 201
 Los Angeles, CA 90004
 323.450.2331

CHASE ROAD DETACHED HOMES (TRACT 20580)
 15912-15956 CHASE ROAD, FONTANA CA 92336
 APN 0228-151-17, 0228-151-18, 0228-151-19

JULY 11, 2023



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PLAN 2B



PLAN 1A



PLAN 1B



PLAN 2A



PLAN 3B



PLAN 3A

SITE PERSPECTIVES

RC HOMES, INC.
550 N Larchmont Blvd.; Suite 201
Los Angeles, CA 90004
323.450.2331

CHASE ROAD DETACHED HOMES (TRACT 20580)
15912-15956 CHASE ROAD, FONTANA CA 92336
APN 0228-151-17, 0228-151-18, 0228-151-19

JULY 11, 2023

SCALE: 0 4 8 12

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CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING

COLOR SCHEME 1A

STUCCO 1:



WHITETAIL SW 7103

TRIM & FASCIA 2:



SABLE SW 6083

ACCENT 3:



FRENCH ROAST SW 6069

ROOF (CAPISTRANO) 4:



8806 TUSCAN BLEND

METAL ACCENT 5:



IRON ORE SW 7069



PLAN 1A - 2-STORY - FRONT ELEVATION

CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING

COLOR SCHEME 1B

STUCCO 1:



SIMPLIFY BEIGE SW 6085

TRIM & FASCIA 2:



DAPPER TAN SW 6144

ACCENT 3:



SOFTENED GREEN SW 6177

ROOF (BEL AIR) 4:



4602 CONCORD BLEND



PLAN 1B - 2-STORY - FRONT ELEVATION

CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING

COLOR SCHEME 2A

STUCCO 1:



EXTRA WHITE SW 7006

TRIM & FASCIA 2:



RUGGED BROWN SW 6062

ACCENT 3:



ISLE OF PINES SW 6461

ROOF (CAPISTRANO) 4:



8806 TUSCAN BLEND



PLAN 2A- 2-STORY - FRONT ELEVATION

CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING

COLOR SCHEME 2B

STUCCO 1:



BAUHAUS BUFF SW 7552

SIDING 2:



MOTHWING SW 9174

TRIM & FASCIA 3:



URBANE BRONZE SW 7048

ACCENT 4:



SOFTENED GREEN SW 6177

ROOF (BEL AIR) 5:



4602 CONCORD BLEND



PLAN 2B - 2-STORY - FRONT ELEVATION

CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING

COLOR SCHEME 3A

STUCCO 1:



GRAYISH SW 6001

LAP SIDING 2:



ESSENTIAL GRAY SW 6002

TRIM & FASCIA 3:



EXTRA WHITE SW 7006

ACCENT 4:



FAVORITE JEANS SW 9147

ROOF (BEL AIR) 5:



4810 AVONDALE BLEND



PLAN 3A - 2-STORY - FRONT ELEVATION

CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING

COLOR SCHEME 3B

STUCCO 1:



NICEWHITE SW 6063

BOARD & BATTEN 2:



EXTRA WHITE SW 7006

TRIM & FASCIA 3:



SANDERLING SW 7513

ACCENT 4:



SANDERLING SW 7513

ROOF (BEL AIR) 5:



8802 NANTUCKET BLEND



PLAN 3B - 2-STORY - FRONT ELEVATION

CHASE ROAD DETACHED HOMES

RC HOMES
550 N. LARCHMONT BLVD.; SUITE 201
LOS ANGELES, CA. 90004

48 DETACHED HOMES
FONTANA, CA.
JULY 11, 2023

MANUFACTURERS:
SHERWIN-WILLIAMS
EAGLE ROOFING
SUNBRELLA

COLOR SCHEME REC

STUCCO 1:



INCREDIBLE WHITE SW 7028

METAL ACCENT 6:



IRON ORE SW 7069

TRIM & FASCIA 2:



URBANE BRONZE SW 7048

ACCENT 3:



WEB GRAY SW 7075

ACCENT 4:

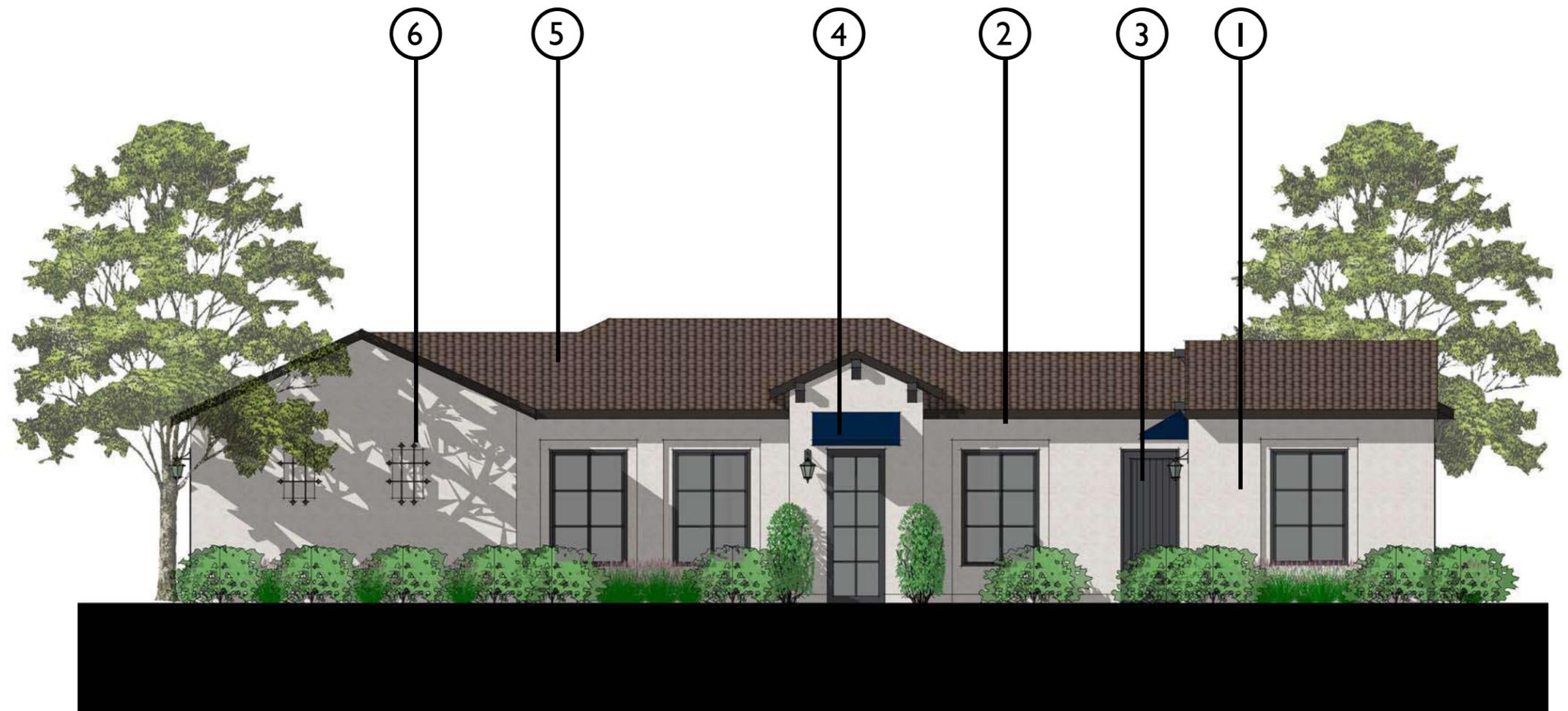


MARINE BLUE

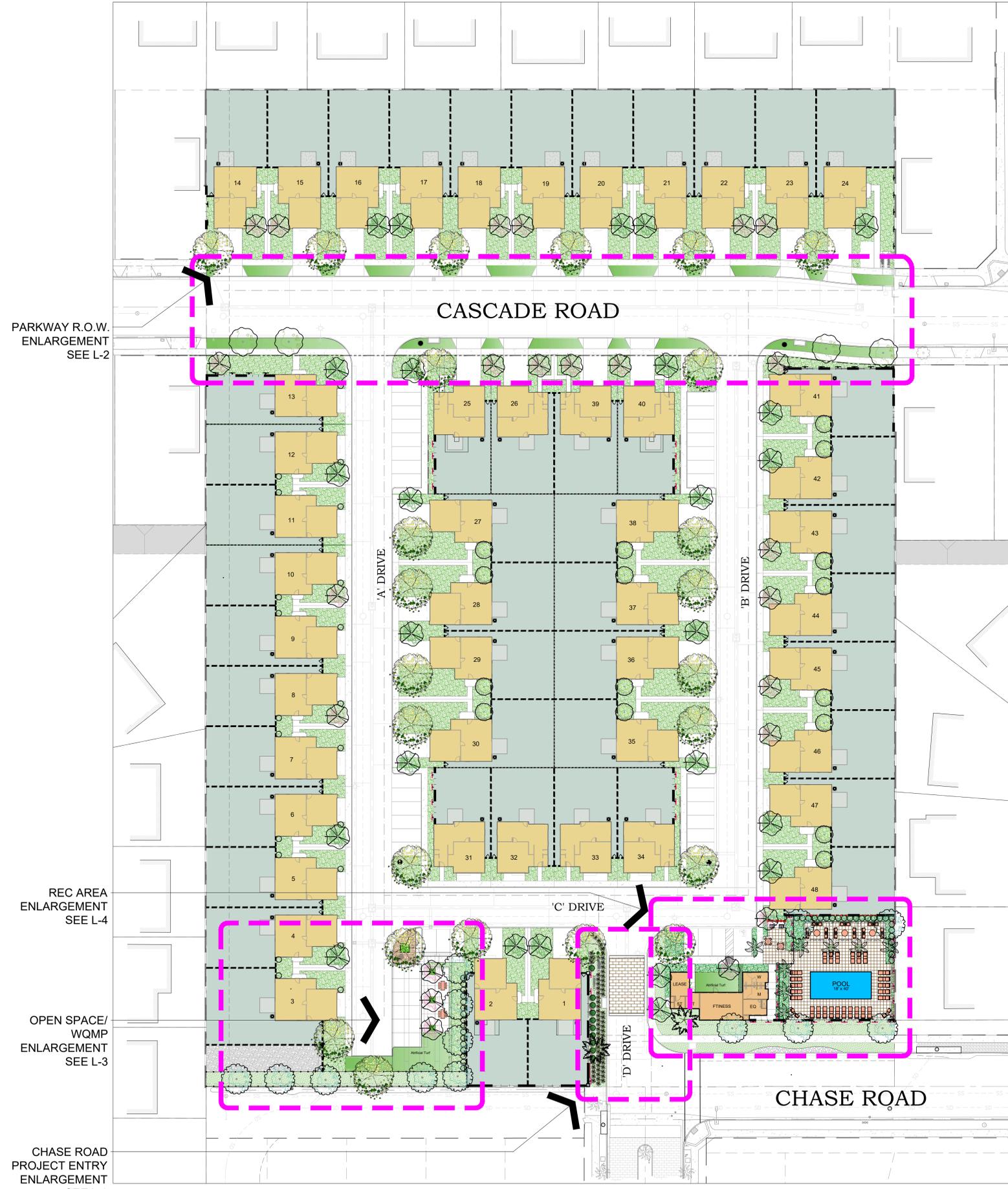
ROOF (CAPISTRANO) 5:



3743 COCOA RANGE



RECREATION BUILDING - I-STORY - FRONT ELEVATION

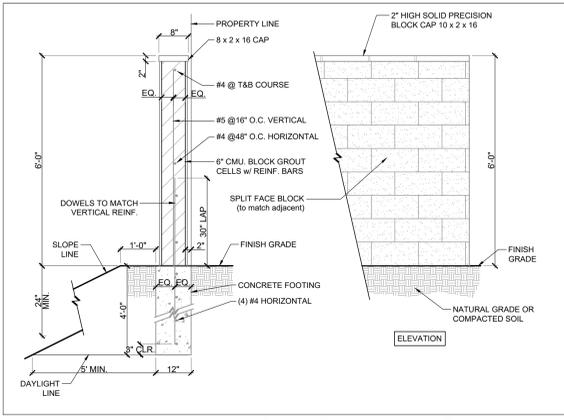


LANDSCAPE AREA SUMMARY

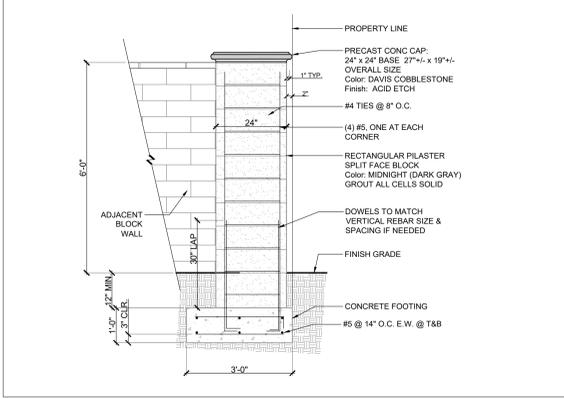
Site Size:	6.84 Acres
Total Landscape Area:	142,909 S.F.
Front Yard Landscape	37,640 s.f.
Rear Yard Landscape	89,701 s.f.
Parkway Landscape	4,530 s.f.
Entry & Basin Areas	8,810 s.f.
Rec Area	2,228 s.f.
Total Landscape Percentage:	47.9%
[297,950.4 SF site / 142,909 landscape = 47.9%]	

PLANT QUANTITIES

Trees:	
36" Box-	24 Qty.
24" Box-	82 Qty.
15" BTH-	2 Qty.
12" BTH-	8 Qty.
15 Gal-	61 Qty.
Shrubs & Vines:	
15 Gal-	901 Qty.
5 Gal-	16,115 Qty.
1 Gal-	12,790 Qty.



BLOCK WALL DETAIL 'A'



WALL PILASTER DETAIL 'B'

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
	Arbutus u. 'Marina' Marina Strawberry Tree	24"box	25	Low Standard
	Arecastrum romanzoffianum Queen Palm	12" BTH	8	Mod. Matched
	Brachycton populneum Bottle Tree	24"box	13	Low Standard
	Cercis occidentalis Western Redbud	24"box	23	Low Standard
	Phoenix dactylifera 'Medjool' Medjool Date Palm	15" BTH	2	Low Matched
	Podocarpus mac. 'Maki' Shrubby Yew Pine	15 gal	61	Mod. Columnar
	Pyrus calleryana 'Chanticleer' Chanticleer Callery Pear	24"box	16	Mod. Std. Matched
	Rhus lancea African Sumac	24"box	5	Low Standard
	Ulmus parvifolia 'True Green' True Green Elm	36"box	24	Low Matched

CONCEPT PLANT SCHEDULE

	Quantity	Size	Percentage
FRONT YARD LANDSCAPE	37,640 sf		
Shrubs - Front Yard	245	15 gal.	10% @ 48" oc
Shrubs - Front Yard	4,382	5 gal	70% @ 30" oc
Shrubs - Front Yard	3,478	1 gal	20% @ 18" oc
REAR YARD LANDSCAPE	89,701 sf		
Shrubs - Rear Yard	583	15 gal.	10% @ 48" oc
Shrubs - Rear Yard	10,441	5 gal	70% @ 30" oc
Shrubs - Rear Yard	8,287	1 gal	20% @ 18" oc
ENTRY & OPEN SPACE	8,810 sf		
Shrubs - Entry & Open Space	58	15 gal.	10% @ 48" oc
Shrubs - Entry & Open Space	1,026	5 gal	70% @ 30" oc
Shrubs - Entry & Open Space	814	1 gal	20% @ 18" oc
PARKWAY LANDSCAPE	4,530 sf		
Natural Turf Parkway		Sod	
REC AREA LANDSCAPE	2,280 sf		
Shrubs - Rec Area	15	15 gal.	10% @ 48" oc
Shrubs - Rec Area	266	5 gal	70% @ 30" oc
Shrubs - Rec Area	211	1 gal	20% @ 18" oc

LANDSCAPE LEGEND

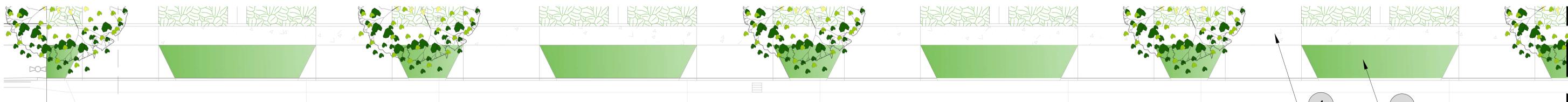
	WUCOLS
	Front Yard Landscape LOW
	Rec Area Landscape LOW
	SFD Rear Yard Landscape LOW
	Project Entry Landscape LOW
	Public Parkway Landscape LOW
	Rec Area Artificial Turf -
	Enhanced Parkway to match adjacent
	Decorative Cobble Rock
	Unused Common Area (Pea Gravel) Fenced & Gated for Maintenance
	6' High Block Wall (see detail A, sheet L-1)
	Combo Block Vinyl Fence atop Retaining Wall per civil
	6' Side Yard Vinyl Fence & Gate
	6' High Tubular Steel Fence & Gate
	Existing Block Wall to remain

LANDSCAPE SUMMARY:
Proposed plant palette has been selected for its drought tolerant properties appropriate for the region, per WUCOLS. Street trees within city right-of-way shall be approved by governing agency. All shrub areas shall receive a minimum 3" thick layer of mulch, except a) turf areas, b) creeping or rooted ground cover areas. All above ground utilities shall be provided with plant screening in accordance per requirements of city and/or governing agencies. Landscape plans shall comply with city/county landscape guidelines and regulations, and shall meet all state water ordinance requirements set forth under (M)WELD and AB 1881. Landscape shall be provided with an automatic irrigation system using a smart controller with weather sensing devices. A dedicated water meter will be used to facilitate water management and the point-of-connection (POC) shall be equipped with a backflow device, master valve, and flow sensor. Irrigation system shall utilize drip and low volume sprinklers, with circuits grouped by hydrozones, and trees shall be irrigated on separate circuit with low volume bubblers. Irrigation system shall utilize on-grade drip irrigation for site planter areas and sub-surface drip within the R.O.W. Pressure compensating devices shall be designed to ensure that the dynamic pressure at each emission device is within the manufacturer's recommended pressure range for optimal performance. Built-in emitter check valves or within pop-up bubbler bodies, will be used to manage water use and eliminate run-off. An agronomic soils report shall be prepared prior to installation of irrigation or amendments for all planting areas.

Revised Date: 07.10.2023
JOB # 4785

L-1

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CASCADE ROAD

CASCADE DRIVE



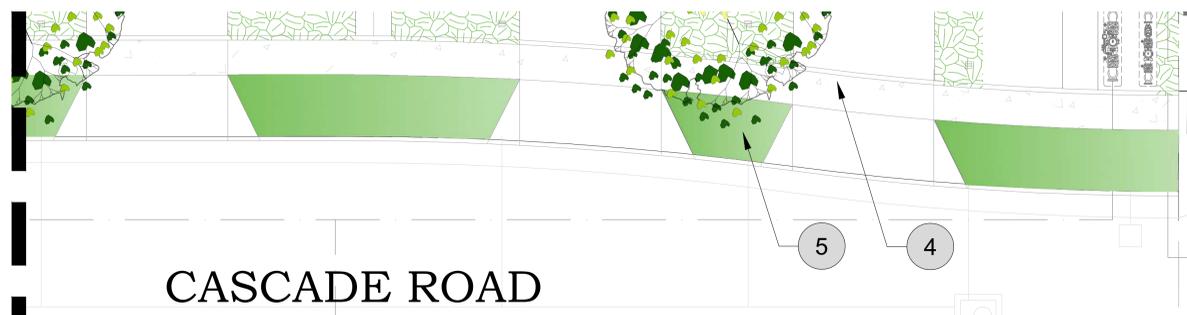
CASCADE ROAD STREETSCAPE - PART A

PLANT LIST ENTRY & PARKWAYS

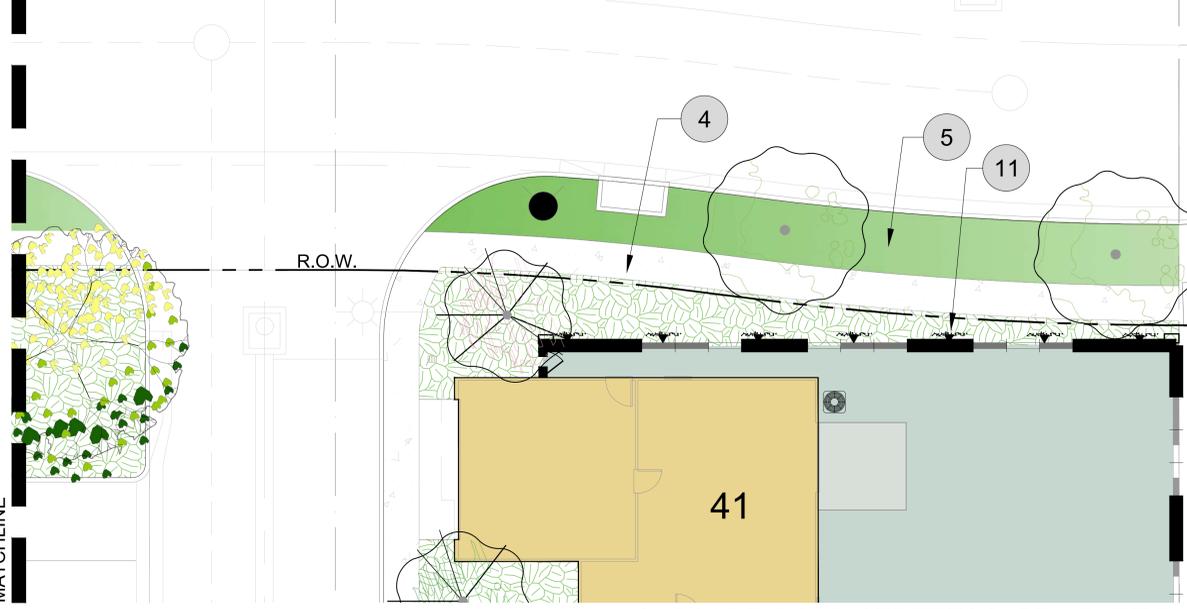
SHRUBS	CONT	REMARKS	
Cordyline australis 'Red Star' / Red Star Grass Palm	15 gal	Low	
Correa x 'Ray's Tangerine' / Ray's Tangerine Australian Fuchsia	5 gal	Low	
Diets vegeta / African Iris	5 gal	Low	
Kniphofia uvaria 'Echo Yellow' / Echo Yellow Red Hot Poker	1 gal	Low	
Nerium oleander 'Little Salmon' / Dwarf Salmon Oleander	5 gal	Low	
VINES	CONT	REMARKS	
Lonicera japonica / Japanese Honeysuckle	5 gal	Low	
GROUND COVERS	CONT	SPACING	REMARKS
Aptenia cordifolia 'Variegata' / Variegated Baby Sunrose	flats	12" o.c.	Low
Myoporum parvifolium / Trailing Myoporum	flats	12" o.c.	Low
MULCH	CONT	SPACING	REMARKS
Decorative Cobble Rock / Decorative grey tan mix	3" thick		1"-3" dia.
TURF	CONT	SPACING	REMARKS
Artificial Turf	One layer		

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	PROJECT ENTRY SIGN BY OTHERS
2	ENHANCED ROADWAY PAVING
3	LANDSCAPE SCREEN AROUND ABOVE GROUND UTILITIES
4	CONCRETE SIDEWALK
5	LANDSCAPED PARKWAY
6	ARTIFICIAL TURF PARK
7	PICNIC AREA WITH TABLES
8	ENHANCED PAVING
9	UNUSED COMMON AREA, FENCED & GATED
11	VINES ALONG MASONRY WALL



CASCADE ROAD



CASCADE ROAD STREETSCAPE - PART B

LANDSCAPE LEGEND

[Symbol]	Front Yard Landscape	LOW
[Symbol]	Rec Area Landscape	LOW
[Symbol]	SFD Rear Yard Landscape	LOW
[Symbol]	Project Entry Landscape	LOW
[Symbol]	Public Parkway Landscape	LOW
[Symbol]	Rec Area Artificial Turf	-
[Symbol]	Enhanced Parkway to match adjacent	
[Symbol]	Decorative Cobble Rock	
[Symbol]	Unused Common Area (Pea Gravel) Fenced & Gated for Maintenance	
[Symbol]	6' High Block Wall (see detail A, sheet L-1)	
[Symbol]	Combo Block Vinyl Fence atop Retaining Wall per civil	
[Symbol]	6' Side Yard Vinyl Fence & Gate	
[Symbol]	6' High Tubular Steel Fence & Gate	
[Symbol]	Existing Block Wall to remain	

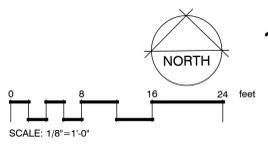
Revised Date: 05.10.2023
JOB # 4785

L-2



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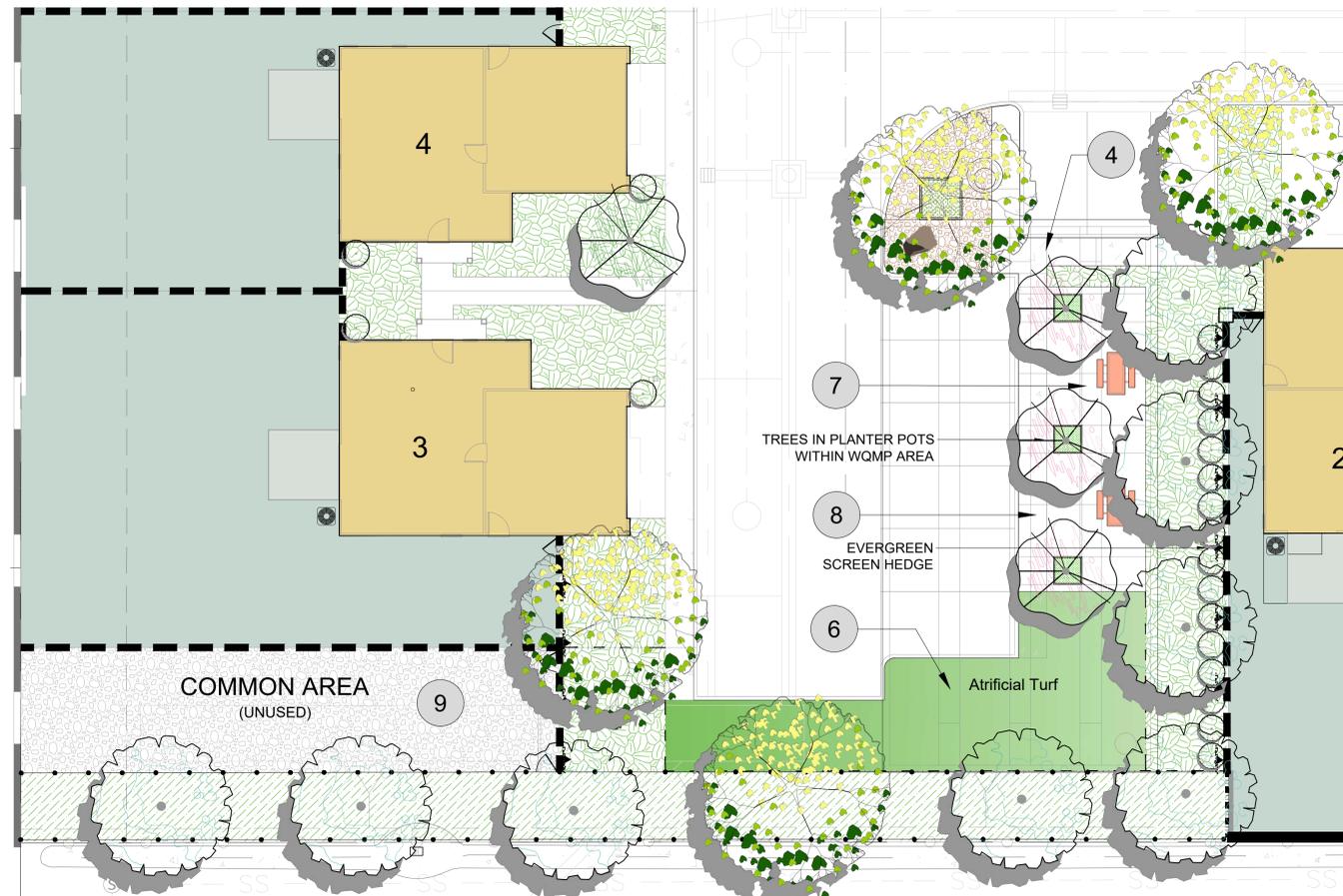


REFERENCE NOTES SCHEDULE

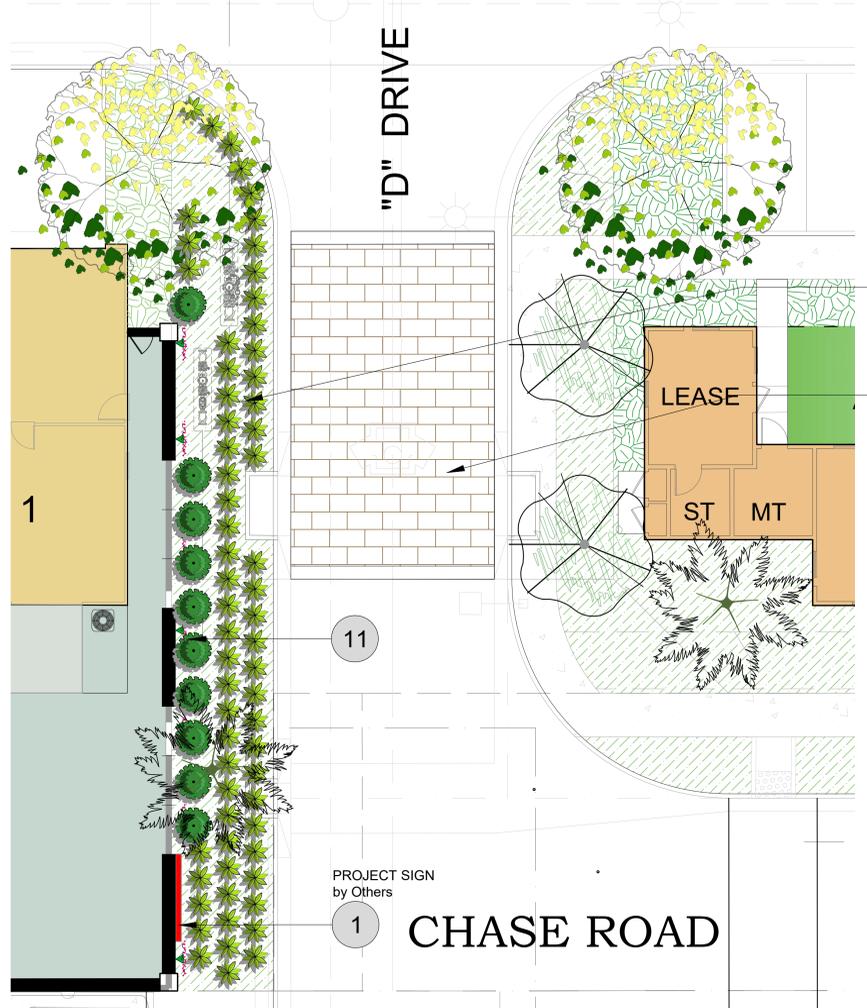
SYMBOL	DESCRIPTION
1	PROJECT ENTRY SIGN BY OTHERS
2	ENHANCED ROADWAY PAVING
3	LANDSCAPE SCREEN AROUND ABOVE GROUND UTILITIES
4	CONCRETE SIDEWALK
5	LANDSCAPED PARKWAY
6	ARTIFICIAL TURF PARK
7	PICNIC AREA WITH TABLES
8	ENHANCED PAVING
9	UNUSED COMMON AREA, FENCED & GATED
11	VINES ALONG MASONRY WALL
12	5' TALL TUBE STEEL POOL SAFETY FENCE
13	BBQ COUNTER
14	TURF OVERFLOW ACITVITY AREA
15	DECORATIVE 5' H. PERFORATED METAL SCREEN
16	ENHANCED PARKWAY TO MATCH ADJACENT NEIGHBORHOOD

PLANT LIST OPEN SPACE

SHRUBS	CONT	(WQMP)
Agave x 'Blue Glow'	5 gal	
Blue Glow Agave		
Callistemon viminalis 'Little John'	15 gal	
Little John Weeping Bottlebrush		
Cistus ladanifer	5 gal	
Crimson Spot Rockrose		
Galvezia speciosa 'Firecracker'	5 gal	
Firecracker Island Snapdragon		
Leonotis leonurus	15 gal	
Lion's Tail		
Rosmarinus officinalis 'Tuscan Blue'	5 gal	
Tuscan Blue Rosemary		
Santolina virens	5 gal	
Green Lavender Cotton		
Verbena lilacina 'De la Mina'	5 gal	
De la Mina Verbena		
GROUND COVERS	CONT	SPACING
Myoporum parvifolium	flats	12" o.c.
Trailing Myoporum		
MULCH	CONT	SPACING
Decomposed Granite with stabilizer	3" Thick Layer	
Decorative Cobble Rock	3" thick	
Decorative grey tan mix		
TURF	CONT	SPACING
Artificial Turf	One layer	



OPEN SPACE (WQMP) ENLARGED PLAN



CHASE ROAD PROJECT ENTRY

PLANT LIST ENTRY & PARKWAYS

SHRUBS	CONT	REMARKS	
Cordylina australis 'Red Star' / Red Star Grass Palm	15 gal	Low	
Correa x 'Ray's Tangerine' / Ray's Tangerine Australian Fuchsia	5 gal	Low	
Dietes vegeta / African Iris	5 gal	Low	
Kniphofia uvaria 'Echo Yellow' / Echo Yellow Red Hot Poker	1 gal	Low	
Nerium oleander 'Little Salmon' / Dwarf Salmon Oleander	5 gal	Low	
VINES	CONT	REMARKS	
Lonicera japonica / Japanese Honeysuckle	5 gal	Low	
GROUND COVERS	CONT	SPACING	REMARKS
Aptenia cordifolia 'Variegata' / Variegated Baby Sunrose	flats	12" o.c.	Low
Myoporum parvifolium / Trailing Myoporum	flats	12" o.c.	Low
MULCH	CONT	SPACING	REMARKS
Decorative Cobble Rock / Decorative grey tan mix	3" thick		1"-3" dia.
TURF	CONT	SPACING	REMARKS
Artificial Turf	One layer		

LANDSCAPE LEGEND

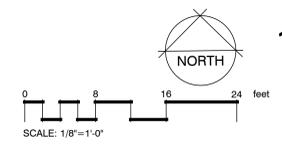
Symbol	Description	WUCOLS
[Green hatched]	Front Yard Landscape	LOW
[Light green hatched]	Rec Area Landscape	LOW
[Medium green hatched]	SFD Rear Yard Landscape	LOW
[Yellow hatched]	Project Entry Landscape	LOW
[Dark green hatched]	Public Parkway Landscape	LOW
[Green box]	Rec Area Artificial Turf	-
[Patterned box]	Enhanced Parkway to match adjacent	
[Patterned box]	Decorative Cobble Rock	
[Patterned box]	Unused Common Area (Pea Gravel) Fenced & Gated for Maintenance	
[Thick line]	6' High Block Wall (see detail A, sheet L-1)	
[Dashed line]	Combo Block Vinyl Fence atop Retaining Wall per civil	
[Dashed line with triangle]	6' Side Yard Vinyl Fence & Gate	
[Dashed line with triangle]	6' High Tubular Steel Fence & Gate	
[Dashed line]	Existing Block Wall to remain	

Revised Date: 05.10.2023
JOB # 4785



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PLANT LIST TYPICAL YARDS

SHRUBS	CONT	REMARKS	
Anigozanthos flavidus Kangaroo Paw	15 gal	Low	
Carex divulsa European Grey Sedge	5 gal	Low	
Correa x 'Ray's Tangerine' Ray's Tangerine Australian Fuchsia	5 gal	Low	
Dianella revoluta Spreading Flax Lily	5 gal	Low	
Juncus patens California Gray Rush	5 gal	Low	
Kniphofia uvaria 'Echo Yellow' Echo Yellow Red Hot Poker	1 gal	Low	
Lavandula stoechas Spanish Lavender	5 gal	Low	
Nassella tenuissima Mexican Feather Grass	1 gal	Low	
Olea europaea 'Little Ollie' TM Little Ollie Olive	15 gal	Low	
Salvia greggii 'Pink' Furman's Pink Salvia	5 gal	Low	
GROUND COVERS	CONT	SPACING	REMARKS
Festuca x 'Siskiyou Blue' Siskiyou Blue Fescue	1 gal	12" o.c.	Low
Geranium incanum 'Sugar Plum' Trailing Geranium	flats	12" o.c.	Low

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	PROJECT ENTRY SIGN BY OTHERS
2	ENHANCED ROADWAY PAVING
3	LANDSCAPE SCREEN AROUND ABOVE GROUND UTILITIES
4	CONCRETE SIDEWALK
5	LANDSCAPED PARKWAY

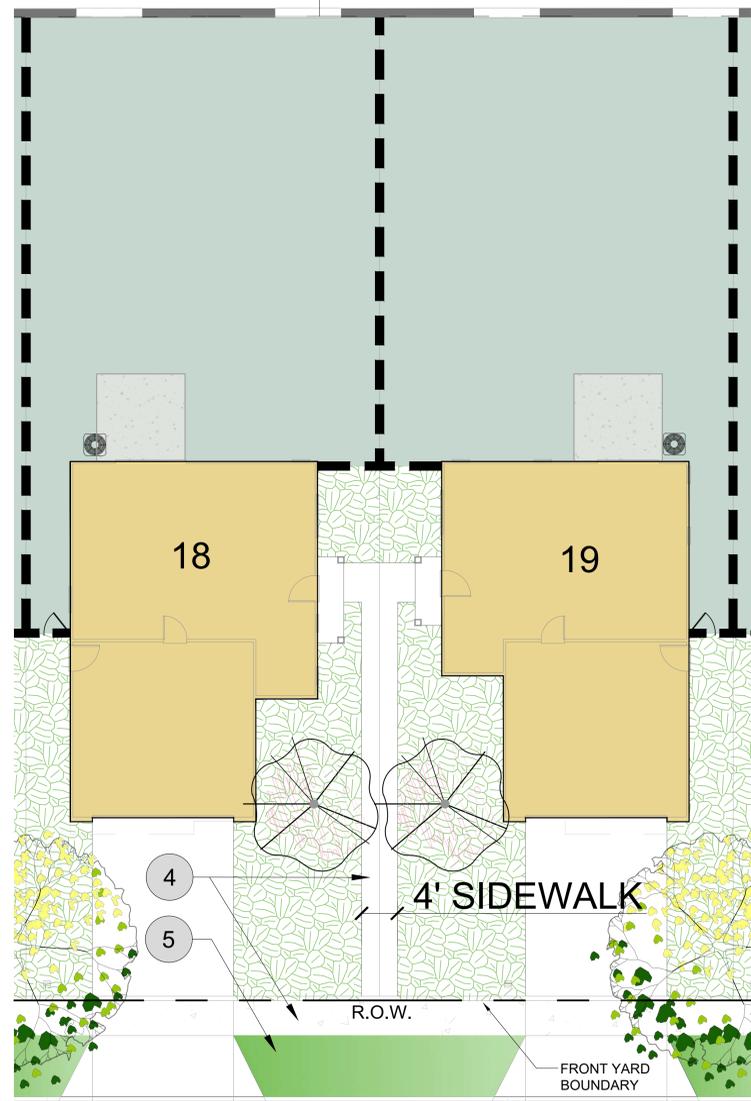
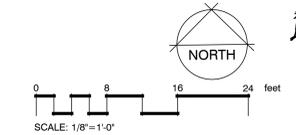
CONCEPT PLANT SCHEDULE

Symbol	Area	Quantity	Size	Percentage
FRONT YARD LANDSCAPE 37,640 sf				
Shrubs - Front Yard	245	15 gal	10% @ 48" oc	
Shrubs - Front Yard	4,382	5 gal	70% @ 30" oc	
Shrubs - Front Yard	3,478	1 gal	20% @ 18" oc	
REAR YARD LANDSCAPE 89,701 sf				
Shrubs - Rear Yard	583	15 gal	10% @ 48" oc	
Shrubs - Rear Yard	10,441	5 gal	70% @ 30" oc	
Shrubs - Rear Yard	8,287	1 gal	20% @ 18" oc	
ENTRY & OPEN SPACE 8,810 sf				
Shrubs - Entry & Open Space	58	15 gal	10% @ 48" oc	
Shrubs - Entry & Open Space	1,026	5 gal	70% @ 30" oc	
Shrubs - Entry & Open Space	814	1 gal	20% @ 18" oc	
PARKWAY LANDSCAPE 4,530 sf				
Natural Turf Parkway			Sod	
REC AREA LANDSCAPE 2,280 sf				
Shrubs - Rec Area	15	15 gal	10% @ 48" oc	
Shrubs - Rec Area	286	5 gal	70% @ 30" oc	
Shrubs - Rec Area	211	1 gal	20% @ 18" oc	

Revised Date: 05.10.2023
JOB # 4785 **L-4**

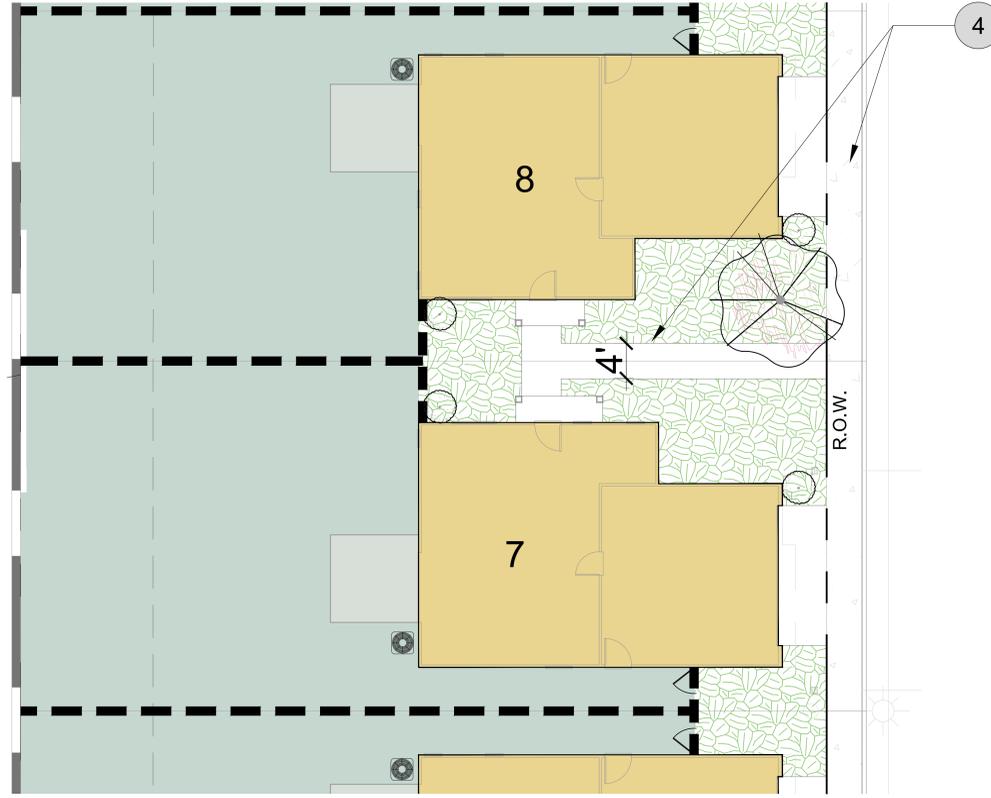


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40' LOT TYPICAL ENLARGED PLAN

LANDSCAPE LEGEND		WUCOLS
[Symbol]	Front Yard Landscape	LOW
[Symbol]	Rec Area Landscape	LOW
[Symbol]	SFD Rear Yard Landscape	LOW
[Symbol]	Project Entry Landscape	LOW
[Symbol]	Public Parkway Landscape	LOW
[Symbol]	Rec Area Artificial Turf	-
[Symbol]	Enhanced Parkway to match adjacent	
[Symbol]	Decorative Cobble Rock	
[Symbol]	Unused Common Area (Pea Gravel) Fenced & Gated for Maintenance	
[Symbol]	6' High Block Wall (see detail A, sheet L-1)	
[Symbol]	Combo Block Vinyl Fence atop Retaining Wall per civil	
[Symbol]	6' Side Yard Vinyl Fence & Gate	
[Symbol]	6' High Tubular Steel Fence & Gate	
[Symbol]	Existing Block Wall to remain	

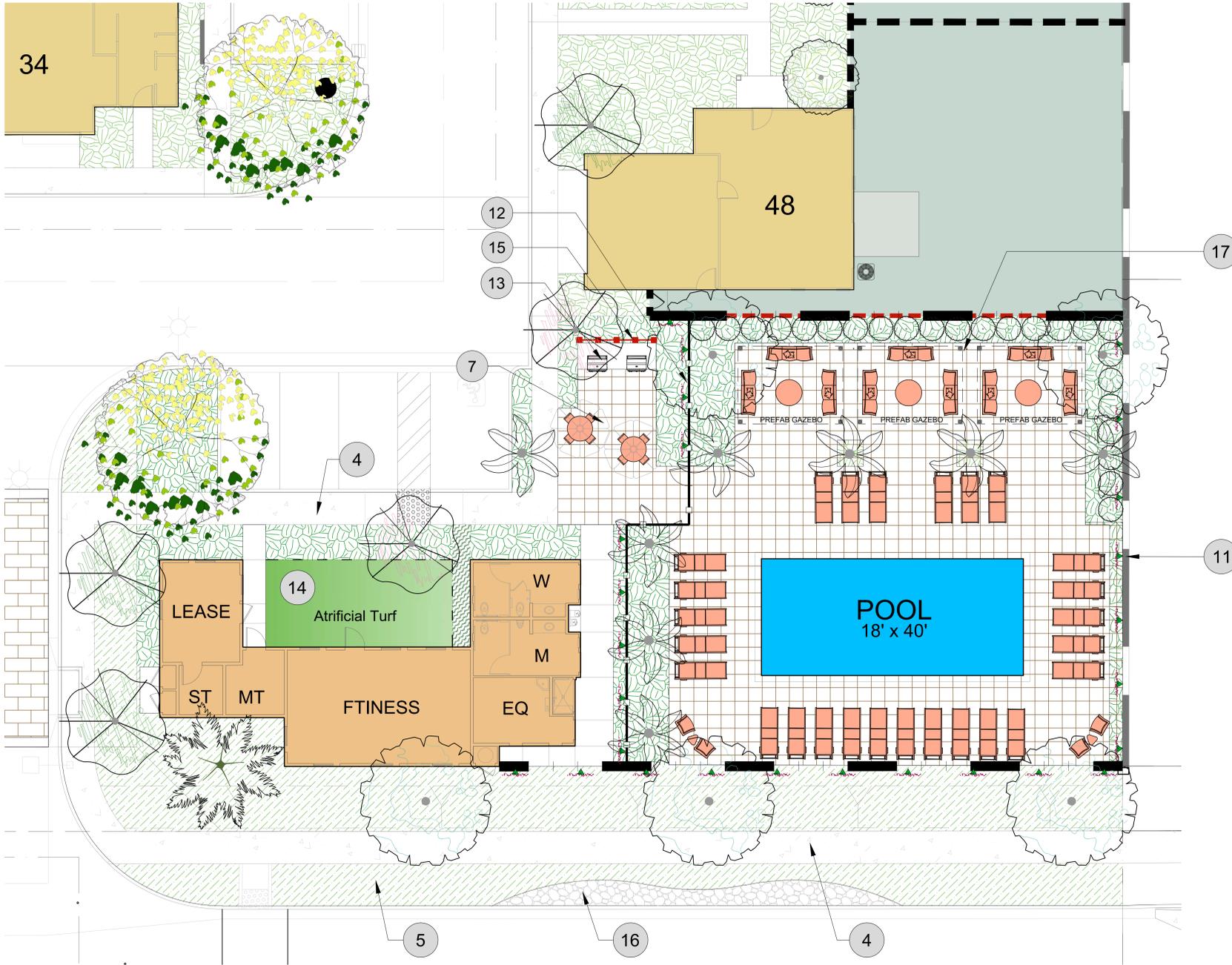


45' LOT TYPICAL ENLARGED PLAN

Sec. 30-669. - Residential districts:
(a)(1)b.
No more than 50 percent of the required front yard setback area may be covered by non-decorative hardscape features (e.g., concrete, asphalt, gravel, driveways, sidewalks, porches, etc.) Of the remaining 50 percent, no more than 25 percent may be covered by decorative hardscape features (e.g., brick, stone, fountains, ponds, etc.) and no more than 35 percent shall be covered by turf. If the original driveway exceeds 50 percent of the required front yard setback, no additional hardscape shall be permitted.

(a)(1)(d)2
Required shrubs. Shrub sizes shall vary, with not less than 50 percent being a minimum of five-gallon in size and planted at a spacing equal to 80 percent of the maximum growth rate for each species as noted in the Sunset Western Garden Book.

FRONT YARD LANDSCAPE AREA PER SECTION 30-669 (a)(1)b	
LOT 7	Front Yard Area 635 sf
Front Yard Landscape	448 sf = 71%
LOT 8	Front Yard Area 655 sf
Front Yard Landscape	472 sf = 72%
LOT 18	Front Yard Area 1319 sf
Front Yard Landscape	857 sf = 64.9%
LOT 19	Front Yard Area 1319 sf
Front Yard Landscape	862 sf = 65.3%



LANDSCAPE LEGEND

SYMBOL	DESCRIPTION	WUCOLS
[Green hatched box]	Front Yard Landscape	LOW
[Light green hatched box]	Rec Area Landscape	LOW
[Dark green hatched box]	SFD Rear Yard Landscape	LOW
[Light green hatched box]	Project Entry Landscape	LOW
[Green hatched box]	Public Parkway Landscape	LOW
[Green box]	Rec Area Artificial Turf	-
[Patterned box]	Enhanced Parkway to match adjacent	
[Patterned box]	Decorative Cobble Rock	
[Patterned box]	Unused Common Area (Pea Gravel) Fenced & Gated for Maintenance	
[Thick dashed line]	6' High Block Wall (see detail A, sheet L-1)	
[Dotted line]	Combo Block Vinyl Fence atop Retaining Wall per civil	
[Dashed line with triangle]	6' Side Yard Vinyl Fence & Gate	
[Dashed line with circle]	6' High Tubular Steel Fence & Gate	
[Dashed line]	Existing Block Wall to remain	

REFERENCE NOTES SCHEDULE

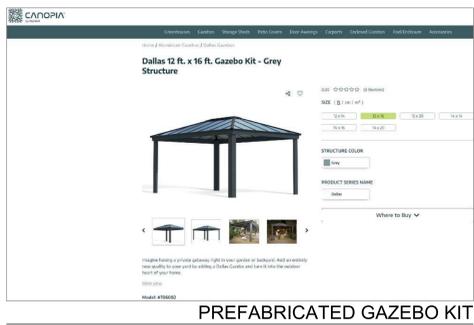
SYMBOL	DESCRIPTION
1	PROJECT ENTRY SIGN BY OTHERS
2	ENHANCED ROADWAY PAVING
3	LANDSCAPE SCREEN AROUND ABOVE GROUND UTILITIES
4	CONCRETE SIDEWALK
5	LANDSCAPED PARKWAY
6	ARTIFICIAL TURF PARK
7	PICNIC AREA WITH TABLES
8	ENHANCED PAVING
9	UNUSED COMMON AREA, FENCED & GATED
11	VINES ALONG MASONRY WALL
12	5' TALL TUBE STEEL POOL SAFETY FENCE
13	BBQ COUNTER
14	TURF OVERFLOW ACITVITY AREA
15	DECORATIVE 5' H. PERFORATED METAL SCREEN
16	ENHANCED PARKWAY TO MATCH ADJACENT NEIGHBORHOOD
17	PREFAB GAZEBO, SIZE: 12' x 16'

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
[Tree icon]	Arbutus u. 'Marina' Marina Strawberry Tree	24"box	25	Low Standard
[Tree icon]	Arecastrum romanzoffianum Queen Palm	12' BTH	8	Mod. Matched
[Tree icon]	Brachycthon populneum Bottle Tree	24"box	13	Low Standard
[Tree icon]	Cercis occidentalis Western Redbud	24"box	23	Low Standard
[Tree icon]	Phoenix dactylifera 'Medjool' Medjool Date Palm	15' BTH	2	Low Matched
[Tree icon]	Podocarpus mac. 'Maki' Strubby Yew Pine	15 gal	61	Mod Columnar
[Tree icon]	Pyrus calleryana 'Chanticleer' Chanticleer Callery Pear	24"box	16	Mod. Std. Matched
[Tree icon]	Rhus lancea African Sumac	24"box	5	Low Standard
[Tree icon]	Ulmus parvifolia 'True Green' True Green Elm	36"box	24	Low Matched

PLANT SCHEDULE REC AREA

SHRUBS	CONT	REMARKS	
Achillea millefolium Common Yarrow (evergreen white)	1 gal	Low	
Anigozanthos flavidus Kangaroo Paw	15 gal	Low	
Carex divulsa European Grey Sedge	5 gal	Low	
Correa x 'Ray's Tangerine' Ray's Tangerine Australian Fuchsia	5 gal	Low	
Dianella revoluta Spreading Flax Lily	5 gal	Low	
Juncus patens California Gray Rush	5 gal	Low	
Kniphofia uvaria 'Echo Yellow' Echo Yellow Red Hot Poker	1 gal	Low	
Lavandula stoechas Spanish Lavender	5 gal	Low	
Leonotis leonurus Lion's Tail	15 gal	Low	
Lomandra longifolia 'Breeze' Breeze Mat Rush	5 gal	Mod.	
Nassella tenuissima Mexican Feather Grass	1 gal	Low	
Nerium oleander 'Little Salmon' Dwarf Salmon Oleander	5 gal	Low	
Olea europaea 'Little Ollie' TM Little Ollie Olive	15 gal	Low	
Pedicularis macrocarpus Lady Slipper	15 gal	Low	
Salvia greggii 'Pink' Furman's Pink Salvia	5 gal	Low	
GROUND COVERS	CONT	SPACING	REMARKS
Festuca x 'Siskiyou Blue' Siskiyou Blue Fescue	1 gal	12" o.c.	Low
Geranium incanum 'Sugar Plum' Trailing Geranium	flats	12" o.c.	Low
Lantana montevidensis 'Alba' White Trailing Lantana	flats	12" o.c.	Low
MULCH	CONT	SPACING	REMARKS
Decorative Cobble Rock	3" thick		1"-3" dia.
Decorative grey tan mix			
TURF	CONT	SPACING	REMARKS
Artificial Turf	One layer		



RESOLUTION NO. PC 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING TENTATIVE TRACT MAP NO. 22-008 (TRACT NO. 20580) AND DESIGN REVIEW NO. 22-059, TO CONSTRUCT 48 SINGLE-FAMILY UNITS WITH A RECREATION AREA THAT ENCOMPASSES A MINIMUM OF FOUR AFFORDABLE UNITS PER THE STATE DENSITY BONUS LAW; DETERMINING THAT THE PROJECT HAS BEEN REVIEWED UNDER A PREVIOUS FINAL ENVIRONMENTAL IMPACT REPORT STATE CLEARINGHOUSE NO. (2016021099), PURSUANT TO SECTION 15126 AND 15183 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES AND SECTION 8.10 OF THE CITY OF FONTANA'S 2019 LOCAL CEQA GUIDELINES.

WHEREAS, the locations of 15912, 15936 and 15956 Chase Road (Assessor Parcel Numbers: 0228-151-17, -18, and 19) ("Property") were annexed on October 8, 1981 under LAFCO 2098A; and

WHEREAS, on September 27, 2022, the City of Fontana received an application from applicant Matt Livingston ("Applicant") on behalf of RC Homes Inc. to approve Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059 to subdivide three (3) existing lots into a single-family residential development with forty-eight (48) lots and recreation area on approximately 6.8 adjusted gross acres of land comprising the Property; and

WHEREAS, the Applicant desires to utilize the State Density Bonus Law (California Government Code Sections 65915 – 65918) which permits a density bonus to exceed the density limit of the Zoning Code with the provision of affordable units; and

WHEREAS, the project is located in the Single Family (R-1) District zone which permits 34.1 units. Pursuant to Fontana Municipal Code Section 30-434, the 34.1 units would round up to allow 35 units for the project; and

WHEREAS, the Applicant is providing four (4) very low affordable units in the project. Pursuant to State Density Bonus Law, the Applicant is entitled to a 35 percent density bonus, which calculates to 13 units and brings the total project to 48 units that encompasses the four (4) very low affordable units; and

WHEREAS, the Applicant has requested the following waivers: minimum lot size, average lot size, lot width, lot depth, lot coverage, front setbacks, side setbacks, rear setbacks, setback variations and side entry garages per California Government Code Sections 65915 – 65918; and

WHEREAS, the incentives/concessions requested by the Applicant are to not require block walls between the lots California Government Code Sections 65915 – 65918; and

WHEREAS, these incentives/concessions result in identifiable and actual cost reductions, will not have a specific adverse impact on health and safety or on any real property that is listed in the California Register of Historical Resources and is not contrary to state or federal law; and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of life throughout the City, through effective land use and planning; and

WHEREAS, Conditions of Approval have been prepared and attached hereto as **Exhibit “A”** for Tentative Tract Map No. 22-008 (TTM No. 20580) and **Exhibit “B”** for Design Review Project No. 22-059; and

WHEREAS, all notices required by statute and the City Municipal Code have been given as required; and

WHEREAS, the owners of property within 660 feet of the proposed project site were notified via public hearing notice mailer prior to the Public Hearing; and a notice of the public hearing was published in the local Fontana Herald newspaper on September 10th, 2023, posted at City Hall, and on site at the project site; and

WHEREAS, a Notice of Determination has been prepared for this project pursuant Section 15162 and 15183 of the California Environmental Quality Act and Section 6.22 of the 2019 Local Guidelines for Implementing CEQA; and

WHEREAS, on September 5, 2023, a duly noticed public hearing on Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059 was held by the City of Fontana’s Planning Commission (“Planning Commission”) to consider testimony and evidence presented by the Applicant, City staff, and other interested parties, at the Public Hearing held with respect hereto; and

WHEREAS, the Planning Commission carefully considered all information, evidence, and testimony presented at its public hearing on September 5, 2023 pertaining to Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are incorporated herein by reference.

Section 2. CEQA. The Planning Commission hereby determines that the project has been reviewed under Final EIR (SCH No. 2016021099) for the General Plan that was certified by the City Council on November 13, 2018 and based on CEQA Guidelines, Sections 15162 through 15164 et seq, Section 15183, and Section 8.10 of the City of

Fontana’s 2019 Local CEQA Guidelines, the Planning Commission finds that the previously certified Final EIR has adequately identified the impacts associated with Design Review No. 22-055 and Tentative Tract Map No. 22-008 (Tract No. 20580).

Section 3. Tentative Tract Map Findings. The City of Fontana’s, Planning Commission hereby makes the following findings for Tentative Tract Map No. 22-008 (TTM 20508) in accordance with Section No. 26-55 (e) “Findings for approval” of the Fontana Zoning and Development Code:

Finding No. 1: The proposed map is consistent with the City’s General Plan and any applicable specific plan.

Findings of Fact: The Applicant is utilizing the State Density Bonus Law which prohibits local municipalities from enforcing zoning code regulations that would prohibit the density allowed by the State Law. Four (4) Very Low affordable units for the project which allow an increase of 35% more units than what is permitted by the Zoning Code. The Zoning Code allows 34.1 units, but the State Law allows up to forty-eight (48) units for this project. Zoning Code regulations of the Single Family (R-1) District that have requirements for minimum square footage, and minimum lot and width dimensions cannot be enforced because they are waivers of the Zoning Code that would allow the Applicant to build at the density permitted by the State Density Bonus Law.

Finding No. 2: The design or improvements of the proposed subdivision are consistent with the general plan and any applicable specific plan.

Findings of Fact: The General Plan Land Use designation is Single Family (R-SF). This Land Use District allows for single-family development. Although this District limits the density to five (5) units per acre, the State Law allows the Applicant to exceed the Zoning Code requirement as stated above. The project meets the specifications of the General Plan, more specifically, those of Goal 2 (General Plan 15.34) that call for creating “connected neighborhoods”. The project site will connect Cascade Drive for residents of the project site and current residents which currently dead ends on both sides of the site.

Finding No. 3: The site is physically suitable for the type and density of the development.

Findings of Fact: The project site is of an adequate size to accommodate the development and the existing topography is relatively flat. The site has existing block walls that will adequately screen the project site and meet the height limits of the zoning code.

Finding No. 4: **The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or will not substantially and avoidably injure fish or wildlife or their habitat.**

Findings of Fact: The design of Tentative Tract Map No. 22-008 (TTM No. 20580) is not likely to cause substantial environmental damage nor substantially and unavoidably injure fish or wildlife or their habitat. The project will not have a significant effect on the environment with mitigation as a result of project implementation per CEQA. Technical studies were conducted for this project and findings were made that the previously adopted Environmental Impact Report and Mitigation Monitoring and Reporting Program adequately identified any potential impacts associated with the project. The previously adopted Mitigation Monitoring and Reporting Program has been prepared and made a part of the environmental documentation and Conditions of Approval for this project.

Finding No. 5: **The design of the subdivision or type of improvements will not cause serious public health problems.**

Findings of Fact: The design of Tentative Tract Map No. 22-008 (TTM No. 20580) will not cause public health problems. The project was evaluated to ensure there would be no impacts or mitigation measures required beyond those anticipated in the General Plan EIR. Improvements include connection to the public sewer, connection to the public storm drain, sidewalks, drainage, and grading to provide a safe and well-designed project for the area.

Finding No. 6: **That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

Findings of Fact: The design of Tentative Tract Map No. 20580, and associated public improvements, will not conflict with access easements acquired by the public. The Property is accessed from Cascade Drive and Chase Road, which are publicly maintained streets. Currently there are no other public access easements through or within the project site.

Section 4. **Design Review Findings.** The Planning Commission hereby makes the following findings for **Design Review No. 22-059** in accordance with Section No. 30-120 “Findings for Approval” for Design Review of the Zoning and Development Code:

Finding No. 1: The proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.

Findings of Fact: The project is located in the Single Family Residential (R-SF) general plan land use designation. The Applicant is utilizing the State Density Bonus Law which restricts the application of Zoning Laws.

Finding No. 2: The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desirable development promoting the public health, safety, and welfare of the community.

Findings of Fact: Although the project does not meet the standards of the Zoning Code, the project the project has attractive architecture and landscaping. The architectural features include a variety of designs such as Spanish, Cottage, Ranch, Bungalow, Farmhouse, and key design features such as window trimming, banding, siding, carriage lights, accent colors, recessed windows and decorative metal fixtures. Landscaping is incorporated to ensure that the lots meet the Zoning Code requirement for adequate trees, shrubs and groundcover. Though not required, the Applicant has included a recreation area that consists of a swimming pool, barbeque area and fitness room.

There are four (4) affordable housing units integrated into the site with the same floor plans and lot design as the market rate units. As identified by State legislature, the housing crisis in California has highlighted the need for increased housing. By allowing a higher density of units, and providing affordable units, the project is addressing this demand.

The Project is as safe in design as is otherwise required by the Fontana Municipal Code.

Finding No. 3: The proposal, in its design and appearance, is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact: The project has attractive architecture and landscaping. The architectural features include a variety of designs such as Spanish, Cottage, Ranch, Bungalow, Farmhouse, and key design features such as window trimming, banding, siding, carriage lights, accent colors, recessed windows and decorative metal fixtures. Landscaping is incorporated to ensure that the lots meet the Zoning Code requirement for adequate trees, shrubs and groundcover.

Though not required, the Applicant has included a recreation area that consists of a swimming pool, barbeque area and fitness room.

The project will result in housing that is necessary for both the area and region. The project includes street improvements, sidewalks, drainage, grading and perimeter and privacy walls to provide a safe and well-designed neighborhood. The project has been reviewed by the City of Fontana's Planning, Engineering, Building and Safety and Fire Prevention Departments for site circulation, access, and safety. These structures will be built pursuant to all applicable building, zoning, and fire codes per the review of these departments and Conditions of Approval.

Finding No. 4: The site improvements are appropriate and will result in a safe, well-designed facility.

The project site improvements are appropriate and will result in a safe, well-designed development. The tract of homes are designed with the appropriate pavement, curbs, gutters and sidewalks. The project has been reviewed by the City of Fontana's Planning, Engineering, Building and Safety, and Fire Prevention Departments for site circulation, access, and safety to ensure the project meets State and local code requirements and Conditions of Approval have been implemented promote safety and a well designed site. The character of the surrounding neighborhood reflects residential uses.

Section 5.

Approval. Based on the foregoing, the City of Fontana's Planning Commission hereby approves:

- A. Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059, subject to the conditions of approval, which are attached hereto as **Exhibit "A"** and **Exhibit "B"** to this Resolution and incorporated herein by this reference.
- B. In accordance with State Density Bonus Law the following incentive/concessions are granted: block walls are not required along the side and rear property lines.
- C. In accordance with State Density Bonus Law the following waivers are granted: minimum lot size, average lot size, lot width, lot depth, lot coverage, front setbacks, side setbacks, rear setbacks, setback variations and side entry garages.

Section 6.

Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code, Section No. 21081.6.

Section 7. Certification. The Secretary shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this **5th day of September 2023.**

City of Fontana

Cathline Fort, Chairperson

ATTEST:

I, Ralph Thrasher, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the **5th day of September 2023**, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Ralph Thrasher, Secretary



**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 22-128
Tentative Tract Map 20580 (TTM No. 22-008) **DATE:** September 5, 2023

LOCATION: 15912, 15936 & 15956 Chase Road (Accessor Parcel Number [APN]: 0228-151-17, -18 and -19).

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Tentative Tract Map shall become null and void two (2) years from the date of approval unless the Final map is recorded or the applicant applies for an extension

of time in accordance with the provisions in the Subdivision Map Act and the provisions in the City's Municipal Code.

3. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
4. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of the work.
5. The applicant shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of the Planning Department. A note to this effect shall be placed on the map prior to recordation of the final map.
6. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections No. 30-30 and Sections No. 30-31 of the Municipal Code.
7. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe.

Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

8. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.
9. Prior to issuance of building permits, the project proponent shall pay the City's development impact fees.
10. The applicant/developer/property owner shall provide clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The

location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.

11. The mailboxes shall be made of durable material and shall be installed in a manner that is resistant to vandalism and meets the requirements of the Post Office. The Post Office currently approves freestanding mailboxes that are F-series and wall-mounted boxes that are 4C series. The developer is responsible for contacting the Post Office for the type and location of the mailboxes within their development. Any replacements of the mailboxes subsequent to the original installation shall be the responsibility of the developer, each individual homeowner and/or the homeowners association, and the Post Office.
12. Prior to final map approval, the applicant shall provide to City Staff for the City's review and approval, and shall execute and record against the subject property in the San Bernardino County Recorder's Office, a regulatory agreement in a form and substance approved by City Staff and the City Attorney. The regulatory agreement shall require, among other things, that a minimum of four (4) residential units on four (4) single family residential lots be and remain "very low affordable units" as described and for the period of time set forth in California Govt. Code Sec. 65915 through 65918 and related State statutes. For this purpose, the applicant shall deposit with the City prior to submitting the regulatory agreement for City review and approval the sum of three thousand dollars (\$3,000) to reimburse the City for City Staff and City Attorney time in reviewing, revising and negotiating the agreement, provided that the City will promptly refund to the applicant any unused portion of such deposit."
13. The development shall maintain an active Homeowner's Association ("HOA") at all times. The City shall be a third party to the H.O.A. in the event the development cannot maintain said H.O.A.

BUILDING AND SAFETY DEPARTMENT:

14. The applicant/developer/property owner shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code

15. The applicant/developer/property owner shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
16. The applicant/developer/property owner shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
17. The applicant/developer/property owner shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
18. The applicant/developer/property owner shall have the tract map recorded prior to the issuance of any building permits.
19. The applicant shall comply with the following grading requirements:
 - A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.
 - F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.

The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
 - I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the

existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.);

- ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.);
 - iii. All proposed drainage structures;
 - iv. Any proposed and/or required walls or fencing.
20. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

21. The following items shall be completed and/or submitted to Building & Safety – as applicable – prior to the issuance of building permits for this project:
- A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector

ENGINEERING DEPARTMENT:

22. The Project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
23. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
24. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

25. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

PRIOR TO MAP RECORDATION

26. Applicant shall provide a Subdivision Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.
27. Applicant shall submit and execute a Maintenance Agreement for the ongoing maintenance for Cascade Drive (Private Street) which will contain a public access easement.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

28. The Applicant shall record All map's, right-of-way dedications, easements, reciprocal access agreement as required for the development.
29. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

30. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
31. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
32. The Applicant/Engineer shall set survey monuments as required by the map and corner records must be recorded with the County.
33. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
34. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
35. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
36. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

FIRE DEPARTMENT:

37. **Jurisdiction:** The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
38. **Fire Access Road Width:** Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys, and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1.
39. **Turnaround:** An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code Chapter 5 & SBCoFD Standard A-1.
40. **Street Signs:** Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. California Fire Code Chapter 5 & SBCoFD Standard A-2.
41. **Fire Lanes:** The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.
42. **Water System Residential:** Prior to map recordation or lot line adjustment, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix B of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet (4"x2.5"x2.5") shall be provided. All fire hydrants shall be spaced no more than six hundred (600) feet apart as measured along vehicular travel-ways. California Fire Code Chapter 5 & SBCoFD Standard W-2.

The Fire Flow for this project shall be: 1,500 GPM for a two-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 1,650 Square Foot structure.

43. **Hydrant Marking:** Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCoFD Standard W-2.
44. **Water System Certification:** The applicant shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the jobsite. California Fire Code Chapter 5.
45. **Combustible Protection:** Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
46. **Fire Sprinkler-NFPA #13D:** An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-2.
47. **Fire Extinguishers:** Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. California Fire Code Chapter 9.
48. **Residential Addressing:** The street address shall be installed on the building with numbers that are a minimum of four (4) inches in height and with a one half (½) inch stroke. The address shall be visible from the street. During the hours of darkness, the numbers shall be internally and electrically illuminated with a low voltage power source. Numbers shall contrast with their background and be legible from the street. Where the building is fifty (50) feet or more from the roadway, additional contrasting four (4) inch numbers shall be displayed at the property access entrances. California Fire Code Chapter 5 & SBCoFD Standard B-1
49. **Secondary Access:** The development shall have a minimum of two points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCoFD Standard A-1

50. **Spark Arrestor:** An approved spark arrestor is required. Every chimney that is used in conjunction with any fireplace or any heating appliance in which solid or liquid fuel are used, shall have an approved spark arrestor visible from the ground that is maintained in conformance with Fire Department requirements. California Fire Code Chapter 6.
51. **San Bernardino County Fire Standards:** Items not directly called out on these Conditions of Approval, shall also adhere to currently adopted San Bernardino County Fire Standards and California Fire Code.



**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 22-128
Design Review Project No. 22-059

DATE: September 5, 2023

LOCATION: 15912, 15936 & 15956 Chase Road (Accessor Parcel Number [APN]: 0228-151-17, -18 and -19).

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Design Review shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary

building on site, and successful completion of the first Building and Safety Division inspection, has commenced within this period.

3. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
4. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of work.
5. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of the Planning Department or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the residential structure until corrections are approved in writing by all appropriate staff.
6. The Director of the Planning Department, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural relief. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
7. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the

Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

8. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.
9. Foam treatment used for architecture features and/or projections located on the first floor (under 14-foot) shall be covered with concrete or similar durable material a minimum of ¼ inch thick, or as determined by the Director of the Planning Department.
10. If solar panel systems are installed on the roof of any residential structure, the installation shall be on top or above the approved roof tile. If a solar panel system is flush mounted to the roof, matching roof tiles shall be replaced immediately upon removal of the solar panels.
11. All garage doors shall be metal, sectional roll-up and have windows as required by the Zoning Code.

12. Wall-mounted decorative lighting fixtures shall be provided at the front porch area as well as on each side of the garage door.
13. Prior to the issuance of a Certificate of Occupancy, the applicant/developer/property owner shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of the Planning Department or his/her designee.
14. All new block walls shall be constructed with a decorative block and capped with a prefabricated block cap.
15. The following electrical outlets and garage door opener will be provided in all garages:
 - A. Install one automatic garage door opener for the double garage door.
 - B. Install at least one duplex receptacle within garage.
16. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections No. 30-30 and Sections No. 30-31 of the Municipal Code.
17. The applicant/developer shall comply with the mitigation measures identified in the Initial Study Monitoring and Reporting Program as approved by the Planning Commission on September 5, 2023.
18. Prior to the earlier of (a) recordation of the final tract map for City of Fontana Master Case No. 22-128 (Tentative Tract Map No. 22-008) and (b) issuance of a building permit for any construction in the proposed project, the applicant shall record in the San Bernardino County Recorder's Office a fully executed regulatory agreement, as approved by the City, as described and otherwise set forth in Condition 12 of the City's approval of Tentative Tract Map No. 22-008.
19. The development shall maintain an active Homeowner's Association ("HOA") at all times. The City shall be a third party to the H.O.A. in the event the development cannot maintain said H.O.A.

Prior to Issuance of Building /Construction Permits

20. The applicant/developer/property owner shall provide clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.

21. The developer shall notify the residents on the adjacent parcels to the west of the site on Cascade Drive, that the existing wood fence will be removed. The developer shall provide a copy of written communications and certified mail numbers to the Planning Department to the satisfaction of the Director of Planning.
22. The mailboxes shall be made of durable material and shall be installed in a manner that is resistant to vandalism and meets the requirements of the Post Office. The Post Office currently approves freestanding mailboxes that are F-series and wall-mounted boxes that are 4C series. The developer is responsible for contacting the Post Office for the type and location of the mailboxes within their development. Any replacements of the mailboxes subsequent to the original installation shall be the responsibility of the developer, each individual homeowner and/or the homeowners association, and the Post Office.

BUILDING AND SAFETY DEPARTMENT:

23. The applicant/developer/property owner shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code
24. The applicant/developer/property owner shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
25. The applicant/developer/property owner shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
26. The applicant/developer/property owner shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.

27. The applicant/developer/property owner shall have the tract map recorded prior to the issuance of any building permits.
28. The applicant shall comply with the following grading requirements:
 - A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.
 - F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.

The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
 - I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.);
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.);
 - iii. All proposed drainage structures;
 - iv. Any proposed and/or required walls or fencing.
29. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

30. The following items shall be completed and/or submitted to Building & Safety – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector

ENGINEERING DEPARTMENT:

31. The Project shall be served by the City’s sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
32. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
33. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

34. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

PRIOR TO MAP RECORDATION

35. Applicant shall provide a Subdivision Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.
36. Applicant shall submit and execute a Maintenance Agreement for the ongoing maintenance for Cascade Drive (Private Street) which will contain a public access easement.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

37. The Applicant shall record All map’s, right-of-way dedications, easements, reciprocal access agreement as required for the development.

38. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

39. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
40. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
41. The Applicant/Engineer shall set survey monuments as required by the map and corner records must be recorded with the County.
42. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
43. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
44. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
45. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

FIRE DEPARTMENT:

46. **Jurisdiction:** The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
47. **Fire Access Road Width:** Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys, and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1.
48. **Turnaround:** An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code Chapter 5 & SBCoFD Standard A-1.
49. **Street Signs:** Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. California Fire Code Chapter 5 & SBCoFD Standard A-2.
50. **Fire Lanes:** The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.
51. **Water System Residential:** Prior to map recordation or lot line adjustment, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix B of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet (4"x2.5"x2.5") shall be provided. All fire hydrants shall be spaced no more than six hundred (600) feet apart as measured along vehicular travel-ways. California Fire Code Chapter 5 & SBCoFD Standard W-2.

The Fire Flow for this project shall be: 1,500 GPM for a two-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 1,650 Square Foot structure.

52. **Hydrant Marking:** Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCoFD Standard W-2.

53. **Water System Certification:** The applicant shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the jobsite. California Fire Code Chapter 5.
54. **Combustible Protection:** Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
55. **Fire Sprinkler-NFPA #13D:** An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-2.
56. **Fire Extinguishers:** Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. California Fire Code Chapter 9.
57. **Residential Addressing:** The street address shall be installed on the building with numbers that are a minimum of four (4) inches in height and with a one half (½) inch stroke. The address shall be visible from the street. During the hours of darkness, the numbers shall be internally and electrically illuminated with a low voltage power source. Numbers shall contrast with their background and be legible from the street. Where the building is fifty (50) feet or more from the roadway, additional contrasting four (4) inch numbers shall be displayed at the property access entrances. California Fire Code Chapter 5 & SBCoFD Standard B-1
58. **Secondary Access:** The development shall have a minimum of two points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCoFD Standard A-1
59. **Spark Arrestor:** An approved spark arrestor is required. Every chimney that is used in conjunction with any fireplace or any heating appliance in which solid or liquid fuel are used, shall have an approved spark arrestor visible from the ground that is maintained in conformance with Fire Department requirements. California Fire Code Chapter 6.
60. **San Bernardino County Fire Standards:** Items not directly called out on these Conditions of Approval, shall also adhere to currently adopted San Bernardino County Fire Standards and California Fire Code.

NOTICE OF DETERMINATION

TO: X County Clerk, County of
San Bernardino

___ Office of Planning and Research

FROM: City of Fontana
Planning Department
8353 Sierra Avenue
Fontana, CA 92335

SUBJECT: Filing of Notice of Determination in Compliance with Section 21152 of the Public Resources Code.

Project Title: Master Case No. 22-128, Tentative Parcel Map No. 20580 (TTM No. 22-008) and Design Review No. 22-059 – Chase Residential Project.

State Clearinghouse Number: N/A

Name of Person or Agency carrying out project: Alejandro Rico – Associate Planner, City of Fontana (Lead Agency) 8353 Sierra Avenue, Fontana, CA 92335.

Project Location: The project site is located at 15912, 15936 and 15956 Chase Road (APN's 0228-151-17, -18 and -19).

Project Description: Master Case No. 22-128 is a proposal to construct forty-eight (48) detached residential units on a 6.8-acre lot with parking, landscaping and recreation area.

Project Proponent & Address: RC Homes Inc, Matt Livingston, 550 N Larchmont Blvd, Los Angeles, CA 90004

Contact Name & Phone: Matt Livingston – (917) 330-9812

This is to certify that on **September 5, 2023**, the Planning Commission of the City of Fontana approved the above-described project along with the previously adopted Initial Study/Environmental Impact Report, and made the following determinations:

1. The project ___ will X will not have a significant effect on the environment.
2. The project has been reviewed under Final EIR (SCH No. 2016021099) for the General Plan that was certified by the City Council on November 13, 2018 and based on CEQA Guidelines, Sections 15162 through 15164 et seq, Section 15183, and Section 8.10 of the City of Fontana's 2019 Local CEQA Guidelines, the previously certified Final EIR has adequately identified the impacts associated with Design Review No. 22-055 and Tentative Tract Map No. 22-008 (Tract No. 20580)
3. Mitigation measures X were ___ were not made a condition of the approval of the project.
4. A Statement of Overriding Considerations ___ was X was not adopted for this project.
5. Findings X were ___ were not made pursuant to the provisions of CEQA.
6. The location and custodian of the documents which comprise the record of proceedings for the project approval including environmental documents is available to the general public at:

Custodian: City of Fontana, Planning Department

Location: 8353 Sierra Avenue, Fontana, CA 92335

Rina Leung
Senior Planner

Date Received for Filing



FONTANA
CALIFORNIA

NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case (MCN) No. 22-128, Tentative Tract Map No. 22-008 (Tract No. 20580), Design Review Project No. 22-059: Subdivision of forty-eight (48) single-family residential lots on 6.8 acres and architectural review for the residences and amenities including four (4) affordable housing units per the State Density Bonus law.

Environmental Determination: An initial Study (IS) and Environmental Impact Report (EIR) were previously prepared for the area and certified by the City Council on November 13, 2018. The Initial Study (IS) and Environmental Impact Report serve as the environmental document for this project pursuant to Section No. 15162 and Section No. 15183 of the California Environmental Quality Act (CEQA). No new additional impacts beyond what was anticipated in the EIR mentioned above were identified for the project.

Location of Property: 15912, 15936 & 15956 Chase Road
(Accessor Parcel Number [APN]: 0228-151-17, -18 and -19)

Date of Hearing: September 5, 2023

Place of Hearing: City Hall Council Chambers
8353 Sierra Avenue
Fontana, CA 92335

Time of Hearing: 6:00 P.M.



Should you have any questions concerning this project, please contact Alejandro Rico, Associate Planner, at (909) 350-6558 or by email at arico@fontanaca.gov.

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2449
Agenda #: DC-A

Agenda Date: 9/5/2023
Category: Director Comments

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming City Council Items

DATE: September 5, 2023

The items listed below are for agenda forecast purposes and are subject to change.

SPECIAL CITY COUNCIL MEETING SEPTEMBER 5, 2023

- 1. Proposed Moratorium Extension

CITY COUNCIL SEPTEMBER 12, 2023	PLANNER	PLACEMENT
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2ND Reading of 3rd Combined General Plan Amendment –

Adoption of Ordinance No. 1923

- | | | |
|--|----------------|------------------|
| <ul style="list-style-type: none"> 1. MCN#22-118; GPA#22-010; ZCA#22-010
SB2 Environmental Impact Report (DEIR)
Downtown Core Project | Alejandro Rico | Consent Calendar |
|--|----------------|------------------|

CITY COUNCIL SEPTEMBER 26, 2023	PLANNER	PLACEMENT
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| <ul style="list-style-type: none"> 1. APL#23-016
Appeal for MCN#22-107; MUP#22-007; ASP#22-028
New 75-foot wireless monopalm with antennas
17010 Sierra Lakes Pkwy. | Mai Thao | Public Hearing |
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MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming Planning Commission Items

DATE: September 5, 2023

The items listed below are for agenda forecast purposes and are subject to change.

<u>PLANNING COMMISSION SEPTEMBER 19, 2023</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN#22-040; GPA#22-001; ZC#22-001 General Plan Amendment and Zone Change from Single Family Residential to Multi-Family Medium High Density Residential North of Merrill Ave. between Alder Ave. and Laurel Ave.	Salvador Quintanilla & Alexia De La Torre	Public Hearing
2. MCN#21-106; DRP#21-042; TTM#21-005 52 Townhomes Project 8162 Calabash Ave.	Alejandro Rico	Public Hearing
3. MCN#21-086; DRP#21-031 7 Single-Family Dwelling Units N/A Fontana Ave.	Jon Dille	Public Hearing
<u>PLANNING COMMISSION OCTOBER 3, 2023</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. MCN#22-143; DRP#22-064; TPM#23-012 DEIR for an 882,000 sq. ft. Hemlock Commerce Center 11115 Hemlock Ave.	Rina Leung	Public Hearing
2. MCN#22-037; DRP#22-020; GPA#22-005; ZCA#22-007 24 Unit Apartment Project 8155 Banana Ave.	Jon Dile	Public Hearing