

# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335



## Revised Agenda

**WORKSHOP - 12:00 P.M.**

**CLOSED SESSION - 1:30 P.M.**

**REGULAR MEETING - 2:00 P.M.**

**Tuesday, May 27, 2025**

**2:00 PM**

**Grover W. Taylor Council Chambers**

## **City Council Meeting**

*Acquanetta Warren - Mayor*

*Peter A. Garcia - Mayor Pro Tem*

*John B. Roberts - Council Member*

*Jesus "Jesse" Sandoval - Council Member*

*Phillip Cothran - Council Member*

*Germaine Key - City Clerk*

*Janet Koehler-Brooks, City Treasurer*

**Welcome to a meeting of the Fontana City Council.**

Welcome to a meeting of the Fontana City Council. Meetings are held at the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335. To address the Council, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Council Chambers is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires accommodation to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at the City Clerk's Office.

Para traducción en Español, comuníquese con la oficina, "City Clerk" al (909) 350-7602.

The City of Fontana is committed to ensuring a safe and secure environment for its residents to engage with the government. No oversized bags or backpacks (size limit of 14"x14"x6") will be allowed inside the Council Chambers. All bags are subject to search. Face masks are prohibited in the Council Chambers, but clear masks will be provided upon request to accommodate individuals with medical needs, ensuring their safety and well-being. Before entering the Council Chambers, you may be subject to a metal detector screening. The City Manager retains the discretion to grant any exemptions. Fontana aims to provide safe buildings for our community members, employees, and visitors.

**WORKSHOP:****A. 12:00 P.M. City Council Workshop****A. City Council Workshop: FY 25-27 Budget Review**[25-0276](#)**PUBLIC COMMUNICATION - CLOSED SESSION:**

This is an opportunity for citizens to speak to the City Council for up to 3 minutes on the following Closed Session. The Mayor and City Council reserve the right to adjust this time limit based on the number of speakers who wish to address the Mayor and City Council.

**A. Public Communications - Closed Session****CLOSED SESSION:****A. 1:30 P.M. CLOSED SESSION****A. 1. CONFERENCE WITH LABOR NEGOTIATOR PURSUANT TO GOVERNMENT CODE SECTION 54957.6 City Negotiator: John Bakhit, Labor Counsel and Matt Ballantyne, City**[25-0277](#)

**Manager. Employee Organization(s): Police Officers Association.**

## **CALL TO ORDER/ROLL CALL:**

- A. Call To Order/Roll Call:**

## **INVOCATION/PLEDGE OF ALLEGIANCE:**

- A. Invocation/Pledge of Allegiance:**

## **SPECIAL PRESENTATIONS:**

- A. Special Presentations**

- A. 1. Mayor Warren and City Council to introduce new Parks, Community and Human Services Commissioners. [25-0269](#)**

**2. Mayor Warren and City Council to recognize, Corporal David Campa, Officers Daniel Oliver, Holden Sparrow, Ryan Ruff, Imaad Sally, Israel Matos, Sophia Stracner, Anthony Martinez, Cody Chick, Joshua Carreon, Mario Martinez, Alex Chuy, Brandon Whobrey, Khyra Radford and Christopher Drayer, and Animal Services Officer Ashley Cockroft as April 2025 Employees of the Month (Captain Burton to present).**

## **PUBLIC COMMUNICATIONS:**

This is an opportunity for members of the public to address the City Council for up to three (3) minutes total on items either on the Agenda or items not on the Agenda, but within the City Council's jurisdiction. Note that Public Hearing items have individual and specific public input opportunities during the public hearing and testimony on those items will only be taken during the public hearing. The Council is prohibited by law from discussing or taking immediate action on non-agendized items. The Mayor and City Council reserve the right to adjust this time limit based on the number of speakers who wish to address the Mayor and City Council.

- A. Public Communications**

## **CONSENT CALENDAR:**

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Council votes on them, unless a member of the Council requests a specific item be removed from the Consent Calendar for discussion.

**Approve Consent Calendar Items as recommended by staff.**

- A. Approval of Minutes [25-0264](#)**

Approve the minutes of the May 13, 2025, Regular City Council Meeting.

**Attachments:** [Attachment No. 1 - City Council Meeting Minutes 05-13-2025.pdf](#)

**B. Adoption of Ordinance No. 1969 on Second Reading, Establishing Entertainment Center Overlay District and other Zoning and Development Code Amendments. [25-0265](#)**

Adopt **Ordinance No. 1969** on Second Reading, approving Master Case No. 25-0011 and Municipal Code Amendment No. 25-001 to establish a new entertainment center overlay district with three (3) Entertainment Center planning areas with land use restrictions and requirements; revisions to the land use tables in Form Based Code (FBC) Downtown Gateway, Sierra Gateway, Route 66 Gateway and Valley Gateway) and Commercial Zoning Districts for parcels that have frontage along Foothill Boulevard between Ilex Street to Maple Avenue and Along Sierra Avenue from I-10 to Randall Avenue, revise the permit requirements for farmers markets from minor use permit to temporary use permit; revise the nonconforming provisions to allow for expansions for up to 50 percent along with an extension of a discontinued nonconforming use up to twenty-four months for repairs, remodels, and expansions; and include a requirement for the installation of Route 66 signage for certain properties along Foothill Boulevard for projects that undergoing a Design Review or an Administrative Site Plan, pursuant to the certified General Plan Environmental Impact Report (State Clearinghouse (SCH) No. 2016021099) and Public Resources Code Section 21083.3.

**Attachments:** [Attachment No. 1- Ord. 1969.docx](#)  
[Attachment No. 2- Exhibit A.docx](#)

**C. 2025-2026 Statement of Investment Policy [25-0082](#)**

Adopt the City of Fontana Statement of Investment Policy for Fiscal Year 2025-2026.

**Attachments:** [Fontana 2025-2026 Investment Policy Final.docx](#)

**D. Award a Task Order for Geotechnical Engineering and Materials Testing Services for the 2024-2025 programmed Citywide Pavement Rehabilitation Projects (Request for Proposals DE-24-195-SQ-02) [25-0190](#)**

1. Award and authorize the City Manager to execute a Task Order in the amount of \$136,850.00 with Geocon West, Inc. for the 2024-2025 programmed Citywide Pavement Rehabilitation Projects (Request for Proposals DE-24-195-SQ-02).
2. Approve and authorize the City Manager to execute any future amendments to the Task Order in the amount not to exceed \$30,000.

**Attachments:** [Attachment No. 1- Geotech BidResultDetail423828.pdf](#)  
[Attachment No. 2- Grid Map 47 Pavement Map.pdf](#)  
[Attachment No. 3- Marygold Ave Sierra to Maple Map.pdf](#)  
[Attachment No. 4- Merrill Ave Alder to Maple Map.pdf](#)  
[Attachment No. 5-Sierra Ave Baseline to Highland Map.pdf](#)  
[Attachment No. 6- Sierra Ave Summit to Sierra Lake Map.pdf](#)

**E. Approval to Purchase a Mulch Blower and Trailer to Support SB 1383 Procurement Requirements [25-0200](#)**

1. Authorize the Purchasing Division to procure a mulch blower and trailer utilizing the Purchasing Policy and Procedure Manual 3.1.5 Non-Competitive Proposal - Purchase by Another Agency.
2. Authorize to use the Sourcewell contract #070821-FNN to purchase the Finn mulch blower and trailer from authorized dealer Clairemont Equipment, Fontana, CA in the amount of \$154,874.34 plus applicable sales tax.

**Attachments:** [Attachment No. 1- City of Fontana MBH6 quote.pdf](#)  
[Attachment No. 2- City of Fontana MBH6 sales contract.pdf](#)

**F. Final Acceptance of the Active Transportation Program (ATP) Safe Routes to School (SRTS) Pedestrian Improvements Project on Ramona, Alder, Locust Avenue Project [Federal ID No. ATPSB1L-5307(027)] (Bid No. SB-67-DE-23) [25-0208](#)**

Accept as complete the work performed by Riverside Construction Company, Inc. for the Active Transportation Program (ATP) Safe Routes to School (SRTS) Pedestrian Improvements Project on Ramona, Alder, Locust Avenue Project (#37603339).

**Attachments:** [Attachment No. 1- Vicinity Map](#)

**G. Final Acceptance of the Sierra Avenue Landscape Median Project (DE-24-28-SB) [25-0209](#)**

Accept as complete the work performed by IMR, Inc. for the construction of the Sierra Avenue Landscape Median Project.

**Attachments:** [Attachment No. 1- Vicinity Map](#)

**H. Co-Sponsorship Application Cycle (1) FY 2025/2026 [25-0210](#)**

Review and approve the seventeen (17) Co-Sponsorships requests recommended for the first half of FY 2025/2026 fiscal year (July 2025

through June 2026) totaling an amount of \$47,379.00 as recommended by Parks, Community, and Human Services Commission.

**Attachments:** [Attachment 1- Co-Sponsorship Policy.pdf](#)  
[Attachment 2- Feb '25 final.pdf](#)  
[Attachment 3- Feb '25 final.pdf](#)  
[Attachment 4 - w out Revenue Loss Feb. '25 final.pdf](#)  
[Attachment 5- Priority Matrix Feb '25 final.pdf](#)

**I. Authorization to Apply for the Board of State and Community Corrections Proposition 47, Cohort 5 Grant Program** **25-0252**

1. Authorize the Fontana Housing Department to apply for State and Community Corrections (BSCC) Proposition 47, Cohort 5 Grant Program.
2. Authorize the City Manager, or City Manager's designee, to execute and transmit any documents necessary or desirable to ensure the City's timely submittal and execution of the State and Community Corrections Proposition 47, Cohort 5 Grant Program.
3. Adopt **Resolution No. 2025-023**, delegating the City Manager with signing authority to execute the State and Community Corrections Proposition 47, Cohort 5 Grant Program grant agreement, if awarded.
4. Approve and authorize the City Manager, or his designee, to execute a lease agreement with River's Edge Ranch for the property located at 16000 Dorsey Ave (APN: 0232-191-10-0000).
5. Approve and Authorize the City Manager, or City Manager's designee, to make non-material changes to these agreements and execute any future amendments to the lease agreement.

**Attachments:** [Attachment No. 1- Prop 47 Resolution.docx](#)  
[Attachment No. 2- The Rivers Edge Ranch Lease for 16000 Dorsey-c1.docx](#)

## **PUBLIC HEARINGS:**

To speak on Public Hearing Items, submit comments via e-mail at [publiccomments@fontanaca.gov](mailto:publiccomments@fontanaca.gov). In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 12:00 P.M. on the day of the meeting. Comments of no more than three (3) minutes will be read into the record at the appropriate time during the meeting. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the City at, or prior to, the Public Hearing.

**All Public Hearings will be conducted following this format:**

- |                           |                       |
|---------------------------|-----------------------|
| (a) hearing opened        | (e) oral - favor      |
| (b) written communication | (f) oral - opposition |

(c) council/staff comments (g) hearing closed

(d) applicant comments (applicant not limited to 5 minutes)

**A. Master Case (MCN) No. 25-0025 - Municipal Code Amendment (MCA) No. 25-0006: For amendments to the Fontana Municipal Code to amend multiple sections of Chapter 30 (Zoning and Development Code) relating to parking requirements in the Sierra Core District of the Form-Based Code, minimum dimensions for private open space in the Form-Based Code, minimum width of rowhouses in the Form Based Code, minimum queuing and study requirements for drive-through restaurants, screening requirements for mechanical/utility equipment, and to eliminate redundant code language, pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA.** [25-0250](#)

1. Determine that this Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, Section No. 3.22 and 3.04 of the 2019 Local Guideline for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly, and it can be determined with certainty that there is no possibility that the activity in question may have significant effect on the environment and is therefore not subject to CEQA; and
2. Read by title only and waive further reading of and introduce **Ordinance No. 1970**, an Ordinance of the City Council of the City of Fontana approving Master Case No. 25-0025 and Municipal Code Amendment No. 25-0006 to amend multiple sections of Chapter 30 (Zoning and Development Code) relating to parking requirements in the Sierra Core District of the Form-Based Code, minimum dimensions for private open space in the Form-Based Code, minimum width of rowhouses in the Form Based Code, minimum queuing and study requirements for drive-through restaurants, screening requirements for mechanical/utility equipment, and to eliminate redundant code language; and the reading of the title constitutes the first thereof.

**Attachments:** [Attachment No. 1 - Ordinance No. 1970](#)  
[Attachment No. 2 - Planning Commission Packet](#)  
[Attachment No. 3 - Planning Commission Minutes of 5-6-2025.pdf](#)  
[Attachment No. 4 - Notice of Exemption](#)  
[Attachment No. 5 - Public Hearing Notice](#)

**NEW BUSINESS:****A. New Business****A. Fiscal Year 2024-25 Third Quarter Budget Status Report [25-0253](#)**

Approve the recommended Fiscal Year 2024-25 Third Quarter Budget adjustments and organizational changes.

**Attachments:** [FY24-25 Third Quarter Budget Status Report 5-22-25.pdf](#)

**CITY MANAGER COMMUNICATIONS:****A. City Manager Communications****ELECTED OFFICIALS COMMUNICATIONS/REPORTS:****A. Elected Officials Communications/Reports****ADJOURNMENT:****A. Adjournment**

Adjourn to the next Regular City Council Meeting on June 10, 2025 at 2:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0276

**Agenda #:** A.

**Agenda Date:** 5/27/2025

**Category:** Workshop

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#### Workshop

Tuesday, May 27, 2025

12:00 P.M.

Grover W. Taylor Council Chambers



#### City Council

Acquanetta Warren, Mayor

Peter Garcia, Mayor Pro Tem

John Roberts, Council Member

Jesus "Jesse" Sandoval, Council Member

Phillip W. Cothran., Council Member



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0277

**Agenda #:** A.

**Agenda Date:** 5/27/2025

**Category:** Closed Session

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#### Closed Session

Tuesday, May 27, 2025

1:30 P.M.

City Hall - Executive Conference Room



#### City Council

Acquanetta Warren, Mayor

Peter Garcia, Mayor Pro Tem

John Roberts, Council Member

Jesus "Jesse" Sandoval, Council Member

Phillip W. Cothran., Council Member



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0269

**Agenda #:** A.

**Agenda Date:** 5/27/2025

**Category:** Special Presentation

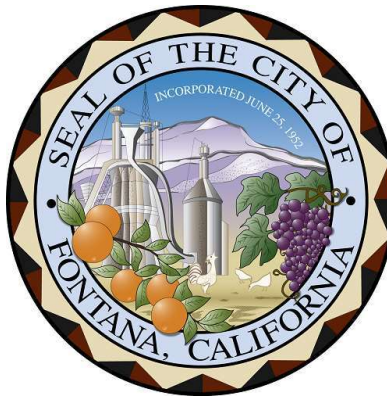
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#### Special Presentation

Tuesday, May 27, 2025

2:00 P.M.

Grover W. Taylor Council Chambers



#### City Council

Acquanetta Warren, Mayor

Peter Garcia, Mayor Pro Tem

John Roberts, Council Member

Jesus "Jesse" Sandoval, Council Member

Phillip W. Cothran., Council Member



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0264

**Agenda #:** A.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

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**FROM:**

City Clerk

**SUBJECT:**

Approval of Minutes

**RECOMMENDATION:**

Approve the minutes of the May 13, 2025, Regular City Council Meeting.

**COUNCIL GOALS:**

- Create and maintain a dynamic team by supporting the decisions of the majority once made.
- Create and maintain a dynamic team by communicating Goals and Objectives to all commissions and employees.

**DISCUSSION:**

The City Council will consider approval of the minutes of the May 13, 2025, Regular City Council Meeting. The draft minutes are attached to this report for Council review and approval.

**FISCAL IMPACT:**

None.

**MOTION:**

Approve staff recommendation.

# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335



## Minutes

**Tuesday, May 13, 2025**

**2:00 PM**

**Grover W. Taylor Council Chambers**

## **City Council Meeting**

*Acquanetta Warren - Mayor*  
*Peter A. Garcia - Mayor Pro Tem*  
*John B. Roberts - Council Member*  
*Jesus "Jesse" Sandoval - Council Member*  
*Phillip Cothran - Council Member*  
*Germaine Key - City Clerk*  
*Janet Koehler-Brooks, City Treasurer*

## **CLOSED SESSION:**

### **A. 1:00 P.M. CLOSED SESSION**

The Closed Session meeting of the Fontana City Council was held in the Executive Conference Room, 8353 Sierra Avenue, Fontana, CA 92335, on Tuesday, May 13, 2025.

Mayor Warren called the meeting to order at 1:01 p.m. with all members of the City Council present.

City Treasurer Janet Koehler-Brooks and City Clerk Germaine Key were also present.

## **PUBLIC COMMUNICATION - CLOSED SESSION:**

There were no public communications received for the following items:

1. CONFERENCE WITH LABOR NEGOTIATOR PURSUANT TO GOVERNMENT CODE SECTION 54957.6 City Negotiator: John Bakhit, Labor Counsel and Matt Ballantyne, City Manager. Employee Organization(s): Police Officers Association.

## **CALL TO ORDER/ROLL CALL:**

### **A. 2:00 P.M. Call To Order/Roll Call:**

The Regular Meeting of the Fontana City Council was held in the Grover W. Taylor Council Chambers, 8353 Sierra Avenue, Fontana, CA 92335, on Tuesday, May 13, 2025.

Mayor Warren called the Regular City Council Meeting to order at 2:06 p.m.

## **ROLL CALL:**

**PRESENT:** Mayor Warren, Mayor Pro Tem Garcia, Council Members Cothran, Roberts, and Sandoval.

City Treasurer Janet Koehler-Brooks and City Clerk Germaine Key were also present.

**ABSENT:** None

## **INVOCATION/PLEDGE OF ALLEGIANCE:**

### **A. Invocation/Pledge of Allegiance:**

The invocation was given by Council Member Roberts, followed by the pledge of allegiance led by Council Member Sandoval.

## **CLOSED SESSION ANNOUNCEMENT:**

Acting City Attorney Stephen Deitsch reported that the City Council met in Closed Session on the items listed on the agenda, provided direction to staff, and took no reportable action.

## **PROCLAMATION:**

### **A. Proclamation**

**1. Mayor Warren and City Council to proclaim Thursday, May 22, 2025, as POLICE OFFICERS MEMORIAL DAY in Fontana and the week of May 11-17, 2025, as National Police Week in Fontana (Police Officers Association Board Member Leonard Sein to accept).**

Mayor Warren and the City Council proclaimed Thursday, May 22, 2025, as POLICE OFFICERS MEMORIAL DAY in Fontana and the week of May 11-17, 2025, as National Police Week in Fontana. Police Officers Association Board Member Leonard Sein accepted.

**2. Mayor Warren and City Council to proclaim the month of May 2025 as National Building and Safety Month (Building and Safety Director Jeffrey Baughman to accept).**

Mayor Warren and the City Council proclaimed the month of May 2025 as National Building and Safety Month. Building and Safety Director Jeffrey Baughman accepted.

**3. Mayor Warren and City Council to proclaim May 5-11, 2025, as Professional Municipal Clerk's Week (City Clerk Germaine Key to accept).**

Mayor Warren and City Council proclaimed May 5-11, 2025, as Professional Municipal Clerk's Week. City Clerk Germaine Key accepted.

## **SPECIAL PRESENTATIONS:**

### **A. Special Presentations**

**1. Mayor Warren and City Council to recognize, Officers Adam Sein, Matthew Sherwood, Jonathan Bagley, Garret Mahan, Brett Swanson and Christopher Drayer; Dispatcher II's Erika Barajas & Teddy Boucher and Dispatcher I Melissa Lucero as March 2025 Employees of the Month (Captain Brian Binks to present).**

Mayor Warren and the City Council recognized Officers Adam Sein, Matthew Sherwood, Jonathan Bagley, Garret Mahan, Brett Swanson and Christopher Drayer; Dispatcher II's Erika Barajas and Teddy Boucher and Dispatcher I Melissa Lucero as March 2025 Employees of the Month.

**2. Mayor Warren and City Council to recognize the 2025 Building and Safety Employee of the Year (Building and Safety Director Jeffrey Baughman to present).**

Mayor Warren and the City Council recognized Permit Technician I Brandi Flores as the 2025 Building and Safety Employee of the Year.

**3. Mayor Warren and City Council to recognize City Clerk's Department Employee of the Year (Chief Deputy City Clerk, Christina Rudsell to present).**

Mayor Warren and the City Council recognized Administrative Clerk II Sylvia Frausto as the City Clerk's Department Employee of the Year.

**PUBLIC COMMUNICATIONS:**

The following individuals spoke under public communications:

Bill Freeman expressed his appreciation to Parks and Landscape Supervisor Brian Clements for promptly addressing and resolving maintenance concerns at a city park near Gabion Ranch. He also recognized Engineering Manager Ruben Hovanesian for taking the time to meet with him regarding the potential installation of a stop sign at the intersection of Summit Avenue and Montelena Road. Additionally, Mr. Freeman extended his thanks to City staff on behalf of the Fontana Exchange Club for their efforts in making the Fontana Days Parade a successful event.

**CONSENT CALENDAR:**

**ACTION:** Motion was made by Council Member Roberts, seconded by Mayor Pro Tem Garcia, and passed unanimously by a vote of 5-0 to approve Consent Calendar Items "A-J." The motion carried by the following vote: **AYES:** Warren, Garcia, Cothran, Roberts, and Sandoval; **NOES:** None; **ABSTAIN:** None; **ABSENT:** None

- |           |  |                |
|-----------|--|----------------|
| <b>A.</b> | <b>Approval of Minutes</b>   | <b>25-0192</b> |
|           | Approve the minutes of the April 22, 2025, Regular City Council Meeting.   |                |
|           |  |                |
| <b>B.</b> | <b>Adoption of Ordinance No. 1968 (Second Reading), Adding Article VII to Fontana Municipal Code Chapter 16 regarding Camping in the City</b>  | <b>25-0191</b> |
|           | Second Reading/Adopt <b>Ordinance No. 1968</b> , Adding Article VII Entitled "Camping" to Chapter 16 of the Fontana Municipal Code to Establish Procedures for the Handling of Camping and Associated Matters. |                |
|           |  |                |
| <b>C.</b> | <b>Approve Pre-Qualified Planning Firms to Provide On-Call Professional Services</b>   | <b>25-0095</b> |
|           | 1. Approve the Pre-Qualified Firms List to provide various On-Call Professional Planning Services.   |                |
|           | 2. Authorize the City Manager to execute On-Call Professional Agreements   |                |

with selected firms on an as-needed basis for a period of six (6) years from approval.

3. Authorize the City Manager to execute any future amendments to the On-Call Professional Agreements.

**D. Adopt a Resolution for Projects Funded by the Road Repair and Accountability Act, SB 1 25-0168**

Adopt **Resolution No. 2025-022**, of the City Council of the City of Fontana to incorporate projects funded by SB 1, the Road Repair and Accountability Act, for Fiscal Year 2025-2026.

**E. Award a Construction Contract for the Stage Red Theater Outdoor Deck Project (PW-25-125-SB) 25-0187**

1. Award bid and authorize the City Manager to execute a construction contract with Oppenheimer National for the construction of the Stage Red Theater Outdoor Deck Project in the amount of \$244,400.00 and authorize a 10% contingency in the amount of \$24,440.00 (PW-25-125-SB).
2. Authorize the City Manager to execute any related items on the behalf of the City of Fontana for the Stage Red Theater Outdoor Deck Project (PW-25-125-SB).

**F. Award Construction Management Services contract with C.W. Driver, LLC for the Downtown West Parking Structure Project (DE-25-98-SP). 25-0188**

1. Award and authorize the City Manager to execute the Professional Services Agreement with C.W. Driver, LLC for the Downtown West Parking Structure Project in the amount of \$596,576.00 (Request for Proposals DE-25-98-SP).
2. Approve and authorize the City Manager to execute future individual Professional Services Agreement Amendments not exceeding \$100,000.00 for the Downtown West Parking Structure Project (Request for Proposals DE-25-98-SP).

**G. Approve a Professional Services Agreement for Architectural Design Services with Robert, Borders & Associates for the Regional Navigation Center Tenant Improvements Project (DE-25-91-SP) 25-0196**

1. Approve and authorize the City Manager to execute a Professional Services Agreement with Robert, Borders & Associates for Architectural Design Services for the Regional Navigation Center Tenant Improvements Project in the amount of \$625,399.00 (Request for Proposals DE-25-91-SP).

2. Appropriate \$150,000.00 from Capital Reinvestment Fund (601) to the Regional Navigation Center Tenant Improvements Project (PN37600084).
3. Approve and authorize the City Manager to execute future individual Professional Services Agreement Amendments not exceeding \$100,000.00 for the Regional Navigation Center Tenant Improvements Project (Request for Proposals DE-25-91-SP).
4. Authorize the City Manager to execute any and all utility agreements, utility easements, and any related items on behalf of the City of Fontana for the Regional Navigation Center Tenant Improvements Project.

**H. Authorize Operating funding to the Stage Red Enterprise Fund. 25-0197**

Approving funding to the Stage Red Enterprise Fund for operating expenses to ASM Global.

**I. Police Department Monthly Information Update 25-0198**

Accept the Police Department monthly information update for March 2025.

**J. Pacific Electric Trail Canopy (Outdoor Fitness Zone Equipment) PW-24-251-CC 25-0199**

Authorize an increase in the construction amount by \$81,817.50, bringing the total amount to \$244,011.61, and authorize a 10% contingency of \$24,401.16.

## **PUBLIC HEARINGS:**

**A. Master Case No. 25-00011 and Municipal Code Amendment No. 25-001: Fontana Municipal Code amendments to Chapter 30 (Zoning and Development Code) to establish a new entertainment center overlay district with three (3) Entertainment Center planning areas with land use restrictions and requirements; revisions to the land use tables in Form Based Code (FBC) Downtown Gateway, Sierra Gateway, Route 66 Gateway and Valley Gateway) and Commercial Zoning Districts for parcels that have frontage along Foothill Boulevard between Ilex Street to Maple Avenue and along Sierra Avenue from I-10 to Randall Avenue, revise the permit requirements for farmers markets from minor use permit to temporary use permit; revise the nonconforming provisions to allow for expansions for up to 50 percent along with an extension of a discontinued nonconforming use up to twenty-four months for repairs, remodels, and expansions; and include a requirement for the installation of Route 66 signage for certain properties along Foothill Boulevard for projects that undergoing a Design Review 25-0136**

**or an Administrative Site Plan, pursuant to the certified General Plan Environmental Impact Report (State Clearinghouse (SCH) No. 2016021099) and Public Resources Code Section 21083.3.**

1. Determine that the proposed amendments are consistent with the Fontana General Plan and certified General Plan Environmental Impact Report (EIR) (State Clearinghouse No. 2016021099) and so qualifies for an exemption from CEQA specifically Public Resources Code 20183.3 and CEQA Guidelines Section 15183, as the proposed amendments will have no new or more severe significant environmental effect “peculiar to” the Ordinance than discussed in the certified EIR and will have no significant off-site and cumulative impacts not discussed in that EIR as long as all applicable mitigation measures in the certified EIR will be undertaken; and
2. Read by title only and waive further reading of and introduce **Ordinance No.1969**, an Ordinance of the City Council of the City of Fontana approving Master Case No. 25-0011 and Municipal Code Amendment No. 25-001 to establish a new entertainment center overlay district with three (3) Entertainment Center planning areas with land use restrictions and requirements; revisions to the land use tables in Form Based Code (FBC) Downtown Gateway, Sierra Gateway, Route 66 Gateway and Valley Gateway) and Commercial Zoning Districts for parcels that have frontage along Foothill Boulevard between Ilex Street to Maple Avenue and Along Sierra Avenue from I-10 to Randall Avenue, revise the permit requirements for farmers markets from minor use permit to temporary use permit; revise the nonconforming provisions to allow for expansions for up to 50 percent along with an extension of a discontinued nonconforming use up to twenty-four months for repairs, remodels, and expansions; and include a requirement for the installation of Route 66 signage for certain properties along Foothill Boulevard for projects that undergoing a Design Review or an Administrative Site Plan.

Mayor Warren opened the Public Hearing.

City Clerk Key reported that one public comment was received in opposition to the item. The comment was forwarded to the City Council and will be included in the official record.

Senior Planner Rina Leung presented the staff report. She also noted that a letter from the law firm Gibson Dunn, which raised concerns regarding the proposed municipal code amendment, was reviewed by staff. Staff disagreed with the assertions made in the letter.

Mayor Warren inquired about whether a car show could still be held in the area and whether existing uses would be impacted. Senior Planner Leung clarified that the proposed ordinance would not affect the car show and that existing uses could continue and potentially expand if desired.

Mayor Warren thanked Mayor Pro Tem Garcia, Council Member Cothran, and City staff for their work on the project.

With no members of the public wishing to speak either in favor or opposition, Mayor Warren closed the Public Hearing.

Council Member Roberts thanked staff for ensuring the proposed ordinance includes protections for existing businesses in the area.

**ACTION: Motion was made by Council Member Cothran, seconded by Mayor Pro Tem Garcia, and passed by a vote of 4-1 to approve staff recommendation on Public Hearing Item "A." The motion carried by the following vote: AYES: Warren, Garcia, Cothran, and Roberts; NOES: Sandoval; ABSTAIN: None; ABSENT: None**

## **CITY MANAGER COMMUNICATIONS:**

### **A. City Manager Communications**

City Manager Matt Ballantyne had no comments.

## **ELECTED OFFICIALS COMMUNICATIONS/REPORTS:**

### **A. Elected Officials Communications/Reports**

City Treasurer Koehler-Brooks recognized National Police Week and expressed appreciation to police officers for their service. She also congratulated all staff who were recognized during the meeting and thanked them for their continued dedication and hard work.

City Clerk Key extended congratulations to all staff recognized during the meeting, with special acknowledgment to Administrative Clerk II Sylvia Frausto. She also thanked the City Council for their support in celebrating Professional Municipal Clerk's Week.

Council Member Cothran spoke on the importance of overlay districts and thanked the City Council for their continued support.

Mayor Pro Tem Garcia echoed Council Member Cothran's comments and expressed gratitude to staff for their support and contributions.

Council Member Roberts congratulated all employees who were recognized at the meeting.

Council Member Sandoval had no comments.

Mayor Warren commended Deputy City Managers Ray Ebert and Phil Burum for their professionalism and efforts in moderating sessions at the recent City-County Conference. She congratulated all staff recognized during the meeting and thanked Mr. Freeman for his public comments and praise of City staff.

Mayor Warren also discussed the Fontana Days Parade, highlighting the importance of coordinating schedules between the Fontana Unified School District and the Exchange Club to ensure student participation. She expressed her gratitude to the Exchange Club for the honor

of serving as Grand Marshal of the parade and congratulated the Fontana High School JROTC for their accomplishments.

Additionally, Mayor Warren announced that the summer recreation brochure is now available and encouraged community members to register for upcoming classes and programs. She also noted that Thompson Square will be performing at Stage Red on May 15, and encouraged the public to attend and support local events.

## **ADJOURNMENT:**

### **A. Adjournment**

Mayor Warren adjourned the meeting at 3:04 p.m. to the Regular City Council Meeting on Tuesday, May 27, 2025, at 2:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

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Christina Rudsell, CMC  
Chief Deputy City Clerk

THE FOREGOING MINUTES WERE ADOPTED AND APPROVED BY THE FONTANA CITY COUNCIL ON MAY 27, 2025.

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Germaine Key  
City Clerk



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0265

**Agenda #:** B.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

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**FROM:**

Planning

**SUBJECT:**

Adoption of Ordinance No. 1969 on Second Reading, Establishing Entertainment Center Overlay District and other Zoning and Development Code Amendments.

**RECOMMENDATION:**

Adopt **Ordinance No. 1969** on Second Reading, approving Master Case No. 25-0011 and Municipal Code Amendment No. 25-001 to establish a new entertainment center overlay district with three (3) Entertainment Center planning areas with land use restrictions and requirements; revisions to the land use tables in Form Based Code (FBC) Downtown Gateway, Sierra Gateway, Route 66 Gateway and Valley Gateway) and Commercial Zoning Districts for parcels that have frontage along Foothill Boulevard between Ilex Street to Maple Avenue and Along Sierra Avenue from I-10 to Randall Avenue, revise the permit requirements for farmers markets from minor use permit to temporary use permit; revise the nonconforming provisions to allow for expansions for up to 50 percent along with an extension of a discontinued nonconforming use up to twenty-four months for repairs, remodels, and expansions; and include a requirement for the installation of Route 66 signage for certain properties along Foothill Boulevard for projects that undergoing a Design Review or an Administrative Site Plan, pursuant to the certified General Plan Environmental Impact Report (State Clearinghouse (SCH) No. 2016021099) and Public Resources Code Section 21083.3.

**COUCIL GOALS:**

- Promote economic development by pursuing business attraction, retention, and expansion.
- Promote economic development by establishing a quick, consistent development process.
- Promote economic development by being business friendly at all levels and striving to constantly improve the city's competitiveness.

**DISCUSSION:**

Ordinance No. 1969 was introduced by a vote of 4-1 at the May 13, 2025, Regular City Council Meeting.

**FISCAL IMPACT:**

The amendments are intended to encourage and facilitate entertainment and retail uses and increase related business revenues and sales taxes.

**MOTION:**

Approve staff recommendation.

## ORDINANCE NO. 1969

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, APPROVING, PURSUANT TO THE CERTIFIED GENERAL PLAN ENVIRONMENTAL IMPACT REPORT (STATE CLEARINGHOUSE (SCH) NO. 2016021099) AND PUBLIC RESOURCES CODE SECTION 21083.3, AN AMENDMENT TO MULTIPLE SECTIONS OF CHAPTER 30 OF THE FONTANA MUNICIPAL CODE TO ESTABLISH AN ENTERTAINMENT CENTER OVERLAY DISTRICT WITH SPECIFIC LAND USES AND REQUIREMENTS AT THE INTERSECTIONS OF VALLEY BOULEVARD AND SIERRA AVENUE, FOOTHILL BOULEVARD AND SIERRA AVENUE, AND FOOTHILL BOULEVARD AND CHERRY AVENUE, OTHER AMENDMENTS INCLUDE LAND USES CHANGES AND REVISIONS TO THE REQUIREMENTS IN THE FORM BASED CODE (FBC) AND COMMERCIAL ZONING DISTRICTS FOR PARCELS THAT HAVE FRONTAGE ALONG FOOTHILL BOULEVARD BETWEEN IIEX STREET TO MAPLE AVENUE AND ALONG SIERRA AVENUE FROM I-10 TO RANDALL AVENUE TO: TO ALLOW CERTAIN ENTERTAINMENT, RECREATIONAL, AND RETAIL USES; AMEND ALCOHOL BEVERAGE SALES REGULATIONS FOR RESTAURANTS TO OBTAIN ON SITE ALCOHOL BEVERAGE SALES LICENSES WITHOUT DISCRETIONARY APPROVAL; PROHIBIT CERTAIN LIGHT INDUSTRIAL USES; ADDITIONAL AMENDMENTS IN THE FORM BASED CODE (FBC) (SIERRA GATEWAY AND VALLEY GATEWAY DISTRICTS) THAT PROHIBITS AUTO AND LIGHT INDUSTRIAL RELATED USES; OTHER AMENDMENTS TO CHAPTER 30 INCLUDES REVISING THE PERMIT REQUIREMENTS FOR FARMERS MARKETS FROM MINOR USE PERMIT TO TEMPORARY USE PERMIT; REVISE THE NONCONFORMING PROVISIONS TO ALLOW FOR EXPANSIONS FOR UP TO 50 PERCENT ALONG WITH A PROVISION THAT ALLOWS FOR AN EXTENSION OF A DISCONTINUED NONCONFORMING USE UP TO TWENTY-FOUR MONTHS FOR REPAIRS, REMODELS, AND EXPANSIONS; AND INCLUDE A REQUIREMENT FOR THE INSTALLATION OF ROUTE 66 SIGNAGE ALONG CERTAIN PROPERTIES ON FOOTHILL BOULEVARD FOR PROJECTS THAT ARE SUBJECT TO A DESIGN REVIEW OR AN ADMINISTRATIVE SITE PLAN**

**WHEREAS**, in 2018, the City adopted the current General Plan aimed at fostering a high quality of life and revitalizing the Sierra Avenue Corridor into a vibrant center for entertainment, restaurant, arts, and culture; and

**WHEREAS**, in 2023, the City amended Chapter 30 of the Fontana Municipal Code ("Code") ("the Zoning and Development Code") to account for the Downtown Core Project under the SB2 Grant, with a focus on entertainment and restaurant uses along Sierra

## ATTACHMENT NO. 1

Avenue between Foothill Avenue and Randall Avenue by incorporating a performance and event venue—Stage Red, a pedestrian plaza and several entertainment nighttime uses; and

**WHEREAS**, on July 25, 2023, the City Council of the City of Fontana (“City Council”) adopted Ordinance No. 1922, a 45-day urgency ordinance, in accordance with Government Code Section 65858, placing a moratorium on the approval of any building permit, occupancy permit, conditional use permit, variance, subdivision map, design review, administrative site plan review or other land use entitlements, permits or regulatory license or permit required to comply with the provisions of the Code or any specific plan for serviced based, non-entertainment use (“Moratorium”); and

**WHEREAS**, on September 5, 2023, through Ordinance No. 1924, the City Council extended the Moratorium for an additional 10 months and 15-days; and

**WHEREAS**, on July 23, 2024, through Ordinance No. 1957, the City Council extended the Moratorium a final time for an additional one year; and

**WHEREAS**, in 2024, the City retained the services of Kosmont Companies to perform an economic marketing analysis of the Foothill Boulevard and Sierra Avenue Corridors, which are primary arterials that connect the City’s downtown to surrounding communities and three major Interstate Highways; and

**WHEREAS**, accordingly on November 12, 2024, staff conducted a joint workshop with the City Council and the City of Fontana Planning Commission (“Planning Commission”) to present a proposal for an entertainment center overlay at key intersections along Valley Boulevard and Sierra Avenue, Sierra Avenue and Foothill Boulevard, and Foothill Boulevard and Cherry Avenue; along with other modifications to the Zoning and Development Code; and

**WHEREAS**, following the workshop, City Council directed staff to proceed with amending the Code to create regulations for an entertainment overlay district and other code changes; and

**WHEREAS**, Government Code Sections 50022.1 to 50022.10 authorizes a city to codify and recodify its ordinances; and

**WHEREAS**, staff desires to restate without substantive revision, amend and recodify certain ordinances codified in the Code through Municipal Code Amendment (“MCA”) No. 25-001 to amend:

- Section 30-87 of the Zoning and Development Code to require Administrative Site Plan review for the installation of public art.
- Sections 30-351, 30-353, and 30-357 of the Zoning and Development Code to revise the nonconforming provisions to allow for expansions for up to 50 percent

along with an extension of a discontinued nonconforming use up to twenty-four months for repairs, remodels, and expansions.

- Section 30-256 of the Zoning and Development Code to revise the permit requirements for farmers markets from Minor Use Permit to Temporary Use Permit.
- Section 30-359 of the Zoning and Development Code of the Form Based Code to prohibit auto and light industrial uses, permit entertainment and recreational uses, and permit restaurants on-site alcohol beverage sales licenses.
- Section 30-360 of the Zoning and Development Code to remove subsection (d).
- Section 30-489 of the Zoning and Development Code to prohibit light industrial uses and allow specific entertainment and recreational uses for parcels with frontage along Foothill Boulevard between Ilex Street to Maple Avenue.
- Section 30-492 C of the Zoning and Development Code to modify Table No. 30-492.C, adjusting the regulations for Alcohol Beverage Sales to allow on-site alcohol beverage sales licenses for restaurants by right on parcels with frontage along Foothill Boulevard between Ilex Street and Maple Avenue.
- Sections 30-663.4 to 30-663.11 of the Zoning and Development Code to establish an entertainment center overlay district at the intersections of Valley Boulevard and Sierra Avenue, Foothill Boulevard and Sierra Avenue, and Foothill Boulevard and Cherry Avenue, including land uses and requirements.
- Section 30-727 (4) of the Zoning and Development Code to require Route 66 signage for new development projects.

**WHEREAS**, all of the notices required by statute or the Fontana City Code have been given as required; and

**WHEREAS**, State law requires that zoning regulations are consistent with the general plan and therefore updating the Code would contribute to consistency with the General Plan; and

**WHEREAS**, the amendments in MCA No. 25-001 are consistent and compatible with the General Plan and are in line with goals, policies and objectives of the City; the Housing Element policies and the Zoning and Development Code; and

**WHEREAS**, the amendments in MCA No. 25-001 are in conformity with appropriate land use practices and will establish appropriate development standards for the land use designations; and

**WHEREAS**, the amendments in MCA No. 25-001 are attached here to as Exhibit “A” and incorporated herein by reference, will not be detrimental to the public health, safety and general welfare, nor will it adversely affect the orderly development of property; and

**WHEREAS**, the amendments in MCA No. 25-001 will better express the City’s policies and will generally promote good land use planning and regulation; and

**WHEREAS**, on April 15, 2025, the Planning Commission held a public meeting on MCA No. 25-001 where it received evidence and public testimony on the Code amendments, found that the amendments were consistent with the Fontana General Plan, recommended that the City Council adopt the amendments and recommended that the City Council determine that the proposed amendments in the Ordinance are consistent with the Fontana General Plan and certified General Plan Environmental Impact Report (EIR) (State Clearinghouse No. 2016021099) and so qualifies for an exemption from CEQA, specifically Public Resources Code 21083.3 and CEQA Guidelines Section 15183, as the proposed amendments will have no new or more severe significant environmental effects “peculiar to” the Ordinance than discussed in the certified EIR and will have no significant off-site and cumulative impacts not discussed in that EIR as long as all applicable mitigation measures in the certified EIR will be undertaken; and; and

**WHEREAS**, on May 13, 2025, the City Council held a public hearing on MCA No. 25-001 where it received evidence and public testimony pertaining to the Zoning and Development Code amendments and documentation from the Planning Commission’s public hearing on April 15, 2025; and

**WHEREAS**, the City Council carefully considered all information pertaining to MCA No. 25-001 that was presented at its public hearing on May 13, 2025; and

**WHEREAS**, all other legal prerequisites to the adoption of this Ordinance have occurred.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

**Section 1. Recitals.** The recitals are true, correct and incorporated herein by this reference.

**Section 2. CEQA.** The City Council hereby determines that these amendments in the Ordinance are consistent with the Fontana General Plan and certified General Plan Environmental Impact Report (EIR) (State Clearinghouse No. 2016021099) and so qualifies for an exemption from CEQA specifically Public Resources Code 20183.3 and CEQA Guidelines Section 15183, as the proposed amendments will have no new or more severe significant environmental effect “peculiar to” the Ordinance than discussed in the certified EIR and will have no significant off-site and cumulative impacts not discussed in that EIR as long as all applicable mitigation measures in the certified EIR will be undertaken.

**Section 3. Municipal Code Amendment Findings.** The City Council hereby makes the following findings for Municipal Code Amendment No. 25-001 in accordance with Section 30-40 “Purpose” of the Fontana Zoning and Development Code:

Finding:                    **A Zoning and Development Code may be amended by changing the development standards (text) or zoning designation map boundaries of any zone whenever such an amendment is deemed necessary to protect or promote the public's health, safety or general welfare or when modification is viewed as appropriate in the context of generally accepted planning principles, surrounding land uses, and the General Plan.**

Findings of Fact:        The Municipal Code Amendments will create an entertainment center overlay district that aligns with the General Plan goal of creating regional hubs for dining, shopping and entertainment purposes to attract local and regional visitors that would drive economic growth in Fontana.

**Section 4. Development Code Amendment Approval.** Based on the foregoing, the City Council hereby approves the amendments as set forth in MCA No. 25-001, which is attached hereto as **Exhibit “A”**.

**Section 5. Applications Deemed Complete prior to Ordinance Effective Date.** This Ordinance does not apply to development applications deemed complete by the City of Fontana Planning Department prior to this Ordinance’s effective date. Any such completed pre-adoption applications not conforming to these amendments after this Ordinance’s effective date, once approved by the appropriate approving body, shall be granted legal non-conforming status, with all applications deemed complete on or after this Ordinance’s adoption being subject to its provisions.

**Section 6. Effective Date/Publication.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Fontana Herald News, a local newspaper of the general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

**Section 7. Custodian of Records.** The documents and materials that constitute the record of proceedings on which this Ordinance is based are located at the City Clerk's office located at 8353 Sierra Avenue, Fontana, CA 92335. The custodian of records is the City Clerk.

**Section 8. Certification.** The City Clerk of the City Council shall certify to the adoption of this Ordinance.

**Section 9. Severability.** If any provision of this Ordinance or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

**APPROVED AND ADOPTED** this 13<sup>th</sup> day of May, 2025.

**READ AND APPROVED AS TO LEGAL FORM:**

\_\_\_\_\_  
City Attorney

I, Germaine Key, City Clerk of the City of Fontana, and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance adopted by the City Council and was introduced at a regular meeting on the 13<sup>th</sup> day of May, 2025, and was finally passed and adopted not less than five days thereafter on the 27<sup>th</sup> day of May 2025, by the following vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

\_\_\_\_\_  
City Clerk of the City of Fontana

\_\_\_\_\_  
Mayor of the City of Fontana

**ATTEST:**

\_\_\_\_\_  
City Clerk

**ATTACHMENT NO. 1**

**“EXHIBIT A”**

**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**

(\*Additions shown in underline; deletions shown in ~~strikeout~~)

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Sec. 30-87. Projects subject to administrative site plan, minor.**

All applications for administrative site plan, minor review are required for commercial, industrial, and institutional projects which may or may not involve the issuance of a building permit for construction or reconstruction of a structure which meets the following criteria:

- (1) New construction of parking lots less than 5,000 square feet, expansion, or significant reconstruction of parking lots.
- (2) Structural additions less than 1,000 square feet that meet all the requirements of the Municipal Code, including parking. All modifications shall be architecturally compatible with the existing building.
- (3) Accessory structures totaling less than 1,000 square feet (i.e. shade structures, trash enclosures, generators, and additional mechanical equipment). All structures must be screened from the public-right-of-way and adjacent properties. Accessory structures attached to the building shall match the existing building.
- (4) Façade changes to an existing and previously approved entitlement, with no major structural changes.
- (5) Solar carports at previously developed sites that comply with open parking standards.
- (6) One accessory structures less than 200 square feet that are not visible from the right-of-way, do not take up any required parking or landscaping, and do not require fire sprinklers, may be approved through the plan check process.
- (7) When permitted, the establishment and/or construction of an outdoor storage area not exceeding ten percent on the same site as, and in conjunction with, an existing business.
- (8) New installation and replacement of public art.

**Sec. 30-256. Types of temporary use applications and conditions.**

A temporary use permit shall be required for the following activities and shall be subject to conditions established herein and any other additional conditions as may be prescribed by the Director of ~~Community Development Planning~~. All such uses shall be subject to the sign regulations within Chapter 3 and zoning regulations within Chapter 30 of the Municipal Code.

- (1) Outdoor display of merchandise/parking lot and private sidewalk sales for businesses located within a commercially designated property are limited to six display periods per calendar year. Industrial designated parcels used for wholesale/retail are permitted up to a total of six such outdoor displays per parcel per calendar year. The display periods may run consecutively or be distributed throughout the year. Each display period shall be a continuous period of days not to exceed seven days in length. The temporary use permit shall be subject to the following conditions:
  - a. The display of merchandise outside of a building shall be permitted only during the hours of operation of the store. All goods and merchandise shall be placed inside of the building following the close of the day's business, except as otherwise approved in writing by the Director of ~~Community Development Planning~~.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- b. No merchandise or goods shall be placed upon or permitted to project into any street, public sidewalk, or public right-of-way, nor restrict or interfere with handicapped parking or access to the commercial establishment(s) on site. The temporary use permit may allow the temporary occupation of on-site private sidewalks, parking stalls and drive aisles, however adequate drive aisles and on-site circulation shall be maintained at all times for safe and functional ingress and egress, handicapped access to handicapped parking spaces, and emergency equipment access. Tent sale area shall be physically delineated between pedestrian access and vehicular access ways.
  - c. Tents, canopies, awnings, covers or other temporary covering devices may be approved by the Director of ~~Community Development~~ Planning on a case-by-case basis only in conjunction with the outdoor display of merchandise/parking lot or private sidewalk sales. If a tent, canopy, awning, or other temporary covering device is approved, prior to its use or installation the applicant shall obtain a permit for said device from the Building Official and/or Fire Marshal. Said device shall be constructed and installed to comply with all safety requirements.
  - d. This section shall not be construed to permit the permanent or temporary storage of goods or equipment when otherwise prohibited by other provisions in this chapter.
- (2) Outdoor art and craft shows and exhibits subject to not more than 15 days of operation or exhibition in any 90-day period.
  - (3) Seasonal retail sale of agricultural products limited to periods of 90 days in a calendar year and when parking and access is provided to the satisfaction of the Director of ~~Community Development~~ Planning.
    - A minimum of ten on-site parking spaces shall be provided with provisions for controlled ingress and egress to the satisfaction of the Director of ~~Community Development~~ Planning.
  - (4) Religious, patriotic, historic, or other similar displays or exhibits within yards, parking areas, or landscaped areas, subject to not more than 15 days of display in any 90-day period for each exhibit.
  - (5) Christmas Trees or pumpkin and fireworks, and seasonal sales lots subject to the following guidelines and conditions:
    - a. All such uses shall be limited to 30 days of operation per calendar year.
    - b. All lighting shall be directed away from and shielded from adjacent residential areas.
    - c. Adequate provisions for traffic circulation, off-street parking, and pedestrian safety shall be provided to the satisfaction of the Director of ~~Community Development~~ Planning.
  - (6) Circuses, carnivals, rodeos, pony riding, special event tents, or similar traveling amusement enterprises are subject to the following guidelines and conditions:
    - a. All such uses shall be limited to not more than 15 days, or more than three weekends, of operation in any 180-day period. To exceed this time limitation shall require the review and approval of a conditional use permit as prescribed in Division 12 of this article herein.
    - b. All such activities shall have a minimum setback of 100 feet from any residential area. This may be waived by the Director of ~~Community Development~~ Planning if no adverse impacts result.
    - c. Adequate provisions for traffic circulation, off-street parking, and pedestrian safety shall be provided to the satisfaction of the Director of ~~Community Development~~ Planning.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- d. Restrooms shall be provided onsite.
  - e. Security personnel may be required. The Police Department shall determine the level and type of security required.
  - f. Special, designated parking accommodating for amusement enterprise workers and support vehicles shall be provided.
  - g. Noise attenuation for generators and carnival rides shall be provided to the satisfaction of the Director of ~~Community Development~~ Planning.
  - h. The applicant shall be required to submit plans for approval of tents and site plan by the Building Official and/or Fire Marshal 90 days prior to the special event being held. The tent must meet all Uniform Building Codes and applicable City codes.
  - i. Approval from the Police Department (PD) is required; moreover, finger printing through PD may be necessary.
- (7) Model homes may be used as offices solely for the first sale of homes within a recorded tract subject to the following conditions:
- a. The sales office may be located in a garage, trailer, or dwelling.
  - b. Approval shall be for a two-year period, at which time the sales office use shall be terminated and the structure restored back to its original condition. Extensions may be granted by the Director of ~~Community Development~~ Planning in one-year increments up to a maximum of four years or until 90 percent of the development is sold; whichever is less.
  - c. A cash deposit shall be submitted to the City of Fontana, in an amount to be set by Council resolution, to ensure the restoration of removal of the structure.
  - d. The sales office is to be used only for transactions involving the sale, rent, or lease of lots and/or structures within the tract in which the sales office is located, contiguous tracts, or a planned community. Notwithstanding the above, the Director of ~~Community Development~~ Planning may consider off-site model home sales offices subject to the granting of a minor use permit per Division 13 of this article herein. Where a legal, previously approved minor use permit exists, the minor use permit may be revised to incorporate other recorded tracts as needed.
  - e. Failure to terminate sales office and restore structure or failure to apply for an extension on or before the expiration date will result in forfeiture of the cash deposit, a halt in further construction or inspection activity on the project site, and enforcement action to ensure restoration of structure.
  - f. Street improvements and temporary parking at a rate of two spaces per model shall be completed to the satisfaction of the City Engineer and Director of ~~Community Development~~ Planning prior to commencement of sales activities or the display of model homes. The parking spaces shall be located within an off-street facility, except on-street parking may be permitted subject to the following conditions:
    - 1. The sales office, models, and on-street parking spaces shall be located at the end of a cul-de-sac street and coordinated with construction phasing such that there are no resident homeowners living in homes located adjacent to the gated, secured area of the street.
    - 2. The parking stalls shall be adequately striped and shall conform to City standards.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

3. Parking shall be permitted only within and on the project site. Parking along adjacent or perimeter streets (public or private) shall not be used to satisfy the model home sale parking requirement.
  4. Temporary landscaping, including minimum 48-inch box trees, shall be provided within the on-street parking area.
  - g. All fences proposed in conjunction with the model homes and sales office shall be located outside of the public right-of-way, except where approved by the Director of ~~Community Development~~ Planning and City Engineer for security.
  - h. Use of signs shall require submission of a sign permit application for review and approval by the Director of ~~Community Development~~ Planning.
- (8) Trailer coaches or mobile homes on active construction sites for use as a construction office or temporary living quarters for security personnel. The following restrictions shall apply:
- a. The Director of ~~Community Development~~ Planning may approve a temporary trailer for the duration of the construction project or for a specified period, but in no event for more than two years. If exceptional circumstances exist, a one year extension may be granted, provided that the building permit for the first permanent dwelling or structure on the same site has also been extended.
  - b. Installation of trailer coaches may occur only after a valid building permit has been issued by the Community Development Department.
  - c. Trailer coaches permitted pursuant to this section shall not exceed a maximum gross square footage of 650 square feet in size.
  - d. The trailer coach must have a valid California vehicle license and shall provide evidence of State Division of Housing approval as prescribed in the Health and Safety Code of the State of California. A recreational vehicle being defined as a motor home, travel trailer, truck camper or camping trailer, with or without motive power, shall not be permitted pursuant to this section.
  - e. The temporary trailer coach installation must meet all requirements and regulations of the County Department of Environmental Health Services and the Community Development Department.
  - f. Any permit issued pursuant to this section in conjunction with a construction project shall become invalid upon cancellation or completion of the building permit for which this use has been approved, or the expiration of the time for which the approval has been granted.
- (9) Tent, canopies, awnings and easy-ups associated with any retail sales event are prohibited unless engineering plans signed by a certified engineer demonstrate the tent, canopy, awning or easy-up meets all Building and Safety Division requirements.
- (10) Temporary storage containers for seasonal sales may be approved from October 31, until January 31 and not to exceed 90 days. Approval of a site plan exhibit shall be approved demonstrating adequate parking is provided.
- ~~(11) Other uses and activities that may be needed on a temporary basis or similar to subsections (1) through (10) above as deemed appropriate by the Director of Community Development.~~

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- (11) *Farmers Market.* A farmers' market may be conducted on private property or in the public right-of-way when allowed in the Formed Based Code Land Use Districts, provided it carried on in accordance with the following limitations, and provided an approved temporary use permit is granted:
- a. The operation of the farmers market shall be conducted by a for-profit or nonprofit organization or by a local governmental agency.
  - b. An established set of operating rules addressing the governance structure of the market, hours of operation, and days of the week, maintenance, and security requirements shall be permitted and approved under the minor use permit application and site plan.
  - c. A temporary use permit, a master site plan, as well as the signed set of conditions of approval, shall be posted in a conspicuous place at the market site.
  - d. The organization responsible for governing or operating the farmers market shall obtain a business license and shall post the business license in a conspicuous place at the site.
  - e. At least 51 percent of the vendors displaying inventory of the products sold in each farmers market are selling fresh fruits and vegetables.
  - f. Fifteen percent or fewer vendors are non-food vendors (i.e. handmade crafts, art exhibits, informational booths, etc.)
  - g. All market signage shall be submitted and approved under the temporary use permit.
  - h. The organization governing or operating the farmers market shall provide access to adequate sanitary facilities, including restrooms and/or portable sinks and toilets.
  - i. Operation of the farmers market shall not obstruct the safe flow of vehicular or pedestrian traffic on or around the market site.
  - j. The sale of, or consumption of, alcohol beverages on the market site is prohibited.
  - k. The sale of second-hand merchandise is prohibited.
  - l. Portable shelters (e.g.: EZ Up Shelters) with an area no larger than ten feet by ten feet are allowed in designated market areas. Any shelter larger than ten feet by ten feet must be approved under the temporary use permit application.
  - m. Animals, other than law enforcement dogs and assistance animals for the disabled are not allowed on the market site.
  - n. A commercial cannabis business shall not be permitted pursuant to this section.
  - o. The Director of Planning shall have the authority to determine other market activities, in addition to those specifically listed in this article, which may be permitted, or conditionally permitted.
- (12) Other uses and activities that may be needed on a temporary basis or similar to subsections (1) through (11) above as deemed appropriate by the Director of Planning.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Sec. 30-351. Regulations.**

In order to carry out the purpose and intent of this section, the following regulations shall apply:

- (1) *Repairs, alterations, maintenance, additions, extensions, enlargements and moving.* The following provisions apply to nonconforming uses:
  - a. *Nonconforming use.*
    1. No nonconforming use or site shall be enlarged or intensified unless the Planning Commission approves such request through the conditional use permit process.
    2. No nonconforming use shall be enlarged or increased to occupy a greater area of land than that occupied by such use on the effective date except as outlined in the appropriate division of this article herein; and
    3. No nonconforming use shall be moved in whole or in part to any portion of the lot or parcel of land other than that occupied by such nonconforming use on the effective date.
  - b. *Nonconforming structure.* Except as otherwise provided in this chapter, no nonconforming structure shall be moved, altered, or enlarged unless required by law, or, unless the moving, alteration, or enlargement will result in the elimination of the nonconforming aspect of the structure or as outlined in the appropriate division of this article herein.
- (2) *Restoration of damaged structures.* When an existing nonconforming building or structure which is damaged or partially destroyed by fire, flood, wind, earthquake or other calamity and the cost of such reconstruction, repaving or rebuilding is less than 75 percent of the replacement value of the structure immediately prior to this damage, as determined by the Building Official, the structure may be restored and the occupancy or use may be continued. Such reconstruction shall be started within a period of one year from date of damage and diligently pursued to completion. In the event such damage exceeds 75 percent of the replacement value of such building at the time of such calamity, no repairs or reconstruction shall be made unless every portion of such building and its use is made to conform to all regulations of this chapter for the zone in which it is located.
- (3) *Discontinuation and abandonment.* Whenever a nonconforming use has been abandoned (e.g., expiration of business license), discontinued or changed to a conforming use for a continuous period of six months, the nonconforming use shall not be reestablished, and the use of the structure or site thereafter shall be in conformity with the regulations for the district in which it is located. Discontinuation shall include termination of a use regardless of intent to resume the use. This shall not include time periods required for repairs, remodels, or expansions permitted in this Section, Section 30-352 or Section 30-353 for a period not to exceed twenty-four months.
- (4) *Change of use.* The nonconforming use of a building or structure may not be changed except to a conforming use. Where such change is made for a continuous period of six months as provided for in subsection (6) above, the use shall not thereafter be changed back to a nonconforming use. However, the Planning Commission may grant a conditional use permit to allow one nonconforming use to be changed to another nonconforming use of the same or more restricted character if the Commission, after a public hearing, determines that because

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of the existing conditions in the area and on the property involved, such a change is warranted.

- (5) *Displacement.* No nonconforming use shall be altered, extended or restored so as to displace any conforming use.
- (6) *Violations.* Nothing in this section shall be interpreted as authorization for or approval of the continuance of the use of a structure or premises in violation of zoning regulations in effect or any amendment thereto.
- (7) *Change of zones.* The provisions of this section shall also apply to any nonconforming use or nonconforming structures in zones here after changed to a more restrictive use, or to zones hereafter established in areas not previously covered by the zoning map.
- (8) *Conformance with intent and purpose.* No nonconforming use or structure shall be enlarged, extended, increased, changed, modified or in any way continued or maintained in such a way as to abrogate the purpose and intent of these regulations as set forth in this section.
- (9) *Residential structures.* A residential structure(s) which is nonconforming because of height or area regulations shall not be added to or enlarged in any manner unless such addition or enlargement conforms to all the regulations of the district in which it is located.

**Sec. 30-353.** Special exemption to permit incremental improvements to nonconforming buildings, structures, and sites with administrative site plan approval.

- (a) Notwithstanding any other provisions of Division 10 of this article herein to the contrary, with an Administrative Site Plan application, the Director of Planning may permit the following limited improvements to be made to an existing nonconforming building, structure or site without the requirement that the building, structure and/or site be improved to current Development Code standards:
  - (1) Additions to existing commercial buildings shall not exceed fifty percent and/or additions to industrial buildings or structures shall that do not exceed ten percent of the total square footage of the existing building or structure, provided said additions meet the fire protection requirements of Chapter 11 of the City Code;
  - (2) Paving, repaving or realignment of parking lots and areas, provided that the number of parking spaces is not reduced to less than currently existing and provided that all applicable drainage, storm water (NPDES), and similar requirements are met;
  - (3) Alteration of the exterior of an existing building or structure;
  - (4) Installation of new landscaping or alteration of existing landscaping, provided that the amount of landscaping is not reduced to less than currently existing unless the Director of Planning further finds that other improvements approved under this section require a reduction in the landscaping. Any allowed reduction

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in landscaping shall be the minimum required to permit the improvements to be constructed.

- (b) Any person seeking a special exemption under this section shall submit a completed administrative site plan application to the Planning Department in a manner prescribed by the Director of Planning and shall pay any applicable fees.
- (c) Notwithstanding Division 10 of this article herein, the Director of Planning shall make the following findings before granting approval of the exemption and the administrative site plan application:
  - (1) All of the existing building(s), structures(s) and uses on the site are pre-existing and legal nonconforming, and are not illegal or unpermitted;
  - (2) The improvement(s) subject to the exemption support(s) a pre-existing legal nonconforming building, structure and/or use already on the site;
  - (3) The exemption will provide an incremental improvement to the building, structure or use on the site in furtherance of the requirements of Chapter 30 of this Code;
  - (4) The improvement(s) subject to the exemption will not, physically, legally, or otherwise, preclude the building(s), structure(s) or the site to come into compliance with current Development Code standards at a future date;
  - (5) The granting the exemption will not substantially expand or intensify the existing or anticipated use of the building(s) and/or the site of expansions to outdoor nonconforming operations does not include parcel mergers and site expansions, with the exception of display areas which may expanded by fifty percent within the existing site;
  - (6) Granting the exemption will not be contrary to the goals of the City's general plan or any applicable specific plan; ~~and~~
  - (7) Granting the exemption will not otherwise be deleterious to the public health, safety and welfare;
  - (8) New and modified facades must be of high quality and be compatible with the architecture of the existing building and surrounding area;
  - (9) If a new loading and repair bay area associated with automobile related uses is constructed, the loading area or repair bay may not face the right-of-way, or, if this is infeasible, must be screened from the right-of-way with three and a half foot low walls and/or landscaping; and
  - (10) If a residential structure is being expanded, then additional residential units shall not be constructed.

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- (d) ~~The Director of Planning is authorized to impose such~~ Reasonable conditions upon an exemption in order to protect the health, safety and welfare of the surrounding area.
- (e) Except as expressly set forth herein, the benefits of this section shall not abrogate, extend, expand or otherwise alter the provisions of this Division 22 and shall not eliminate or extend pre-existing legal nonconforming rights, or create them where they do not otherwise exist.
- (f) The benefits of this section shall apply only to complete applications, as provided for in subsection (b), which have been submitted to the Planning Department within a period of two years following the effective date of this section. Any exemptions requested after said two-year period must be sought pursuant to Section 30-85.

**Sec. 30-357. Nonconforming regulations.**

This section regulates nonconforming parcels, nonconforming structures, and nonconforming uses, including uses that are nonconforming as to required off-street parking. This section is intended to allow nonconforming lots, structures, uses, and off-street parking arrangements to continue to the extent consistent with the health, safety and public welfare purposes of the Form-Based Code districts, with the goal being to bring such nonconforming lots, structures, and uses into compliance with the overall vision.

(1) *Nonconforming buildings, outdoor operations or structures.*

- a. Buildings, outdoor operations or other structures that are nonconforming as to setback, height, or other Form-Based Code provisions may be repaired, replaced, or added to, only to the extent permitted by this section:
  - 1. Subdivision. Lots which are nonconforming as to width may be adjusted or subdivided provided the resulting re-configuration brings the nonconforming lot into, or closer to, conformity with the requirements of this plan.
  - 2. Additions. A legal-nonconforming building, outdoor operation area or other structure may be added to, provided that an addition of 50 percent or more of the existing floor area shall trigger compliance with all Form-Based Code district provisions for the portion of the building or structure comprising the addition.

The following requirement must be met:

- i. Parking space requirements for the use or equivalent use (as determined by the Director) must be met, inclusive of both the existing floor space area and addition areas.
- ii. The design and architecture of the structure must be high quality and utilize compatible architecture with that of the existing building and neighborhood.

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may be carried out, provided that, no structural alterations may be carried out unless the Building Official determines those structural alterations to be necessary for the protection of the public health and safety, all off-street parking requirements of this plan must be met by any and all uses occupying, or otherwise using, any buildings on the subject site.

- b. *Additions to building.* Where the off-street parking provided for a use does not meet the requirements of the Form-Based Code districts, additions to buildings on the site occupied by that use may be carried out only if all requirements of the Form-Based Code districts are met by any and all uses occupying, or otherwise using, any buildings on the subject site.
- c. *Vacancy.* In addition to the above provisions regarding discontinuance of nonconforming uses and change of a nonconforming use to a conforming use, where any non-residential use does not meet the off-street parking requirements of this plan, and the building which the non-residential use occupied becomes and remains vacant for an uninterrupted period of six months, the building may not be reoccupied, nor may any new land use be initiated anywhere on the site, unless all requirements of the Form-Based Code districts are met, except for repairs, modifications and expansions that are allowed in this section,.

- (5) Abatement of nonconforming uses. Where no buildings are occupied or otherwise used, except for repairs, modifications and expansions that are allowed in this section, in connection with a nonconforming use, that use shall be terminated within six months from the date it became nonconforming, provided that for any use that becomes nonconforming as a result of a zone change, the specified two-year period of time for the termination of the nonconforming use shall be computed from the effect date of the zone change.

**Sec. 30-359. Uses permitted.**

This section of the Form-Based Code establishes the permitted land uses in each district and the corresponding permit requirements. A parcel or building subject to the Form-Based Code shall be occupied with only the land uses allowed by Table 30-300.A—Land Uses. Definitions of allowed land uses are provided in Section 30-632 List of definitions.

- (1) Section 30-405—Overall Form-Based Code district map illustrates the overall land use plan for the Form-Based Code areas.
- (2) If a land use is not defined in this section, the Director of ~~Community Development~~ Planning may determine that the use is not permitted, or determine the appropriate definition and determine the proposed use to be permitted provided the Director of ~~Community Development~~ Planning approves a Director's determination and makes the following findings in writing:
  - a. The land use will not impair the orderly implementation of the City of Fontana General Plan.
  - b. The land use is consistent with the purpose of the applicable zoning district.
  - c. The characteristics and activities associated with the proposed land use are similar to one or more of the listed land uses in Table 30-359.A—Land Uses and will not produce greater impacts than the land uses listed for the zoning district.

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- d. The land use will be compatible with the other land uses allowed in the zoning district.
- e. The land use is not listed as allowed in another zoning district.
- (3) A "P" indicates a use is permitted by right subject to design review by the Planning Commission or administrative site plan review by the Director of ~~Community Development~~ Planning.
- (4) A ~~"M"~~ indicates the use requires the granting of a minor use permit (MUP).
- (5) A "C" indicates the use requires the granting of a conditional use permit (CUP).
- (6) A "—" means the use is not permitted in that zoning district. Any use that is not listed is not permitted.
- (7) Uses marked with an asterisk "\*" indicate that the use is not permitted on the ground floor except on Sierra Avenue.
- (8) Uses marked with an S superscript "<sup>S</sup>" indicate that the use is subject to special use regulations in (reference specific use regulations) Section 30-360.
- (9) Uses marked with a DT superscript "<sup>DT</sup>" indicate that the requirement pertains to parcels within the downtown boundary.

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Table 30-359.A.—Land Uses

	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Administrative/Professional										
Architectural, design, and engineering services	P	P	P	—	—	P	P	P	P	P
Attorney/legal services	—	P	P	—	—	P	P	P	P	P
Banks/financial institutions, credit unions and remote ATMs (stand-alone facilities—without drive-thru)	—	P	P	—	—	P	P	P	P	P
Banks/financial institutions, credit unions and remote ATMs (with drive-thru)	—	—	M	—	—	M	P	P	P	P
Brokerage firms and financial institutions	—	P	P	—	—	P	P	P	P	M
Exhibit halls and galleries with 15% or less retail sales area	—	P	P	—	—	P	P	P	P	P
General administrative offices	—	P	P	—	—	P	P	P	P	P
Government offices	P	P	P	—	—	P	P	P	P	P
Insurance and accounting offices	—	P	P	—	—	P	P	P	P	P
Massage/acupressure as primary use	—	—	M	—	—	M <sup>DT</sup> C	C	C	C	M
Massage as ancillary use to primary permitted use—less than 40% of gross floor area of business	—	M	M	—	—	M	M	M	M	M
Real estate, escrow & property management offices	—	P	P	—	—	P	P	P	P	P

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	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Recording/film studios	—	M	M	—	—	M	M	M	M	P
Animal Services										
Feed, tackle supplies for large animals	—	—	—	—	—	—	—	—	—	—
Pet boarding and kennels	—	M	M	—	—	M	M	M	M	—
Pet grooming	—	P	P	—	—	P	P	P	P	P
Veterinarian clinic and hospitals (with incidental boarding)	—	—	—	—	—	—	P	P	P	P
Pet sales and supplies (without outdoor storage)	—	—	P	—	—	P	P	P	P	P
Alcohol Beverage Sales										
Alcohol sales for off-site consumption, with or without tasting room	M	M	M	—	—	M	C	C	C	M
On-site sales in connection w/restaurant/ <u>food hall</u> (Bona fide Public Eating Place as defined by the Department of Alcohol Beverage Control)	M	M	<del>M</del> <u>P</u>	—	—	M	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	M
<u>On – site sales in connection w/restaurant/food hall</u> (Bona fide Public Eating Place as defined by the Department of Alcohol Beverage Control) <del>and café</del> with entertainment and/or dancing	—	M	M	—	—	—	<del>—</del> <u>M</u>	<del>—</del> <u>M</u>	<del>—</del> <u>M</u>	—
<u>On-site sales with entertainment and/or dancing</u>	<u>—</u>	<u>—</u>	<u>C</u>	<u>—</u>	<u>—</u>	<u>—</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>—</u>
Manufacturing, including winery or micro-brewery with tasting room and no restaurant	M	M	M	—	—	M	C	C	C	M

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Micro-breweries in connection with restaurant (Brew Pub) ( <u>Bona fide Public Eating Place as defined by the Department of Alcohol Beverage Control</u> )	M	M	M	—	—	M	C	C	C	M
Micro-breweries without tasting room	—	—	—	—	—	—	—	—	C	—
<b>Educational/Instructional/Day Care Uses</b>										
Adult day care	—	—	M	—	—	M	C	C	C	M
Children tutorial classes	—	—	M	—	—	M	M	M	M	M
Colleges—public and private	M	M	M	—	—	M	C	C	C	C
Schools—elementary, middle, secondary, high, private	M	M	M	M <sup>DT</sup> C	M <sup>DT</sup> C	M	C	C	C	C
Studio—Art, Dance, Martial Arts, Music (School) with greater than 1,500 sq. ft. GFA	P	M	<del>M</del> <u>P</u>	—	—	P	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	M
Studio—Art, Dance, Martial Arts, Music (School)with less than 1,500 sq. ft. GFA	P	P	P	—	—	M	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	M
Licensed nurseries, pre-schools and day care facilities for children	—	M	M	—	—	M	M	M	M	M
Adult vocational classes, trade schools, computer training	—	—	M	—	—	M <sup>DT</sup> C	M	C	C	C
Traffic and automobile driving schools	—	—	—	—	—	— <sup>DT</sup> C	C	C	C	C
<b>Food/Restaurants/Eating Establishments</b>										
Bakery—primarily retail sales	P	P	P	—	—	P	P	P	P	P

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	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Banquet Hall as ancillary use to primary permitted use	M	M	M	—	—	—	C	C	C	C
Catering services as primary use—may include on-site dining facilities	—	—	—	—	—	M <sup>DT</sup> P	P	P	P	—
Ice cream, juice, tea and candy shops	P	P	P	—	—	P	P	P	P	P
Restaurant/coffee shop with drive thru	—	—	—	—	—	—	M S	M	M	—
Restaurant/coffee shop/ <u>food hall</u> without drive thru facilities or alcohol sales	P	P	P	—	—	P	P	P	P	P
Outdoor dining in public right-of-way	p <sup>S</sup>	p <sup>S</sup>	p <sup>S</sup>	—	—	p <sup>S</sup> -DT	—	—	—	—
General Merchandise/Retail Trade										
Antiques retail sales (excludes pawn shop)	—	P	P	—	—	P	P	P	P	P
Consumer electronics, computer and phone equipment retail sales	—	P	P	—	—	P	P	P	P	P
Art gallery with retail sales (If retail sales area is less than 15%, see exhibit hall and gallery under Administrative/Professional)	—	P	P	—	—	P	P	P	P	P
Art supplies, framing	—	P	P	—	—	P	P	P	P	P
Beauty supplies	—	P	P	—	—	P	P	P	P	P
Books and magazines	—	P	P	—	—	P	P	P	P	P
Camera and photographic supplies	—	P	P	—	—	P	P	P	P	P
Clothing/shoe stores	—	P	P	—	—	P	P	P	P	P

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Cigar/cigarette/smoke shops/electronic cigarettes as a primary use	—	—	—	—	—	—	C	C	C	—
Consignment clothing sales	—	P	P	—	—	P	P	P	P	P
<del>Farmer's Market</del>	<del>M<sup>S</sup></del>	<del>M<sup>S</sup></del>	<del>M<sup>S</sup></del>	—	—	—	—	—	—	—
Convenience stores	—	—	—	—	—	—	P	P	P	P
Floor covering (carpet, tile, and similar)	—	—	—	—	—	—	P	P	P	—
Florists	—	P	P	—	—	P	P	P	P	P
Food/drug store (less than 5,000 square feet GFA)	—	P	P	—	—	P	P	P	P	P
Food/drug store (greater than 5,000 square feet GFA)	—	—	—	—	—	—	M	M	M	—
Fabric stores (less than 5,000 square feet GFA)	—	P	P	—	—	P	P	P	P	P
Firearms, ammunition, related products, assembly—retail sales	—	—	C	—	—	—	—	—	—	—
Furniture, office and home furnishings	—	—	P	—	—	P	P	P	P	P
Garden supply with outdoor display of plants	—	—	—	—	—	P	P	—	—	—
General merchandise, specialty, gift, craft items, candles, house wares, and variety (non-discount) stores	—	P	P	—	—	P	P	P	P	P
Hardware/home improvement stores	—	P	P	—	—	P	P	P	P	P
Health, herbal, botanical stores	—	P	P	—	—	P	P	P	P	P
Hobby, toy and game	—	—	P	—	—	P	P	P	P	P
Hookah lounge/smoking room	—	—	—	—	—	C	C	C	C	C

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Indoor swap meets/concession malls	—	—	—	—	—	—	—	—	—	—
Interior decorating, linen, and bath stores	—	P	P	—	—	P	P	P	P	P
Jewelry sales and repair (excludes pawn shop)	—	P	P	—	—	P	P	P	P	P
Leather goods and equipment	—	P	P	—	—	P	P	P	P	P
Musical instruments	—	P	P	—	—	P	P	P	P	P
Office supplies/stationery/cards	—	P	P	—	—	P	P	P	P	P
Pharmacies (without drive-thru)	—	P	P	—	—	P	P	P	P	P
Pharmacies (with drive-thru)	—	—	—	—	—	—	P	P	P	—
Sporting goods and equipment (no gun sales)	—	P	P	—	—	P	P	P	P	P
Thrift stores/second-hand store	—	—	—	—	—	—	M	M	M	—
Lodging Places										
Bed and Breakfast	—	—	—	M <sup>S</sup>	—	M <sup>S-DT</sup> —	—	—	—	—
Hotels and motels	M	M	M	—	—	M	M	M	M	—
Medical/Health Services										
Acute care (urgent care)	—	—	<del>M</del> <u>—</u>	—	—	—	<del>P</del> <u>—</u>	<del>P</del> <u>—</u>	<del>C</del> <u>—</u>	C
Ambulance services	—	—	—	—	—	—	—	—	—	—
Hospitals	—	—	—	—	—	—	—	—	—	—
Medical/dental/counseling/psychology/hearing aids/acupuncture/homeopathy/physical therapy/sports therapy	—	P	P	—	—	P	P	P	P	P

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Optometry sales	—	P	P	—	—	P	P	P	P	P
Motor Vehicle Services										
Auto body and painting (primary use)	—	—	—	—	—	—	—	—	—	—
Auto broker offices ( <u>without required on-site storage of vehicles</u> )	—	—	—	—	—	—	P	P	P	
Auto broker offices ( <u>with required on-site storage of vehicles</u> )	—	—	—	—	—	—	<del>P</del> —	P	<del>P</del> —	—
Auto car washes	—	—	—	—	—	—	<del>M</del> —	M	<del>M</del> —	—
Auto and motorcycle sales—new and used	—	—	—	—	—	—	<del>M<sup>S</sup></del> —	M <sup>S</sup>	<del>M<sup>S</sup></del> —	—
Auto rental agencies with parking for vehicle rentals	—	—	—	—	—	—	<del>M</del> —	M	<del>M</del> —	—
Auto/motorcycle repair—general, including quick lube, smog check, transmission service	—	—	—	—	—	—	<del>C<sup>S</sup></del> —	C <sup>S</sup>	<del>C<sup>S</sup></del> —	—
Auto upholstery	—	—	—	—	—	—	—	—	—	—
Auto car alarm and stereo installation (within an enclosed building only)	—	—	—	—	—	—	<del>C</del> —	C	<del>C</del> —	—
Commercial parking facilities and garages	P	P	P	—	—	P <sup>DT</sup> —	—	—	—	—
Gas/service station	—	—	—	—	—	—	<del>C</del> —	C	<del>C</del> —	—
Gas station with mini mart, car wash and/or restaurant	—	—	—	—	—	—	<del>C</del> —	C	<del>C</del> —	—
Truck, trailer and equipment rentals	—	—	—	—	—	—	—	—	—	—
Personal Services										

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Barber, hair/nail/skincare/tanning salon and day spa	—	P	P	—	—	P	P	P	P	P
Body art (tattooing, body piercing, and/or permanent cosmetics)	—	—	P	—	—	P	P	P	P	P
Check cashing/deferred deposit or payday advance uses with or without ancillary services	—	—	—	—	—	—	—	—	—	—
Cemeteries, crematory, mortuary and mausoleums	—	—	—	—	—	—	—	—	—	—
Dry cleaners/laundry—non-commercial	—	—	P	—	—	P	P	P	P	P
Fortunetelling	—	P	P	—	—	—	P	—	P	—
Funeral parlors	—	—	—	—	—	—	—	—	—	—
Locksmith/key shops	—	P	P	—	—	P	P	P	P	—
Pawnshops/cash for gold and diamonds (as primary use)	—	—	—	—	—	—	—	—	—	—
Photocopying and photo developing (retail)	—	P	P	—	—	P	P	P	P	P
Photography studios	—	P	P	—	—	P	P	P	P	P
Postal services/mail box rentals	—	—	P	—	—	P	P	P	P	P
Shoe repair	—	P	P	—	—	P	P	P	P	P
Tailor and alterations	—	P	P	—	—	P	P	P	P	P
Public Facilities/Utilities										
Public park	P	P	P	P	P	P	P	P	P	P
Public maintenance yard and other non-office uses	P	M	M	—	—	M	M	M	M	M

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Public utility structures	M	M	M	M	M	M	M	M	M	M
Recreation/ Entertainment										
<del>Cyber</del> eCafé ( <u>Cyber, animal, gaming</u> )	—	—	<del>—</del> <u>P</u>	—	—	—	<del>—</del> <u>P</u>	<del>—</del> <u>P</u>	<del>—</del> <u>P</u>	—
Billiards and pool halls	—	—	<del>—</del> <u>C</u>	—	—	—	<del>—</del> <u>C</u>	<del>—</del> <u>C</u>	<del>—</del> <u>C</u>	—
Escape rooms	P	P	P	—	—	P	P	P	P	P
Game and video arcades	—	M	<del>M</del> <u>P</u>	—	—	M <sup>DT</sup> C	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	M
Golf course and driving ranges	—	—	<del>—</del> <u>P</u>	—	—	—	<del>—</del> <u>P</u>	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	—
Health and fitness clubs	P	M	<del>M</del> <u>P</u>	—	—	M	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	M
Indoor—amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	—	M	<del>M</del> <u>P</u>	—	—	M	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	M
Nightclub	<u>=</u>	<u>=</u>	<u>C</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>=</u>
Outdoor amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	—	M	<del>M</del> <u>P</u>	—	—	M	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	<del>M</del> <u>P</u>	M
Public assembly/auditoriums/meeting halls/religious facilities	M <sup>S</sup>	M <sup>S</sup>	M <sup>S</sup>	C <sup>S</sup>	C <sup>S</sup>	M <sup>S-DT</sup> C <sup>S</sup>	C <sup>S</sup>	C <sup>S</sup>	C <sup>S</sup>	M <sup>S</sup>
Theatres (live stage and movie) and concert halls	M	M	<del>M</del> <u>P</u>	—	—	M <sup>DT</sup> C	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	<del>C</del> <u>P</u>	M
Repair Services										
Antique restoration	—	—	—	—	—	—	<del>M</del> <u>=</u>	<del>M</del> <u>=</u>	<del>M</del> <u>=</u>	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Equipment and appliance repair	—	—	—	—	—	—	<del>M</del> —	<del>M</del> —	<del>M</del> —	—
Furniture refinishing	—	—	—	—	—	—	<del>M</del> —	<del>M</del> —	<del>M</del> —	—
Furniture upholstery	—	—	—	—	—	—	<del>M</del> —	<del>M</del> —	<del>M</del> —	—
Residential Uses										
Accessory structures	P	P	P	P	P	P	P	P	P	P
Assisted living facilities	—	M	M	C	C	C M <sup>DT</sup>	C	C	C	C
Accessory dwelling units	P	P	P	P	P	P	P	P	P	P
Junior accessory dwelling units	—	—	—	P	—	P	—	—	—	P
Parolee home	—	—	—	—	—	—	—	—	—	—
Residential care facility (6 or fewer persons)	—	P	P	P	P	P	P	P	P	P
Residential care facility (7 or more persons)	—	M	M	M	M	M	M	M	M	M
Multiple-family development	—	P	P	—	P	P	P	P	P	P
Residential within mixed-use development having a commercial component (may include senior, affordable, market rate, etc.)	—	P	P	—	—	P	P	P	P	P
Senior housing	—	M	M	M	M	M	M	M	M	M
Live/work (as a part of a mixed-use development or stand-alone)	—	M <sup>S</sup>	M <sup>S</sup>	—	—	M <sup>S</sup>	M <sup>S</sup>	M <sup>S</sup>	M <sup>S</sup>	—
Detached, single-family dwellings	—	—	—	P	—	P	—	—	—	P
Student housing/dormitory/group quarters	—	M	M	—	M <sup>DT</sup> C	M <sup>DT</sup> C	C	C	C	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Small family childcare (1 to 6 children)	—	P	P	P	P	P	P	P	P	P
Large family childcare (7 to 14 children)	—	—	—	M	M	—	—	—	—	M
Service/Non-Profit Organizations										
Civic buildings/uses	P	P	P	P	P	P	P	P	P	P
Offices for philanthropic, charitable, civic and service organizations	—	P	P	—	—	P	P	P	P	P
Temporary political campaign offices and headquarters	P	P	P	—	—	P	P	P	P	P
Miscellaneous										
Industrial uses	—	—	—	—	—	—	—	—	—	—
Adult-oriented uses	—	—	—	—	—	—	—	—	—	—
P=Permitted; M=Minor Use Permit; C=Conditional Use Permit; "—"=Not Permitted; "*"="Not permitted on the ground floor, except on Sierra Avenue; "S"=Special use regulations; "DT"=Pertaining to parcels within the Downtown boundary										

**Table 30-359.B.—Land Uses**

	Civic Core	Sierra Core	Gateway Core	Mixed-Use Core	Multi-Family Core	Neighborhood Core
Administrative/Professional						
Architectural, design, and engineering services	P	P	P	P	—	—
Attorney/legal services	P	P	P	P	—	—
Banks/financial institutions, credit unions and remote ATMs (stand-alone facilities—without drive-thru)	P	P	P	P	—	—
Banks/financial institutions, credit unions and remote ATMs (with drive-thru)	—	—	M	M	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	<b>Civic Core</b>	<b>Sierra Core</b>	<b>Gateway Core</b>	<b>Mixed-Use Core</b>	<b>Multi-Family Core</b>	<b>Neighborhood Core</b>
Brokerage firms and financial institutions	P	P	P	P	—	—
Exhibit halls and galleries with 15% or less retail sales area	P	P	P	P	—	—
General administrative offices	P	P	P	P	—	—
Government offices	P	P	P	P	—	—
Insurance and accounting offices	P	P	P	P	—	—
Massage/acupressure as primary use	—	—	—	C	—	—
Massage as ancillary use to primary permitted use—less than 40% of gross floor area of business	M	M	M	M	—	—
Real estate, escrow & property management offices	P	P	P	P	—	—
Recording/film studios	M	M	M	M	—	—
<b>Animal Services</b>						
Feed, tackle supplies for large animals	—	—	—	—	—	—
Pet boarding and kennels	—	—	—	C	—	—
Pet grooming	—	—	—	P	—	—
Veterinarian clinic and hospitals (with incidental boarding)	—	—	—	C	—	—
Pet sales and supplies (without outdoor storage)	—	—	P	P	—	—
<b>Alcohol Beverage Sales</b>						
Alcohol sales exclusively for off-site consumption	—	—	M	M	—	—
Bar, Lounge, or Nightclub (with or without live entertainment)	—	M	M	M	—	—
On-site sales in connection w/restaurant ( <u>Bona fide Public Eating Place as defined by the Department of Alcohol Beverage Control</u> )(	M	M	M	M	—	—
Restaurant ( <u>Bona fide Public Eating Place as defined by the Department of Alcohol Beverage Control</u> ) and café with entertainment and/or dancing	M	M	M	—	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	<b>Civic Core</b>	<b>Sierra Core</b>	<b>Gateway Core</b>	<b>Mixed-Use Core</b>	<b>Multi-Family Core</b>	<b>Neighborhood Core</b>
Manufacturing, including winery or micro-brewery with tasting room and no restaurant	M	M	M	M	—	—
Micro-breweries in connection with restaurant (Brew Pub)	M	M	M	M	—	—
Micro-breweries without tasting room	—	—	—	—	—	—
<b>Educational/Instructional/Day Care Uses</b>						
Adult day care	—	—	—	M	—	—
Children tutorial classes	—	—	—	M	—	—
Colleges—public and private	M	—	M	M	—	—
Schools—elementary, middle, secondary, high, private	—	—	—	M	M	M
Studio—Art, Dance, Martial Arts, Music (School) with greater than 1,500 sq. ft. GFA	—	—	P	P	—	—
Studio—Art, Dance, Martial Arts, Music (School) with less than 1,500 sq. ft. GFA	—	—	P	M	—	—
Licensed nurseries, pre-schools and day care facilities for children	—	—	—	M	—	—
Adult vocational classes, trade schools, computer training	M	—	M	M	—	—
Traffic and automobile driving schools	—	—	—	—	—	—
<b>Food/Restaurants/Eating Establishments</b>						
Bakery—primarily retail sales	P	P	P	P	—	—
Banquet Hall as ancillary use to primary permitted use	M	—	M	—	—	—
Catering services as primary use—may include on-site dining facilities	M	M	M	M	—	—
Ice cream, juice, tea and candy shops	P	P	P	P	—	—
Restaurant/coffee shop with drive thru	—	—	—	—	—	—
Restaurant/coffee shop without drive thru facilities or alcohol sales	P	P	P	P	—	—
Outdoor dining in public right-of-way	p <sup>S</sup>	p <sup>S</sup>	p <sup>S</sup>	p <sup>S</sup>	—	—
<b>General Merchandise/Retail Trade</b>						
Antiques retail sales (excludes pawn shop)	M	M	M	M	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	<b>Civic Core</b>	<b>Sierra Core</b>	<b>Gateway Core</b>	<b>Mixed-Use Core</b>	<b>Multi-Family Core</b>	<b>Neighborhood Core</b>
Consumer electronics, computer and phone equipment retail sales	P	P	P	P	—	—
Art gallery with retail sales (If retail sales area is less than 15%, see exhibit hall and gallery under Administrative/Professional)	P	P	P	P	—	—
Art supplies, framing	P	P	P	P	—	—
Beauty supplies	P	P	P	P	—	—
Books and magazines	P	P	P	P	—	—
Camera and photographic supplies	P	P	P	P	—	—
Clothing/shoe stores	P	P	P	P	—	—
Cigarette/smoke shops/electronic cigarettes as a primary use	—	—	—	—	—	—
Cigar sales only	P	P	P	P	—	—
Cigar lounge/hookah lounge/smoking room	C	C	C	C	—	—
Consignment clothing sales	C	C	C	C	—	—
<del>Farmer's Market</del>	<del>M<sup>s</sup></del>	<del>M<sup>s</sup></del>	<del>M<sup>s</sup></del>	—	—	—
Convenience stores	—	—	C	C	—	—
Floor covering (carpet, tile, and similar)	—	—	P	P	—	—
Florists	P	P	P	P	—	—
Food/drug store	—	—	P	P	—	—
Fabric stores	—	—	P	P	—	—
Firearms, ammunition, related products, assembly—retail sales	—	—	—	—	—	—
Furniture, office and home furnishings	—	—	P	P	—	—
Garden supply with outdoor display of plants	—	—	P	P	—	—
General merchandise, specialty, gift, craft items, candles, house wares, and variety (non-discount) stores	P	P	P	P	—	—
Hardware/home improvement stores	—	—	P	P	—	—
Health, herbal, botanical stores	P	P	P	P	—	—
Hobby, toy and game	P	P	P	P	—	—
Indoor swap meets/concession malls	—	—	—	—	—	—
Interior decorating, linen, and bath stores	—	—	P	P	—	—
Jewelry sales and repair (excludes pawn shop)	P	P	P	P	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	<b>Civic Core</b>	<b>Sierra Core</b>	<b>Gateway Core</b>	<b>Mixed-Use Core</b>	<b>Multi-Family Core</b>	<b>Neighborhood Core</b>
Leather goods and equipment	P	P	P	P	—	—
Musical instruments	P	P	P	P	—	—
Office supplies/stationery/cards	P	P	P	P	—	—
Sporting goods and equipment (no gun sales)	M	M	M	M	—	—
Thrift stores/second-hand store	—	—	—	P	—	—
<b>Lodging Places</b>						
Bed and Breakfast	M	M	M	M <sup>S</sup>	—	M <sup>S</sup>
Hotels	M	M	M	M	—	—
Motels	—	—	—	—	—	—
<b>Medical/Health Services</b>						
Acute care/walk-in medical services (urgent care)	—	—	—	P	—	—
Ambulance services	—	—	—	—	—	—
Hospitals	—	—	—	—	—	—
Medical/dental/counseling/psychology/hearing aids/acupuncture/homeopathy/physical therapy/sports therapy	M	—	M	P	—	—
Optometry sales	P	P	P	P	—	—
<b>Motor Vehicle Services</b>						
Auto body and painting (primary use)	—	—	—	—	—	—
Auto broker offices	—	—	—	—	—	—
Auto car washes	—	—	—	—	—	—
Auto and motorcycle sales—new and used	—	—	—	—	—	—
Auto rental agencies with parking for vehicle rentals	—	—	—	—	—	—
Auto/motorcycle repair—general, including quick lube, smog check, transmission service	—	—	—	—	—	—
Auto upholstery	—	—	—	—	—	—
Auto car alarm and stereo installation (within an enclosed building only)	—	—	—	—	—	—
Commercial parking facilities and garages	P	P	P	P	—	—
Gas/service station	—	—	C	C	—	—
Gas station with mini mart, car wash and/or restaurant	—	—	C	C	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	Civic Core	Sierra Core	Gateway Core	Mixed-Use Core	Multi-Family Core	Neighborhood Core
Truck, trailer and equipment rentals	—	—	—	—	—	—
<b>Personal Services</b>						
Barber, hair/nail/skincare/tanning salon and day spa	M	M	M	P	—	—
Body art (tattooing, body piercing, and/or permanent cosmetics)	C	C	C	P	—	—
Check cashing/deferred deposit or payday advance uses with or without ancillary services	—	—	—	—	—	—
Cemeteries, crematory, mortuary and mausoleums	—	—	—	—	—	—
Dry cleaners/laundry—non-commercial	—	—	—	P	—	—
Fortunetelling	—	—	—	M	—	—
Funeral parlors	—	—	—	—	—	—
Locksmith/key shops	—	—	—	P	—	—
Pawnshops/cash for gold and diamonds (as primary use)	—	—	—	—	—	—
Photography studios	—	—	—	P	—	—
Postal services/mail box rentals	—	—	—	P	—	—
Shoe repair	—	—	—	P	—	—
Tailor and alterations	—	—	—	P	—	—
<b>Public Facilities/Utilities</b>						
Public park	P	P	P	P	P	P
Public maintenance yard and other non-office uses	P	—	M	M	—	—
Public utility structures	M	M	M	M	M	M
<b>Recreation/Entertainment</b>						
Billiards and pool halls	M	M	M	—	—	—
Escape rooms	P	P	P	P	—	—
Game and video arcades	M	M	M	M	—	—
Golf course and driving ranges	—	—	—	—	—	—
Health and fitness clubs	—	—	M	M	—	—
Indoor—amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	M	M	M	M	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	Civic Core	Sierra Core	Gateway Core	Mixed-Use Core	Multi-Family Core	Neighborhood Core
Outdoor amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	—	—	M	M	—	—
Public assembly/auditoriums/meeting halls/religious facilities	C <sup>S</sup>	C <sup>S</sup>	M <sup>S</sup>	M <sup>S</sup>	C <sup>S</sup>	C <sup>S</sup>
Theatres (live stage and movie) and concert halls	M	M	M	M	—	—
<b>Repair Services</b>						
Antique restoration	—	—	—	—	—	—
Equipment and appliance repair	—	—	—	—	—	—
Furniture refinishing	—	—	—	—	—	—
Furniture upholstery	—	—	—	—	—	—
<b>Residential Uses</b>						
Accessory structures	P	P	P	P	P	P
Assisted living facilities	—	—	M	M	C	C
Parolee home	—	—	—	—	—	—
Residential care facility (6 or fewer persons)	—	—	—	—	—	—
Residential care facility (7 or more persons)	—	—	—	—	—	P
Multiple-family development	—	—	—	—	P	P <sup>S</sup>
Residential within mixed-use development having a commercial component (may include senior, affordable, market rate, etc.)	P	P	P	P	—	—
Senior housing	M	M	M	M	M	M
Live/work as a part of a mixed-use development or stand-alone)	P <sup>S</sup>	P <sup>S</sup>	P <sup>S</sup>	P <sup>S</sup>	—	—
Detached, single-family dwellings	—	—	—	P	—	P
Student housing/dormitory/group quarters	—	—	M	M	M	—
Small family childcare (1 to 6 children)	—	—	P	P	P	P
Large family childcare (7 to 14 children")	—	—	—	—	M	P
<b>Service/Non-Profit Organizations</b>						
Civic buildings/uses	P	P	P	P	P	P
Offices for philanthropic, charitable, civic and service organizations	P	P	P	P	—	—

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

	Civic Core	Sierra Core	Gateway Core	Mixed-Use Core	Multi-Family Core	Neighborhood Core
Temporary political campaign offices and headquarters	P	P	P	P	—	—
Miscellaneous						
Industrial uses	—	—	—	—	—	—
Adult-oriented uses	—	—	—	—	—	—
P=Permitted; M = Minor Use Permit; C=Conditional Use Permit; "—"=Not Permitted; "S"=Special use regulations						

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Sec. 30-360. Special use regulations.**

(a) *Bed and breakfast.*

- (1) *Operator.* Bed and breakfast inns shall be operated by the property owner/manager living on the site.
- (2) *Number of rooms.* Bed and breakfast inns shall be limited to a maximum of six guest rooms for lodging, plus accommodations for the property manager/owner.
- (3) *Food service.* Food may only be served to registered overnight guests. Guest room cooking facilities are prohibited.
- (4) *Rental period.* Guest rooms shall not be rented for a period of less than 18 hours nor for a period not to exceed 72 hours.

(b) *Live/work.*

- (1) The commercial component of live/work units are intended for use by the following occupations:

Accountants

Architects

Artists and artisans

Attorneys

Computer software professionals

Consultants

Engineers

Fashion, graphic, interior designers

Hair stylists

Home-based office workers

Insurance and real estate agents

One-on-one instructors photographers

The Director of ~~Community Development~~ Planning may authorize other similar uses/occupations.

- (2) A live/work unit shall not be established or used in conjunction with any of the following activities:

- a. Adult-oriented business, head shops, massage, or similar uses
- b. Entertainment, drinking, and public eating establishments
- c. Veterinary services, including grooming and boarding, and the breeding or care of animals for hire or for sale
- d. Businesses that involves the use of prescription drugs or recreational drugs
- e. Trade or private schools (this excludes private instruction of up to two students at any one time, such as music lessons and tutoring)
- f. Vehicle maintenance or repair (e.g. body or mechanical work, including boats and recreational vehicles), vehicle detailing and painting, upholstery, etc.)
- g. Storage of flammable liquids or hazardous material beyond that normally associated with a residential use
- h. Welding, machining, or any open flame work

**“EXHIBIT A”**  
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**(Additions shown in underline, deletions shown in ~~strikeout~~):**

- i. Any other activity or use, as determined by the Director of ~~Community Development~~ Planning to not be compatible with residential activities and/or to have the possibility of affecting the health or safety of live/work unit residents, because of the potential for the use to create dust, glare, heat, noise, noxious gasses, odor, smoke, traffic, vibration, or other impacts, or would be hazardous because of materials, processes, products, or wastes.
- (3) Occupancy requirement. The residential space within a live/work unit shall be occupied by at least one individual employee in the business conducted within the live/work unit. No portion of the unit shall be sold or rented separately.
- (4) Design standards:
  - a. Residential areas are permitted above the commercial component, to the side or behind the business component, provided that there is internal access between the residential and commercial space.
  - b. The commercial component shall be restricted to the unit and shall not be conducted in the open space, garage, or any accessory structure.
  - c. Floor area requirements. The floor area of the work space shall be between 25 and 50 percent of the total floor area. All floor area other than that reserved for living space shall be reserved and regularly used for working space.
  - d. Separation and access. Each live/work unit shall be separated from other live/work units or other uses in the structure. Access to each live/work unit shall be provided from a public street, or common access areas, corridors, or halls. The access to each unit shall be clearly separate from other live/work units or other uses within the structure.
  - e. Parking. Each live/work unit shall be provided with at least two off-street parking spaces. For areas outside of the downtown area plan, at least one of the two off-street parking spaces shall be accessible to the public. The Director of ~~Community Development~~ Planning may modify this requirement for the use of existing structures with limited parking.
- (5) Operating requirements:
  - a. *Sale or rental of portions of unit.* No portion of a live/work unit may be separately rented or sold as a commercial or industrial space for any person not living in the premises or as a residential space for any person not working in the same unit.
  - b. *On-premises sales.* On-premises sales of goods is limited to those produced within the live/work unit; provided, the retail sales activity shall be incidental to the primary production work within the unit. These provisions shall allow occasional open studio programs and gallery shows.
  - c. *Nonresident employees.* Up to one person who does not reside in the live/work unit may work in the unit at any time.
  - d. *Client and customer visits.* Client and customer visits to live/work units are allowed.
- (6) Changes in use. After approval and construction, a live/work unit shall not be converted to either entirely residential use or entirely business use unless authorized through a separate minor use permit.
- (c) *Outdoor dining in the public right-of-way.* The purpose of the regulations and standards in this section are to allow increased business and pedestrian traffic, encourage appropriate outdoor dining opportunities within public rights-of-way and to ensure that the space used for outdoor dining within the public right-of-way will service a public purpose. This section does not apply to outdoor dining on private property.
  - (1) Location permitted. Outdoor dining areas within the public right-of-way are permitted on all commercially utilized properties, provided all development standards are met.
  - (2) Permits required. It shall be unlawful for any business to use the public sidewalk and/or public right-of-way for outdoor dining without first obtaining a valid minor use permit and encroachment permit.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

- (3) Establishment of an outdoor dining area shall require site plan review and permit issuance. Any person or business wishing to operate an outdoor dining area shall apply for a permit by submitting the following to the City:
- a. The site plan for the proposed outdoor dining area shall include the following:
    - 1. Chairs, tables, umbrellas, planters, signs and any other fixtures and furnishings to be included in the outdoor dining operation.
    - 2. The applicant's primary eating establishment or food court and the proposed circulation to and from the outdoor dining area, as well as pedestrian circulation at the perimeter of the outdoor dining area.
    - 3. The public sidewalk or public right-of-way to be occupied with dimensions of the entire sidewalk or right-of-way and the clearance proposed for pedestrian access.
    - 4. Names of and main entrances to the businesses immediately adjacent to the applicant's eating establishment.
  - b. Specifications and photographs of all proposed chairs, tables, umbrellas, signs, railings, railing connections to the public sidewalk or right-of-way and the adjacent building, or other furnishing.
- (4) Design standards for outdoor dining area:
- a. The outdoor dining area shall be designed to facilitate sit-down dining activity through the utilization of chairs and tables. It shall also be compact and shall be clearly delineated to promote a visual relationship between the dining area and the surrounding pedestrian areas.
  - b. Outdoor dining is permitted only where the sidewalk is wide enough to adequately accommodate both the usually pedestrian traffic in the area and the operation of the proposed activity. A clear, continuous pedestrian path not less than four feet in width shall be required for unimpeded pedestrian circulation outside of the outdoor dining area. The minimum width of said pedestrian path may be increased by the City Engineer in areas requiring public utility access. Pedestrian path means a continuous, obstruction-free sidewalk area between the outside boundary of the dining area and any obstruction including, but not limited to, parking meters, street trees, landscaping, streetlights, bus benches, public art, and curb lines.
  - c. No outdoor dining area shall be located to block access either to or from a building. A minimum unobstructed clearance which extends two feet to either side of both door jambs shall be maintained.
  - d. Where an outdoor dining area is located on a corner, the outdoor dining area shall not be permitted within three feet of the corner of the building, along both frontages. Where an outdoor dining area is located adjacent to a driveway or an alley, the outdoor dining area shall not be permitted within five feet of the driveway or alley. These requirements may be modified at the discretion of the City Engineer or Director of ~~Community Development Planning~~ Planning in locations where the sidewalk adjacent to the proposed outdoor dining area is wider than usual, where the perimeter of the building has an unusual configuration, or where public safety is at risk.
  - e. The floor of the outdoor dining area shall be at the same level as the sidewalk, and no alterations to the sidewalk or coverings on the sidewalk shall be permitted, unless expressly approved by the City Engineer.
  - f. The permittee shall not expand its outdoor dining area onto the sidewalk frontage of an adjacent business.
  - g. An outdoor dining area may be located directly adjacent to another outdoor dining area. No separation between outdoor dining areas shall apply.
  - h. In no case shall an outdoor dining area be located directly to parking, unless separated by a landscape barrier at least four feet deep and three feet high.

**“EXHIBIT A”**

**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**

**(Additions shown in underline, deletions shown in ~~strikeout~~):**

- i. The design and appearance of all proposed improvements or furniture, including, but not limited to, tables, chairs, benches, umbrellas, and planters, to be placed in the sidewalk dining area shall present a coordinated and concerted theme and shall be compatible with the appearance and design of the principal building.
  - j. A perimeter barrier shall be provided for the outdoor dining area. However, no barrier shall be required if the applicant proposes to limit the outdoor dining area to one row of tables and chairs abutting the wall of the establishment and if no alcohol will be served outside.
  - k. All barriers shall complement the building façade as well as any street furniture and shall be between 24 inches and 36 inches in height.
  - l. Barriers shall be removable. Barriers need not be removed each evening or night, but shall be capable of being removed, if needed, using recessed sleeves and posts, or by wheels that can be locked into place.
  - m. Barriers shall be able to withstand inclement weather and 100 pounds of horizontal force at the top of the barriers when in their fixed positions.
  - n. Objects placed on the sidewalk shall not interfere with or obstruct line-of-sight and shall maintain a clear sight triangle.
  - o. Any umbrellas, heater, or similar feature used in an outdoor dining area shall be safely secured. All heaters shall be in compliance with applicable fire code.
  - p. Outdoor lighting fixtures shall complement the style of the site. Lighting fixtures shall not create glare to pedestrians on the adjacent right-of-way and shall illuminate only the outdoor dining area. Outdoor lighting may be installed on the façade of the building or in the dining area in front of the façade.
  - q. Signage advertising alcohol products on umbrellas shall be prohibited.
- (5) Parking. Space used for outdoor dining in the public right-of-way shall not be added to the gross square footage of the food service establishment when calculating parking requirements.
- (6) Standards of operation:
- a. The management of the eating establishment shall be responsible for operating the outdoor dining area and shall not delegate or assign the responsibility.
  - b. Hours of operation for the outdoor dining areas are to coincide with those of the associated indoor restaurant. When the establishment ceases serving food for the day, further seating in the outdoor dining area shall be prohibited and the outdoor dining area shall close when the patrons already seated in it leave.
  - c. The operator shall not permit the following outside of the building: food preparation, utensils, glasses, napkins, and condiments on unoccupied tables, bus service stations, or trash and garbage storage. All exterior surfaces within the outdoor dining area shall be easily cleaned and shall be kept clean at all times by the permittee.
  - d. The permittee shall maintain the outdoor dining area and the adjoining street, curb, gutter, and sidewalk in a neat, clean, and orderly condition at all times. This shall include all tables, chairs, benches, displays, or other appurtenances placed in the public right-of-way. Provisions shall be made for trash receptacles to service the sidewalk dining area. The operator shall remove the debris to a closed receptacle. No debris shall be swept, washed, or blown into the sidewalk, gutter or street.
  - e. Awnings and umbrellas shall be kept clean and in good condition at all times. Umbrellas shall not advertise alcohol products.
  - f. Musical instruments or sound reproduction systems are permitted in outdoor dining areas but shall be maintained at sufficiently low volumes so as not to adversely affect the neighboring businesses, residents, or users of the public right-of-way beyond the outdoor dining area, or in violation of the City of Fontana Noise Ordinance.
  - g. Fixtures and equipment approved by the City pursuant to an outdoor dining area permit may remain in and on the sidewalk during such time that an outdoor dining permit is in effect.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- h. Upon revocation or termination of an outdoor dining permit, all fixtures and equipment shall immediately be removed from the sidewalk, and the sidewalk returned to its original condition.
  - i. No bar serving alcohol shall be allowed in the outside dining area.
- (7) Special closures. The City of Fontana shall have the right and power, acting through the City Manager or his/her designee, to prohibit the operation of an outdoor dining area at any time because of anticipated or actual problems or conflicts in the use of the sidewalk or right-of-way area. Such problems or conflicts may arise from, but are not limited, festivals, parades, marches and similar events, repairs and widening of the streets or sidewalks, or emergencies occurring in the area. To the extent possible, the permittee shall be given prior notice of any time period during which the operation of the outdoor dining area or the outdoor dining area shall be prohibited by the City.
- ~~(d) *Farmers Market.* A farmers’ market may be conducted on private property or in the public right-of-way, provided it carried on in accordance with the following limitations, and provided an approved minor use permit is granted:~~
- ~~(1) The operation of the farmers market shall be conducted by a for-profit or nonprofit organization or by a local governmental agency.~~
  - ~~(2) An established set of operating rules addressing the governance structure of the market, hours of operation, and days of the week, maintenance, and security requirements shall be permitted and approved under the minor use permit application and site plan.~~
  - ~~(3) A minor use permit, a master site plan, as well as the signed set of conditions of approval, shall be posted in a conspicuous place at the market site.~~
  - ~~(4) The organization responsible for governing or operating the farmers market shall obtain a business license and shall post the business license in a conspicuous place at the site.~~
  - ~~(5) At least 51 percent of the vendors displaying inventory of the products sold in each farmers market are selling fresh fruits and vegetables.~~
  - ~~(6) Fifteen percent or fewer vendors are non-food vendors (i.e. handmade crafts, art exhibits, informational booths, etc.)~~
  - ~~(7) All market signage shall be submitted and approved under the minor use permit.~~
  - ~~(8) The organization governing or operating the farmers market shall provide access to adequate sanitary facilities, including restrooms and/or portable sinks and toilets.~~
  - ~~(9) Operation of the farmers market shall not obstruct the safe flow of vehicular or pedestrian traffic on or around the market site.~~
  - ~~(10) The sale of, or consumption of, alcohol beverages on the market site is prohibited.~~
  - ~~(11) The sale of second-hand merchandise is prohibited.~~
  - ~~(12) Portable shelters (e.g.: EZ Up Shelters) with an area no larger than ten feet by ten feet are allowed in designated market areas. Any shelter larger than ten feet by ten feet must be approved under the minor use permit application.~~
  - ~~(13) Animals, other than law enforcement dogs and assistance animals for the disabled are not allowed on the market site.~~
  - ~~(14) A commercial cannabis business shall not be permitted pursuant to this section.~~
  - ~~(15) The Director of Community Development shall have the authority to determine other market activities, in addition to those specifically listed in this article, which may be permitted, or conditionally permitted, in his or her judgment supported by specific written findings.~~

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

(ed) *Public assembly/auditoriums/meeting halls/religious facilities.*

- (1) When this use is proposed within an existing developed property such as a retail shopping center and the parking standards cannot be met, a parking impact study shall be performed. It shall include the following information:
  - a. Existing and proposed site plan
  - b. Transit, cycling and walking environment
  - c. Current parking inventory
  - d. Current land uses
  - e. Existing traffic conditions
  - f. Description of proposed land use including square footage
  - g. Calculation of required parking for proposed project based on current standards
  - h. Document availability of on street and shared parking opportunities
  - i. Calculation of peak parking demand based on proposed project land use
  - j. Document recommended parking to be provided (based on analysis with and without shared parking and other demand reduction factors)
  - k. Provide maps to summarize and illustrate
- (2) The completed parking impact study shall be submitted to the planning division for review. City staff will assess the study recommendations based on a standard alternative compliance application review process. This process includes the following criteria:
  - a. Review criteria. To approve an exception to the standard, the Director of ~~Community Development~~ Planning must first find that the proposed project accomplishes the general purposes of the applicable section(s) of the land use code. In reviewing the request for an exception to the standard parking ratio and in order to determine whether such request is consistent with the purposes of this subsection, as required above, the decision maker shall consider the following:
    1. The anticipated number of employees or residents occupying the building
    2. The number and frequency of expected customers or clients
    3. The availability of nearby on-street parking (if any)
    4. The availability of shared parking with abutting, adjacent or surrounding land uses (if any)
    5. The provision of purchased or leased parking spaces in a municipal or private parking lot meeting the requirements of the city
    6. Travel demand management programs (if any)
    7. Any other factors that may be unique to the applicant's development request.
- (3) The Director of ~~Community Development~~ Planning shall not approve an exception to the parking standard unless it:
  - a. Does not detract from continuity, connectivity and convenient proximity for pedestrians between or among existing or future uses in the vicinity
  - b. Minimizes the visual and aesthetic impact along the public street of the proposed increased parking by placing parking lots to the rear or along the side of buildings, to the maximum extent feasible
  - c. Minimizes the visual and aesthetic impact of such additional parking on the surrounding neighborhood
  - d. Creates no physical impact on any facilities serving alternative modes of transportation
  - e. Creates no detrimental impact on natural areas or features
  - f. Maintains handicap parking ratios in compliance with current ADA requirements

(fe) *Vehicle sales and service.*

**"EXHIBIT A"**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- (1) *Outdoor display.* No vehicles shall be displayed with their hoods open, except in the display building, which shall be an enclosed structure. Balloons, spinners, pennants, banners, and other wind-blown devices are prohibited.
  - (2) *Orientation and screening, service bays.* Service bay doors shall be located perpendicular to the street fronting the site and shall be screened from all other streets and adjacent residential development.
  - (3) *Outdoor intercoms.* Outdoor amplification of sound shall not be audible beyond the property lines.
  - (4) *Orientation, main building.* The structure shall be street-oriented, with pedestrian entrances from the street.
- (gf) *Schools.*
- (1) Drop off/pick up area. The project shall include designated area(s) for drop off and pick up of students to prevent off site cueing and traffic congestion.
  - (2) A proposed school shall not operate in a commercial complex.
- (hg) *Restaurant/coffee shop with drive thru.*
- (1) The maximum front building setback of ten feet shall not apply when a drive-thru lane is placed adjacent to a street. The maximum ten-foot setback shall apply to the drive-thru lane instead of the building.
  - (2) All buildings that include a drive-thru use shall be required to provide an outdoor patio area with permanent shade, tables and seating. The minimum size of the patio area shall be 20 percent of the total building square footage.
- (Ord. No. 1828, § 8(Exh. A), 5-12-20; Ord. No. 1846, § 2, 11-10-20; Ord. No. 1865, § 8(Att. 2), 3-23-21; Ord. No. 1899, § 6, 7-26-22)

**Sec. 30-489. Uses permitted.**

- (a) *Uses by zoning district.* Table No. 30-489, lists the uses permitted in each of the commercial and mixed-use zoning districts. A "P" indicates a use is permitted by right subject to design review by the Planning Commission, administrative site plan review by the Director of ~~Community Development Planning~~ Community Development Planning, or regulatory permit issued by the City, an "M" indicates the use requires the granting of a minor use permit approved by the Director of ~~Community Development Planning~~, a "C" indicates the use requires the granting of a conditional use permit approved by the Planning Commission, and "—" means the use is not permitted in that zoning district.
- (b) *Uses subject to specific requirements.* Permitted uses marked with an asterisk "\*" indicate that the use is subject to special use regulations in Chapter 33, Section 30-491 and Chapter 15 of the Municipal Code. Conditional uses are subject to the provisions in Section 30-492.
- (c) Uses marked with a superscript \*\* indicate that the requirement pertains to parcels with frontage along Foothill Boulevard between Ilex Street to Maple Avenue

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

<b>Table No. 30-489 Allowed Uses within Commercial Zoning Districts</b>			
<b>Use</b>	<b>C-1</b>	<b>C-2</b>	<b>RMU</b>
<b>Retail Sales</b>			
Adult Businesses	P*	P*	—
Antique Shop	P	P	P
Automobile Sales Agency with or without Incidental Repair and Sales Display Area	—	C	C
Automobile Supply Store (no machine shop)	P	P	P
Bakery Goods Store	P	P	P
Bar, Cocktail Lounge	C	C	C
Bicycle Shop	P	P	P
Boat Sales with Incidental Repair and Sales Display Area	—	C	C
Book Store	P	P	P
Building Materials, Retail Sale of (if contained within a completely enclosed building)	—	P	P
Building Materials with Outdoor Storage	—	<u>—**/P*</u>	P*
Blueprinting Establishment	—	P	P
Cannabis Retailer, Storefront (with City Permit)	P*	P*	—
Caterer	P	P	P
Clothing Store	P	P	P
Computer Store	P	P	P
Convenience Store	P	P	P
<del>Cyber</del> Cafes ( <u>Cyber, Animal, Gaming</u> )	<u>P**/C</u>	<u>P**/C</u>	C
Department Store	—	P	P
Discount Store	P	P	P
Drugstore	P	P	P
Electrical Supply Store	P	P	P
Feed Store	C	M	—
Florist Shop	P	P	P
Furniture Store	P	P	P

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

Garden Furniture and Supplies Store	P*	P*	P*
Glass or Mirror Store	P	P	P
Grocery, Fruit, Vegetable, Meat, Fish, Poultry, or Delicatessen Store,	P	P	C
Hardware Store	P*	P*	P*
Hobby Supplies Store	P	P	P
Home Furnishing Store	P	P	P
Household Appliance Store	P	P	P
Ice Cream Store	P	P	P
Ice Storage Locker (if not more than five-ton capacity)	P	P	P
Interior Decorating Shop	P	P	P
Jewelry and Coin Store	P	P	P
Liquor Store	C	C	C
Micro-Brewery	—	C	C
Newsstand	P	P	P
Novelties Store	P	P	P
Nursery, Plant (includes statuary sales)	P*	P*	P*
Paint and Wallpaper Shop	P	P	P
Pawn Shop	—	C	C
Pet Boarding	—	M	—
Pet Shop	P	P	P
Plumbing Supply Store	—	P	P
Radio, Television, and Small Electrical Appliance Shop (including repair when incidental to retail sales)	P	P	P
Restaurant, Café, Excluding Those Having Dancing and/or Floorshows. Alcohol Beverages are not Permitted.	P*	P*	P*
Restaurant and Café with Entertainment and/or Dancing. Alcohol Beverages Permitted. <u>(See Section 30-492 For Alcohol Beverage Sales)</u>	C*	C*	C*
Restaurant, Café, Without Entertainment and/or Dancing. Alcohol Beverages Permitted. (See Section 30-492 For Alcohol Beverage Sales)	€	€	€
Restaurant, Drive-Thru and Take Out	P*	P*	P*
Secondhand Store	—	P	P
Shoe Store	P	P	P

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

Smoke/Tobacco Shop and Vape Shop	C	C	C
Sporting Goods Store	P	P	P
Swap Meet (Indoor/outdoor)	—	—	—
Tattoo Establishments	P*	P*	P*
Trailer and Mobile Home Sales and Rental	—	P*	C
Truck and Trailer Sales (Valley Boulevard only)	—	C	—
Wholesale Auto Sales (requires one stall)	C	C	—
Warehousing Sales, Retail	C	P*	P*
Warehousing Sales, Wholesale	—	C	P*
<b>Business and Professional Offices</b>			
Administrative and Professional Offices Involving no Retail Trade	P	P	P
Art Gallery	P	P	P
Financial Institution	P	P	P
Clinic, Medical or Dental, Acupuncture ( <u>Not Acute and Urgent Care</u> )	P	P	P
Convention Centers	—	—	P
Government Offices	P	P	P
Medical Laboratory	—	P	P
Optician	P	P	P
Pharmacy	P	P	P
Radio/Television Studio (with transmitter)	—	C	C
Studio (without transmitter)	P	P	P
Studios for Professional Work or Teaching of Any Form Of Fine Art	P	P	P
<b>Service Establishments</b>			
Ambulance Service	P	P	P
Animal Hospital	M	P	C
Animal Hospital (w/ Boarding)	—	M	—
Assembly/Meeting Hall For, Private Clubs, Religious Services, or Similar Uses	C	C	C
Automobile Fueling Station	C	C	C
Automobile and Truck Rental, Two-Ton, Single Unit Maximum	—	C	C
Automobile/Vehicle Body and Fender Repair Shop	—	C	C

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

Automobile/Vehicle Repair	C	C	C
Automotive Custom Repair (includes lowering and lifting)	C	C	C
Automotive Stereo, Alarm and Upholstery Installation	C	M	M
Automobile Wash	—	M	M
Barber Shop or Beauty Parlor	P	P	P
Chemical substance abuse facility	C	C	C
Cleaners	P*	P*	P*
Clothing and Costume Rental Establishment	P	P	P
Community Care Facility	C	C	C
Community Center	C	C	C
Construction Trailer (Temporary Use Permit)	P*	P*	P*
Convalescent Hospital	M	M	C
Copying, Packing and Mailing Services	P	P	P
Day Care—Commercial	M	M	M
Day Care—Commercial (24-hour)	—	C	C
Depot—Bus	—	P*	P*
Depot—Railway, Park-and-Ride	—	P	P
Dressmaker or Millinery Shop	P	P	P
Equipment Rental	<del>—</del> */—	<del>—</del> */P*	P*
Fortune-Telling	P	P	P
Hospitals, <u>Acute, and Urgent Care</u>	<del>—</del> */—	<del>—</del> */M	M
Hotels	—	C	C
Laundromat, Self Service	P	P	P
Locksmith	P	P	P
Machine Shop	<del>—</del> */—	<del>—</del> */C	C
Masseur or Masseuse, Day Spa, Acupressure	—	C	C
Self-Storage Facility	—	C	C
Mortuaries	—	C	C
Library	P	P	P

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

Museums	P	P	P
Motel	—	C	C
Music and Vocal Instruction	P	P	P
Nursing Home	M	M	C
Parks	P	P	P
Photographer	P	P	P
Pick-Up Truck Rated Over One Ton (carrying weight), Commercial Truck or Van, or Trailer Rental	—	C	C
Picture Framing Store	P	P	P
Post office	M	M	M
Printer, Blueprint Shop	—	P	P
Private Schools	C	C	C
Public Utility Structures and Facilities	M	M	M
Publishing Establishments	—	P	P
Repair Shop for Household Appliances	<u>—**/P</u>	<u>—**/P</u>	P
Schools Such as Business Colleges, Music Conservatories, Dancing Schools, and Other Schools That Offer Training In Non-Industrial Professions	P	P	P
Stenographic Services	P	P	P
Swimming Pool, Commercial	P	P	P
Sign Shop in Enclosed Structure	—	P	P
Tailor	P	P	P
Telephone Answering Service or Exchange	P	P	P
Ticket Agency, Travel Bureau	P	P	P
Tire Shop	—	C	C
Truck Repair Service	—	—	—
Truck Storage Yard	—	—	—
Upholstery Shop	<u>—**/—</u>	<u>—**/P</u>	P
Wedding Chapel	P	P	P
<b>Amusement Establishments</b>			

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

Amusement Enterprise for Children Including Pony Rides (No Stables), Merry-Go-Round, and The Like When Incidental To A Permitted Use	P	P	P
Amusement Park	<u>P**/—</u>	<u>P**/C</u>	C
Arcades—Pinball, Video, and the Like	<u>P**/—</u>	<u>P**/C</u>	C
Archery Range	<u>P**/—</u>	<u>P**/C</u>	C
Baseball; Batting Range	<u>P**/—</u>	<u>P**/C</u>	C
Bowling Alley	<u>P**/C</u>	<u>P**/C</u>	C
Boxing Arena	<u>P**/—</u>	<u>P**/C</u>	C
<u>Banquet hall</u>	<u>C**/—</u>	C	C
Golf, Driving Range, Miniature, Pitch and Putt	<u>P**/—</u>	<u>P**/C</u>	C
Gymnasiums, Health Spas, or Physical Culture Establishments Under 4,000 Square Feet in Floor Area	P	P	P
Gymnasiums, Health Spas, or Physical Culture Establishments Over 4,000 Square Feet in Floor Area	<u>P**/C</u>	<u>P**/C</u>	C
Nightclub	<u>C**/—</u>	C	C
Pool Hall, Billiard Center	C	C	C
Skating Rink, Roller or Ice	<u>P**/C</u>	<u>P**/C</u>	C
Smoking Lounge, Hookah Lounge, Vapor Lounge, E-Lounge (allowed only as a secondary use to a full-service restaurant)	C	C	C
Theater, Indoor	<u>P**/C</u>	<u>P**/C</u>	C
Indoor Playground/Recreation	P	P	P
Residential Uses			
Senior Housing	M	M	M
Multiple-Family Dwellings with an Area Plan			C
<b>Other Uses</b>			
Animal Kennel	—	C	C
Animals, Small—Keeping and Raising	P*	P*	P*
Antenna, Transmitting	C	C	C
Cemetery and Related Uses	—	M	C
Construction Trailer	P*	P*	P*
Home Occupation	P*	P*	P*

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in ~~strikeout~~):**

Homeless Shelters	—	—	—
Emergency Shelter Subject to the activation of an Emergency Operation Center	P	P	P
Metal Storage Containers (temporary storage only with a temporary use permit)	P*	P*	P*
Museum and Art Galleries	<u>P**</u> /—	<u>P**</u> /M	M
Parking Lots (not related to use on same property)	—	P	P
Parking Structures	—	P	P
Research and Development	—	P	P

**Sec. 30-492. – Conditional use permit and minor use permit regulations.**

All uses marked with a "C" or "M" in Table No. 30-459, must comply with the conditional use permit or minor use permits procedural requirements outlined in Article II, Divisions 12 and 13 of this chapter. In addition, certain conditional uses must comply with the specific development and operational standards outlined below.

\*\*\*

- (7) *Alcohol beverage sales.* Any use that engages in on-site or off-site retail sales of alcohol beverages and that is required to operate under a State Alcohol Beverage Control (ABC) license shall be subject to the approval of conditional use permit or minor use permit. A conditional use permit or minor use permit shall be required for the following actions:

<b>Table No. 30-492.C</b> <b>Alcohol Beverage Sales</b>	
An application for a new ABC license	€
<u>Sit down restaurant (Bona fide Public Eating Place as Defined by the Department of Alcohol Beverage Control) for properties with frontage along Foothill Boulevard between Ilex Street to Maple Avenue</u>	<u>P</u>
<u>All other areas</u>	<u>C</u>
Any change in the type of existing ABC license with existing CUP	€
<u>Sit down restaurant (Bona fide Public Eating Place as Defined by the Department of Alcohol Beverage Control) for properties with frontage along Foothill Boulevard between Ilex Street to Maple Avenue</u>	<u>P</u>
<u>All other areas</u>	<u>C</u>
Any increase of floor area in an ABC licensed establishment	C
<u>Sit down restaurant (Bona fide Public Eating Place as Defined by the Department of Alcohol Beverage Control) for properties with frontage along Foothill Boulevard between Ilex Street to</u>	<u>P</u>

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

<u>Maple Avenue</u>	
<u>All other areas</u>	<u>C</u>
Any change in operating conditions from what was originally imposed by the City or by ABC, including, but not limited to, any change of hours of operation or entertainment	C
A request to establish live entertainment or dancing in an ABC licensed establishment	C
Any ABC licensed establishment not previously possessing a conditional use permit when there is an ownership change	C

a. Location requirements.

1. In judging requests for alcohol beverage sales, of particular concern will be the physical relationship and proximity of the proposed use to that of similar uses on the same or surrounding sites; the compatibility of the proposed use with neighboring uses (i.e., schools, parks, religious institutions, hospitals and other similar uses), and that no adverse effect on public health, safety or welfare will be created.
2. A business where a new conditional use permit is requested, other than for a renewal or ownership transfer, for the sale of liquor should be a minimum of 600 feet away from an existing or proposed school, park, religious institution, hospital, youth facility, and other similar uses.
3. The proposed use shall not be incompatible with the adjoining uses as it relates to noise, debris, traffic, storage, design and hours of operation, nor shall it create any adverse effect on public health, safety or welfare.
4. All light standards shall be located so that lighting does not directly shine into adjoining residential properties. Any light pole within the parking area shall have a concrete or similar support base constructed to withstand light vehicle collisions.
5. The establishment shall be operated in such a manner that sound emitted from the premises shall not be audible beyond the boundaries on which it is located.
  - i. All doors to the building shall remain closed except to allow for the entrance and exit of patrons and employees.
  - ii. Any such liquor sales use or similar use being established for the first time shall have no entrance or exit located within 100 feet of a residentially zoned or utilized property unless adequate sound attenuation measures have been undertaken or unless the entrance or exit is separated from the residentially zoned property by a public street.

b. Alcohol product sales requirements.

1. The licensee shall not sell single bottles of wine in less than 750 ml. containers. Specialty or dessert wines which are only packaged in 375 milliliter bottles shall be permitted.
2. No distilled spirits shall be sold in bottles or containers smaller than 375 ml.
3. The sale of beer or malt beverages in single size containers of 40 ounces or less is prohibited.
4. The licensed premise shall not sell individual units of beer or wine from the manufacturer's multi-unit packages (three-packs, four-packs, six-packs, etc.).

c. In the event the Director of ~~Community Development~~ Planning has determined that a party holding a conditional use permit at a given location is in violation of the conditions of the permit the Planning Commission, through the public hearing process, shall have the authority to

**“EXHIBIT A”**  
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**(Additions shown in underline, deletions shown in strikeout):**

terminate the conditional use until such time as the property has been brought into compliance and the applicant establishes that those conditions have been met.

\*\*\* The remaining portions of Section 30-492 shall remain unchanged

**ARTICLE IX. OVERLAY DISTRICTS**

\*\*\*

**DIVISION 11. ENTERTAINMENT CENTER OVERLAY DISTRICT**

**Sec. 30-663.4. Applicability.**

The Entertainment Center Overlay District shall apply to all properties within the boundaries as depicted in the maps under Section 30-663.6 of this Division. The regulations established in this overlay district amend certain provisions of this Zoning and Development Code, as expressly set forth within this Division. Compliance with the Zoning and Development Code and the West End Specific Plan is required. Where inconsistencies arise between the Zoning and Development Code and the West End Specific Plan, the regulations of this overlay district shall govern.

**Sec. 30-663.5. Purpose and intent.**

- (a) The Entertainment Center Overlay District is intended to create entertainment destinations that attracts both residents and tourists, thereby enchanting the City’s economic vitality and cultural appeal. Targeting these Planning areas for commercial/entertainment development along with public art generates visits, foot traffic, economic activity and contribute to placemaking.
- (b) The standards and requirements are intended to provide direction to developers within the overlay district to encourage themed entertainment areas to create a sense of place where patrons visit and gather. The requirement of this overlay establishes uses that are conducive to commercial/entertainment along with City of Fontana/Route 66 branding while maintaining flexibility for individual expression and imaginative design solutions.

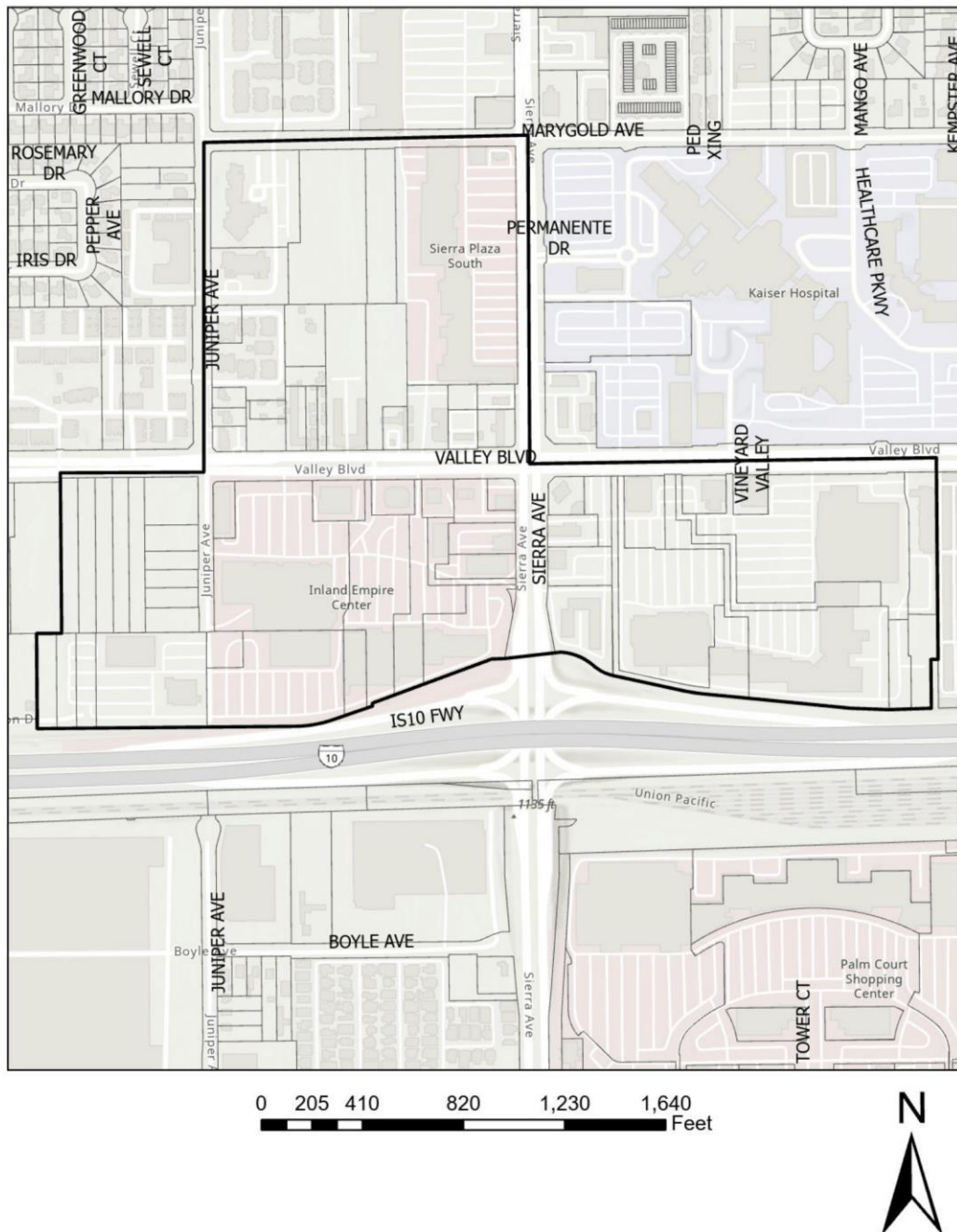
**Sec. 30-663.6 Entertainment center overlay district boundary.**

The maps entitled Planning Areas 1-3 is adopted as a part of this overlay district (Figures 1-3) and defines the boundaries of the three (3) planning areas.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikethrough):**

**Figure 1:**

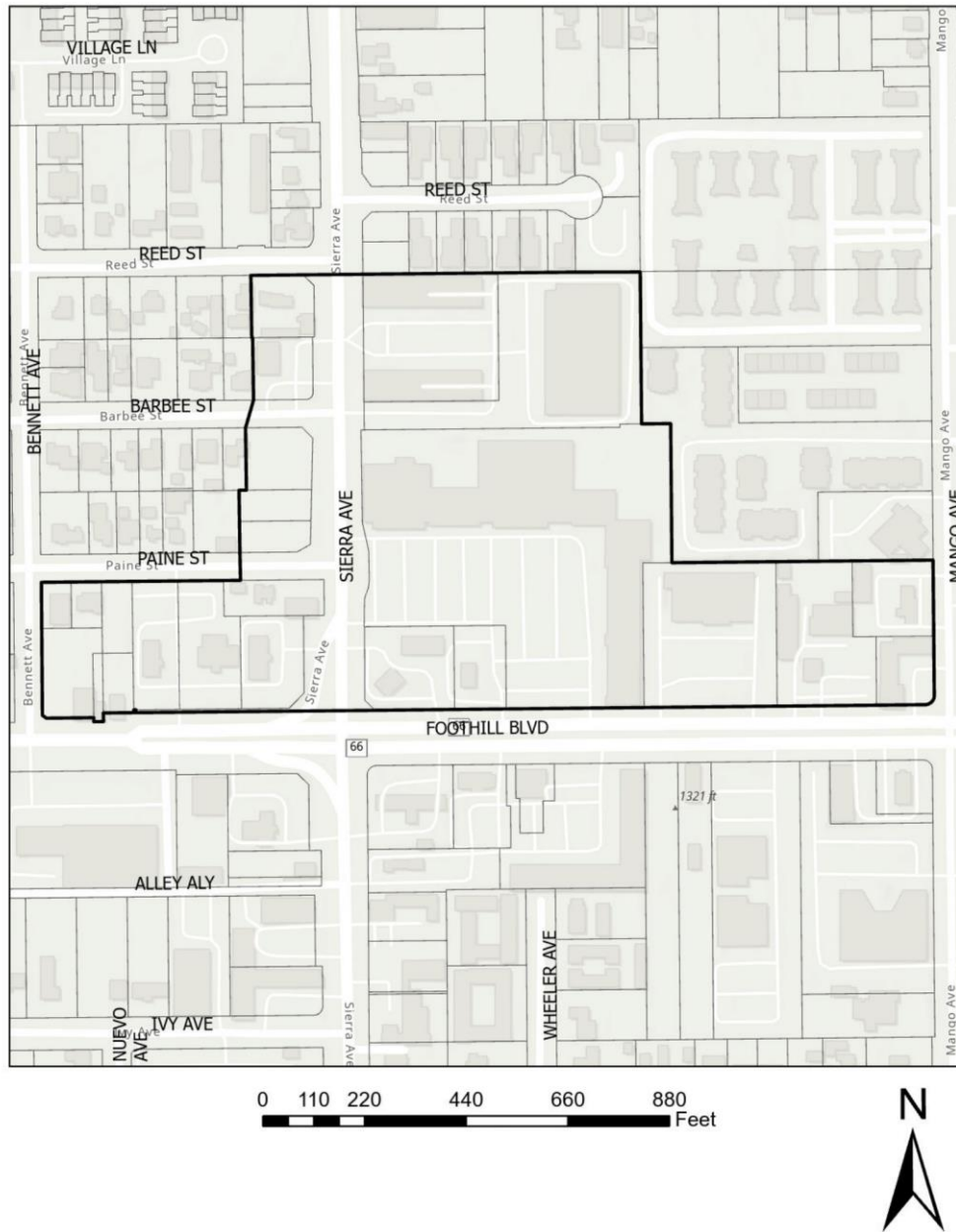
**Planning Area 1**  
**Valley Blvd & Sierra Ave**



**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Figure 2:**

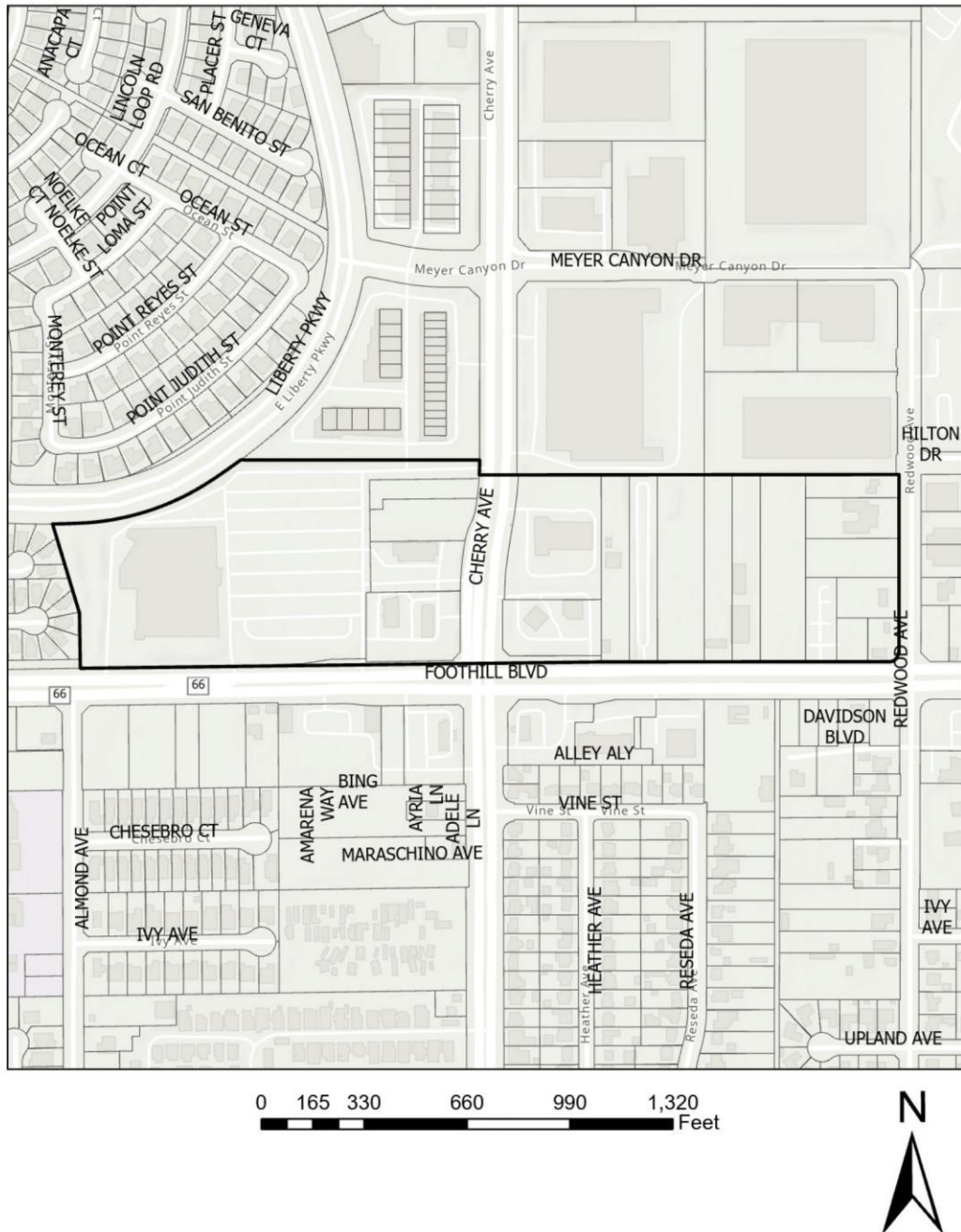
**Planning Area 2**  
**Foothill Blvd & Sierra Ave**



**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Figure 3:**

**Planning Area 3**  
**Foothill Blvd & Cherry Ave**



**"EXHIBIT A"**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Sec. 30-663.7. Permitted uses.**

- (1) Uses marked with an asterisk "\*" indicate that the use is not permitted on the ground floor for building(s) that are developed with two or more floors.
- (2) Planning Area 1 Valley Boulevard and Sierra Avenue Areas.
  - a. Principal Permitted uses.
    1. Administrative & Professional Offices\*
    2. Alcohol Beverage Sales
      - a. On-Site Sales (with sit down restaurant - Bona fide Public Eating Place)
    3. Antiques Retail Sales (excludes pawn shop and subleases)
    4. Art Gallery
    5. Bakery (with primary retail sales)
    6. Cannabis (See Chapter 33)
    7. Cigar Sales Only (excludes Smoke Shops)
    8. Florist
    9. Food Hall/Food Court
    10. Hotels
    11. Jewelry Sales and Repair (excludes Pawn Shops)
    12. Medical Services:
      - a. Acupuncture\*
      - b. Counseling or Psychology\*
      - c. Dermatology\*
      - d. Hearing Aids\*
      - e. Homeopathy\*
      - f. Medical/ or Dental\* (Excludes Acute Care, Surgery Centers, Urgent Care, and Hospitals)
      - g. Optometry Sales\*
      - h. Physical Therapy\*
      - i. Sports Therapy\*
    13. Multi-Family/Mixed Use Development\* (Only allowed if permitted by underlying zone)
    14. Museums and Galleries
    15. Personal Services:
      - a. Barber or Hair Salon\*
      - b. Body Art (tattooing, body piercing, and/or permanent cosmetics)\*

**“EXHIBIT A”**

**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30  
(Additions shown in underline, deletions shown in strikeout):**

- c. Day Spa
  - d. Med Spa\*
  - e. Nail Salon\*
  - f. Skin Care\*
16. Pet Sales and Supplies (without Outdoor Storage)
17. Recreation and Entertainment
- a. Batting Cages
  - b. Bowling
  - c. Billiards and Pool Halls
  - d. Commercial Recreation (i.e. Tennis, Go-Kart, Miniature Golf)
  - e. Escape Rooms
  - f. Game Rooms and Amusement Arcades
  - g. Health and Fitness Clubs
  - h. Hobby Supply Stores
  - i. Roller Hockey Facilities
  - j. Skating
18. Restaurant without Drive Thru Facilities (including Cafes, Ice Cream Shop, Confectionary/Dessert Shop, and Similar)
19. Retail Sales/General Merchandise
20. Sporting Goods and Equipment (excludes Gun Sales)
21. Studio:
- a. Art
  - b. Cooking Classes
  - c. Dance Classes
  - d. Martial Arts
  - e. Music School
  - f. Recording/Film\*
  - g. Pilates, Yoga, Barre
22. Theatres (Live Stage and Movie) and Concert Halls
23. Other similar uses which the Director of Planning finds compatible with the permitted uses described herein, consistent with the purpose and intent of the planning area and not a of a type to affect adversely the use of adjoining properties. Application for determination of similar uses shall be submitted to the Planning Department for review and consideration.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

b. Minor Use Permit uses.

1. Alcohol Beverage Sales
  - a. On-Site Sales: Bar, Lounge, or Nightclub (with or without Entertainment)
  - b. Off-Site Sales (no Tasting Room) No Convenience Store
  - c. On or Off-Site Sales (with Tasting Room) No Convenience Store
  - d. Micro-Brewery with tasting room
  - e. Micro-Winery with tasting room
  - f. Micro-Distillery (Spirits) with tasting room
2. Café (Cyber, Animal, Gaming)

c. Conditionally Permitted uses.

1. Cigar Lounge/Hookah Lounge/Smoking Room
2. Massage/Acupressure\*
3. Nightclub
4. Public Assembly/Auditoriums/Meeting Halls/Religious facilities

(3) Planning area 2— Foothill Boulevard and Sierra Avenue

a. Principal Permitted uses.

1. Administrative & Professional Offices
2. Alcohol Beverage Sales
  - a. On-Site Sales (with sit down restaurant - Bona fide Public Eating Place)
3. Antiques Retail Sales (excludes Pawn Shop and subleases)
4. Art Gallery
5. Bakery (with primary retail sales)
6. Cannabis (See Chapter 33)
7. Cigar Sales only (excludes Smoke Shops)
8. Florist
9. Food Halls/Food Court
10. Hotels
11. Jewelry Sales and Repair (excludes Pawn Shops)
12. Medical Services:
  - a. Acupuncture

**“EXHIBIT A”**

**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**

**(Additions shown in underline, deletions shown in strikeout):**

- b. Counseling or Psychology
  - c. Dermatology
  - d. Hearing Aids
  - e. Homeopathy
  - f. Medical/ or Dental (Excludes Acute Care, Surgery Centers, Urgent Care, and Hospitals)
  - g. Optometry Sales
  - h. Physical Therapy
  - i. Sports Therapy
13. Multi-Family/Mixed Use Development\* (Only allowed if permitted by underlying zone)
14. Museums and Galleries
15. Personal Services:
- a. Barber or Hair Salon
  - b. Body Art (tattooing, body piercing, and/or permanent cosmetics)\*
  - c. Day Spa
  - d. Med Spa
  - e. Nail Salon
  - f. Skin Care
16. Pet Sales and Supplies (without outdoor storage)
17. Recreation and Entertainment
- a. Batting Cage
  - b. Bowling
  - c. Billiards and Pool Halls
  - d. Commercial Recreation (i.e. Tennis, Go-Kart, Miniature Golf)
  - e. Escape Rooms
  - f. Game Rooms and Amusement Arcades
  - g. Health and Fitness Clubs
  - h. Hobby Supply Stores
  - i. Roller Hockey Facilities
  - j. Skating
18. Restaurant without Drive Thru Facilities (including Cafes, Ice Cream Shop, Confectionary/Dessert Shop, and similar)
19. Retail Sales/General Merchandise

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

20. Sporting Goods and Equipment (excludes Gun Sales)

21. Studio:

- a. Art
- b. Cooking Classes
- c. Dance Classes
- d. Martial Arts
- e. Music School
- f. Recording/Film
- g. Pilates, Yoga, Barre

22. Theatres (Live Stage and Movie) and Concert Halls

23. Other similar uses which the Director of Planning finds compatible with the permitted uses described herein, consistent with the purpose and intent of the planning area and not a of a type to affect adversely the use of adjoining properties. Application for determination of similar uses shall be submitted to the Planning Department for review and consideration.

b. Minor Use Permit uses.

1. Alcohol Beverage Sales

- a. On – Site Sales: Bar, Lounge, or Nightclub (with or without Entertainment)
- b. Off-Site Sales (no Tasting Room) No Convenience Store
- c. On or Off-Site Sales (with Tasting Room) No Convenience Store
- d. Micro-Brewery with tasting room
- e. Micro-Winery with tasting room
- f. Micro-Distillery (Spirits) with tasting room

2. Café (Cyber, Animal, Gaming)

c. Conditionally Permitted uses.

1. Cigar Lounge/Hookah Lounge/Smoking Room

2. Massage/Acupressure

3. Nightclub

4. Public Assembly/Auditoriums/Meeting Halls/Religious Facilities

(4) Planning area 3 — Foothill Boulevard and Cherry Avenue

a. Principal Permitted uses.

1. Administrative & Professional Offices

2. Alcohol Beverage Sales

**“EXHIBIT A”**

**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**

**(Additions shown in underline, deletions shown in strikeout):**

- a. On-Site Sales (with sit down restaurant - Bona fide Public Eating Place)
- 3. Antiques Retail Sales (excludes Pawn Shop and subleases)
- 4. Art Gallery
- 5. Bakery (with primary retail sales)
- 6. Cannabis (See Chapter 33)
- 7. Cigar Sales Only (excludes smoke shops)
- 8. Florist
- 9. Food Hall/Food Court
- 10. Hotels
- 11. Jewelry Sales and Repair (excludes Pawn Shops)
- 12. Medical Services:
  - a. Acupuncture
  - b. Counseling or Psychology
  - c. Dermatology
  - d. Hearing Aids
  - e. Homeopathy
  - f. Medical/ or Dental (Excludes Acute Care, Surgery Centers, Urgent Care, and Hospitals)
  - g. Optometry Sales
  - h. Physical Therapy
  - i. Sports Therapy
- 13. Multi-Family /Mixed Use Development \* (Only permitted if allowed by underlying zone)
- 14. Museums and Galleries
- 15. Personal Services:
  - a. Barber or Hair Salon
  - b. Body Art (tattooing, body piercing, and/or permanent cosmetics)
  - c. Med Spa
  - d. Nail Salon
  - e. Skin care
  - f. Day Spa
- 16. Pet Sales and Supplies (without Outdoor Storage)
- 17. Recreation and entertainment

**“EXHIBIT A”**

**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30  
(Additions shown in underline, deletions shown in strikeout):**

- a. Bowling
  - b. Batting Cages
  - c. Billiards and Pool Halls
  - d. Commercial Recreation (i.e. Tennis, Go-Kart, Miniature Golf)
  - e. Escape Rooms
  - f. Game Rooms and Amusement Arcades
  - g. Health and Fitness Clubs
  - h. Hobby Supply Stores
  - i. Other Indoor or Outdoor Amusement (i.e., Go-Kart, Miniature Golf)
  - j. Roller Hockey Facilities
  - k. Skating
  - 18. Restaurant without Drive Thru Facilities (including Cafes, Ice Cream Shop, Confectionary/Dessert shop, and similar)
  - 19. Retail Sales/General Merchandise
  - 20. Sporting Goods and Equipment (excludes Gun Sales)
  - 21. Studio
    - a. Art
    - b. Cooking Classes
    - c. Dance Classes
    - d. Martial Arts
    - e. Music School
    - f. Recording/Film
    - g. Pilates, Yoga, Barre
  - 22. Theatres (Live Stage and Movie) and Concert Halls
  - 23. Other similar uses which the Director of Planning finds compatible with the permitted uses described herein, consistent with the purpose and intent of the planning area and not a of a type to affect adversely the use of adjoining properties. Application for determination of similar uses shall be submitted to the Planning Department for review and consideration.
- b. Minor Use Permit uses.
- 1. Alcohol Beverage Sales
    - a. On – Site Sales: Bar, Lounge, or Nightclub (with or without Entertainment)
    - b. Off-Site Sales (no Tasting Room) No Convenience Store
    - c. On or Off-Site Sales (with Tasting Room) No Convenience Store

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- d. Micro-Brewery with tasting room
- e. Micro-Winery with tasting room
- f. Micro-Distillery (Spirits) with tasting room
- 2. Café (Cyber, Animal, Gaming)
- c. Conditionally Permitted uses.
  - 1. Cigar Lounge/Hookah Lounge/Smoking Room
  - 2. Restaurant Drive-Thru Food Establishment
  - 3. Massage/Acupressure
  - 4. Nightclub
  - 5. Public Assembly/Auditoriums/Meeting Halls/Religious Facilities

**Sec 30-663.8. Public Art Purpose and intent.**

- (1) Purpose and intent. Public art are key factors and an important aspect of creating and contributing to a sense of place and themed areas. The purposed and intent of public art is:
  - a. To promote an identity/sense of place for each planning area in the Entertainment Center Overlay District;
  - b. To preserve and enhance the appearance of Fontana a place to live and recreate and as an attraction to visitors who come to visit, shop, eat, or recreate; and
  - c. To set forth a coordinated theme for the overlay districts by requiring an Administrative Site Plan review.

**Sec. 30-663.9. Public Art.**

- (1) Public Art Definition. Artwork intended for public display and accessible to the general public prepared by an Artist. Decorative or functional elements which are designed by the building architect as opposed to an artist are not considered art. Artwork includes but is not limited to a painting, mural, inscription, stained glass, fiber work, statue, relief or sculpture, monument, fountain, arch, or other structures intended for ornament or commemoration. Also included in this definition is any installation that is technological in nature or includes carvings, murals, mosaics, mobiles, photographs, drawings, collages, prints, crafts, both decorative and can include clay, fiber, wood, metal, glass plastics, and other materials. Works of art shall be permanent.
- (2) Applicability: All development projects located within Entertainment Center Overlay District that is subject to a Design Review is required to provide Public Art or pay a public art fee.
- (3) Application Submittal Requirements. An Administrative Site Plan, Minor application is required for the installation of public art. The Administrative Site Plan, Minor application for the public art shall be submitted in conjunction with the Planning Entitlements to develop the site and completion of the

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

public art shall be completed prior to Certificate of Occupancy. As a part of the applications the following items shall be submitted:

- a. Landscape and/or site plans indicating the location and orientation of the on-site artwork that integrates the artwork into the overall project design;
- b. A sample, model, photograph or drawings of the proposed on-site artwork;
- c. Material samples and finishes if appropriate;
- d. The artist's resume and portfolio of past work, which demonstrates competency with the materials and forms proposed for the on-site artwork proposal;
- e. A written statement by the artist describing the on-site artwork, as well as a discussion of the manner in which the proposed on-site artwork meets the findings established by 30-663.9(6);
- f. A maintenance plan for the maintenance of the on-site artwork; and
- g. Any such additional information or material as may be required by the Planning Director.

**(4) Requirements for Public Art:**

- a. Planning Area 1 — Valley Boulevard and Sierra Avenue Areas. Artwork in Planning Area 1 is required to contribute to Fontana historical agricultural or steel mill (Henry J. Kaiser's) themes.
- b. Planning area 2 — Foothill Boulevard and Sierra Avenue and Planning area 3 — Foothill Boulevard and Cherry Avenue. Artwork in Planning areas 2 and 3 shall incorporate a Route 66 theme.
- c. Public art can incorporate elements that also serve a specific function (such as fencing, railing, lighting, or gates) but in order to be considered public art, they must be designed by a professional visual artist and custom fabricated for the site and visible from public views.
- d. Materials, structural and surface components that are inherently resistant to theft, vandalism, weathering, and excessive maintenance or repair costs shall be utilized.
- e. Location: Public art must be located in areas clearly visible from the public street or sidewalk, in publicly accessible outdoor areas, or public accessible lobby areas.

**(5) Disqualifying characteristics for Public Art:**

- a. Directional elements such as super graphics or signage are not allowed except where these elements are: integral parts of the original artwork, executed by the artist in unique or limited editions, contribute to a Route 66/Fontana theme as required in the Planning areas as required in Section 30-663.10 (3)a and b.

**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

- b. Artwork that incorporates the tenant/business logos, branding, images, text or other elements that relate directly to a specific business’s or organization’s branding or marketing themes is not permitted.
- c. Art objects which are mass-produced and of standard design such as playground equipment, trellises, or fountain pieces are not permitted.
- d. Decorative or functional elements which are designed by the building architect as opposed to an artist are not permitted.
- e. Landscape design except where it is designed by an artist and is integral part of the artwork are not permitted.
- f. Temporary art exhibitions are not permitted.

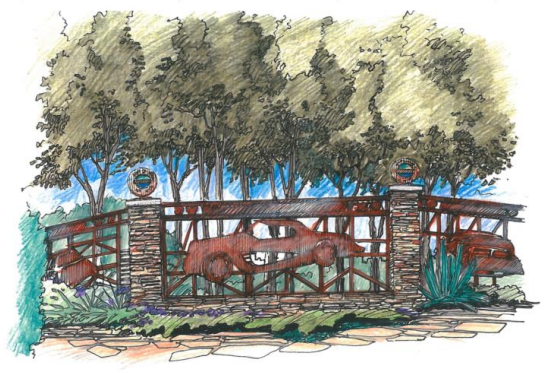
(6) Findings of Approval for Administrative Site Plan, Minor:

- a. The artist has demonstrated qualifications to complete the proposed on-site artwork with the highest professional standards.
- b. The artwork contributes to the themes and meetings the requirements of Sec. 30-663.9(4).
- c. There is sufficient public visibility and accessibility to the on-site artwork, and the proposed on-site artwork is compatible with and harmonious with the development project and surrounding environment.
- d. The proposed on-site artwork is durable and cost effective to maintain using ordinary methods of maintenance.
- e. The budget for the proposed on-site artwork and any in-lieu fees proposed by the applicant is equivalent to or exceeds the required program allocation.

(7) All property owners are responsible for maintaining the artwork in clean, undamaged condition for the lifetime of the artwork.

(8) Public art example:

a. **Figure 1:**



**“EXHIBIT A”**  
**AMENDMENT TO FONTANA MUNICIPAL CODE CHAPTER 30**  
**(Additions shown in underline, deletions shown in strikeout):**

**Sec. 30-727. Design principles.**

The following sign design principles shall be used as criteria for review and approval of design review sign applications by the responsible reviewing body:

- (1) *Architectural compatibility.* A sign (including its supporting structures, if any) shall be designed as an integral design element of a building's architecture and shall be architecturally compatible, including in terms of color and scale, with any building to which the sign is to be attached and with surrounding structures. Where more than one sign is provided, all signs shall be complementary to each other.
- (2) *Character context.* A sign shall be sensitive in context to nearby uses in terms of height, sign type, quality, and type of illumination, as well as other factors that may be defined by the Director of ~~Community Development Planning~~.
- (3) *Downtown character.* Where a sign is located within the boundaries of downtown, new signs shall contribute to an integrated appearance of the district. Character-defining treatments shall include:
  - a. Use of pedestrian-oriented projecting and suspended signs.
  - b. Use of floor inlay signs or graphic projection signs, which are allowed only in downtown.
  - c. Use of sign colors and materials that are coordinated with building architecture.
- (4) *Route 66 character.* ~~Where a sign is located on historic Route 66 (properties with frontage on Foothill Boulevard), new signs are encouraged to contribute to an integrated appearance of the district. Character-defining treatments shall include:~~ As part of the Design Review or Administrative Site Plan entitlement for development of properties located on the historic Route 66 (Foothill Boulevard), Route 66 themed signage shall be incorporated for one sign per property in the following locations:
  - Southeast Corner of Ilex Street and Foothill Boulevard
  - Properties at the intersection of Cherry Avenue and Foothill Boulevard
  - Properties north of the intersection of Beech Avenue and Foothill Boulevard
  - Properties at the intersection of Citrus Avenue and Foothill Boulevard
  - Properties at the intersection of Sierra Avenue and Foothill Boulevard
  - Properties at the intersection of Alder Avenue and Foothill Boulevard
  - Properties at the intersection of Maple Avenue and Foothill Boulevard

Character-defining treatments shall include:

- a. Sign design that is consistent with and reminiscent of historic Route 66 signage.
- b. Use of approved Route 66 logo on signs of at least 24 inches in height.
- c. Use of sign colors and materials that are coordinated with building architecture.
- d. Character-defining treatments can include Route 66 theme signage exceeding the maximum sign area, including height, with Planning Commission approval.

**"EXHIBIT A"**  
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**(Additions shown in underline, deletions shown in strikethrough):**



- (5) *Legibility.* Signs shall be designed to provide clear, legible information that indicates the proposed sign's purpose. The size and proportion of the elements of the sign's message—including logos, letters, icons and other graphic images—shall be selected based on the average distance and average travel speed of the viewer. Sign messages oriented toward pedestrians shall be smaller than those oriented toward motor vehicle drivers.
- (6) *Readability.* A sign message shall be easily recognized and designed in a clear, unambiguous, and concise manner so that a viewer can understand or make sense of what appears on the sign. Colors chosen for the sign text and/or graphics shall have sufficient contrast with the sign background to be easily read during both day and night.
- (7) *Visibility.* A sign shall be readily distinguishable from its surroundings so a viewer can easily see the information it communicates.
- (8) *Graphic interest.* Sign colors and materials shall be selected to contribute to legibility and design integrity.



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0082

**Agenda #:** C.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

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**FROM:**

Management Services

**SUBJECT:**

2025-2026 Statement of Investment Policy

**RECOMMENDATION:**

Adopt the City of Fontana Statement of Investment Policy for Fiscal Year 2025-2026.

**COUNCIL GOALS:**

- To create a team by working together to provide stability and consistent policy direction.

**DISCUSSION:**

The City of Fontana Statement of Investment Policy (Policy) requires an annual review and adoption by the City Council. The Policy was last updated in July 2024. The Policy is being presented at this time to ensure that the requirements of the Policy are consistent throughout the fiscal year. The Policy has been certified by the Association of Public Treasurers of the United States and Canada (APT US&C).

There are some minor changes being proposed to the policy including the following:

- Frequency of reporting will be changed from monthly to quarterly.
- Additional language clarification, as needed:
  - Section I - Prudent Person Rule definition update.
  - Section II - Internal Control - update language for clarity.
  - Section III - Selection of Eligible Financial Institutions - add language to require the investment advisor to provide the City with advance written notice of the engagement or termination of a broker dealer prior to conducting transactions.
  - Section III - Safekeeping and Custody - update language for clarification on role of safekeeping agent.
  - Section IV - Update language for clarity.
- Minimum quality credit requirement for California/State/Local Agency Bonds updated to A and its equivalent.
- Update benchmark to ICE BofA 1-5 Year US Government and Corporate Index which is more appropriate to the mix of eligible bond types per CA 53601.

The Investment Review Committee will meet quarterly to discuss the status of current investments, strategies for future investments, and other matters deemed relevant. Additionally, upon approval of this item, the Authorized Investment Officers will be as follows:

Authorized Investment Officers:

City Manager

Chief Financial Officer/Deputy City Treasurer

Deputy Finance Officer

Revenue and Operations Manager

Accounting Manager

**FISCAL IMPACT:**

None.

**MOTION:**

Approve staff recommendation.

# **CITY OF FONTANA**

## **STATEMENT OF INVESTMENT POLICY 2025-2026**

**Certified by the Association of Public Treasurers of the  
United States and Canada (APT US&C)**

**Prepared by the Finance Department Lisa Conlon,  
Revenue Operations Manager  
Reviewed and Approved by  
Janet Koehler-Brooks, City Treasurer**



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## **I. OVERVIEW**

### **INTRODUCTION**

The purpose of this document is to provide guidelines for the prudent investment of the unexpended cash in the City's treasury and outline policies for maximizing the efficiency of the City's cash management system. The ultimate goal is to enhance the economic status of the City while protecting its pooled cash.

### **SCOPE**

Included in the scope of the City's investment policy Funds excluded from this policy include proceeds of debt issuance, retirement/pension funds and deferred compensation funds, and pension or other post-employment benefit funds held in a trust are the following major guidelines and practices which are to be used in achieving the City's primary investment objectives:

- ❖ Investment Authority and Responsibilities
- ❖ Eligible Financial Institutions
- ❖ Authorized Investments
- ❖ Investment Maturities
- ❖ Cash Management
- ❖ Evaluation of Investment Performance
- ❖ Investment Reporting
- ❖ Investment Policy Review and Adoption

It is intended that this policy cover all funds and investment activities under the direct authority of the City. These funds are accounted for in the City's Comprehensive Annual Financial Report (CAFR) and include the general fund, special revenue funds, debt service funds, capital project funds, enterprise funds, internal service funds and agency funds.

### **OBJECTIVES**

The City's cash management system is designed to accurately monitor and forecast expenditures and revenues, thus enabling the City to invest funds to the fullest extent possible. The City attempts to obtain the highest **yield** obtainable as long as investments meet the criteria established for **safety** and **liquidity**.

Criteria for selecting investments in the order of priority are:

1. **Safety.** The safety and risk associated with an investment refers to the potential loss of principal, interest, or a combination of these amounts. The City shall invest in a manner that seeks to avoid capital losses resulting from institution default or the erosion of market value.
2. **Liquidity.** This refers to the ability to convert an investment into cash with a minimal risk of losing some portion of principal or interest. Liquidity is an important investment quality, especially when the need for unexpected funds occurs occasionally.
3. **Yield.** Yield is the potential dollar earnings an investment can provide and becomes a consideration only after the basic requirements of safety and liquidity have been met.

Portfolio diversification in terms of maturity, instrument types and issuer help minimize the overall risk while maximizing the market rate of return. Therefore, the portfolio should consist of a mix of various types of securities, issuers and maturities as long as the selection and retention are prudent. Occasional measured losses are inevitable and must be considered within the context of the overall portfolio's investment return, provided that adequate diversification has been implemented.

The City operates its pooled cash investments under the "Prudent Investor Standard" described in California Government Code §53600.3 as follows:

*"Except as provided in subdivision (a) of Section 27000.3, all governing bodies of local agencies or persons authorized to make investment decisions on behalf of those local agencies investing public funds pursuant to this chapter are trustees and therefore fiduciaries subject to the prudent investor standard. When investing, reinvesting, purchasing, acquiring, exchanging, selling, or managing public funds, a trustee shall act with care, skill, prudence, and diligence under the circumstances then prevailing, including, but not limited to, the general economic conditions and the anticipated needs of the agency, that a prudent person acting in a like capacity and familiarity with those matters would use in the conduct of funds of a like character and with like aims, to safeguard the principal and maintain the liquidity needs of the agency. Within the limitations of this section and considering individual investments as part of an overall strategy, investments may be acquired as authorized by law."*

All participants in the investment process shall act as custodians of the public trust. Investment officials shall recognize that the investment portfolio is subject to public review and evaluation. The overall program shall be designed and managed with a degree of professionalism that is worthy of the public trust.

## **II. INVESTMENT AUTHORITY AND RESPONSIBILITIES**

### **AUTHORIZED INVESTMENT OFFICERS**

Cash management and investment transactions are the responsibility of the Chief Financial Officer or designee. The City Council has authorized the following officials to undertake investment transactions on behalf of the City:

City Manager  
Chief Financial Officer/Deputy City Treasurer  
Deputy Finance Officer  
Accounting Manager  
Revenue Operations Manager

Daily portfolio management responsibilities have been delegated to the Chief Financial Officer/Deputy City Treasurer.

The City may retain the services of an outside investment advisor or manager as approved by the City Council to assist with the City's investment program who shall retain full liability for and make all investment decisions and transactions in strict accordance with State Law, this Policy and such other written instructions as are provided.

### **INVESTMENT REVIEW COMMITTEE**

At least quarterly, the Investment Review Committee, consisting of the City Treasurer, Chief Financial Officer/Deputy City Treasurer, Deputy Finance Officer, Accounting Manager and Revenue Operations Manager shall meet with the investment advisor or manager to discuss the status of current investments, strategies for future investments, and other matters deemed relevant, and shall report to the City Council as necessary.

### **INVESTMENT PROCEDURES**

The Chief Financial Officer/Deputy City Treasurer has established investment procedures which:

- ❖ Adhere to the Statement of Investment Policy
- ❖ Prioritize safety and liquidity
- ❖ Determine risk and optimizes return
- ❖ Provide for a system of due diligence in making investment decisions.

In order to accomplish these goals, a "Model" investment portfolio has been designed to provide the strategic framework for supervising and reporting on the investment portfolio.

The model was developed according to this policy's maturity guidelines and is used to facilitate decisions regarding security transactions. Each security selection recommended by the investment advisor or manager shall be designed to move the actual portfolio toward the model portfolio without taking any immediate losses.

No person authorized to conduct investment transactions (including investment advisor or manager) shall engage in an investment transaction except as provided under the terms of this policy and the procedures established by the Chief Financial Officer/Deputy City Treasurer.

All investments selected under this policy, including any investments in foreign securities or currency, must be held with a financial institution that is subject to the jurisdiction of the laws and courts of the United States.

### **INTERNAL CONTROL**

The Finance Department is responsible for ensuring compliance with the City's investment policy as well as for establishing systems of internal control designed to monitor the activities of any appointed investment advisor or manager, so as to prevent loss due to fraud, employee error, misrepresentation by third parties, unanticipated changes in financial markets, or imprudent actions by the investment advisor or manager, city officers and employees. Timely bank reconciliations are conducted to ensure proper handling of all transactions.

An independent analysis by an external auditor shall be conducted annually to review internal control and compliance with policies and procedures. The Finance Department shall promptly review and eliminate any material weaknesses or significant deficiencies not considered to be material weaknesses that are identified in the City's latest audit report.

### **CONFLICTS OF INTEREST**

The City adopts the following policy concerning conflicts of interest:

1. Officers, investment advisor(s) or manager(s), and employees involved in the investment process shall not conduct personal business activity that could conflict with proper execution of the investment program, or which could impair their ability to make impartial investment decisions.
2. Officers, investment advisor(s) or manager(s), and employees involved in the investment process shall disclose to the City Clerk any material financial interests in financial institutions that conduct business with the City of Fontana, and they shall further disclose any large personal financial/investment positions that could be related to the performance of the City's portfolio.

### III. ELIGIBLE FINANCIAL INSTITUTIONS

#### **SELECTION OF ELIGIBLE FINANCIAL INSTITUTIONS**

In selecting financial institutions for deposit or investment of funds, the Finance Department shall consider the creditworthiness of the institution.

1. Deposits. The City will only deposit funds with an institution that has a rating of at least "A" as assigned by an established rating service based on quarterly financial information provided by the Federal Reserve Board and the Federal Home Loan Bank Board (i.e., The Financial Directory). Ratings will be monitored on a quarterly basis and any downgrade in rating below "A" will be reported to the Investment Review Committee together with a recommendation for possible action.
2. Brokers/Dealers. Investments must be purchased directly from the issuer, from an institution licensed by the state as a broker-dealer, from a member of a federally regulated securities exchange, or from a brokerage firm designated as a primary government dealer by the Federal Reserve Bank.

All financial institutions which desire to do business with the City must supply the Finance Department with the following:

- ❖ Completed broker/ dealer questionnaire including certification that the financial institution has reviewed and will comply with the City's Statement of Investment Policy and applicable California Government Code sections and that it will exercise due diligence in informing the City of all foreseeable risks associated with financial transactions conducted with the firm.
- ❖ Certified financial statements.
- ❖ Resumé of the primary representative who will be dealing with the City.

The Deputy City Treasurer shall review the information submitted and designate the institution as either eligible or ineligible for City investment transactions. The City will only do business with those institutions designated as "eligible"; however, an "eligible" designation does not guarantee that the City will do business with that institution.

A current audited financial report prepared by an independent certified public accountant shall be submitted to the City annually within six (6) months after the end of the institution's fiscal year in order for the institution to remain on the "eligible" list. Within the context of the City's policies regarding portfolio limitations, investment transactions shall be distributed as evenly as possible between financial institutions.

If the City has an investment advisor, the investment advisor may use its own list of authorized broker/dealers to conduct transactions on behalf of the City. The advisor shall make available its list of authorized broker/dealers to City staff upon request and shall provide the City with advance written notice regarding its engagement or termination of any broker/dealer.

### **SAFEKEEPING AND CUSTODY**

The City shall enter into an agreement with a bank trust department or regulated financial services company providing trust services to serve as the safekeeping agent for all direct investments. The safekeeping agent shall hold all investments in an account for the sole benefit of the City.

All security transactions, including collateral requirements, shall be conducted on a delivery-versus-payment (DVP) basis. Securities will be held by a third-party custodian and evidenced by safekeeping receipts.

## **IV. AUTHORIZED INVESTMENTS**

### **INVESTMENT TYPES**

Investment of City funds is governed by the California Government Code Sections 16429.1 and 53601. Investments may not have a term or maturity at the time of investment of longer than that authorized by Section 53601 or five (5) years (measured by settlement date) unless the City Council has granted express authority, no less than three (3) months prior to the investment, for a specific investment to exceed such limit.

It should be noted that while the Government Code specifies the maximum percentage of the portfolio which may be held in each type of investment at any one time, fluctuations in the portfolio balance will prevent strict adherence to such restrictions. Therefore, percentage limitations shall apply to investments at the time of purchase. The City will diversify its investments by security type and institution.

Within the context of the State limitations, the following investments are authorized subject to the Due Diligence Requirement on page 18:

#### **1. State Treasurer's Local Agency Investment Fund (LAIF)**

Government Code Section 16429.1: Pursuant to LAIF policy, local government agencies are authorized to invest in this program administered by the California State Treasurer. Monies invested with LAIF are pooled with State monies in order to earn the maximum rate of return consistent with safe and prudent treasury management. A thorough investigation of the pool is required on a continual basis.

#### **2. U.S. Treasury Obligations**

Government Code Section 53601(b): U.S. Treasury Notes or other indebtedness secured by the full faith and credit of the federal government.

#### **3. U.S. Government Securities**

Government Code Section 53601(f): Federal agency or United States government-sponsored enterprise obligations, participations, or other instruments, including those issued by or fully guaranteed as to principal and interest by federal agencies of the United States government-sponsored enterprises.

**4. California State, California State, California Local Government Agencies, and other United States State Bonds**

Government Code Sections 53601(c) through (e): Up to twenty percent (20%) of the City's portfolio may be invested in this category having at the time of investment a minimum "AA" or its rating equivalent or better by an NRSRO. This category includes:

- ❖ Registered state warrants or treasury notes or bonds of the State of California, including bonds payable solely out of the revenues from a revenue-producing property owned, controlled or operated by the state or by a department, board, agency, or authority of the state.
- ❖ Registered treasury notes or bonds of any of the other forty-nine (49) states in addition to California, including bonds payable solely out of the revenues from a revenue-producing property owned, controlled, or operated by a state or by a department, board, agency, or authority of any of the other forty-nine (49) states, in addition to California.
- ❖ Bonds, notes, warrants, or other evidence of indebtedness of a local agency within the State of California, including bonds payable solely out of the revenues from a revenue-producing property owned, controlled, or operated by the local agency, or by a department, board, agency, or authority of the local agency.

**5. Bankers Acceptances**

Government Code Section 53601(g): Up to forty percent (40%) of the City's portfolio may be invested in Bankers Acceptances which are defined as bills of exchange or time drafts, drawn on and accepted by a commercial bank, which are eligible for purchase by the Federal Reserve System, although no more than thirty percent (30%) of the portfolio may be invested in Bankers Acceptances with any one commercial bank. Additionally, the maturity period cannot exceed one hundred eighty (180) days.

**6. Commercial Paper**

Government Code Section 53601(h): Up to twenty-five percent (25%) of the City's portfolio may be invested in "Prime" commercial paper as rated by a nationally recognized statistical-rating organization (NRSRO). Issuing corporations must be organized and operating in the United States, have five hundred million dollars (\$500,000,000) total assets, and have at least an "A" rating by an NRSRO on debt other than commercial paper. No more than ten percent (10%) of the portfolio may be invested in the commercial paper and medium-term notes of any single issuer. The maturity period cannot exceed two hundred seventy (270) days.

**7. Negotiable Certificates of Deposit**

Government Code Section 53601(i): Up to thirty percent (30%) of the City's portfolio may be invested in Negotiable Certificates of Deposit issued by a nationally or state-chartered bank or a state or federal association or by a state-licensed branch of a foreign bank. These securities shall be rated in a ratings category of "A" or its equivalent or better by an NRSRO.

**8. Medium-Term Notes**

Government Code Section 53601(k): Defined as all corporate and depository institution debt securities with a maximum remaining maturity of five (5) years or less (measured by settlement date), issued by corporations organized and operating within the United States or by depository institutions licensed by the United States or any state and operating within the United States. Notes eligible for investment under this subdivision must be rated in a rating category of "A" or its equivalent or better by an NRSRO. No more than ten percent (10%) of the portfolio may be invested in the commercial paper and medium-term notes of any single issuer. Up to thirty percent (30%) of the City's portfolio may be so invested.

**9. Mortgage or Asset-Backed Securities (ABS)**

Government Code Section 53601(o): Up to twenty percent (20%) of the City's portfolio may be invested in mortgage pass-through securities, collateralized mortgage obligations, mortgage-backed or other pay-through bonds, equipment lease-backed certificates, consumer receivable passthrough certificates, or consumer receivable-backed bonds. Securities eligible for investment under this subdivision shall be rated in a rating category of "AA" or its equivalent or better by an NRSRO and have a maximum remaining maturity of five years or less measured on a weighted average life (WAL) basis.

**10. Supranational Obligations**

Government Code Section 53601(q): Defined as United States dollar denominated senior unsecured unsubordinated obligations issued or unconditionally guaranteed by the International Bank for Reconstruction and Development, International Finance Corporation, or Inter-American Development Bank, and eligible for purchase and sale within the United States. These securities shall be rated in a ratings category of "AA" or its equivalent or better by an NRSRO. Purchases of supranationals shall not exceed thirty percent (30%) of the City's portfolio nor exceed a five (5)-year term.

## **11. Non-Negotiable Certificates of Deposit**

Government Code Section 53635: There is no limit as to the amount of the investment portfolio that may be deposited in certificates of deposit, however diversification is an element of fiduciary standard and will be kept in mind when determining how much of the investment portfolio is deposited in certificates of deposit.

California law requires that public funds be collateralized. The depository must secure its public fund accounts by maintaining with the agent of the depository government securities having a market value of at least one hundred ten percent (110%) of the value of the public fund accounts. If a depository uses mortgage-backed securities (i.e., promissory notes secured by first mortgages or first deeds of trust) as collateral for public deposits, the market value of the mortgage-backed securities must be at least one hundred fifty percent (150%) of the value of the public fund accounts.

The collateralization requirement may be waived to the extent that funds are federally insured (currently up to \$250,000 per institution). For deposits equivalent to the maximum insured amount, security may also be waived for interest accrued on the deposit provided the interest is computed by the depository on the average daily balance of the deposits, paid monthly and computed on a three hundred sixty (360)-day basis.

## **12. Money Market Mutual Funds**

Government Code Sections 53601(l) & 53601.6(b): Shares of beneficial interest issued by diversified management companies that are money market funds registered with the Securities and Exchange Commission under the Investment Company Act of 1940 (15 U.S.C. Sec. 80a-1, et seq.).

To be eligible for investment pursuant to this subdivision these companies will either:

- a. Attain the highest-ranking letter or numerical rating provided by not less than two (2) of the three (3) largest NRSRO or
- b. Have an investment advisor registered or exempt from registration with the Securities and Exchange Commission with not less than five (5) years' experience managing money market mutual funds and with assets under management in excess of five hundred million dollars (\$500,000,000).

Up to twenty percent (20%) of the City's portfolio, based on purchase price, may be invested in money market mutual funds.

### 13. Joint Powers Authority Pools

Government Code Section 53601(p): Shares of beneficial interest issued by a joint powers authority organized pursuant to Government Code Section 6509.7 that invests in the securities and obligations authorized in subdivisions (a) to (q) of Government Code Section 53601, inclusive. Each share will represent an equal proportional interest in the underlying pool of securities owned by the joint powers authority. To be eligible under this section, the joint powers authority issuing the shares will have retained an investment adviser that meets all of the following criteria:

- a. The adviser is registered or exempt from registration with the Securities and Exchange Commission.
- b. The adviser has not less than five (5) years of experience investing in the securities and obligations authorized in subdivisions (a) to (q) California Government Code Section 53601, inclusive.
- c. The adviser has assets under management in excess of five hundred million dollars (\$500,000,000).

There is no limit as to the amount of the investment portfolio that may be invested in joint powers authority pools.

It is the current practice of the City of Fontana to invest in the following types of securities. In order to avoid the risks associated with investing in unfamiliar instruments, any new type of security allowed by the State of California but not listed below must be approved by the Investment Review Committee prior to the investment of City funds.

The portfolio can invest in 144A-registered securities.

Also, while not expressly prohibited by State law, unregistered securities, such as **Rule 144A** securities, may not be purchased by local agencies that do not meet the threshold of five million dollars (\$5,000,000) investments and one hundred million dollars (\$100,000,000) in securities. On August 26, 2020, the Securities and Exchange Commission expanded the definition of Qualified Institutional Buyers (QIB)<sup>2</sup> to include any institution that qualifies as an accredited investor under Rule 501(a) under the Securities Act that are not otherwise stated in the definition of “qualified institutional buyer” provided they satisfy the one hundred million dollars (\$100,000,000) threshold.

Investment Type	Maximum Maturity	Maximum % of Portfolio	Minimum Quality Requirements	Government Code Section
State Treasurer's Local Agency Investment Fund (LAIF)	5 years	LAIF maximum per account	N/A	16429.1
U.S. Government Securities	5 years	None	None	53601(b) 53601(f)
California State, California Local Government Agencies, and other United States State Bonds	5 years	100%	"A" rating category or its equivalent or better	53601(c) 53601(d) 53601(e)
Bankers Acceptances	180 days	40%	None	53601(g)
Commercial Paper	270 days	25% (10% with one issuer)*	A-1 or higher	53601(h)
Negotiable Certificates of Deposit	5 years	30%	None	53601(i)
Medium-Term Notes	5 years	30% (10% with one issuer)*	"A" rating category or its equivalent or better	53601(k)
Pass-Through Securities	5 years	20%	"AA" rating category or its equivalent or better	53601(o)
Supranational Obligations	5 years	30%	"AA" rating category or its equivalent or better	53601(q)
Certificates of Deposit	5 years	None	None	53635
Money Market Mutual Funds	N/A	20%	Highest Ranking at least two ratings agencies	53601(l) & 53601.6(b)
Joint Powers Authority Pools	N/A	None	Minimum \$500M in assets and 5 years of experience	53601(p)

\*Commercial paper and medium-term notes are combined to determine the 10% limit per issuer.

### **DUE DILIGENCE REQUIREMENT**

As stated the Chief Financial Officer/Deputy City Treasurer, as assisted by an investment advisor or manager, shall make a thorough investigation of an investment pool or mutual fund prior investing funds and on a continual basis. At a minimum, the following information shall be on file for each pool and/or mutual fund:

1. A description of eligible investment securities, and a written statement of investment policy and objectives.
2. A description of interest calculations, how interest is distributed, and how gains and losses are treated.
3. A description of how the securities are safeguarded (including the settlement processes), and how often the securities are priced and the program audited.
4. A description of who may invest in the program, how often, and the size of deposits and withdrawals.
5. A schedule for receiving statements and portfolio listings.
6. Whether reserves, retained earnings, etc. are utilized by the pool/fund.
7. A fee schedule, and when and how fees are assessed.
8. Whether the pool/fund is eligible for bond proceeds and/or will it accept such proceeds.

### **PROHIBITED INVESTMENTS**

In compliance with Government Code Section 53631.5, the City of Fontana shall not invest in inverse floaters, range notes, or interest-only strips that are derived from a pool of mortgages. Additionally, the City shall not invest in any security that could result in zero interest accrual if held to maturity.

The City does not participate in any form of portfolio leverage, including but not limited to securities lending programs, reverse repurchase agreements and margin accounts.

### **DERIVATIVE INVESTMENTS**

Derivatives are investments whose value is “derived” from or based upon the value of other assets or on the level of an interest rate index. The City of Fontana does not invest in derivative products.

### **LEGISLATIVE CHANGES**

Any State of California legislative action that further restricts allowable maturities, investment types or percentage allocations will be incorporated into the City of Fontana Statement of Investment Policy and supersede any and all previous applicable language. If the City is holding an investment that is subsequently prohibited by a legislative change, the City may hold that investment, if it is deemed prudent by the Investment Review Committee, until the maturity date to avoid an unnecessary loss.

## **INVESTMENT MATURITIES**

In order to minimize the impact of market risk, while maximizing the investment rate of return, it is intended that all investments will be held to maturity. In order to implement this policy, the following guidelines will be used:

1. Liquidity. Approximately ten percent (10%) of the portfolio shall be held in short-term investments (less than twelve months) as insufficient liquidity could cause the premature sale of a security at a price below the original investment cost.
2. Weighted Average Life. The weighted average life (WAL) of the portfolio should not exceed two and one-half (2-1/2) years.
3. Duration. The target duration of the portfolio shall be two (2) years.
4. Diversification of Maturities. Projected cash flow requirements are the primary factor to be used in determining investment maturity terms. After cash flow needs have been met, yield considerations will be the next factor used in determining maturity terms, with the expectation that longer maturity periods will generally yield greater returns. However, the City will diversify its investments by maturity in order to avoid over concentration (in excess of 25%) in a specific maturity sector.
5. Sale of Securities. Investments may be sold prior to maturity for cash flow or appreciation purposes. However, no investment shall be made based solely on earnings anticipated from capital gains.
6. Maximum Maturity. As previously stated, the maximum maturity term of any investment shall not exceed five (5) years (measured by settlement date or Weighted Average Life) unless recommended by an investment advisor or manager, and prior express authority from Council has been granted.

## **V. CASH MANAGEMENT**

In order to obtain a reasonable return on public funds, the following cash management practices will be followed:

1. Maintain maximum investment of all City funds not required to meet immediate cash flow needs.
2. Pool cash from all City administered funds for investment purposes with interest earnings allocated monthly based on the average cash balance of each fund at month end as a percentage of the entire pooled portfolio.
3. Maximize the City's cash flow through immediate deposit of all cash receipts, use of direct deposit when available, and appropriate timing of payment to vendors.
4. Maximize cash flow information available through the use of only one operating bank account.

## **VI. EVALUATION OF INVESTMENT PERFORMANCE**

The investment portfolio shall be managed using a passive style; market timing shall be ignored, and the focus instead shall be on obtaining a market average rate of return during budgetary and economic cycles, taking into account the City's investment risk constraints and cash flow needs. Investments shall be managed at the portfolio level, not at the level of the individual securities.

### **BENCHMARK COMPARISON**

The investment portfolio shall be structured to optimize the return given the risk constraints and cash flow needs.

Investment performance shall be continually monitored and evaluated by the Investment Review Committee. Investment performance statistics and activity reports shall be generated on a monthly basis for presentation to the City Council.

For reporting purposes, the portfolio's monthly rate of return shall be compared to the ICE BofA 1-5 Year US Government and Corporate Index .

## **VII. INVESTMENT REPORTING**

The Finance Department shall prepare and submit a monthly investment report to the City Council.

The Monthly Investment Report shall be available approximately thirty (30) days after the end of the monthly reporting period, or as soon as the information is available, online on the City's website and included in the Quarterly Budget Report.

## **VIII. INVESTMENT POLICY REVIEW AND ADOPTION**

This Statement of Investment Policy shall be submitted annually to the City Council for review and adoption in either May or June for the Fiscal period beginning the following July. The policy shall be reviewed at least annually to ensure its consistency with the overall objectives of the City and its relevance to current law and financial and economic trends. Any modifications made thereto must be approved by the City Council.

## **IX. GLOSSARY**

**AGENCIES:** Federal agency securities.

**BROKER:** A broker brings buyers and sellers together for a commission paid by the initiator of the transaction or by both sides.

**COLLATERAL:** This includes, but is not limited to securities pledged by a bank to secure deposits of public monies.

**COMPREHENSIVE ANNUAL FINANCIAL REPORT (CAFR):** The official annual report for the city.

**CERTIFICATES OF DEPOSIT (CD):** A time deposit with a specific maturity evidenced by a certificate. Large-denomination CD's are typically negotiable.

**COMMERCIAL PAPER (CP):** Short-term, negotiable, unsecured promissory notes.

**COUPON:** The annual rate of interest that a bond's issuer promises to pay the bondholder on the bond's face value.

**DELIVERY VERSUS PAYMENT (DVP):** Delivery of securities with an exchange of money for the securities.

**DERIVATIVE PRODUCTS:** Financial instruments whose own value is "derived" from or based upon the value of other assets or on the level of an interest rate index. These instruments often have complex structures with option-like features.

**DISCOUNT:** The difference between the cost price of a security and its value at maturity when quoted at lower than face value.

**DISCOUNT SECURITIES:** Non-interest bearing money market instruments that are issued at a discount and redeemed at maturity for full face value, e.g., U.S. Treasury Bills.

**DIVERSIFICATION:** Dividing investment funds among a variety of securities offering independent returns.

**DURATION:** A measure of the timing of the cash flows to be received from a given fixed income security. The duration of a security is a useful indicator of its price volatility for given changes in interest rates.

**FEDERAL AGENCY SECURITIES (AGENCIES):** Discount and coupon obligations of the federal agencies established by Congress to provide credit to specific sectors of the economy.

**FEDERAL DEPOSIT INSURANCE CORPORATION (FDIC):** A federal agency that insures bank deposits currently up to \$100,000 per deposit.

**FEDERAL HOME LOAN BANKS (FHLB):** The institutions that regulate and lend to savings and loan associations.

**FEDERAL NATIONAL MORTGAGE ASSOCIATION (FNMA):** A federal corporation working under the auspices of the Department of Housing and Urban Development (HUD). FNMA securities are highly liquid and widely accepted. FNMA assumes and guarantees that all security holders will receive timely payment of principal and interest.

**GOVERNMENT NATIONAL MORTGAGE ASSOCIATION (GNMA):** Securities are backed by FHA, VA or FMHM mortgages. Security holder is protected by full faith and credit of the U.S. Government.

**LIQUIDITY:** A liquid asset is one that can be converted easily and rapidly into cash without a substantial loss of value.

**LOCAL AGENCY INVESTMENT FUND (LAIF):** Investment program administered by the California State Treasurer where monies invested are pooled with State monies to earn the maximum rate of return consistent with safe and prudent treasury management.

**MARKET VALUE:** The price at which a security is trading and could presumably be purchased or sold.

**MASTER REPURCHASE AGREEMENT:** A written contract covering all future transactions between the parties to repurchase agreements that establishes each party's rights in the transactions. A master agreement will often specify, among other things, the right of the buyer to liquidate the underlying securities in the event of default by the seller.

**MATURITY:** The date upon which the principal or stated value of an investment becomes due and payable.

**MEDIUM-TERM NOTES:** All corporate and depository institution debt securities with a maximum remaining maturity of five years or less, issued by corporations organized and operating within the United States or by depository institutions licensed by the United States or any state and operating within the United States.

**MONEY MARKET:** The market in which short-term debt instruments (bills, commercial paper, bankers' acceptances, etc.) are issued and traded. For this purpose, bankers'

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acceptance means one or more time draft(s) for which a bank has committed to making the payment to the holder at maturity.

**MONEY MARKET MUTUAL FUND:** A type of fixed income mutual fund that invests in debt securities characterized by their short maturities and minimal credit risk.

**MORTGAGE PASS-THROUGH SECURITIES:** A security created when one or more mortgage holders form a pool of mortgages and sells shares or participation certificates in the pool. The cash flow from the collateral pool is “passed through” to the security holder as monthly payments of principal, interest and prepayments.

**MUTUAL FUNDS:** Open-end professionally managed investment fund that pools money from many investors to purchase securities.

**NEGOTIABLE CERTIFICATES OF DEPOSIT:** CDs with a minimum face value of \$100,000 that can be traded in a highly-liquid secondary market.

**NRSRO:** Nationally Recognized Statistical Rating Organization, a credit rating agency approved by the U.S. Securities and Exchange Commission (SEC) to provide information that financial firms must rely on for regulatory purposes. The top firms including Moody’s Investor Services, Standard and Poor’s and Fitch Group.

**PORTFOLIO:** Collection of securities held by an investor.

**PRUDENT PERSON RULE:** The standard of care to be used under this policy, whereby investments shall be made with the exercise of that degree of judgment and care, under circumstances then prevailing, which persons of prudence, discretion and intelligence exercise in the management of their own affairs, not for speculation but for investment considering the probable safety of their capital as well as the probable income to be derived.

**PRIMARY DEALER:** A group of government securities dealers that submit daily reports of market activity and positions and monthly financial statements to the Federal Reserve Bank of New York and are subject to its informal oversight. Primary dealers include Securities and Exchange Commission (SEC) registered securities broker-dealers, banks, and a few unregulated firms.

**RATE OF RETURN:** The yield obtainable on a security based on its purchase price or its current market price. This may be the amortized yield to maturity on a bond or the current income return.

**REPURCHASE AGREEMENT (REPO):** A holder of securities sells these securities to an investor with an agreement to repurchase them at a fixed price on a fixed date.

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**SAFEKEEPING:** A service to customers rendered by banks for a fee whereby securities and valuables of all types and descriptions are held in the bank's vaults for protection.

**SECONDARY MARKET:** A market made for the purchase and sale of outstanding issues following the initial distribution.

**SECURITIES AND EXCHANGE COMMISSION (SEC):** Agency created by Congress to protect investors in securities transactions by administering securities legislation.

**SUPRANATIONAL OBLIGATIONS:** United States dollar denominated senior unsecured unsubordinated obligations issued or unconditionally guaranteed by the International Bank for Reconstruction and Development, International Finance Corporation, or Inter-American Development Bank, and eligible for purchase and sale within the United States.

**TREASURY BILLS:** A non-interest bearing discount security issued by the U.S. Treasury to finance the national debt. Most bills are issued to mature in three months, six months, or one year.

**TREASURY BOND:** Long-term U.S. Treasury securities having initial maturities of more than ten years.

**TREASURY NOTES:** Intermediate term coupon bearing U.S. Treasury securities having initial maturities of from one to ten years.

**YIELD:** The rate of annual income return on an investment expressed as a percentage. **Income Yield** is obtained by dividing the current dollar income by the current market price for the security. **Yield to Maturity** is the current income yield minus any premium above par or plus any discount from par in purchase price, with the adjustment spread over the period from the date of purchase to the date of maturity of the bond.



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0190

**Agenda #:** D.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

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**FROM:**

Engineering

**SUBJECT:**

Award a Task Order for Geotechnical Engineering and Materials Testing Services for the 2024-2025 programmed Citywide Pavement Rehabilitation Projects (Request for Proposals DE-24-195-SQ-02)

**RECOMMENDATION:**

1. Award and authorize the City Manager to execute a Task Order in the amount of \$136,850.00 with Geocon West, Inc. for the 2024-2025 programmed Citywide Pavement Rehabilitation Projects (Request for Proposals DE-24-195-SQ-02).
2. Approve and authorize the City Manager to execute any future amendments to the Task Order in the amount not to exceed \$30,000.

**COUNCIL GOALS:**

- To invest in the City's infrastructure (streets, sewers, parks, etc.) by maintaining and improving the city's existing infrastructure.
- To invest in the City's infrastructure (streets, sewers, parks, etc.) by focusing on relief of traffic congestion.

**DISCUSSION:**

The 2024-2025 programmed Citywide Pavement Rehabilitation Projects include asphalt mill and overlay, full depth removal and replacement, and ADA curb ramp upgrades.

Staff released a request for proposals (RFP) for Geotechnical Engineering and Materials Testing Services to the firms that are on the city's pre-qualified Engineering List (DE-24-195-SQ) by notifying firms through the City's online bid system. Two (2) prospective bidders downloaded the RFP documents. On April 10, 2025, a proposal was received from one (1) firm interested in providing Geotechnical Engineering and Materials Testing Services for the project. The proposal cost is \$136,850.00.

As a result, staff is recommending the award of the Task Order to Geocon West, Inc. for Geotechnical Engineering and Materials Testing Services based on being the best value to the City.

**FISCAL IMPACT:**

The fiscal impact associated with the approval of this item is \$136,850.00 for the full term of the project and is included in the 2024-25 budget in Pavement Rehabilitation Projects #37600027, #37600028, and #37600077.

**MOTION:**

Approve staff recommendation.

Bid Results

Bidder Details

Vendor Name	Geocon West, Inc.
Address	24711 Redlands Blvd Loma Linda, California 92354 United States
Respondee	Neal Berliner, GE
Respondee Title	President
Phone	951-304-2300
Email	berliner@geoconinc.com
Vendor Type	
License #	
CADIR	

Bid Detail

Bid Format	Electronic
Submitted	04/10/2025 1:45 PM (PDT)
Delivery Method	
Bid Responsive	
Bid Status	Submitted
Confirmation #	423828
Ranking	0

Respondee Comment

Buyer Comment

Attachments

File Title	File Name	File Type
Geocon_Fontana DE-24-195-SQ-02 Citywide Pvmnt Rehab_r.pdf	Geocon_Fontana DE-24-195-SQ-02 Citywide Pvmnt Rehab_r.pdf	Response File

Subcontractors

No Subcontractors

Line Items

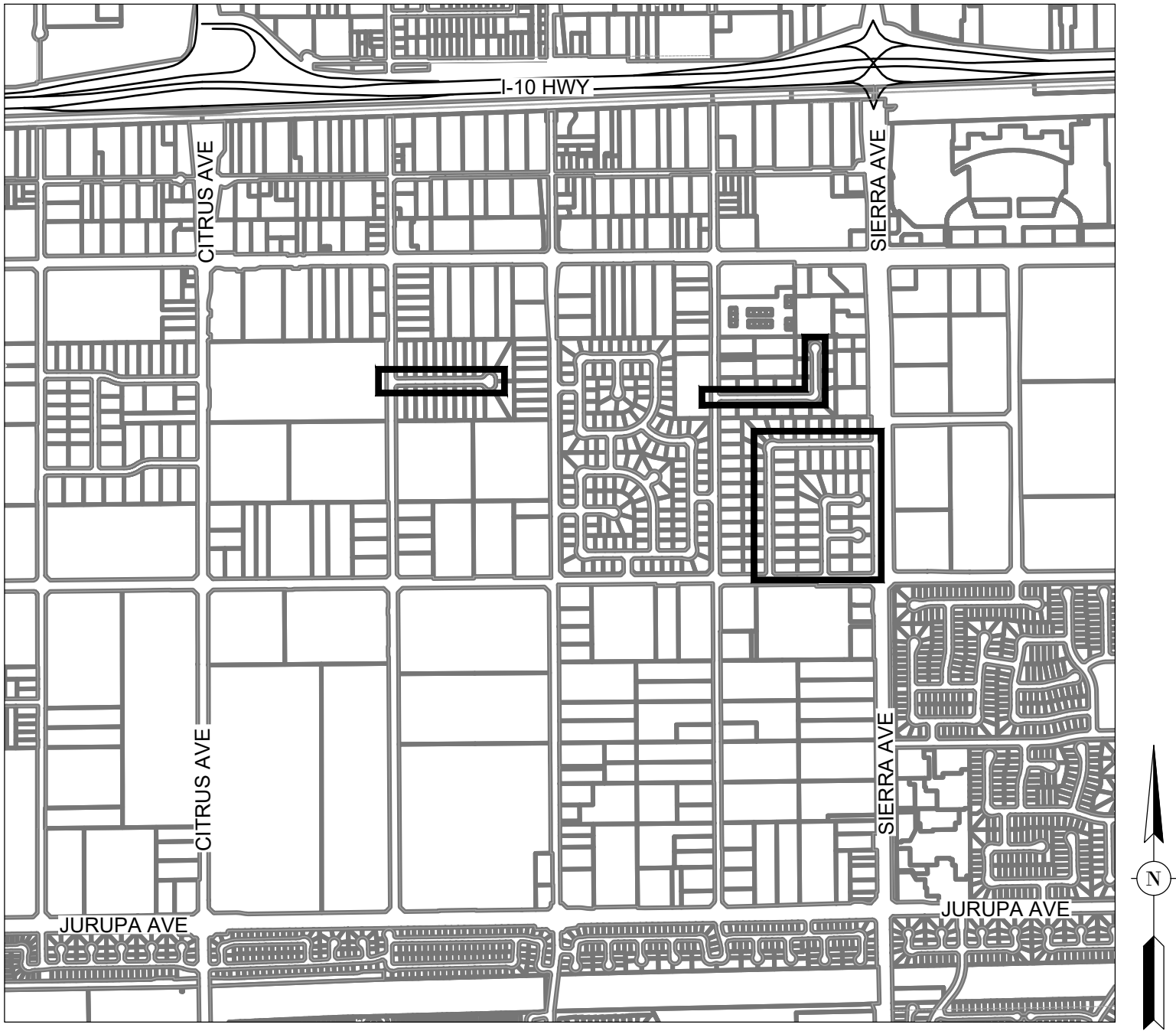
Discount Terms    No Discount

Item #	Item Code	Type	Item Description	UOM	QTY	Unit Price	Line Total	Response	Comment
PORTLAND CEMENT CONCRETE (EXCLUDES SIGNAL POLE FOUNDATIONS)							\$84,000.0000		
1			Sampling of Fresh Portland Cement Concrete (Required when performing the following tests: ASTM C143, C173, C231, C138, C191, C266, CT515, CT530)	HR	10	\$8,400.0000	\$84,000.0000	Yes	See proposal for full breakdown.
ASPHALT CONCRETE PAVEMENT							\$41,100.0000		
2			HVEEM Stability Test (S-Value) of Asphalt Concrete	EA	30	\$350.0000	\$10,500.0000	Yes	
3			Combined Aggregate Gradation of Asphalt Concrete (AC)	EA	30	\$250.0000	\$7,500.0000	Yes	
4			Asphalt Binder Content/ Gradation	EA	30	\$320.0000	\$9,600.0000	Yes	
5			Asphalt Concrete (AC) Field Density Test	HR	300	\$20.0000	\$6,000.0000	Yes	
6			Asphalt Concrete (AC) Lab Density Test	EA	30	\$250.0000	\$7,500.0000	Yes	
SUBGRADE							\$4,650.0000		
7			Field Density/Relative Compaction of Native or CMB	HR	300	\$15.5000	\$4,650.0000	Yes	
OFFICE							\$7,100.0000		
8			Project Management	LS	1	\$4,700.0000	\$4,700.0000	Yes	
9			Prepare Test Results Summary Report (Separate from onsite summary report)	LS	1	\$2,400.0000	\$2,400.0000	Yes	

Line Item Subtotals

Section Title	Line Total
PORTLAND CEMENT CONCRETE (EXCLUDES SIGNAL POLE FOUNDATIONS)	\$84,000.0000
ASPHALT CONCRETE PAVEMENT	\$41,100.0000
SUBGRADE	\$4,650.0000
OFFICE	\$7,100.0000
Grand Total	\$136,850.0000

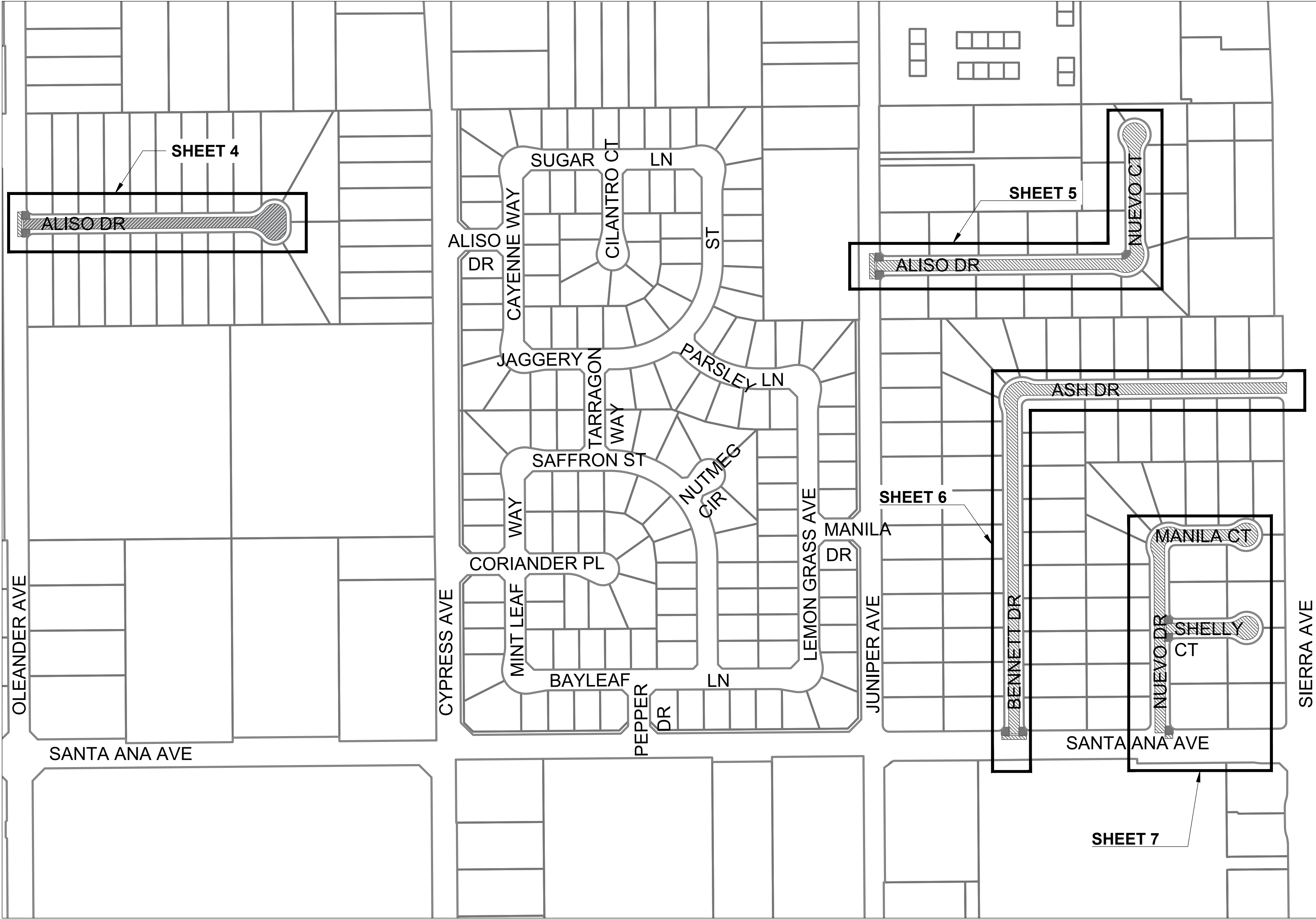
CITY OF FONTANA  
SCHEDULE 1: GRID MAP 47  
PAVEMENT REHABILITATION



VICINITY MAP  
N.T.S.

SHEET INDEX:

- 1. TITLE SHEET
- 2. GENERAL NOTES
- 3. TYPICAL SECTIONS
- 4. CONSTRUCTION SHEET - ALISO DR
- 5. CONSTRUCTION SHEET - ALISO DR & NUEVO CT
- 6. CONSTRUCTION SHEET - BENNETT DR & ASH DR
- 7. CONSTRUCTION SHEET - NUEVO DR, SHELLEY CT, MANILA CT



INDEX MAP  
N.T.S.



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



Prepared Under The Supervision Of :

Jeffrey Kim  
JEFFREY KIM  
R.C.E. 63106  
Date : 1/21/25

CITY OF FONTANA, CALIFORNIA  
STREET IMPROVEMENT PLAN

DRAWN BY: CR	DESIGNED BY: CR	CHECKED BY: TR / SM	APPROVED BY: GIA LAM KIM CITY ENGINEER	DATE: 1/22/25 R.C.E. 62296	SCALE: AS SHOWN DATE: 1/14/25 DRAWING NO.: 6438 1/7
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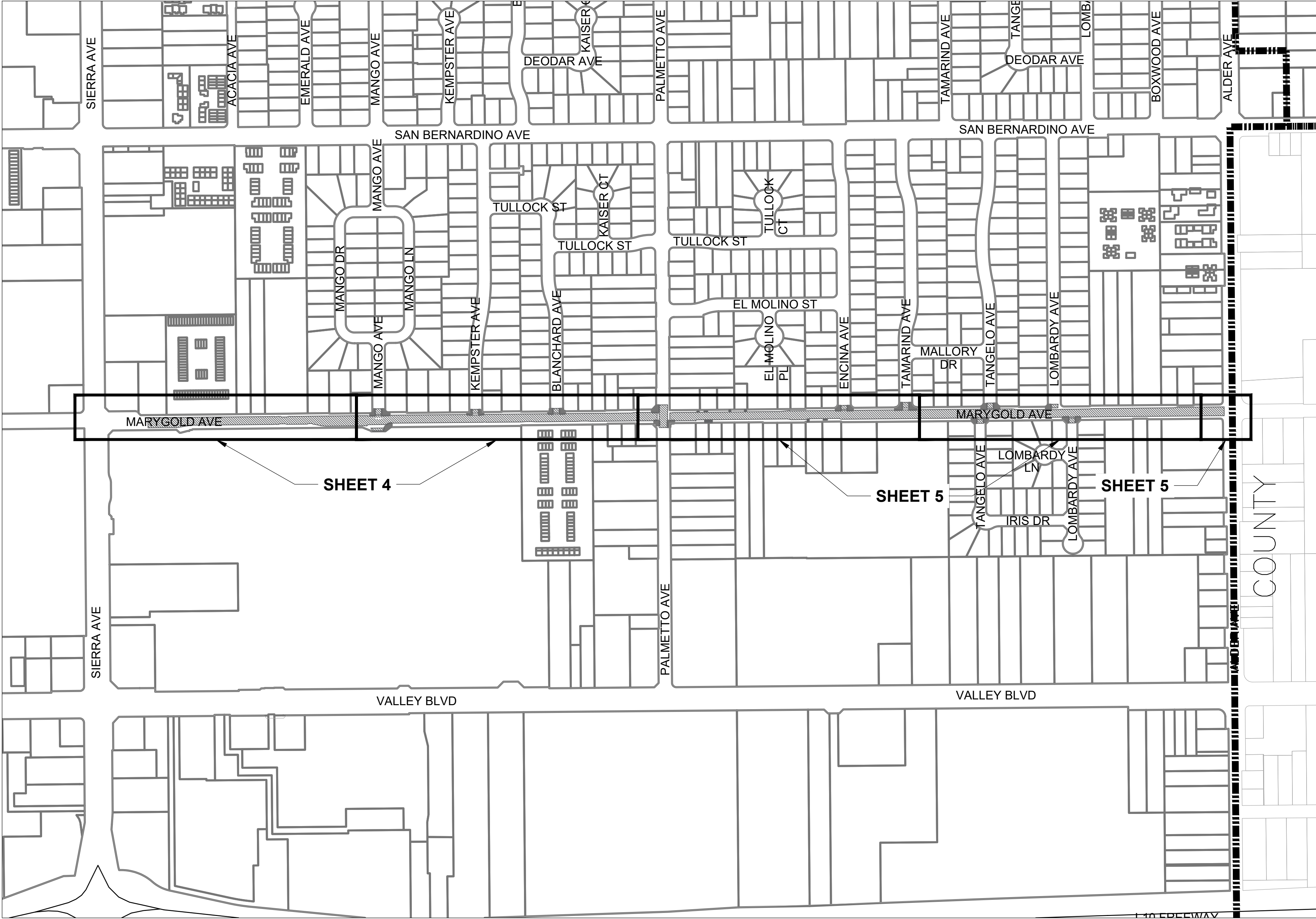
CITY OF FONTANA  
SCHEDULE 5: MARYGOLD AVE  
PAVEMENT REHABILITATION  
FROM SIERRA AVE TO ALDER AVE



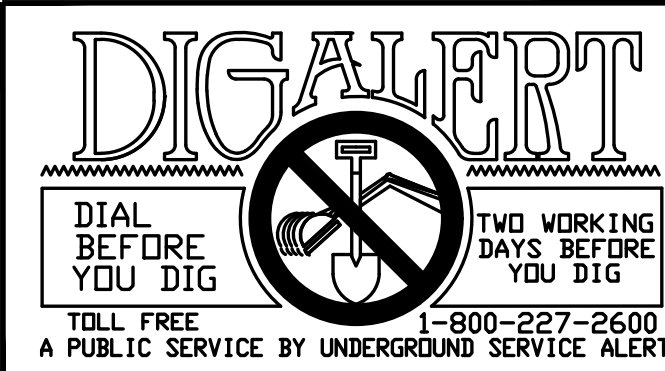
**VICINITY MAP**  
N.T.S.

SHEET INDEX:

- 1. TITLE SHEET
- 2. GENERAL NOTES
- 3. TYPICAL SECTIONS
- 4. CONSTRUCTION SHEET - PHASE 1 MARYGOLD AVE
- 5. CONSTRUCTION SHEET - PHASE 1 MARYGOLD AVE
- 6. CONSTRUCTION SHEET - PHASE 2 MARYGOLD AVE
- 7. CONSTRUCTION SHEET - PHASE 2 MARYGOLD AVE



**INDEX MAP**  
N.T.S.



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.

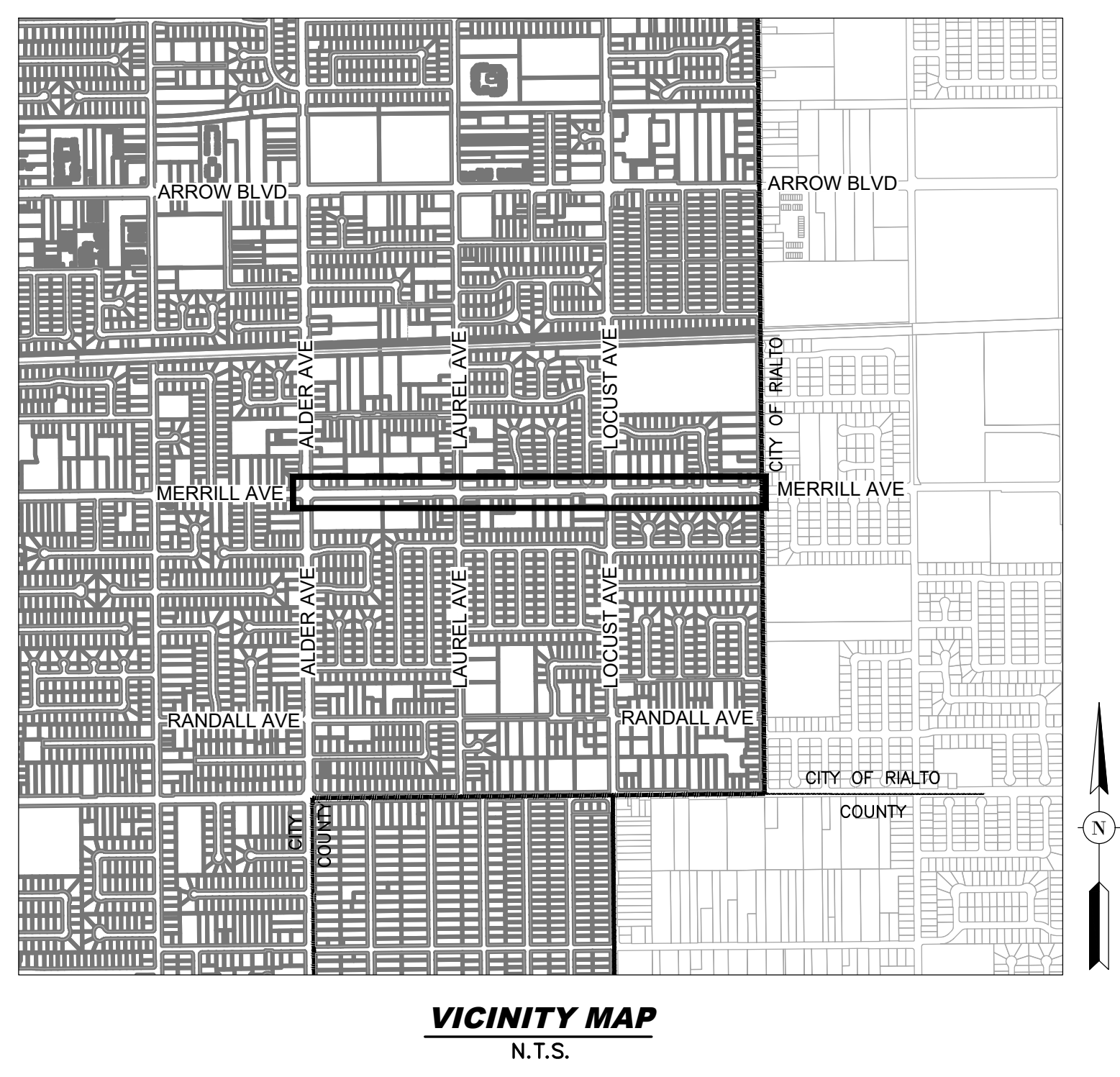


Prepared Under The Supervision Of :

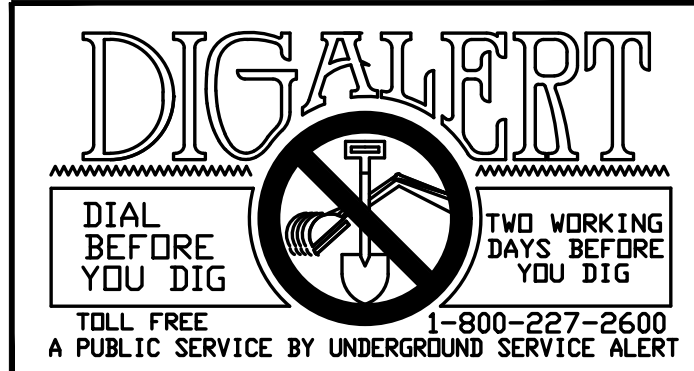
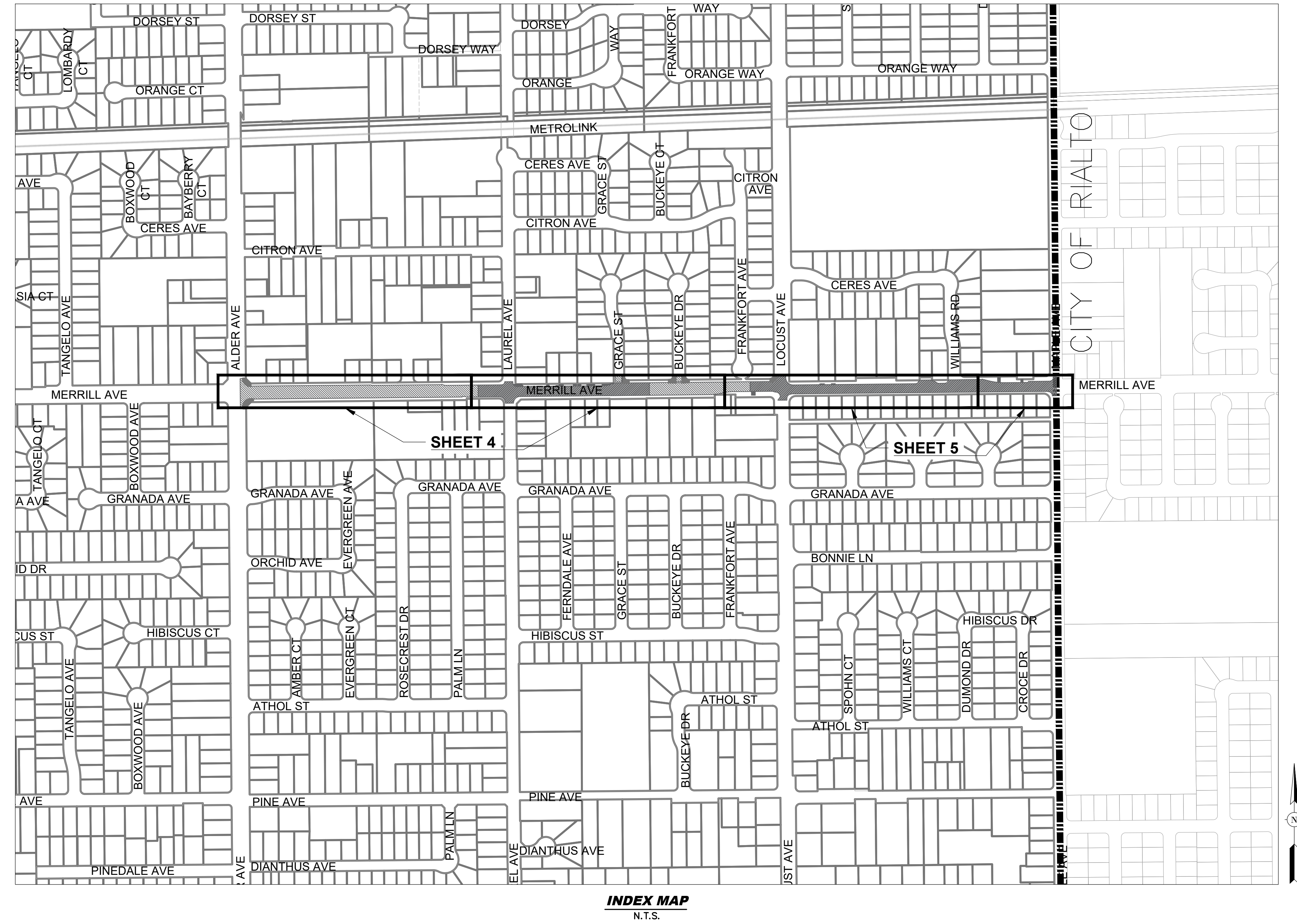
JEFFREY KIM  
R.C.E. 63106

CITY OF FONTANA, CALIFORNIA			
STREET IMPROVEMENT PLAN			
DRAWN BY: CR	SCHEDULE 5: MARYGOLD AVE PAVEMENT REHABILITATION		SCALE: AS SHOWN
DESIGNED BY: CR	TITLE SHEET		DATE: 1/16/25
CHECKED BY: TR /SM	APPROVED BY: GIA LAM KIM CITY ENGINEER	DATE: 1/22/25 R.C.E. 62296	DRAWING NO.: 6460

CITY OF FONTANA  
SCHEDULE 3: MERRILL AVE  
PAVEMENT REHABILITATION  
FROM ALDER AVE TO MAPLE AVE



- SHEET INDEX:
- 1. TITLE SHEET
  - 2. GENERAL NOTES
  - 3. TYPICAL SECTIONS
  - 4. CONSTRUCTION SHEET - MERRILL AVE
  - 5. CONSTRUCTION SHEET - MERRILL AVE



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

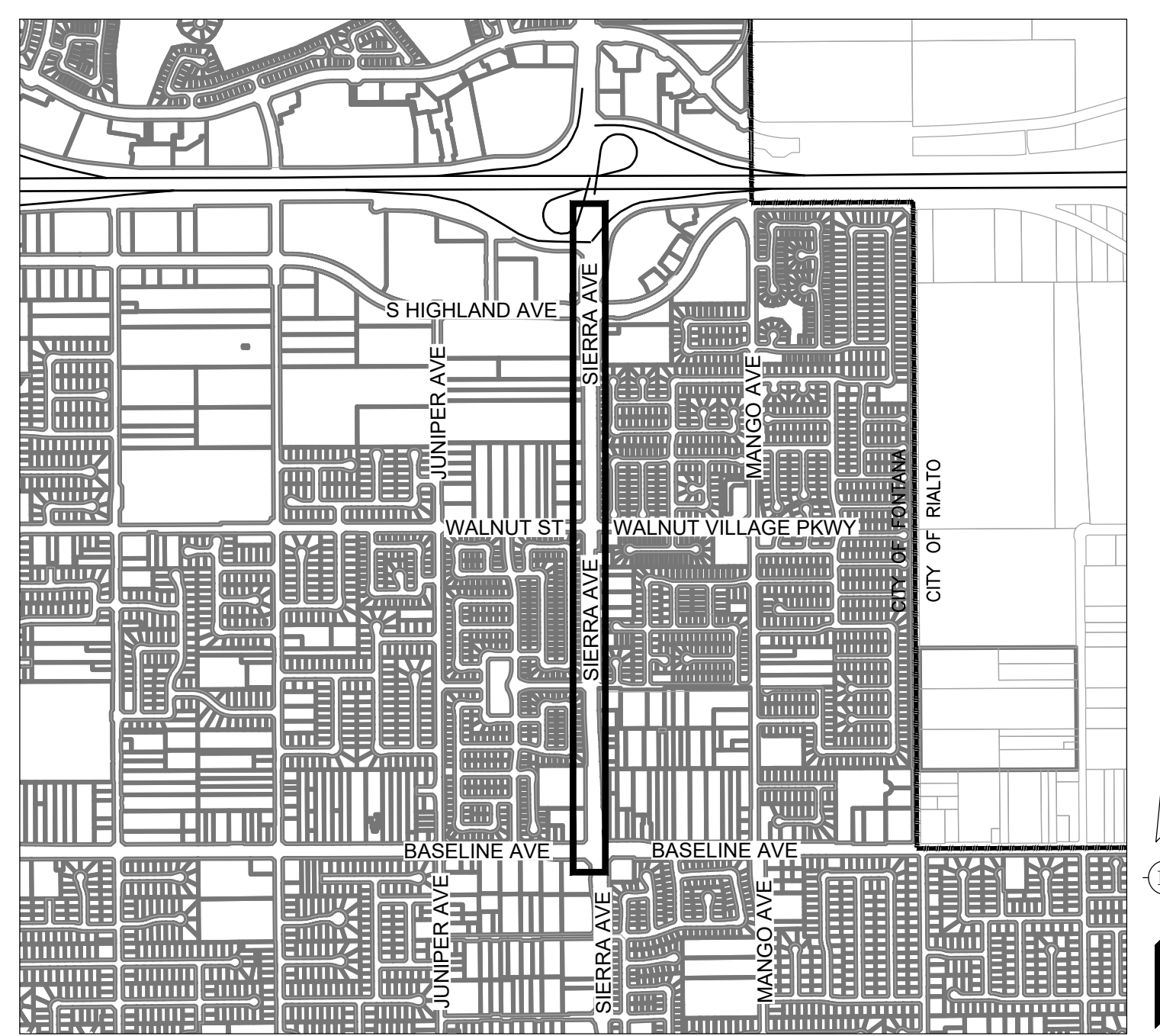
SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



Prepared Under The Supervision Of :  
*Jeffrey Kim*  
JEFFREY KIM  
Date : 1/21/25  
R.C.E. 63106

CITY OF FONTANA, CALIFORNIA STREET IMPROVEMENT PLAN			
DRAWN BY: CR	SCHEDULE 3: MERRILL AVE PAVEMENT REHABILITATION TITLE SHEET		SCALE: AS SHOWN
DESIGNED BY: CR	DATE: 1/16/25		DRAWING NO.: 6439
CHECKED BY: TR / SM	APPROVED BY: <i>Gia Lam Kim</i> GIA LAM KIM CITY ENGINEER	DATE: 1/22/25 R.C.E. 62296	DRAWING NO.: 6439

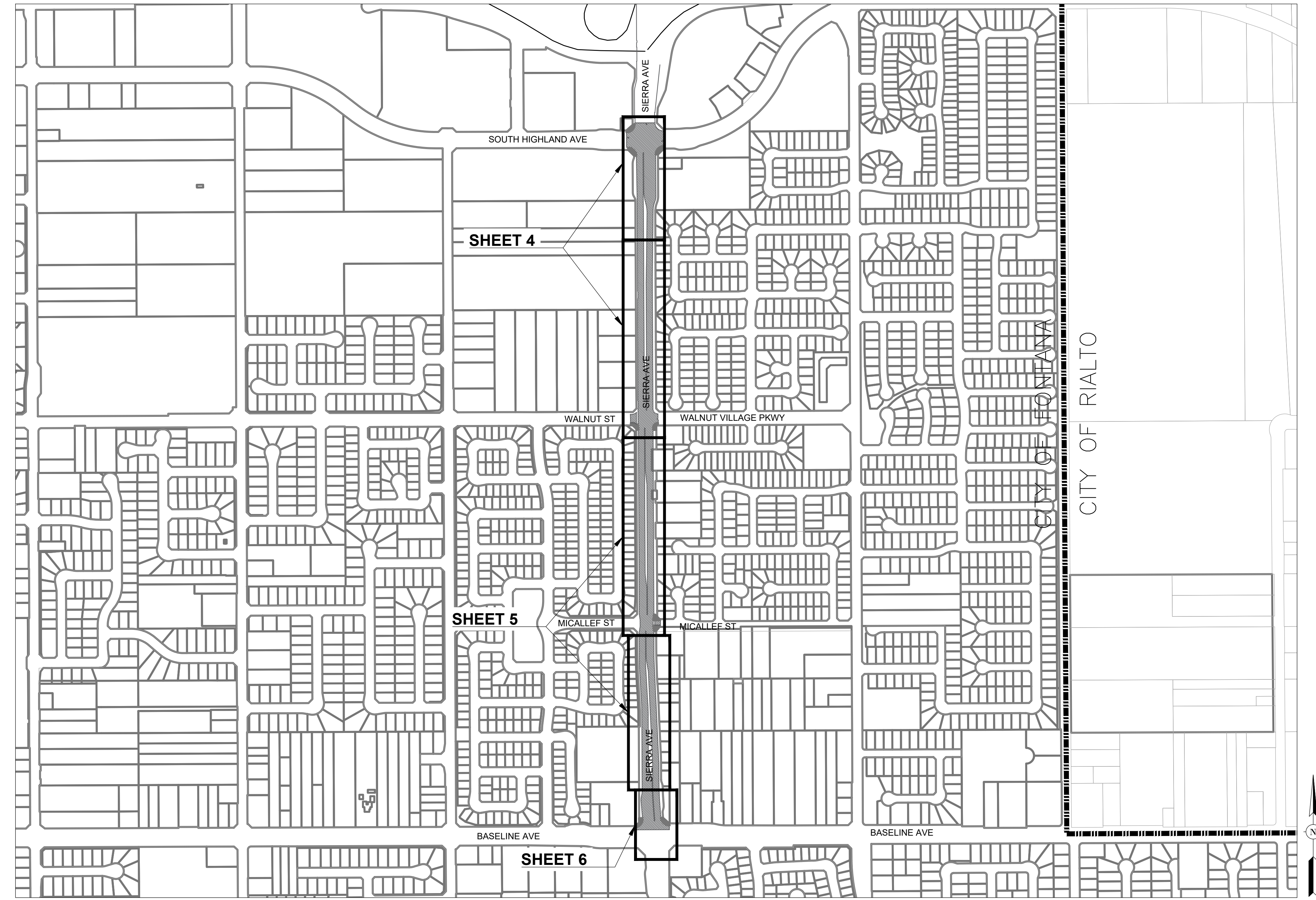
CITY OF FONTANA  
SCHEDULE 4: SIERRA AVE  
PAVEMENT REHABILITATION  
FROM BASELINE AVE TO HIGHLAND AVE



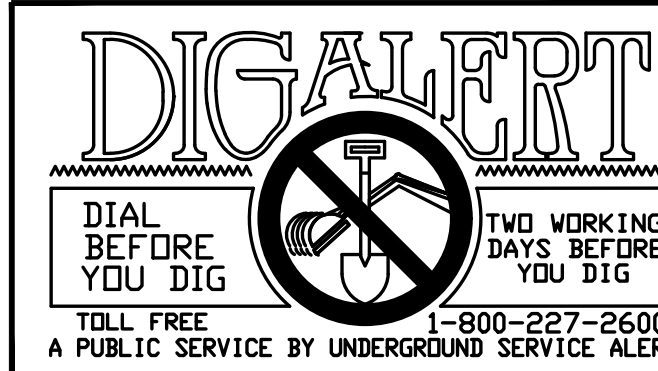
VICINITY MAP  
N.T.S.

SHEET INDEX:

- 1. TITLE SHEET
- 2. GENERAL NOTES
- 3. TYPICAL SECTIONS
- 4. CONSTRUCTION SHEET - SIERRA AVE
- 5. CONSTRUCTION SHEET - SIERRA AVE
- 6. CONSTRUCTION SHEET - SIERRA AVE



INDEX MAP  
N.T.S.



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

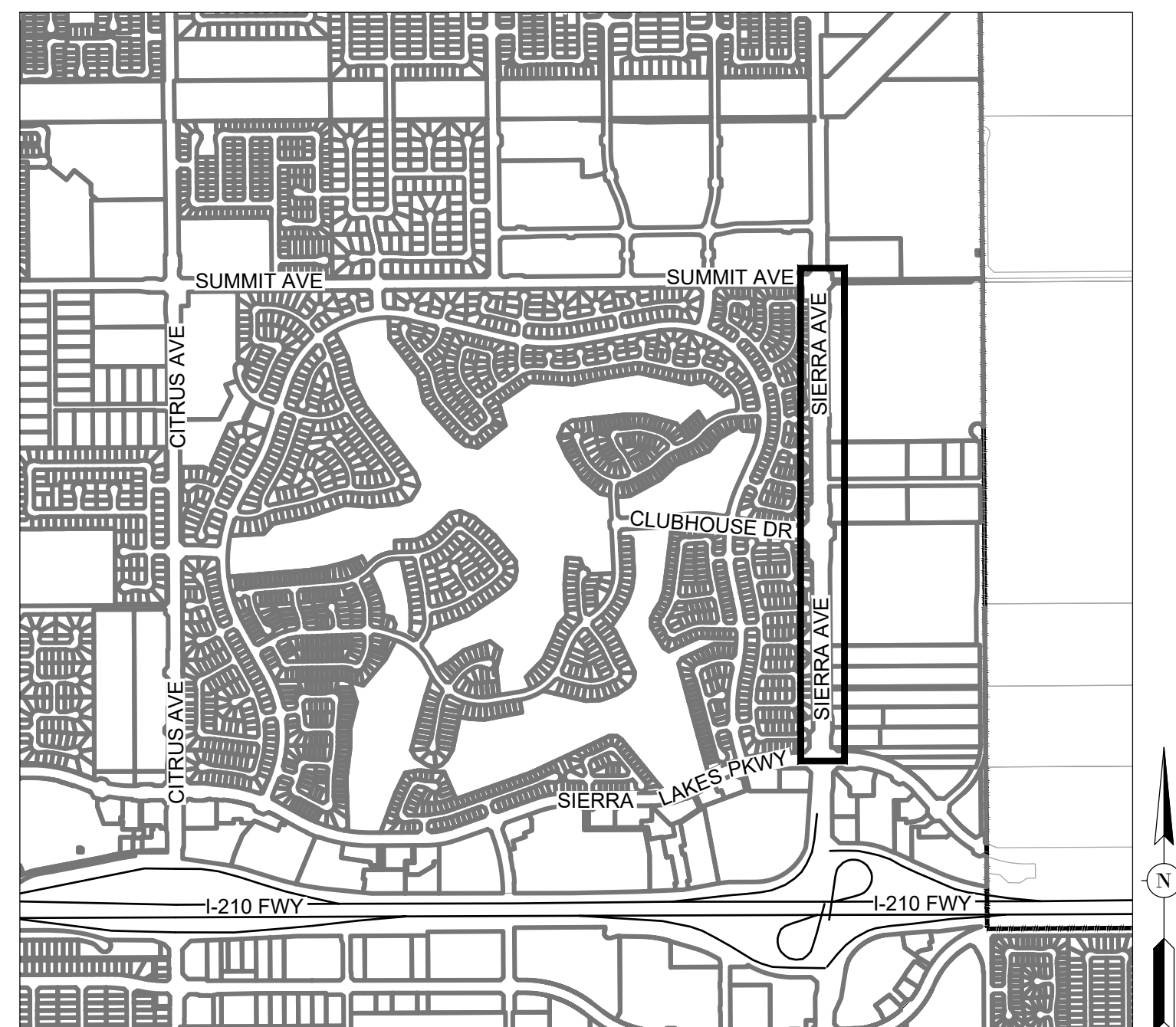
SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



Prepared Under The Supervision Of :  
  
JEFFREY KIM  
R.C.E. 63106  
Date : 1/21/25

CITY OF FONTANA, CALIFORNIA STREET IMPROVEMENT PLAN			
DRAWN BY: CR	SCHEDULE 4: SIERRA AVE PAVEMENT REHABILITATION TITLE SHEET	SCALE: AS SHOWN	DRAWING NO.: 6454
DESIGNED BY: CR		DATE: 1/16/25	
CHECKED BY: TR / SM	APPROVED BY: GIA LAM KIM CITY ENGINEER	DATE: 1/22/25 R.C.E. 62296	1/6

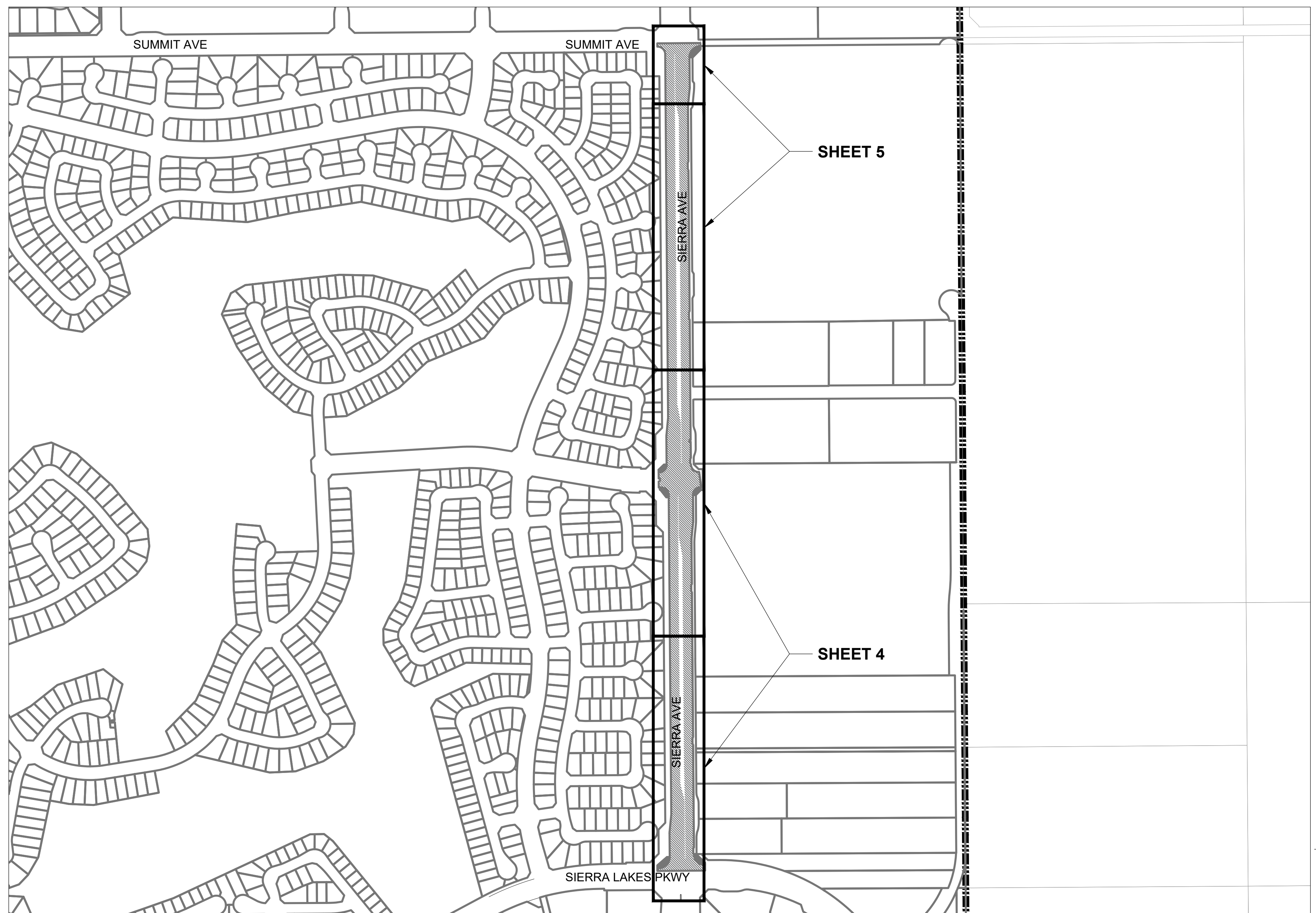
CITY OF FONTANA  
SCHEDULE 2: SIERRA AVE  
PAVEMENT REHABILITATION  
FROM SUMMIT AVE TO SIERRA LAKES PKWY



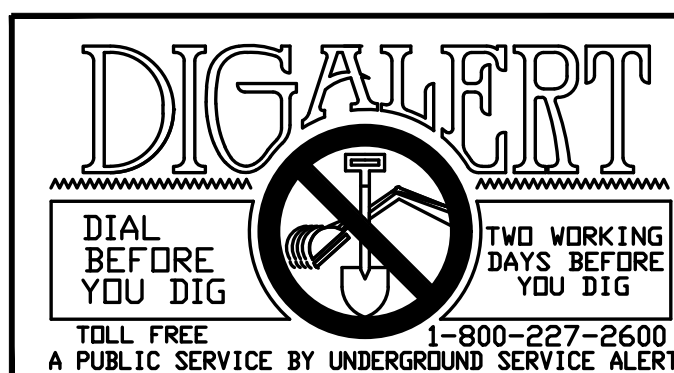
**VICINITY MAP**  
N.T.S.

SHEET INDEX:

1. TITLE SHEET
2. GENERAL NOTES
3. TYPICAL SECTIONS
4. CONSTRUCTION SHEET - SIERRA AVE
5. CONSTRUCTION SHEET - SIERRA AVE

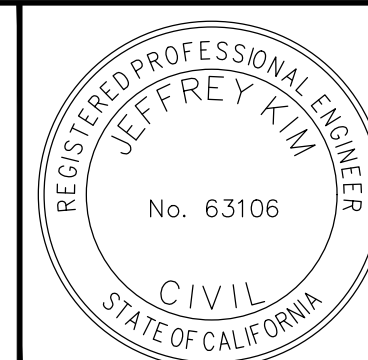


**INDEX MAP**  
N.T.S.



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH STANDARDS IN EFFECT.



Prepared Under The Supervision Of :

*Jeffrey Kim*  
JEFFREY KIM  
R.C.E. 63106

Date : 1/21/25

CITY OF FONTANA, CALIFORNIA			
STREET IMPROVEMENT PLAN			
DRAWN BY: CR	SCHEDULE 2: SIERRA AVE PAVEMENT REHABILITATION TITLE SHEET	SCALE: AS SHOWN	DRAWING NO.: 6441
DESIGNED BY: CR		DATE: 1/16/25	
CHECKED BY: TR / SM	APPROVED BY: <i>Gia Lam Kim</i> GIA LAM KIM CITY ENGINEER	DATE: 1/22/25 R.C.E. 62296	1/5



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

**File #:** 25-0200

**Agenda #:** E.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

#### **FROM:**

Development Services

#### **SUBJECT:**

Approval to Purchase a Mulch Blower and Trailer to Support SB 1383 Procurement Requirements

#### **RECOMMENDATION:**

1. Authorize the Purchasing Division to procure a mulch blower and trailer utilizing the Purchasing Policy and Procedure Manual 3.1.5 Non-Competitive Proposal - Purchase by Another Agency.
2. Authorize to use the Sourcewell contract #070821-FNN to purchase the Finn mulch blower and trailer from authorized dealer Clairemont Equipment, Fontana, CA in the amount of \$154,874.34 plus applicable sales tax.

#### **COUNCIL GOALS:**

- Enhance the local environment for future generations and create a healthy economic and environmental future by implementing sustainable landscaping.
- Enhance the local environment for future generations and create a healthy economic and environmental future by promoting programs that encourage reducing Green House Gas emissions.
- Invest in the City's infrastructure (streets, sewers, parks, etc.) by improving the aesthetics of the community through code enforcement, street sweeping, and landscape maintenance.

#### **DISCUSSION:**

SB 1383, effective January 2022, mandates that Jurisdictions procure annual targets of recovered organic waste products, including compost and mulch, to support California's goals in reducing methane emissions and diverting organic waste from landfills. The City of Fontana is required to demonstrate compliance with the procurement targets based on its population and CalRecycle's assigned per capita procurement rates.

To meet targets, the City has increased the use of recycled organic products, such as mulch and compost, in public spaces. However, the current manual and small-scale application methods limit the City's ability to effectively utilize the volume of material required for compliance.

To improve efficiency and scalability, staff recommends the purchase of a mulch blower and trailer unit. A mulch blower allows for uniform distribution of mulch across large areas, reducing labor hours and ensuring consistent coverage. This equipment will be utilized by the Public Works, Parks and Landscape Division for city parks, and other landscaping in public areas.

Per the City's Purchasing Policies and Procedures Manual, Section 3.1.5 Non-Competitive Proposal may be used when a product is being purchased when the product being required was awarded a bid by another agency at the same price offered to the City of Fontana. The purchase will be made through Clairmont Equipment Company, and utilizes Sourcewell, to ensure competitive pricing.

**FISCAL IMPACT:**

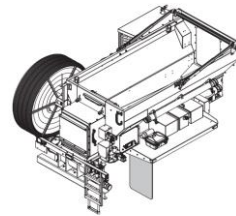
The fiscal impact for the purchase of the mulch blower and trailer is \$166,877.10. Funding is included in the FY2024-25 budget in the SB 1383 Local Assistance Grant Fund Project 30100003-301-A-8130.

**MOTION:**

Approve Staff Recommendation



7651 Ronson Road ~ San Diego, CA 92111  
Office (858)278-8351 ~ Fax (858)492-9959



MBH6 Material Blower

Brian Clements  
City of Fontana  
909-350-6771

[bclements@fontanaca.gov](mailto:bclements@fontanaca.gov)

## MBH6 Trailer Mounted



### MBH6

#### Tier IV Final

Available in Skid Mount or Trailer

<b>Capacity</b>	6 cubic yd. (4.6m³)
<b>Application Rate/Hour</b>	Two operators: 15 Cubic yards/hour
<b>Hose Reel Capacity</b>	150ft. (45.7m) of standard 4" diameter hose
<b>Power</b>	Yanmar 4TNV98C (3.3L) Tier 4 Final Diesel, 72 HP (53.7 kW)
<b>Blower</b>	725 CFM @ 12 psi (20.5cm @82.7kPa)
<b>Empty Weight (Includes Hose Reel with Hose)</b>	Skid: 7,500 lbs. (3,402 kg) Trailer: 8,900 lbs. (4,037kg)
<b>Working Weight*</b>	Skid: 12,575 lbs. (5,704 kg) Trailer: 14,000 lbs. (6,350 kg)

## FEATURES & BENEFITS

- Full 6 cubic yard material hopper for increased productivity and clear-cut job costing
- Simplified control system for ease of operation, ease of training, and reliable performance
- Simplified unit design for critical uptime and easier maintenance and troubleshooting
- Lightweight design for increased payload capacity and more versatile towing options
- Fuel tank sized to run machine for at least 6.6 hours
- Side mounted engine with an open design for enhanced maintenance access
- Convenient hose reel, hydraulically powered, and provided with 150 feet of 4-inch blower hose
- Electric tarp standard to help meet DOT laws for load coverage
- Optional hose hookup water injection system for dust suppression in particularly dry conditions or with particularly dry materials
- Centralized lubrication points for increased serviceability
- Radio remote with visible set points for engine/blower speed and feeder speed

3/4/2025

Sourcwell Pricing

Machine Cost:

\$154,874.34

Sourcwell # 50060

Taxes 7.75%

\$12,002.76

Finn Sourcwell # 070821-FNN

Total cost:

\$166,877.10

Quote is good for 30 days

Freight is included in Quote

Prepared by Paul Kelly

760-587-3323

Thank you

San Diego  
(858) 278-8338

Escondido  
(760) 739-9100

Fontana  
(909) 429-9100

Indio  
(760) 863-5558

Imperial  
(760) 355-7700



# CITY OF FONTANA NON-COMPETITIVE SOURCE SELECTION JUSTIFICATION

<b>Contract/Req. No.:</b>		<b>Amendment No.:</b>		<b>Requestor:</b>		<b>Date:</b>	
<b>Pre-Tax Amount:</b>	\$	<b>Tax:</b>	\$	<b>Freight:</b>	\$	<b>Total Amount:</b>	\$
<b>Vendor Name:</b>							

## FUNDING SOURCE AND AUTHORIZATION (check as applicable)

<b>City Resources</b>	<input type="checkbox"/>	<b>Gov't Grant</b>	<input type="checkbox"/>	<b>Other</b>	<input type="checkbox"/>
<b>Certifications:</b>		<b>Debarment<sup>4</sup></b>	<input type="checkbox"/>	<b>Anti-Lobby<sup>5</sup></b>	<input type="checkbox"/>
				<b>Certificate(s) Attached</b>	<input type="checkbox"/>
		<b>Not Applicable</b>	<input type="checkbox"/>		
<b>Fund:</b>				<b>Org Account:</b>	
<b>Equipment Screening<sup>6</sup>:</b>	<b>Yes</b>	<input type="checkbox"/>	<b>Not Applicable</b>	<input type="checkbox"/>	
<b>Purchase Description:</b>					

1. Source Selection - Competition is impracticable (Check appropriate box):

- ☐ **UNAVAILABLE FROM ANY OTHER SOURCE.** No competitive advantage would be gained from competitive pricing, such as when equipment, goods, materials, supplies, personal property, or services are unique and are only available from one source. (Explain below. Include all contacts made to verify the sole source or single source situation.)
- ☐ **COOPERATIVE PURCHASING AGREEMENT.** This product or service required is being purchased under a cooperative purchasing agreement. (Explain below).
- ☐ **SAME PRICE PURCHASED BY ANOTHER PUBLIC AGENCY.** The product or service required was awarded a bid by another public agency that has purchasing procedures substantially similar to those that the city would have been required to use, and the vendor offers the same price(s) to the city that it offered to the other agency.
- ☐ **EMERGENCY.** This product or service required is due to an emergency, determined by the City Manager, which could not have been anticipated and critical need precludes any form of competition. (Purchases more than \$100,000 must be presented at the next regular City Council Meeting for ratification by the City Council. Please attach supporting documentation and approval from City Manager).
- ☐ **OTHER REASON(S).** (Explain below).

Detail information to support above justification(s):

<sup>4</sup> Applies to purchases under a Federal Grant equal to or more than \$25,000

<sup>5</sup> Applies to purchases under a Federal Grant equal to or more than \$100,000

<sup>6</sup> Applies to equipment purchases under a Federal Grant equal to or more than \$10,000

2. Price/Cost Analysis (**ONLY APPLICABLE TO PURCHASES/CONTRACTS THAT EXCEED \$100,000**):

The action taken in verifying price reasonableness is indicated below. Identify the method(s) listed below used to verify price reasonableness. Check one or more paragraphs below as applicable.

- ☐ Current price schedule (verifiable catalogue, published price list, etc.)

Schedule Name/No.:

Unit Price: \$

Supplier Contact:

Date of Schedule:

- ☐ Previous purchase.

Supplier:

Unit Price:

PO No.:

PO Date:

- ☐ Similar item in related industry.

Price Source:

Unit Price:

Supplier:

Date:

- ☐ Any other Reasonable basis:

3. Small Business' Solicited (**Federally Funded Procurements Only**)

- ☐ Document whether Small Business, HUBZone Small Business, Small Disadvantaged Business, Women Owned Small Business or Service Disabled Veterans Owned Business or Veterans of Vietnam Era Owned Business concerns were solicited and, if not, why not.

☐ Applicable Businesses' referenced above were solicited.

☐ No Applicable Businesses referenced above were solicited because

-----Attach additional sheets as needed-----

Seller:



## Sales Contract &amp; Security Agreement

7651 Ronson Road, San Diego, CA 92111 | Ph: 858-278-8351

Order Date: \_\_\_\_\_

Customer PO# \_\_\_\_\_

Location # \_\_\_\_\_

CE Area Manager: \_\_\_\_\_

Purchaser's Full Company Name: \_\_\_\_\_

Business Mailing Address: \_\_\_\_\_

City / State / Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Delivery to be Made on or Before: \_\_\_\_\_ or as soon thereafter as possible.

Delivery Address: \_\_\_\_\_

CONDITION?			MAKE, MODEL, DESCRIPTION	SERIAL NO.		PRICE	
New	Used	RTL		ATTACHMENT TAG NO.		PER EACH ITEM	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					

**WARRANTY ON EQUIPMENT**

Warranty coverage on the equipment covered by this order, if any, has been explained to Purchaser.  
The warranty coverage is outlined below and indicated by the box checked.

☐ **NEW MANUFACTURER WARRANTY:**

AS PROVIDED BY MANUFACTURER and Detailed under separate agreement.

☐ **EXTENDED WARRANTY** **Exp. Date:** \_\_\_\_\_☐ **USED AS IS**

USED - THE PURCHASER STATES THAT THE EQUIPMENT HAS BEEN EXAMINED;  
it is fit for the purpose intended and the Purchaser is buying the equipment AS IS, unless  
otherwise specified in writing below and approved by Management. Clairemont  
Equipment Company makes NO WARRANTIES, EXPRESSED OR IMPLIED as to its  
fitness for any particular purpose.

Exceptions: \_\_\_\_\_

CE Initials \_\_\_\_\_

SUBTOTAL of Equipment		
SALES TAX		
TOTAL SELL PRICE		
Cash Down Payment		
Trade Down Payment <small>See Addendum A for Trade Details if applicable.</small>		
Shipping		
CASH DUE on DELIVERY		

Comments - Conditions - Terms: \_\_\_\_\_

This is a cash transaction. If the purchaser so requests prior to acceptance, the Cash Due on Delivery may be financed as a time sale transaction, subject to credit approval. If this transaction becomes a time sale, Purchaser agrees:

- (1) to make payments to the Seller's/Lenders Accounts Receivable Agreement, which is incorporated into this Contract by reference, and
- (2) that Seller retains a security interest in the goods described herein until all obligations of purchaser are paid in full and discharged.

**NOTICE TO PURCHASER**

1. Caution. Do not sign this Contract before you thoroughly read this agreement and the terms & conditions on page 2 of this document even if otherwise advised.
2. You are entitled to an exact and completely filled in copy of this Contract when you sign it. Keep it to protect your legal rights.
3. Seller's Officer or General Manager's signature is required for final acceptance of your Contract.

THE ADDITIONAL TERMS & CONDITIONS SET FORTH ON THE NEXT PAGE HEREOF ARE A PART OF THIS CONTRACT AND ARE INCORPORATED HEREIN BY REFERENCE. Signature of the Contract hereby constitutes a sale.

Purchaser Signature \_\_\_\_\_

Date \_\_\_\_\_

Accepted By \_\_\_\_\_

Date \_\_\_\_\_

## SALES CONTRACT TERMS & CONDITIONS

**PRICES:** This quotation is based on current selling prices FOB point of shipment indicated for merchandise specified. If inland freight, ocean freight, marine insurance or other forwarding charges are included, they are estimated without obligation to the seller. Any increase in selling prices, freight charges, marine insurance, forwarding charges, and/or applicable U.S. or foreign taxes, duties or other levies, imposed subsequent to the date of this quotation, or by pro forma invoice, and/or are in effect at the time of shipment are for the purchaser's account and shall be paid by purchaser. Stenographical, typographical, and clerical errors are subject to correction by seller.

**ACCEPTANCE OF ORDER:** The purchaser's order for all merchandise covered by this quotation shall become effective only upon written acceptance by an officer or general manager of seller. Until acceptance by seller, this quotation is subject to change or withdrawal without prior notice. Seller's sales representatives are not authorized to bind seller to any terms of agreement, including, but not limited to, the terms of this quotation.

**TAXES & DUTIES:** Any taxes or other charges which the seller may be required to pay under any existing or future laws, upon or with respect to the sale, purchase, delivery, storage, processing, use consumption or transportation of any of the materials, equipment, or other merchandise covered hereby, including taxes upon or measured by the receipts from the sale thereof, shall be for the account of the purchaser who shall promptly pay the amount thereof to seller upon demand.

**PAYMENT:** All prices quoted are payable in United States Dollars, unless otherwise provided in writing on reverse side of this document. All letter of credit charges, service fees, bank charges and/or other financing costs are for the purchaser's account, and shall be reimbursed prior to seller's delivery of the merchandise identified herein to buyer.

**DEPOSIT:** Any unit of merchandise sold with special options, including but not limited to remote controls, special paint, and/or mounted on purchaser's vehicles, shall be subject to a non-refundable deposit of twenty percent (20%) of the quoted sales price, to be paid to seller prior to purchaser's order being placed or booked. In the event no special options are ordered by purchaser, purchaser shall pay seller a non-refundable deposit of ten percent (10%) of the quoted sales price prior to seller placing or booking purchaser's order.

**SHIPPING SCHEDULES:** Shipping schedules are approximate only and are based upon prompt receipt of all necessary order information from buyer and the availability of equipment, parts, material and accessories from seller's suppliers.

**FORCE MAJEUR - INABILITY TO PERFORM:** The seller is not liable for any loss, damage, delay, necessary substitution of materials, or default in the manufacture or delivery of the articles ordered which result from causes beyond seller's reasonable control, including, but not limited to, strikes, lockouts, differences with workmen, fire, wars, acts of God, or of a public enemy, insurrection, riot, freight embargo, lack of storage of necessary materials, or delays caused by transportation facilities, act of purchaser, labor shortages, or acts of manufactures, suppliers, foreign or local government or military authorities and/or factors pertaining but not limited to preference priorities, allocations on order or production, labor or supply permits.

**CANCELLATION:** Seller reserves the right to cancel in its sole discretion any order without liability, if due to causes or conditions excusable under the "Force Majeure – Inability to Perform clause, the time of delivery is extended more than six months beyond the estimated delivery dates originally quoted. The purchaser may cancel an order, if such cancellation is agreed to in writing by seller and upon payment by purchaser for all merchandise previously shipped and, in addition, the payment by purchaser of any and all cancellation charges as to undelivered merchandise, which charges are imposed upon the seller by the manufacturer or supplier of said canceled merchandise (non-cancelable items). In the event an item of merchandise is noncancelable, seller may, at seller's sole discretion, apply purchaser's deposit to such cancellation charges and purchaser shall remain liable to seller for the cost of any non-cancelable item not covered by said deposit.

**WARRANTIES:** THE EQUIPMENT IS SOLD AS IS. SELLER MAKES NO EXPRESS NOR IMPLIED WARRANTY, INCLUDING WARRANTIES OF MERCHANTABILITY OR FITNESS FOR PARTICULAR USE AS TO THE MERCHANDISE PROVIDED, HOWEVER, THAT SELLER SHALL MAKE AVAILABLE TO BUYER TO THE EXTENT PROVIDED BY THE MANUFACTURER OF THE MERCHANDISE, SOLELY ON BEHALF OF THE MANUFACTURER, ANY WARRANTY PROVIDED BY THE MANUFACTURER. IN THE CASE OF USED EQUIPMENT, SELLER, AT ITS SOLE DISCRETION, MAY PROVIDE ON THE REVERSE SIDE HEREOF AN EXPRESS WARRANTY LIMITED TO REPLACEMENT OF PARTS WHICH SELLER, IN ITS SOLE DISCRETION, DETERMINES TO BE DEFECTIVE. SUCH WARRANTY SHALL BE LIMITED TO THE PERIOD SPECIFIED THEREIN. In the event the equipment fails to fulfill the warranty or warranties as provided herein, seller's liability shall be limited to that provided to such warranty or warranties. IN NO EVENT SHALL SELLER BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES, OR FOR LOSS OR DAMAGE CAUSED BY THE IMPROPER OPERATION OF THE EQUIPMENT, OR DUE TO THE MAINTENANCE OR MECHANICAL ADJUSTMENT OF THE EQUIPMENT AFTER DELIVERY TO PURCHASER. Purchaser hereby assumes liability for, and agrees to defend and save seller harmless, from any and all claims of liability, loss or damage arising out of purchaser's operation, use or possession of the equipment, including, but not limited to, any claims for property damage or personal injury.

**PURCHASE ORDER:** If this quotation is accepted and buyer signs this purchase order for that purpose, it is expressly agreed that the terms and conditions herein set forth shall prevail insofar as they may in any way conflict with the terms and conditions of buyer's separate purchase order form, and by the issuance of such purchase order by buyer, buyer shall be deemed to have agreed to the foregoing. Signature on this quotation reflects acceptance as a purchase order and constitutes a sale regardless of buyer's issuance of a separate purchase order or not.

**CONTRACT TERMS & CONDITIONS:** The terms and conditions set for above and elsewhere as part of this quotation shall, when accepted by purchaser, through submission of its purchase order or otherwise, shall constitute the entire agreement between the parties and no modifications or alterations thereof shall be valid or effective unless embodied in a written proposal executed by duly-authorized representatives of both parties. All stipulations, agreements and conditions contained in this contract are to apply to and bind the heirs, executors, administrators and/or successors and assigns of the respective parties hereto.

**GOVERNING LAW:** This agreement shall be governed by, construed and enforced in accordance with the law of the State of California and the courts of the State of California shall have jurisdiction of all matters arising out this quotation or any agreement created by the sellers' acceptance of this quotation.

**SEVERABILITY:** In the event that any condition or covenant of this quotation after acceptance by seller, is held to be invalid or void by a court of competent jurisdiction, the same shall be deemed severable from the remainder of this quotation/agreement and shall in no way effect any other covenant or condition of this quotation/agreement. If any condition, covenant, or other provision herein, is deemed invalid due to its scope of breadth, the condition, covenant or provision shall be deemed valid to the extent permitted by law.

**WAIVER AND AMENDMENT:** No breach of any provision can be waived unless in writing. Waiver of any one breach shall not be deemed to be a waiver of any other breach of the same or any other provision. This quotation/agreement may be modified only by written agreement executed by all parties hereto.

**ATTORNEY'S FEE & COSTS:** In the event it becomes necessary to engage the services of an attorney to enforce any of the provisions of this agreement or to affect collection of any amount due hereunder, the prevailing party shall recover reasonable attorney's fees and all costs otherwise provided by law. The prevailing party to any litigation as described above to enforce this agreement shall also be entitled to said party's reasonable costs and attorneys' fees incurred in enforcing judgment. It is expressly recognized, acknowledged and agreed by the parties that post-judgment attorneys' fees, as provided for in this paragraph shall not be merged into or extinguished by any judgment entered in litigation arising out of this agreement.



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

**File #:** 25-0208

**Agenda #:** F.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

#### **FROM:**

Engineering

#### **SUBJECT:**

Final Acceptance of the Active Transportation Program (ATP) Safe Routes to School (SRTS) Pedestrian Improvements Project on Ramona, Alder, Locust Avenue Project [Federal ID No. ATPSB1L-5307(027)] (Bid No. SB-67-DE-23)

#### **RECOMMENDATION:**

Accept as complete the work performed by Riverside Construction Company, Inc. for the Active Transportation Program (ATP) Safe Routes to School (SRTS) Pedestrian Improvements Project on Ramona, Alder, Locust Avenue Project (#37603339).

#### **COUNCIL GOALS:**

- To invest in the City's infrastructure (streets, sewers, parks, etc.) by maintaining and improving the city's existing infrastructure.
- To invest in the City's infrastructure (streets, sewers, parks, etc.) by providing for the development of new infrastructure.
- To invest in the City's infrastructure (streets, sewers, parks, etc.) by focusing on relief of traffic congestion.

#### **DISCUSSION:**

On September 12, 2023, the City Council authorized the award of a construction contract to the lowest responsible/responsive bidder (Riverside Construction Company, Inc.) in the amount of \$4,218,475.00 with a 10% contingency in the amount of \$421,847.50 for the Active Transportation Program (ATP) Safe Routes to School (SRTS) Pedestrian Improvements Project on Ramona, Alder, Locust Avenue Project (#37603339). The improvements consisted of installing Americans with Disabilities Act (ADA) compliant sidewalks, curb and gutter, ADA curb ramps, traffic signs, and bike lanes where none existed on the three segments.

Riverside Construction Company, Inc. completed the construction of the project on March 27, 2025. The project was successfully completed for the final contract amount of \$4,297,800.01, an increase of 1.88% from the original contract amount of \$4,218,475.00 and \$342,522.49 under the total authorized budget. All work have been completed to the satisfaction of the City.

#### **FISCAL IMPACT:**

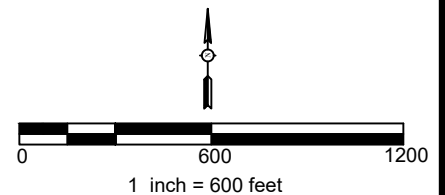
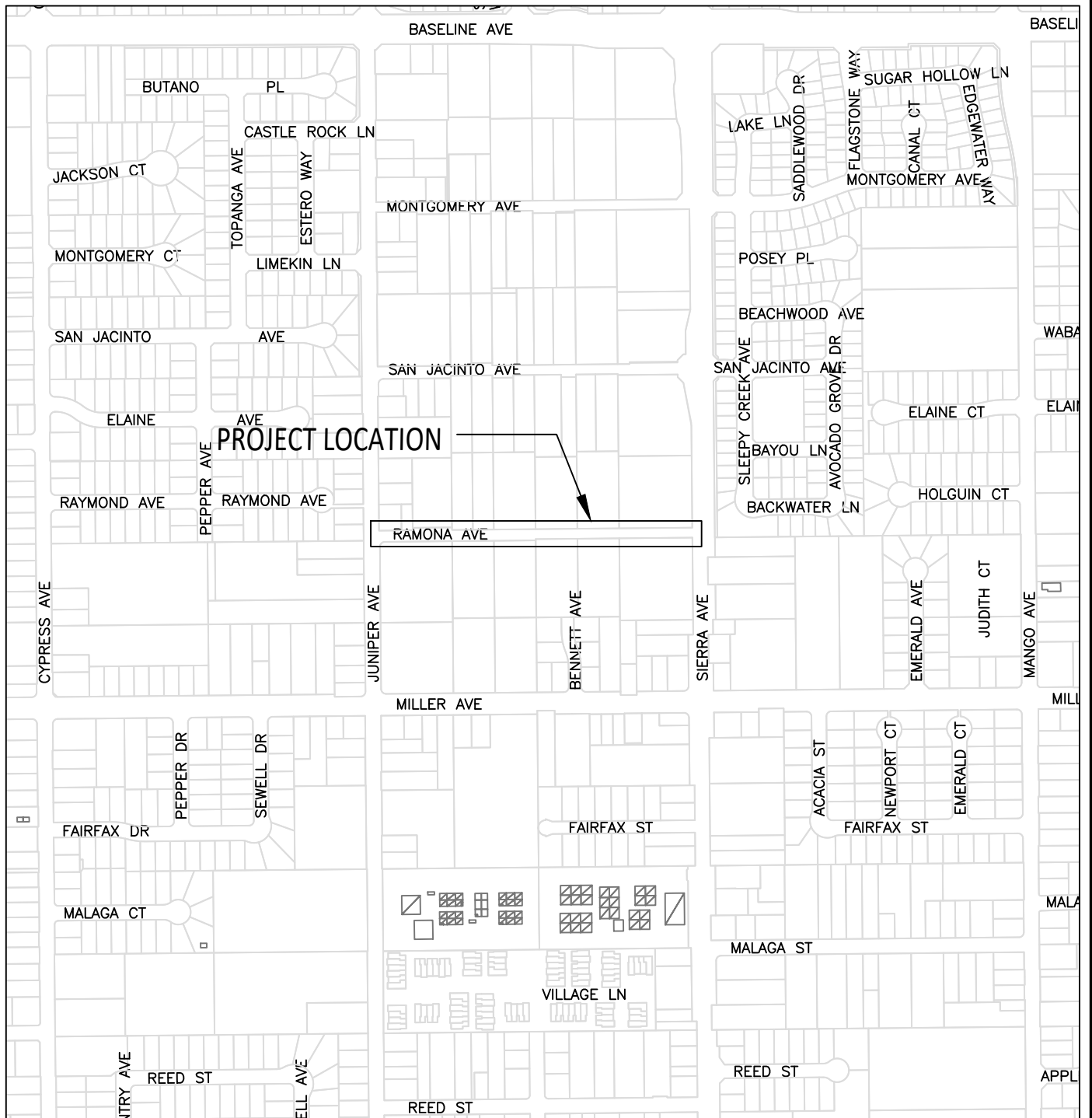
As part of the action to accept the construction of the Active Transportation Program (ATP) Safe Routes to School (SRTS) Pedestrian Improvements Project on Ramona, Alder, Locust Avenue Project (#37603339) as complete, the City will take over the operation and maintenance of this public infrastructure. Appropriate funding for the maintenance work is included in the FY 2024-25 budget

under the Public Works & Engineering Department, Utilities and Streets Division.

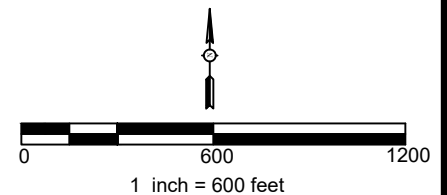
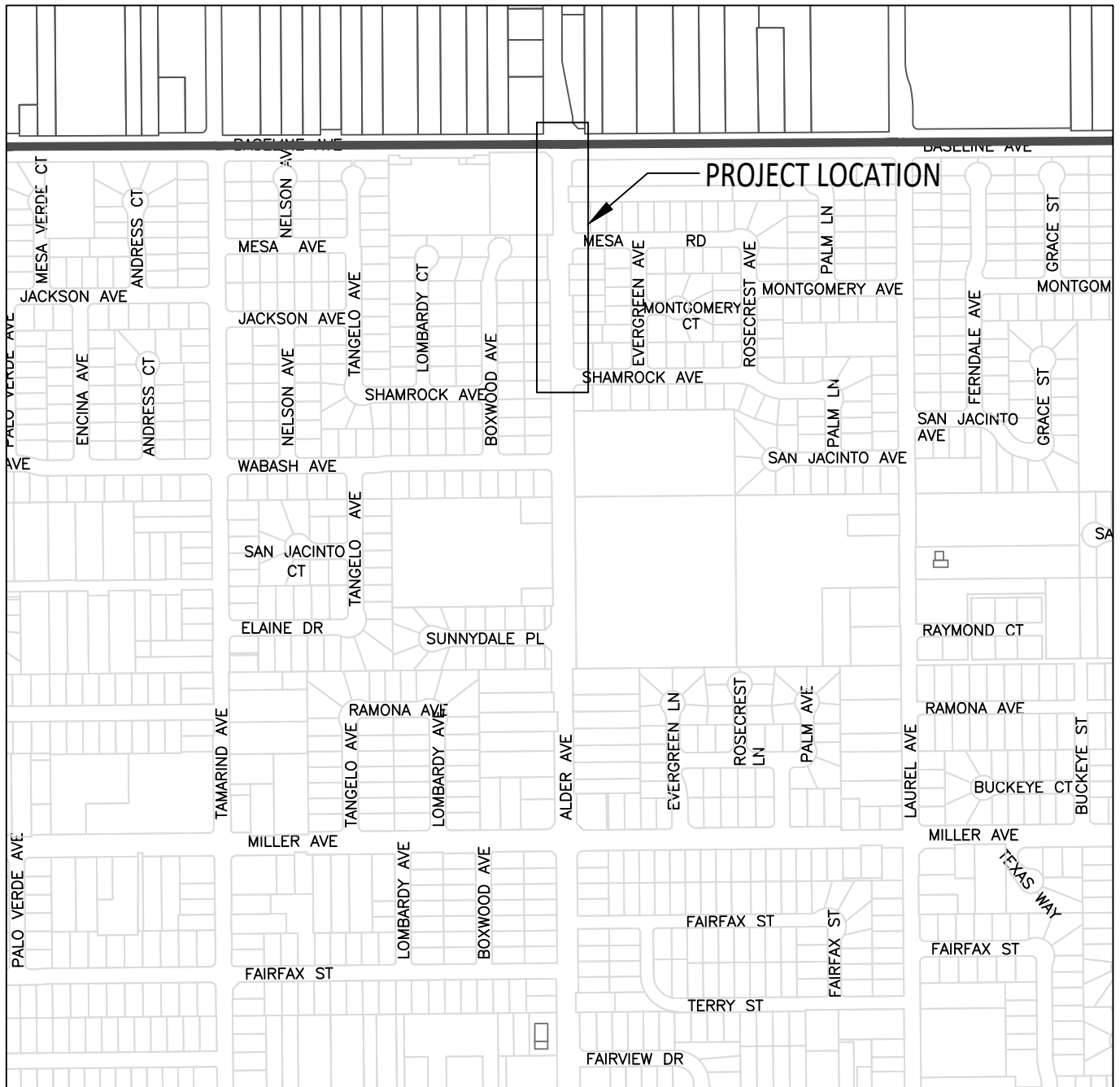
**MOTION:**

Approve staff recommendation.

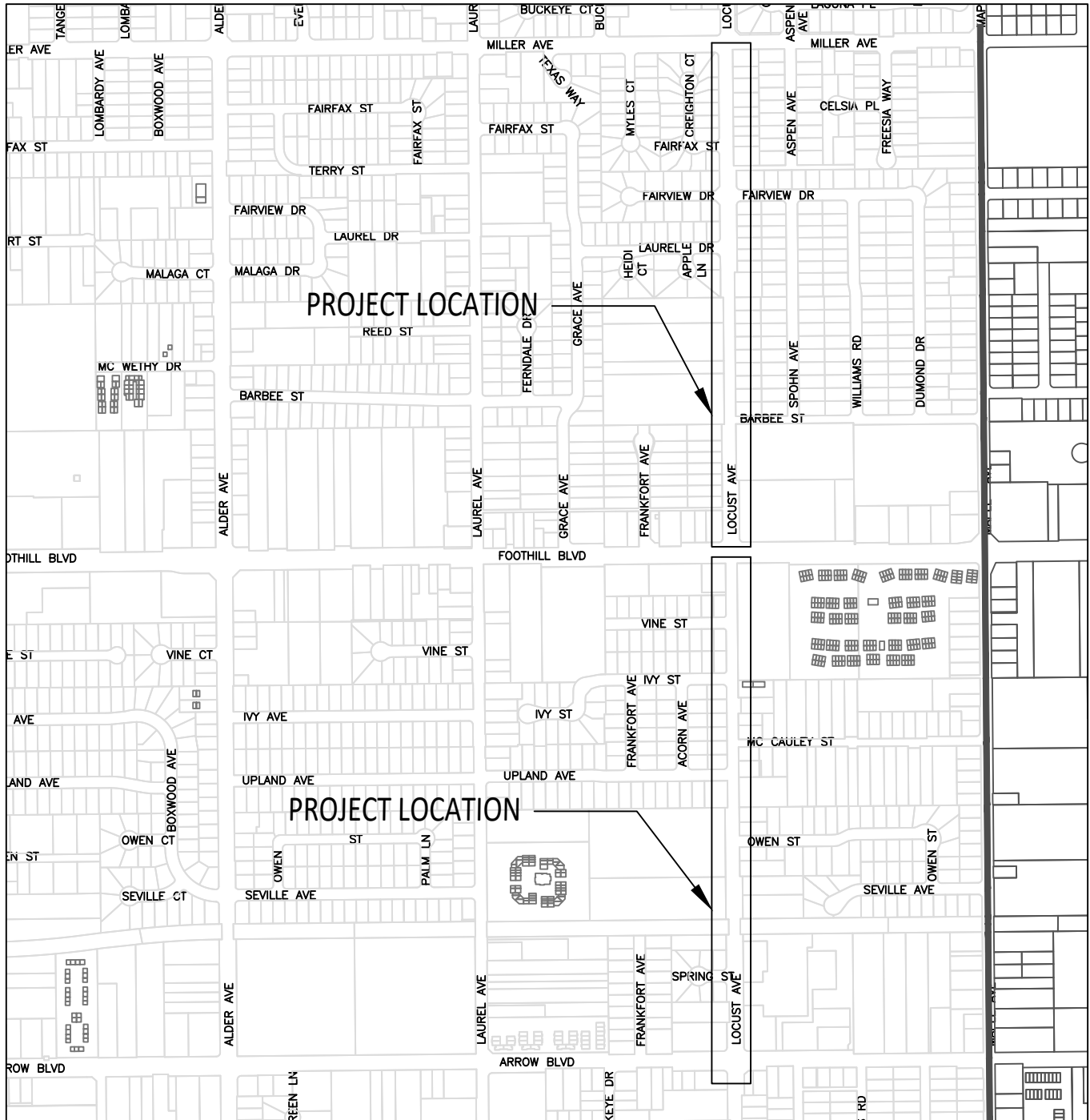
FONTANA'S SAFE ROUTES TO SCHOOLS PEDESTRIAN  
IMPROVEMENTS PROJECT  
FEDERAL PROJECT NO. ATPSB1L-5307(027)  
SEGMENT: RAMONA AVE. FROM JUNIPER AVE. TO SIERRA AVE.



FONTANA'S SAFE ROUTES TO SCHOOLS PEDESTRIAN  
IMPROVEMENTS PROJECT  
FEDERAL PROJECT NO. ATPSB1L-5307(027)  
SEGMENT: ALDER AVE. FROM BASELINE AVE. TO SHAMROCK AVE.



FONTANA'S SAFE ROUTES TO SCHOOLS PEDESTRIAN  
IMPROVEMENTS PROJECT  
FEDERAL PROJECT NO. ATPSB1L-5307(027)  
SEGMENTS: LOCUST AVE. FROM MILLER AVE. TO FOOTHILL BLVD.  
AND LOCUST AVE. FROM FOOTHILL BLVD. TO ARROW RTE.





# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0209

**Agenda #:** G.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

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**FROM:**

Engineering

**SUBJECT:**

Final Acceptance of the Sierra Avenue Landscape Median Project (DE-24-28-SB)

**RECOMMENDATION:**

Accept as complete the work performed by IMR, Inc. for the construction of the Sierra Avenue Landscape Median Project.

**COUNCIL GOALS:**

- To invest in the City's infrastructure (streets, sewers, parks, etc.) by maintaining and improving the city's existing infrastructure.
- To invest in the City's infrastructure (streets, sewers, parks, etc.) by improving the aesthetics of the community through code enforcement, street sweeping, and landscape maintenance.

**DISCUSSION:**

On December 12, 2023, the City Council authorized the award of a construction contract to the lowest responsible/responsive bidder (IMR, Inc.) in the amount of \$745,690.00 with a 10% contingency in the amount of \$74,569.00 for the Sierra Avenue Landscape Median Project (PN37603281). The improvements for the Sierra Avenue Landscape Median Project consisted of installing new boulders, shrubs, trees, rock cobble treatment areas, and a new irrigation system within a newly constructed raised median.

IMR, Inc. completed the construction of the project on May 1, 2025. The project was successfully completed for the final contract amount of \$759,770.72, an increase of 1.89% from the original amount of \$745,690.00 and \$60,488.28 under the total authorized budget. All work has been completed to the satisfaction of the City.

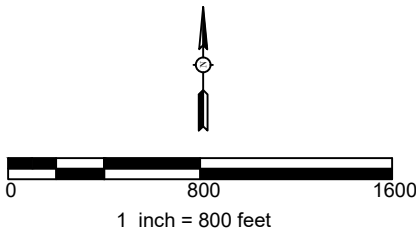
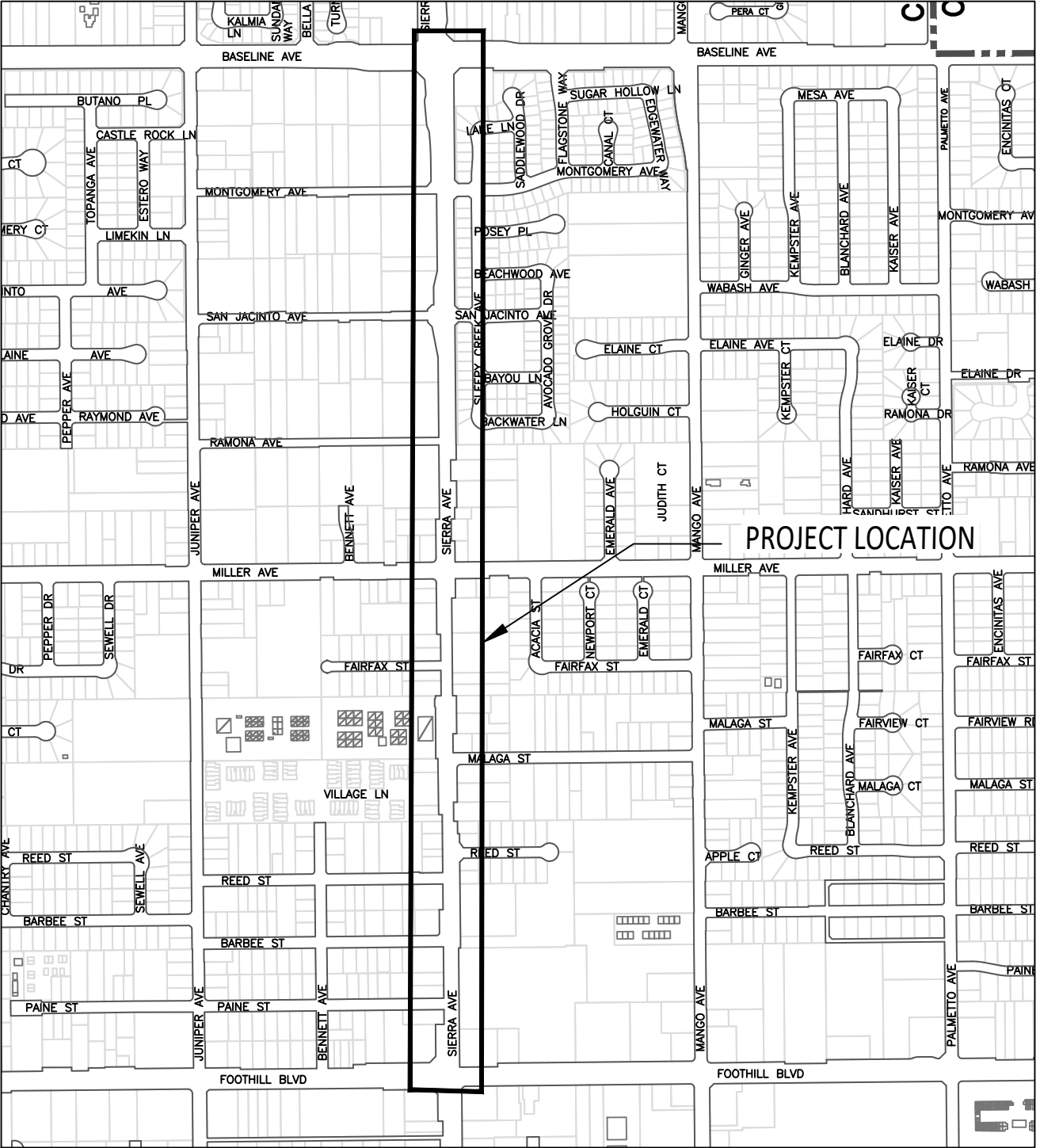
**FISCAL IMPACT:**

As part of the action to accept the construction of the Sierra Avenue Landscape Median Project as complete, the City will take over the operation and maintenance of this public infrastructure. Appropriate funding for the maintenance work is included in the FY 2024-25 budget under the Public Works & Engineering Department, Parks and Landscape Division.

**MOTION:**

Approve staff recommendation.

# SIERRA AVENUE LANDSCAPE PROJECT





# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

**File #:** 25-0210

**Agenda #:** H.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

#### **FROM:**

Community Services

#### **SUBJECT:**

Co-Sponsorship Application Cycle (1) FY 2025/2026

#### **RECOMMENDATION:**

Review and approve the seventeen (17) Co-Sponsorships requests recommended for the first half of FY 2025/2026 fiscal year (July 2025 through June 2026) totaling an amount of \$47,379.00 as recommended by Parks, Community, and Human Services Commission.

#### **COUNCIL GOALS:**

- Operate in a businesslike manner by creating a memorable customer experience with every interaction.
- Increase citizen involvement by seeking community input.
- Practice sound fiscal management by producing timely and accurate financial information.

#### **DISCUSSION:**

Current Co-Sponsorship procedure, as approved by the Parks, Community and Human Services Commission and City Council, requires organizations to submit all Co-Sponsorship requests for activities taking place during the next fiscal year be submitted between February 1-February 28 (cycle one) or between September 1-September 30 (cycle two).

All organizations in consideration for Co-Sponsorship must meet all Co-Sponsorship criteria

#### **Attachment A - Co-Sponsorship Policy:**

- proof of non-profit status (501 c3) or proof that the event is not for profit
- organizations must be based in the incorporated boundaries of the City of Fontana
- event must benefit and be open, free of charge, to Fontana residents
- organization must adhere to Co-Sponsorship tier rating

A brief description of the individual applications is provided in **Attachment B - Co-Sponsorship Application Descriptions.**

Seventeen (17) eligible applications were received during the February 2025 requested period, (15) requesting assistance with community events and (2) facility use requests. (**Attachment C - organizations applying for Co-Sponsorship and Attachment D - Co-Sponsorship in-kind cost breakdown**).

### **Tier Levels:**

#### **Tier One:**

Organization provides minimum of eight percent (80%) of program resources and funding.

#### **Tier Two:**

Organization provides minimum of seventy percent (70%) of program resources and funding.

#### **Tier Three:**

Organization provides minimum of fifty percent (50%) of program resources and funding.

Although all organization requesting funding must provide a minimum of fifty percent (50%) of program funding, tier funding levels are not applicable to organization requesting the use of facilities during regular center hours.

Funding for Co-Sponsorships in the amount of **\$37,500** is included in the proposed operating budget for fiscal year 2025-2026 for approval by the City Council. Requested funding during the February application period totaled **\$47,379.00** which provides a balance of funding allocation of **-\$9,879.00** for the remainder of FY 2025/2026.

All applications were discussed and reviewed at the regular Parks, Community, and Human Services Commission meeting on April 24, 2025. The Commission individually reviewed the seventeen (17) applications and approved the recommendation for Co-Sponsorship requests be forwarded for City Council to review and consider.

After review of the applications, the Commission had consensus to recommend seventeen (17) applications for full funding of in-kind services.

### **Approved Applications**

Below are the recommended applications that were approved:

<b>Group</b>	<b>Event</b>	<b>In-Kind Request</b>	<b>Commission Recommended Funding</b>
A Night to Remember	Purple Roses International	\$3,000.00	\$879.00
Fontana CAP	Annual CAP Resource Fair	\$16,360.00	\$2,492.00
Calvary Chapel Fontana	LOVE Fontana	\$18,700.00	\$1,793.00
Working Dogs for Warriors	A Sound Mind	\$5,010.00	\$1,904.00
Uplifting Arts Academy	1 <sup>st</sup> Annual Mental Health Awareness & Youth Empowerment Summit	\$10,000.00	\$1,643.00

Concerned Citizens for the Development of North Fontana	Chill-n-Grill BBQ Cook-Off	\$4,650.00	\$3,797.00
Living Legacy, Inc	All GenConvention & Resource Fair	\$2,832.00	\$1,623.00
Water of Life Community Church	Trunk or Treat	\$45,000.00	\$7,620.00
Hayes Events	A Soulful Taste of the Holidays	\$4,000.00	\$1,280.00
American Legion Post 262	Veterans Day Celebration	\$1,000.00	\$1,280.00
Fontana Aquatics Club	Veterans Day Classic Swim Meet	\$11,000.00	\$5,368.00
Project Boon	Eat & Be Well	\$46,910.00	\$3,019.00
New Life Church of Fontana	Nelly's Story: A Kwanza Celebration	\$10,075.00	\$2,107.00
Fontana Foundation of Hope	IE Ronald McDonald Walk for Kids	\$28,000.00	\$9,798.00
Miss Fontana Organization	Miss Fontana Pageant	\$129,896.00	\$3,716.00
AARP	Troop Monthly Meeting	Use of Cypress Center	
Fontana Chamber of Commerce	Chamber of Commerce Luncheon	Use of Jessie Turner Center	

#### FISCAL IMPACT:

Fiscal Year 2025/2026 funding for Co-Sponsorships in the amount of **\$37,500** is included in the proposed operating budget for City Council approval. Requested funding during the February (cycle one) application period totaled **\$47,379.00** which leaves a deficit balance of funding in the amount of **-\$9,879.00**.

The Co-Sponsorship budget does not represent actual monetary funds, instead it measures the value of the in-kind services requested by the organizations such as equipment, street closures, staffing costs, and facility rental costs. The budget deficit does not impact other programs, services, or resources.

#### MOTION:

Approve Parks, Community, and Human Services Commission recommendation.

**City of Fontana  
POLICY AND PROCEDURES**

<b>Subject:</b>	<b>POLICY TITLE Co-Sponsorship of Events</b>	<b>Page 1 of 5</b>	<b>Section 20-58</b>
		<b>Effective Date 7-1-06</b>	<b>Issued Date 6-13-06</b>

**Resolution Number:****Approval Date:****I. PURPOSE**

To establish guidelines for the City co-sponsorship of Fontana based events and/or programs.

**II. GENERAL POLICY**

The City of Fontana allocates certain funds annually for the purposes of assisting non-profit Fontana-based organizations hosting community events. The City does not provide funds for these co-sponsored events, but in kind services. The City shall develop co-sponsorship criteria to prioritize and select co-sponsorship applicants on a biannual basis and to effectively distribute finite budgetary allocations based on classifications and ratings of applicants.

**III. DEFINITION**

City Co-sponsored Event means an event that is planned and conducted by a Fontana-based non-profit organization that meets the criteria for co-sponsorship and the City participates by contributing staff time, public safety services, equipment use, and/or the use of facilities.

**IV. PROVISIONS**

1. An organization may fall into the following categories within the co-sponsorship criteria:

**A. Classification 1:**

A group demonstrating a clear, broad based community benefit demonstrated through the application process.

**B. Classification 2:**

A group demonstrating a clear community benefit targeted toward a specific segment of the community demonstrating an identified need.

2. An organization may apply for co-sponsorship in one of the following three co-sponsorship tier ratings.

**A. Tier #1**

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**City of Fontana  
POLICY AND PROCEDURES**

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<b>Subject:</b>	<b>Co-Sponsorship of Events</b>	<b>Page 2 of 5</b>	<b>Section 20-58</b>
		<b>Effective Date 7-1-06</b>	<b>Issued Date 6-13-06</b>

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Organization provides a minimum of eighty percent of program resources and funding.

**B. Tier #2**

Organization provides a minimum of seventy percent of program resources and funding.

**C. Tier #3**

Organization provides minimum of fifty percent of program resources and funding.

*NOTE: An organization must provide a minimum of fifty percent of the program's resources (i.e. funding, equipment, advertisement) to be eligible to apply for co-sponsorship with the City.*

3. The tier rating is based on the total amount of resources the organization allocates to the event.
4. Co-sponsorship applications will be accepted February 1 through February 28 for co-sponsorship of events taking place during the following July 1 through June 30 period. A second application review process will be offered for events that are identified after the February application deadline. The second round of applications will be accepted September 1 through September 30 for events taking place January 1 through June 30 of the same fiscal planning year.
5. The City will rate each application according to the established criteria and will provide co-sponsorship support based upon the available funding resources.
6. Community Services Department staff will review all requests for co-sponsorship to ensure the organization meets the above criteria.
7. Requests for co-sponsorship will be classified by their overall benefit to the community and will be ranked by tier rating prior to being sent to the Parks and Recreation Commission and City Council for consideration.
8. Organizations will be funded based upon classification and priority of ranking until budgeted co-sponsorship funds have been fully allocated.

**V. CO-SPONSORSHIP RATING CRITERIA**

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**City of Fontana  
POLICY AND PROCEDURES**

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<b>Subject:</b>	<b>Co-Sponsorship of Events</b>	<b>Page 3 of 5</b>	<b>Section 20-58</b>
		<b>Effective Date 7-1-06</b>	<b>Issued Date 6-13-06</b>

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1. The applicant's event must be a benefit to the Fontana community. One or several of the following would qualify a proposed event for consideration by the Parks and Recreation Commission and staff for City co-sponsorship:
  - A. The event responds to an identified community need. (These are needs that have been either ratified or initiated by the City Council.)
  - B. The event enhances current department programming efforts. (A local organization is willing to fund and operate a current Special Event or organize an Adult Sports program that provides recreation opportunities to local residents.)
  - C. The event provides a unique leisure or community service opportunity for either the community at large or for a targeted group. (A local group that wants to organize an event that the staff, Parks and Recreation Commission and/or City Council believes benefits the community.)
  - D. The event raises funding for either Community Services Department programs or for services that benefit either the community at large or for a targeted group.
2. Application must show proof of 501 (c) 3 non-profit status or group must demonstrate the event is not for profit.
3. Applicant must be based in the incorporated boundaries of the City of Fontana.
4. When applicable, the applicant must have a valid charitable solicitation permit on file with the Management Services Department.
5. Applicant's event must be open to all Fontana residents.
6. The applicant must qualify within Tier #1, Tier #2, or Tier #3 based on overall resources allocated.
7. The applicant must complete and submit the Co-Sponsorship Application and budget form along with a Special Event Application to the Community Services Department during one of the two identified application filing periods.

## **VI. ASSESSMENT CRITERIA**

Assessment(s) will be conducted at the conclusion of the event/activity to determine how well the objectives of the event/activity were met. Total attendance, activities offered, and overall benefit to the community will be reported on. Assessments will be conducted by:

### *1. Self Assessment*

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**City of Fontana**  
**POLICY AND PROCEDURES**

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<b>Subject:</b>	<b>Co-Sponsorship of Events</b>	<b>Page</b> <b>4 of 5</b>	<b>Section</b> <b>20-58</b>
		<b>Effective Date</b> <b>7-1-06</b>	<b>Issued Date</b> <b>6-13-06</b>

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A self assessment form will be provided to the applicant for the purpose of reporting on the outcome of the event.

2. *Parks and Recreation Commission Assessment*

When possible, one or more Parks and Recreation Commissioners will attend events to observe and provide feedback to the entire Parks and Recreation Commission.

3. *Community Services Department Assessment*

When applicable, a Community Services Department employee will be assigned to attend the event and provide feedback to both the applicant and the Parks and Recreation Commission.

## **VII. PROCEDURES**

1. Complete the Co-sponsorship of Event Application and budget form in addition to a Special Event Application.
2. Submit application in February or September of each year to:

Co-Sponsorship Events  
Community Services Department  
16860 Valencia Avenue  
Fontana, CA 92335
3. Upon receipt of applications, Community Services Department staff will verify eligibility, determine classification and assign tier rating.
4. Staff liaison shall place the request for co-sponsorship on the Parks and Recreation Commission agenda for review and consideration.
5. Staff liaison shall notify the applicant request co-sponsorship of the date, time, and location of the Parks and Recreation Commission meeting at which the request will be considered.
6. The request for co-sponsorship will be reviewed and either approved or denied by the Parks and Recreation Commission and then by the City Council.
  - A. If the request is approved by the Parks and Recreation Commission, staff will forward the request to City Council for consideration as part of the annual Budget Adoption Process or Mid-year Review of Budget Allocations.
    - i. Organizations that receive approval must recognize support of the City of Fontana as a co-sponsorship of the event or activity. All publicity and marketing for the event or activity must include the approved City of Fontana logo.

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**City of Fontana  
POLICY AND PROCEDURES**

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<b>Subject:</b>	<b>Co-Sponsorship of Events</b>	<b>Page 5 of 5</b>	<b>Section 20-58</b>
		<b>Effective Date 7-1-06</b>	<b>Issued Date 6-13-06</b>

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- ii. If the request is approved by the City Council, the staff liaison will notify the applicant and appropriate departments in writing within seven days of the City Council's action.

B. If the request is denied staff will notify the applicant in writing.

- i. Appeal process: In the event the request is denied, the applicant may appeal the Park and Recreation Commission's decision in writing, care of the Community Services Director at 16860 Valencia Avenue, Fontana, CA 92335 within seven business days of decision.
- 7. If applying for use of a facility, a Request for Use of Facility must be completed in addition to the Co-sponsorship of Events Application and Special Event Application.
  - 8. The Community Services Director, or designee, can approve a co-sponsorship request for use of a City facility if the requested date and time does not impact facility rentals and/or programs AND which do not exceed \$5,000 cumulatively, annually.
  - 9. An applicant approved for co-sponsorship of facility use from the City that does not provide (30) days notice of cancellation of said event to the City will be charged a Class 3 facility rental fee according to the Facility Rental Policy.
  - 10. After the conclusion of the co-sponsored event or activity, the approved Post Event/Activity Assessment will be conducted to determine the benefit to the community.

*Note: Parks & Community Services Commission meetings are held on the fourth Thursday of the month. The City Council meetings are held on the second and fourth Tuesday of the month.*

# 2025/2026 Co-Sponsorship Descriptions

Attachment B

\*Events in RED are new events

Event Information	Description	2024/2025 Evaluation
<b>1 Purple Roses International</b> <b>A Night to Remember</b> <b>August 2, 2025   6pm-8:30pm</b> <b>Jessie Turner Center</b> <b>Estimated Attendance: 100</b>	Mental health awareness dinner with speeches, dancing, and a fashion show.	2024: N/A New Event
<b>2 Fontana (C.A.P)</b> Annual CAP Resource Fair and Back to School Fair August 2, 2025   9am -2pm CityLink Buidling Estimated Attendance: 1,200	Resource fair designed to serve up to 1,200 community members. Will provide info and resources to address the specific needs of Fontana residents.	2024: N/A Event was cancelled
<b>3 Calvary Chapel Fontana</b> Love Fontana August 9, 2025   2pm-5pm Miller Park Amphitheater Estimated Attendance: 800	Community outreach event with music, games, information, food, giveaways to leave a Real Impact.	2024: attendance 280 Lower turnout than expected, the event organizer expected City Staff to set-up canopies, tables, and chairs. Cars parked on the PE Trail, blocking access, asked to move and did not comply throughout the duration of the event.
<b>4 Working Dogs for Warriors</b> A Sound Mind September 6, 2025   9am-1pm Veterans Park Estimated Attendance: 600	Mental health awareness resource fair.	2024: attendance 150 2024: A well organized event. More timely communication is recommended when requesting equipment from public works.
<b>5 Uplifting Arts Academy</b> <b>1st Annual Mental Health Awareness and Youth Empowerment Summit</b> <b>September 13, 2025   12pm-8:30pm</b> <b>Jessie Turner Center</b> <b>Estimated attendance: 250</b>	Mental health awareness resource fair.	2024: N/A New event
<b>6 Concerned Citizens for N. Fontana</b> Chill-n-Grill BBQ Cook-Off September 13, 2025   10am-3pm Fontana Park Sport Pavillion Estimated Attendance: 600	Community grilling competition among first responders.	2024: attendance 175 The group regularly lacks communication, relies on the City Staff to lead event set up. Event charged for entry. Did not communicate a Helicopter landing. Requested for kid zone games day before, which we were unable to accomodate.
<b>7 Living Your Legacy, Inc.</b> <b>All GenConvention and Resource Fair</b> <b>October 4, 2025   1pm-4pm</b> <b>Jessie Turner Center</b> <b>Estimated Attendance: 75</b>	Resource fair and convention with informative panels, engaging speakers and live entertainment for all generations	2024: N/A New event

## 2025/2026 Co-Sponsorship Descriptions

Attachment B

\*Events in RED are new events

8	Water of Life Community Church Trunk or Treat October 31, 2025   6pm-9pm Water of Life Community Church Estimated Attendance: 15,000+	Annual trunk or treat every Fall to provide a safe and fun place for families of the surrounding Fontana community to attend on Halloween.	2024: attendance 10,000 Event takes place on private property. City provided (8) light towers and (2) generators with spider boxes. City provided PD traffic control.
9	Hayes Events A Soulful Taste of the Holidays November 2, 2025   3pm-7pm Senior Center Estimated Attendance: 200	Food tasting from local caterers and restaurants to showcase their best holiday foods.	2024: attendance 150 Organization had challenges with cleanliness and time allotted. Event did not start or end on time. Event clean-up was done an hour after scheduled time.
10	American Legion Post 262 Veterans Day Celebration November 11, 2025   11am-12pm Steelworkers Auditorium Estimated Attendance: 200	This event is a longstanding tradition dedicated to recognizing and honoring the courageous men and women who have served in the United States Armed Forces.	2024: attendance 120 Event was well organized and ran on time; event organizer was present and assisted in every aspect of the planning process.
11	Fontana Aquatics Club Veterans Day Classic Swim Meet November 14-16, 2025 Fontana Park Aquatic Center Estimated Attendance: 2,000	Three day swim meet hosting teams from all over San Bernardino County.	2024: attendance 1,500 Well organized event that ran on schedule.
12	Project Boon Eat & Be Well November 26, 2025   11am-3pm Cypress Center/Central City Parking Lot Estimated Attendance: 1,500	Pre Thanksgiving celebration and resource fair providing food and services for those in need.	2024: attendance 3,000 Great organized event, no issues, runs smoothly
13	New Life Church of Fontana Nelly's Story: A Kwanza Celebration December 1-6, 2025 Steelworkers Auditorium Estimated Attendance: 300	Community play put on to raise awareness of the principles of Kwanza.	Attendance: 75 Well organized, however renter did not show up for Sunday rental. Rental times were changed from what was originally approved. Their contracted sound company was rude and inappropriate with staff.
14	Fontana Foundation of Hope IE Ronald McDonald Walk for Kids April 26, 2026   8am-12pm Fontana Park Estimated Attendance 2,000	Fundraising walk to benefit Inland Empire Ronald McDonald House	2024 attendance: 1,500 Well organized event, although ran a little behind on walk start time.

## 2025/2026 Co-Sponsorship Descriptions

Attachment B

\*Events in **RED** are new events

15 Miss Fontana Organization Miss Fontana Pageant May - June 2026 (9 dates during this tiemframe) Steelworkers' Auditorium Estimated Attendance: 200	Rehearsals and photoshoot for Miss Fontana Scholarship Pageant	2024: attendance N/A Event organizer ensured all dates were available and provided details when photoshot and rescheduled dates were needed.
16 AARP Monthly Meetings 2nd Monday of the month l 9am-1pm Cypress Center Estimated Attendance: 40	Bi-monthly chapter meetings	2024: attendance 35 Reoccurring meetings with on issues.
17 Chamber of Commerce Chamber of Commerce Luncheon 2nd Thursday of the month l 1130am-1pm Jessie Turner Center Estimated attendance 115	Monthly Luncheons held at Jessie Turner Community Center January-June.	2024: attendance 50 Reoccurring meetings with no issues

2025/2026 Co-Sponsorships

Attachment C

\*Events in RED are new events

Organizations Applying for Event Co-Sponsorship

Item #	Organization	Event	Event Budget	Value of In-Kind City Support	Tier Level
1	A Night to Remember	Purple Roses International	\$3,000.00	\$879.00	Tier 2
2	Fontana (C.A.P)	Annual CAP Resource Fair and Back to School Fair	\$16,360.00	\$2,492.00	Tier 2
3	Calvary Chapel Fontana	Love Fontana	\$18,700.00	\$1,793.00	Tier 3
4	Working Dogs for Warriors	A Sound Mind	\$5,010.00	\$1,904.00	Tier 3
5	Uplifting Arts Academy	1st Annual Mental Health Awareness and Youth Empowerment Summ	\$10,000.00	\$1,643.00	Tier 3
6	Concerned Citizens for N. Fontana	Chill-n-Grill BBQ Cook-Off	\$4,650.00	\$3,041.00	Tier 3
7	Living Your Legacy, Inc.	All GenConvention and Resource Fair	\$2,832.00	\$1,623.00	Tier 2
8	Water of Life Community Church	Trunk or Treat	\$45,000.00	\$7,620.00	Tier 1
9	Hayes Events	A Soulful Taste of the Holidays	\$4,000.00	\$1,280.00	Tier 3
10	American Legion Post 262	Veteran's Day Celebration	\$1,000.00	\$1,096.00	Tier 3
11	Fontana Aquatics Club	Veterans Day Classic Swim Meet	\$11,000.00	\$5,368.00	Tier 2
12	Project Boon	Eat & Be Well	\$46,910.00	\$3,019.00	Tier 3
13	New Life Church of Fontana	Nelly's Story: A Kwanza Celebration	\$10,075.00	\$2,107.00	Tier 2
14	Fontana Foundation of Hope	IE Ronald McDonald Walk for Kids	\$28,000.00	\$9,798.00	Tier 2
15	Miss Fontana Organization	Miss Fontana Pageant	\$129,896.00	\$3,716.00	Tier 2
Facility Reservation Only					
16	AARP	Troop Monthly Meetings	Every other Tuesday	8am-1:30pm	Cypress Center
17	Fontana Chamber of Commerce	Chamber of Commerce Luncheon	2nd Thursday of each month	10am-2pm	Jessie Turner
			<b>TOTAL:</b>	<b>\$47,379.00</b>	

**2025/2026 Co-Sponsorship  
Cost Breakdown**

Attachment D

\*Events in RED are new events

#	Organization	Event Name	Date & Time	Location	Requested Support	City Support
1	Purple Roses International	A Night to Remember	Saturday, August 2, 2025 Set Up 4pm-6pm Event 6pm-8:30pm Breakdown 8:30pm-9:30pm	Jessie Turner Center	<i>Use of Main Banquet Room</i> (3) AV Staff (2) CSD Staff (Facilities) (2) CSD Staff (Events)	 \$25p/h x 3 x 5hrs = \$375 \$21p/h x 2 x 6hrs = \$252 \$21p/h x 2 x 6hrs = \$252 <b>\$879</b>
2	Fontana (C.A.P)	Annual CAP Resource Fair and Back to School Fair	Saturday, August 2, 2025 Set Up 7am-9am Event 9am-2pm Breakdown 2pm-3pm	Miller Park Amphitheater	<i>Use of Miller Park</i> (6) Public Works (Parks) (1) Public Works (Streets) (4) AV Staff (2) CSD Staff (Events)	 \$55p/h x 6 x 4hrs = \$1320 \$55p/h x 4hrs = \$220 \$25p/h x 4 x 7hrs = \$700 \$21p/h x 2 x 6hrs = \$252 <b>\$2,492</b>
3	Calvary Chapel Fontana	Love Fontana	Saturday, August 9, 2025 Set-up 11am-2pm Event 2pm-5pm Breakdown 5pm-6pm	Miller Park Amphitheater	<i>Use of Miller Park</i> (5) Public Works (Parks) (1) Public Works (Streets) (1) CSD Staff (APM) (2) CSD Staff (Events) (1) AV Staff	 \$55p/h x 5 x 4hrs = \$1100 \$55p/h x 4hrs = \$220 \$24p/h x 4hrs = \$96 \$21p/h x 2 x 6hrs = \$252 \$25p/h x 5hrs = \$125 <b>\$1,793.00</b>
4	Working Dogs for Warriors	A Sound Mind	Saturday, September 6, 2025 Set-up 7am-9am Event 9am-1pm Breakdown 1pm-2pm	Veterans Park	<i>NE Corner Palmetto Ave &amp; Merrill Ave.</i> (4) Public Works (Parks) Public Works (Streets) (2) AV Staff (2) CSD Staff (Healthy) (2) CSD Staff (Events)	 \$55p/h x 4 x 4hrs = \$880 \$55p/h x 4hrs = \$220 \$25p/h x 2 x 6hrs = \$300 \$21p/h x 2 x 6hrs = \$252 \$21p/h x 2 x 6hrs = \$252 <b>\$1,904.00</b>
5	Uplifting Arts Academy	1st Annual Mental Health Awareness and Youth Empowerment Summit	Saturday, September 13, 2025 Set-Up 8am-12pm Event 12pm-7pm Breakdown 7am-8:30pm	Jessie Turner Center	<i>Use of Main Banquet Room</i> (2) CSD Staff (Facilities) (2) Public Works (Facilities) (3) AV Staff	 \$21p/h x 2 x 9hrs = \$378 \$55p/h x 2 x 4hrs = \$440 \$25p/h x 3 x 11 hrs = \$825 <b>\$1,643.00</b>
6	Concerned Citizens for North Fontana	Chill-n-Grill BBQ Cook Off	Saturday, September 13, 2025 Set-up 7am-10am Event 10am-3pm Breakdown 3pm-4pm	Fontana Park Pavilion	<i>Sports Pavilion</i> (7) Public Works (Parks) Public Works (Streets) (3) AV Staff (4) CSD Staff (Events)	 \$55p/h x 7 x 4hrs = \$1,540 \$55p/h x 4hrs = \$220 \$25p/h x 3 x 7hr = \$525 \$21p/h x 4 x 9hrs = \$756 <b>\$3,041.00</b>

**2025/2026 Co-Sponsorship  
Cost Breakdown**

Attachment D

\*Events in RED are new events

7	Living Your Legacy, Inc.	All GenConvention and Resource Fair	Saturday, October 4, 2025 Set-up 12pm-1pm Event 1pm-3pm Breakdown 3-4pm	Jessie Turner Center	Use of Main Banquet Room	
					(2) CSD Staff (Facilities)	\$21p/h x 2 x 4hrs = \$168
					(3) Public Works (Parks)	\$55p/h x 3 x 4hrs = \$660
					(3) AV Staff	\$25p/h x 3 x 5hrs = \$375
					(4) CSD Staff (Events)	\$21p/h x 4 x 5hrs = \$420
						<b>\$1,623.00</b>
8	Water of Life Community Church	Trunk or Treat	Friday, October 31, 2025 Set-up 4pm-6pm Event 6pm-9pm Breakdown 9-10pm	Water of Life Community Church	Fontana PD for traffic control	\$90p/h x 8 x 6hrs = \$4,320
					(4) Public Works (Streets)	\$55p/h x 4 x 6hrs = \$1,320
					(6) Public Works (Parks)	\$55p/h x 6 x 6hrs = \$1,980
						<b>\$7,620.00</b>
9	Hayes Events	A Soulful Taste of the Holidays	Sunday, November 2, 2025 Set-up 12-3pm Event 3pm-7pm Breakdown 7-9pm	Senior Center	Use Multi Purpose Room	
					Public Works (Parks)	\$55p/h x 2 x 4hrs = \$440
					(2) CSD Staff (Facilities)	\$21p/h x 2 x 10hrs = \$420
					(2) CSD Staff (Events)	\$21p/h x 2 x 10hrs = \$420
						<b>\$1,280.00</b>
10	American Legion Post 262	Veterans Day Celebration	Tuesday, November 11, 2025 Set-up 9-11am Event 11am-12pm Breakdown 12pm-1pm	Steelworkers Auditorium	Use of Auditorium	
					Public Works (Parks)	\$55p/h x 2 x 4hrs = \$440
					Public Works (Streets)	\$55p/h x 4hrs = \$220
					(2) CSD Staff	\$21p/h x 2 x 4hrs = \$168
					(2) CSD (Facilities)	\$21p/h x 2 x 4hrs = \$168
					(2) AV Staff	\$25p/h x 2 x 2hr = \$100
						<b>\$1,096.00</b>
11	Fontana Aquatics Club	Veterans Day Classic Swim Meet	Fri., Nov. 14, 2025 12pm-6pm Sat., Nov. 15, 2025 7am-6pm Sun., Nov. 16, 2025 7am-6pm	Fontana Park Aquatic Center	Use of Main Pool	
					(3) Public Works (Parks)	\$55p/h x 3 x 4hrs = \$660
					(2) CSD Staff (APM)	\$24p/h x 2 x 22hrs = \$1,056
					(1) CSD Staff (PM)	\$26 p/h x 1 x 22hrs = \$572
					(6) CSD Staff (Lifeguards)	\$20p/h x 6 x 22hrs = \$2,640
					(1) CSD Staff (CSA)	\$20p/h x 1 x 22hrs = \$440
						<b>\$5,368.00</b>
12	Project Boon	Eat & Be Well	Wednesday, November 26, 2025 Set-Up 6am-11am Event 11am-3pm Breakdown 3pm-4pm	Central City Park Cypress Ave. Side	Closure of Central City Parking Lot	
					(4) Public Works (Parks)	\$55p/hr x 4 x 7hrs = \$1,540
					(1) Public Works (Streets)	\$55p/hr x 4hrs = \$220
					(10) CSD Staff (Cypress)	\$20p/hr x 10 x 4hrs=\$800
					(2) CSD Staff (Events)	\$21p/hr x 2 x 2hrs=\$84
					(3) AV Staff	\$25p/h x 3 x 5hrs = \$375
						<b>\$3,019.00</b>

**2025/2026 Co-Sponsorship  
Cost Breakdown**

Attachment D

\*Events in RED are new events

13	New Life Church of Fontana	Nelly's Story: A Kwanza Celebration	Rehearsals December 1-5, 2025 Event Day Saturday, December 6, 2025 3pm-6pm	Steelworkers Auditorium	Use of Auditorium	
					(1) Public Works (Streets)	\$55p/h x 4hrs = \$220
					(3) AV Staff	\$25p/h x 3 x 5hrs = \$375
					(2) CSD Staff (Arts)	\$21p/h x 2 x 28hrs rehearsal = \$1176
					(2) CSD Staff (Arts)	\$21p/h x 2 x 8hrs = \$336
						\$2,107.00
14	Fontana Foundation of Hope	IE Ronald McDonald Walk for Kids	Sunday, April 26, 2026 Set-up 5am-8am Event 8am-12pm Breakdown 12pm-1pm	Fontana Park	Closure of Fontana Park	
					Fontana PD for traffic control	\$90p/h x 12 x 6hrs = \$6,480
					(4) Public Works (Streets)	\$55p/h x 4 x 6hr = \$1,320
					(6) Public Works (Parks)	\$55p/h x 6 x 4hrs = \$1,320
					(4) CSD Staff (Events)	\$21p/h x 3 x 6hrs = \$378
					(2) AV Staff	\$25p/h x 2 x 6hrs = \$300
						\$9,798.00
15	Miss Fontana Organization	Miss Fontana Pageant	May-26 5/9, 5/11-14, 5/18-5/21, 5/26-5/28 Jun-26 6/1-4/2026 Various Times	Steelworkers Auditorium	Use of Auditorium	
					(1) Public Works (Parks)	\$55p/h x 4hrs = \$220
					(1) Public Works (Streets)	\$55p/h x 4hrs = \$220
					(2) CSD Staff (Arts)	\$21p/h x 2 x 78hrs = \$3,276
						\$3,716.00

<b>TOTAL:</b>	<b>\$47,379.00</b>
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Facility Use ONLY						
16	AARP	Monthly Meetings	2nd Monday of the month 9am-1pm	Cypress Center	Use of room for 50 participants	<b>\$0</b>
17	Chamber of Commerce	Luncheon	2nd Thursday of the month 1130a-1pm	Jessie Turner Center	Use of meeting room for 12	<b>\$0</b>

## Priority Rating Matrix - Parks, Community &amp; Human Services Commission (February 2025)

\*Rankings are based on Commissioners prioritization

	Priority 1-17	Organization	Event Name	Amount Requested	Commission Recommended Funding
1		Purple Roses International	A Night to Remember	\$879.00	
2		Fontana (C.A.P)	Annual CAP Resource Fair and Back to School Fair	\$2,492.00	
3		Calvary Chapel Fontana	Love Fontana	\$1,793.00	
4		Working Dogs for Warriors	A Sound Mind	\$1,904.00	
5		Uplifting Arts Academy	1st Annual Mental Health Awareness and Youth Empowerment Summit	\$1,643.00	
6		Concerned Citizens for N. Fontana	Chill-n-Grill BBQ Cook-Off	\$3,041.00	
7		Living Your Legacy, Inc.	All GenConvention and Resource Fair	\$1,623.00	
8		Water of Life Community Church	Trunk or Treat	\$7,620.00	
9		Hayes Events	A Soulful Taste of the Holidays	\$1,280.00	
10		American Legion Post 262	Veterans Day Celebration	\$1,096.00	
11		Fontana Aquatics Club	Veterans Day Classic Swim Meet	\$5,368.00	
12		Project Boon	Eat & Be Well	\$3,019.00	
13		New Life Church of Fontana	Nelly's Story: A Kwanza Celebration	\$2,107.00	
14		Fontana Foundation of Hope	IE Ronald McDonald Walk for Kids	\$9,798.00	
15		Miss Fontana Organization	Miss Fontana Pageant	\$3,716.00	
16		AARP	Monthly Meetings	\$0	
17		Chamber of Commerce	Monthly Luncheon	\$0	
TOTAL				\$47,379	



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0252

**Agenda #:** I.

**Agenda Date:** 5/27/2025

**Category:** Consent Calendar

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**FROM:**

Housing

**SUBJECT:**

Authorization to Apply for the Board of State and Community Corrections Proposition 47, Cohort 5 Grant Program

**RECOMMENDATION:**

1. Authorize the Fontana Housing Department to apply for State and Community Corrections (BSCC) Proposition 47, Cohort 5 Grant Program.
2. Authorize the City Manager, or City Manager's designee, to execute and transmit any documents necessary or desirable to ensure the City's timely submittal and execution of the State and Community Corrections Proposition 47, Cohort 5 Grant Program.
3. Adopt **Resolution No. 2025-023**, delegating the City Manager with signing authority to execute the State and Community Corrections Proposition 47, Cohort 5 Grant Program grant agreement, if awarded.
4. Approve and authorize the City Manager, or his designee, to execute a lease agreement with River's Edge Ranch for the property located at 16000 Dorsey Ave (APN: 0232-191-10-0000).
5. Approve and Authorize the City Manager, or City Manager's designee, to make non-material changes to these agreements and execute any future amendments to the lease agreement.

**COUNCIL GOALS:**

- Practice sound fiscal management by pursuing grant opportunities.
- Provide a diverse range of housing types and levels of affordability while addressing homelessness in the community by promoting diverse range of housing projects and levels of affordability.
- Concentrate on Inter-governmental relations by pursuing financial participation from county, state and federal governments.

**DISCUSSION:**

The Board of State and Community Corrections (BSCC) released a Request for Proposals on April 11, 2025, making \$127 million available for the Proposition 47 Grant Program (Prop 47).

This program provides funding to projects aimed at supporting mental health treatment, substance abuse treatment, and diversion programs for people in the criminal justice system, with an emphasis on programs that reduce recidivism of people convicted of less serious crimes, such as those covered by this measure, and those who have substance abuse and mental health problems." (Gov. Code, § 7599.2, subd. (a)(3)).

Prop 47 grant funds must be used for one or more of the following:

- mental health services, and/or
- substance use disorder (SUD) treatment, and/or
- diversion programs

The Prop 47 program requires that the applicant partner with Community-Based Organization that will provide the direct services to the community. The City's proposed three-year program will partner with River's Edge Ranch who currently provides a three-phased recovery program focused on transforming the lives of men battling addiction, homelessness, and incarceration. A significant portion of the organization's participants have ties to the City of Fontana.

Rooted in structure, accountability, hard work, animal therapy, their program is designed to restore men to their families, communities, and purpose. Phase One introduces participants to a structured daily routine that includes ranch and animal work, group studies, counseling, and recovery meetings. After 30 days, participants move onto Phase 2 where they begin to take on leadership roles and help guide newer ranchers. This stage includes more focused mentorship, increased responsibilities, and opportunities to serve at community events. Lastly, Phase Three focuses on preparing men for successful reentry into society. Case Management assist program participants with job placement, financial planning, transportation, and help them secure reliable vehicles. Through this partnership, the City intends to expand the program to allow for reunification of successful participants and their families. Previously, River's Edge has been limited to only providing Phase 3 housing to individuals through congregate-style housing. This new component will allow for families and children, the opportunity to start the healing process through various types of family-specific counseling and support services.

Additionally, the City currently owns the three-unit multifamily property located 16000 Dorsey Ave (APN: 0232-191-10-0000) which has been identified as "graduate units" for the City's Pathway to Housing program. In collaboration with River's Edge, these units will provide wrap-around supportive services for successful participants that are moving into Phase Three of their program.

The City would contingently apply for the appropriate amount of funding that aligns the eligible funding categories with the City's current homeless programming. If funding is awarded, staff will request City Council approval for acceptance.

#### **FISCAL IMPACT:**

The fiscal impact associated with the approval of this item is an increase in Board of State and Community Corrections Proposition 47, Cohort 5 Grant Program funds in the amount of the application submitted which is expected to be between \$2 million and \$8 million. Currently, the budget is being finalized as part of the application process. There is no match required for this grant. The required budget adjustments will be included in the first available quarterly budget report after grant award in Fund 301, if received.

#### **MOTION:**

Approve Staff Recommendation.

**RESOLUTION NO. 2025-023**

**AUTHORIZING RESOLUTION OF CITY OF FONTANA, CALIFORNIA  
AUTHORIZING THE CITY MANAGER, OR HIS DESIGNEE, TO  
EXECUTE THE GRANT AGREEMENT AND ANY OTHER DOCUMENTS  
RELATED TO THE PROPOSITION 47 GRANT ADMINISTERED BY THE  
BOARD OF STATE AND COMMUNITY CORRECTIONS.**

All, or a necessary quorum and majority of the City Council of the City of Fontana, California, municipality, hereby consents to, adopts, and ratifies the following resolution:

**WHEREAS**, the City of Fontana desires to participate in the Proposition 47 Grant administered by the Board of State and Community Corrections (hereafter referred to as BSCC).

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Fontana, California, as follows:

The City Manager, or his designee, be authorized on behalf of the City Council of the City of Fontana to submit the grant proposal for this funding and sign the Grant Agreement with the BSCC, including any amendments thereof.

**BE IT FURTHER RESOLVED** that grant funds received hereunder shall not be used to supplant expenditures controlled by this body.

**BE IT FURTHER RESOLVED** that the City of Fontana agrees to abide by the terms and conditions of the Grant Agreement as set forth by the BSCC.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of May, 2025.

**READ AND APPROVED AS TO LEGAL FORM:**

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City Attorney

I, Germaine Key, City Clerk of the City of Fontana, and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Resolution is the actual Resolution duly and regularly adopted by the City Council at a regular meeting held on the 27<sup>th</sup> day of May, 2025, by the following vote to-wit:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

---

City Clerk of the City of Fontana

---

Mayor of the City of Fontana

**ATTEST:**

---

City Clerk

**LEASE AGREEMENT  
BETWEEN THE CITY OF FONTANA  
AND THE RIVERS EDGE RANCH**

THIS LEASE AGREEMENT (hereinafter “**Lease**”) is entered into by and between the CITY OF FONTANA, a California municipal corporation (hereinafter “**Landlord**”), and THE RIVERS EDGE RANCH, a California non-profit corporation (hereinafter “**Tenant**”). Tenant and Landlord are sometimes individually referred to as “Party” and collectively as “Parties.”

**1. RECITALS**

1.1 WHEREAS, Landlord is the fee simple owner of that certain real property located at 16000 Dorsey Avenue, City of Fontana, County of San Bernardino, State of California (Assessor Parcel No. 0232-191-10-000), more particularly described in attached Exhibit “A” (the “**Property**”); and

1.2 WHEREAS, Tenant will lease the Property from Landlord for the purpose of, *inter alia*, providing a shelter and related services to persons who are homeless or at risk of homelessness; and

1.3 WHEREAS, Landlord and Tenant desire to enter into this Lease for a term of one (1) year with four (4) options to extend for (1) year each, upon the terms and conditions set forth herein.

NOW, THEREFORE, in consideration of the above recitals and of the mutual covenants hereinafter contained and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

**2. TERMS**

2.1 **Parties.**

2.1.1 Tenant is a California non-profit corporation. Tenant will operate the Property in accordance with this Lease.

2.1.2 Landlord is a municipal corporation and, by this Lease, seeks to make the Property available to Tenant for purposes of providing shelter to persons experiencing homelessness. At times, this Lease may refer to the Landlord as acting in a regulatory capacity, and refer to the City in its capacity as regulator or administrator of public programs. This Lease shall not be construed as a regulatory approval or a waiver of the City’s right to act in a regulatory capacity.

2.2 **Right of Possession.** Landlord hereby leases to Tenant and Tenant hereby leases from Landlord, the Property on the terms and conditions hereinafter set forth in this Lease.

2.2.1 **Components of the Property.** Upon the delivery of all of the herein described components, the Property shall comprise of three separate living areas, as described in the Site Plan attached hereto as Exhibit B, and described as follows:

(a) A three-unit multi-family residence with common areas (“**Residence**”).

2.3 **Term.** The term of this Lease shall begin on \_\_\_\_\_, 2025 (“**Effective Date**”) and shall end one (1) year after the Effective Date (“**Term**”) unless terminated earlier as provided in Section 4 herein. Tenant shall have the right to extend the Term of this Lease for four (4) additional terms (each a “**Renewal Term**”) of one (1) year each. The terms and conditions for each Renewal Term shall be the same terms and conditions as set forth in this Lease. Tenant shall automatically be deemed to have exercised Tenant’s option to renew this Lease for a Renewal Term unless (1) Tenant notifies Landlord in writing of Tenant’s intention not to extend this Lease at least thirty (30) days prior to the expiration of the first Term or any Renewal Term, or (2) Tenant is in material default of this Lease and Tenant has failed to cure said default within the applicable cure period.

2.3.1 **Mobilization Period.** Tenant shall have a mobilization period of thirty (30) days from the Effective Date. During the Mobilization Period, Tenant shall not be required to accept any Residents or evaluate any Eligible Resident. For the avoidance of doubt, Landlord shall not be permitted to terminate this Lease during the Mobilization Period. Subject to the foregoing, Tenant shall otherwise comply with all applicable provisions of this Lease during the Mobilization Period, and shall provide reasonable efforts to secure the Property during the Mobilization Period and be responsible for maintenance, repair, and damage to the Property as set forth in this Lease.

2.4 **Rent.** Within three (3) days of the Effective Date or the first day of each Renewal Term, Tenant shall pay to Landlord, as rent for leasing the Property, one (\$1.00) dollar per year. Rent also includes all other monetary and non-monetary obligations of Tenant to Landlord under this Lease.

2.5 **Use.**

2.5.1 The Property shall be used by Tenant in accordance with the zoning ordinances and regulations of the City of Fontana to provide permanent supportive housing to Eligible Residents, defined below, and related support services, the scope and nature of which may be modified during the lease term, including but not limited to family counseling, peer support counseling and case management. Tenant shall not use or permit the Property to be used for any other purposes, without the prior written consent of Landlord, which consent may be withheld or conditioned on Landlord's sole and absolute discretion.

2.5.2 Tenant agrees and acknowledges that the provision of permanent supporting housing to Eligible Residents shall be made in accordance with all applicable requirements imposed by state and federal law, and all requirements of this Lease.

2.6 **Provision of Permanent Supportive Housing.**

2.6.1 **Eligible Residents.** For purposes of this Lease, the term "Eligible Resident" shall mean any individual who meets the definition of “homeless” or “at risk of homelessness” as defined in Sections 576.2 and 578.3 of Title 24 of the Code of Federal Regulations, which includes but is not limited to:

(a) any individual who lacks a fixed, regular, and adequate nighttime residence; and

(b) any individual who has a primary nighttime residence that is —  
a supervised publicly or privately operated shelter designed to provide temporary living accommodations (including welfare hotels, congregate shelters, and transitional housing for the mentally ill); or

an institution that provides a temporary residence for individuals intended to be institutionalized; or

a public or private place not designed for, or ordinarily used as, a regular sleeping accommodation for human beings.

An Eligible Resident selected for occupancy at the Property is hereafter referred to as a “Resident.”

2.7 Obligation to Refrain from Discrimination. Subject to applicable law, Tenant may restrict dwelling spaces within the Property, or, at Tenant’s election, all dwelling spaces within the Property, on the basis of sex, pursuant to the Emergency Housing and Assistance Program laws and regulations. (Health & Saf. Code, §§ 50800 et seq.; Cal. Code Regs., tit. 25, §§ 7950 et seq.) (the “**Occupancy Restriction**”). Except for the Occupancy Restriction, Tenant covenants and agrees for itself, its successors, its assigns and every successor in interest to the Property (or any part thereof) that there shall be no discrimination against or segregation of any person, or group of persons on account of sex, handicap status, marital status, race, color, religion, creed, national origin or ancestry in the lease, sublease, transfer, use, occupancy, tenure or enjoyment of the Property nor shall the Tenant, itself or any person claiming under or through it, establish or permit any such practice or practices of discrimination or segregation with reference to the selection, location, number, use or occupancy of tenants, lessees, subtenants, or sublessees of the Property. Tenant shall provide each occupant with a written notice stating as follows:

“There shall be no discrimination against or segregation of any person or group of persons on account of race, color, religion, sex, marital status, ancestry or national origin in the leasing, subleasing, transferring, use, occupancy, tenure or enjoyment of the property nor shall the resident himself or herself, or any person claiming under or through him or her, establish or permit any such practice or practices of discrimination or segregation with reference to the selection, location or number of or use or occupancy by any resident of the property.”

Tenant shall at all times comply with applicable nondiscrimination and accessibility requirements Title VI of the Civil Rights Act of 1964 (42 U.S.C. §§ 2000d et seq and implementing regulations); the Fair Housing Act, Title VIII of the Civil Rights Act of 1968 (42 U.S.C. § 3601 et seq. and implementing regulations); Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. § 794 and implementing regulations); the Age Discrimination Act of 1975, as amended (42 U.S.C. § 6101 et seq. and implementing regulations); Title II of the Americans with Disabilities Act of 1990, as amended (42 U.S.C. § 12101 et seq. and implementing regulations); the provisions of the Fair Employment and Housing Act (Gov. Code

§12900 et seq.), the regulations promulgated thereunder (Cal. Code Regs., tit. 2, §11000 et seq.), the provisions of Article 9.5, Chapter 1, Part 1, Division 3, Title 2 of the Government Code (Gov. Code §§11135-11139.5), and the regulations or standards adopted by the awarding state agency to implement such article. Except to the extent required by law, nothing in this Lease shall preclude Tenant from claiming an exemption to Title VII of the Civil Rights Act for employment practices of faith-based organizations.

2.8 Waste and Nuisance. Tenant shall not commit any waste on or about the Property, nor commit or maintain any public or private nuisance on or about the Property. Tenant shall use its best efforts to prevent any third party from committing any waste on or about the Property, or from committing any public or private nuisance on or about the Property.

2.9 Compliance with Laws, Rules, Regulations. Tenant shall at all times comply with the requirements of local, state and federal laws, rules, orders and regulations now in force or which may hereinafter be in force ("Regulations"). In order to comply with the Regulations, Tenant shall obtain, at its sole cost and expense, all licenses, permits and approvals that the Regulations require for the use or operation of the Property, including but not limited to, any conditional or special use permit required by the City of Fontana Municipal Code. The Tenant shall maintain all licenses, permits and approvals throughout the Term or Renewal Term of this Lease.

2.10 Repairs and Maintenance.

2.10.1 Tenant shall keep the Property in good, clean condition and repair as set forth herein and in a clean and sanitary manner and shall surrender the same at termination hereof in as good condition as received, normal wear and tear excepted. Tenant shall be responsible, at its sole cost, expense and liability, for maintaining and making repairs, restorations and replacements (as necessary) to the interior of the Property, all Tenant improvements and fixtures, roof, foundations, floor and exterior walls of the Property, including, without limitation, the plumbing and heating, electrical, ventilation and air-conditioning systems. Landlord reserves the right to promptly cause repairs or maintenance required by damage to the Property that is Tenant's responsibility under this section, and Tenant shall reimburse Landlord within thirty (30) days of invoice for the cost of all such repairs or maintenance.

2.10.2 Tenant agrees to exercise reasonable care to the following

(a) To keep the premises clean and sanitary and to dispose of all rubbish, garbage and other waste, in a clean and sanitary manner;

(b) To properly use and operate all electrical, gas, and plumbing fixtures and keep the same clean and sanitary;

(c) To promptly advise Landlord of any items requiring repair, including any locks, light switches, smoke detectors, appliances, and heating and air conditioning (if provided), or any condition that might need repair, including any leaks, drips, or water fixtures that do not shut off properly (e.g. a toilet or faucet);

(d) To keep doors and windows and access to them unobstructed and to not block them with personal items or otherwise to maintain clear pathways into and through each room in the Property;

(e) To maintain the Property in a manner that allows necessary access through each room and to all doors and windows, does not inhibit necessary airflow, does not act as a potential haven for pests and mold growth, does not create a fire hazard, and allows rooms to be used for their intended purposes;

(f) To leave the Property in the same condition as it was received, subject to normal wear and tear, and

(g) To return the Property, upon vacating, to the same level of cleanliness it was in at the inception of the tenancy.

Prior to the Tenant undertaking any repair or maintenance service for which the anticipated cost shall exceed two thousand five hundred dollars (\$2,500), the Tenant shall furnish the Landlord with written notice. No such repair or maintenance services shall commence unless and until the Landlord has provided approval. Upon receipt of the Landlord's approval, the Tenant shall be authorized to proceed with the aforementioned repair or maintenance services.

2.10.3 Tenant acknowledges that any improvements, alterations, or repairs may be subject to the payment of prevailing wage under the provisions of the California Labor Code. To the extent any such work is subject to prevailing wage requirements, the following shall apply:

(a) Tenant shall and shall cause its service provider, contractors, and subcontractors to: pay prevailing wages as those wages are determined pursuant to Labor Code Sections 1720 et seq.; employ apprentices as required by Labor Code Sections 1777.5 et seq.; and comply with the other applicable provisions of Labor Code Sections 1720 et seq., 1725.5, 1771, 1771.1, 1771.4, 1776, 1777.5 et seq., 1810-1815 and the implementing regulations of the Department of Industrial Relations (the "**DIR**") for all such Labor Code sections.

(b) Tenant shall indemnify, hold harmless and defend (with counsel reasonably selected by the Landlord), to the extent permitted by applicable law, Landlord against any claim for damages, compensation, fines, penalties or other amounts arising out of the failure or alleged failure of any person or entity (including Tenant, or its contractors or subcontractors) to pay prevailing wages as determined pursuant to Labor Code Sections 1720 et seq., to hire apprentices in accordance with Labor Code Sections 1777.5 et seq., or to comply with the other applicable provisions of Labor Code Sections 1720 et seq., 1725.5, 1771, 1771.1, 1771.4, 1776, 1777.5 et seq., 1810-1815 and the implementing regulations of the DIR in connection with Tenant's Work. The provisions of this Section shall survive termination of this Lease.

(c) Tenant covenants and agrees to indemnify, PROTECT, defend with counsel acceptable to Landlord, and hold harmless Landlord and the Property from all claims, fines, penalties, liens, or demands arising out of any work performed, materials furnished, or obligations incurred by or for Tenant upon the Property during the Term and any renewal thereafter. The provisions of this section shall survive termination of this Lease.

2.10.4 Graffiti. In addition to any other maintenance obligation herein, Tenant shall promptly remove any graffiti on the Property within twenty-four (24) hours of its occurrence.

2.10.5 Landscaping. Tenant shall have the sole responsibility, at its sole cost and expense, for the maintenance, care, and replacement of all landscaping on the Property throughout the Lease Term and subsequent renewals thereof. Tenant shall maintain the landscaping in a clean, neat, and well-maintained condition, and in compliance with the requirements of the City of Fontana Municipal Code.

2.11 Destruction of Premises.

2.11.1 Termination of Lease. If, during the term of this Lease and any renewal term, the Property and other improvements on the Property are totally or partially destroyed and as a result the Property is totally or partially inaccessible or unusable, then either Tenant or Landlord can elect to terminate this Lease by giving at least fifteen (15) days written notice.

2.11.2 Procedures for Repair and Restoration. In the event of any damage or destruction, Tenant shall promptly give Landlord written notice of such damage or destruction and the date on which such damage or destruction occurred. Tenant shall promptly make proof of loss and shall proceed promptly to collect, or cause to be collected, all valid claims which Tenant may have against insurers or others based upon any such damage or destruction. All insurance proceeds shall first be paid to Landlord for the cost of restoration or replacement of the Property in accordance with the designation of Landlord as a loss payee under this Lease.

2.11.3 RESERVED.

2.12 Condition of Property. Tenant acknowledges that it has examined the Property and shall take possession of same in an AS-IS condition. Tenant acknowledges and agrees that Landlord has made absolutely no representations or warranties regarding whether the Property is suitable to provide shelter and related services to homeless persons.

2.13 Alterations and Additions. Tenant, at its sole cost and expense, may make any alterations, improvements or additions in, about or of the Property, but only with the prior written consent of Landlord and only upon terms and conditions mutually agreed upon in writing between Landlord and Tenant.

2.14 Entry and Inspection. Tenant shall permit Landlord or Landlord's agents to enter the Property at all times upon reasonable prior oral or written notice for the purpose of inspecting the Property and for otherwise determining Tenant's compliance with this Lease.

2.15 Assignment and Subletting. Tenant shall not assign or sublease its leasehold interest in the Property without the prior written approval of Landlord.

2.16 Assumption of Risk, Waiver, and Landlord's Non-liability. To the maximum extent allowed by law, except for Landlord's willful or negligent acts, Tenant assumes any and all risk of loss, damage or injury of any kind to any person or property which is on or about the Property. Tenant's assumption of risk shall include, without limitation, loss or damage caused by defects in any structure or improvement on the Property, accident, fire or other casualty on the

Property. To the maximum extent allowed by law, except for Landlord's willful or negligent acts, or as expressly provided in this Lease, Tenant hereby waives all claims and demands against Landlord and Landlord's officials, officers, employees, volunteers and agents for injury to persons, damage to property or any other interest of Tenant sustained by Tenant or any person claiming to be Tenant resulting from any occurrence on or about the Property.

Tenant has been advised by its legal counsel concerning the content and effect of California Civil Code Section 1542, which provides:

A general release does not extend to claims that the creditor or releasing party does not know or suspect to exist in his or her favor at the time of executing the release and that, if known by him or her, would have materially affected his or her settlement with the debtor or released party.

Tenant hereby waives the benefits of Civil Code Section 1542 and all other state or federal statutes or judicial decisions of similar effect. The provisions of this Section shall survive the termination of this Lease.

\_\_\_\_\_ Tenant's Initials

2.17 Indemnification.

2.17.1 Indemnification. Tenant agrees to defend (in accordance with Section 2.18), indemnify and hold harmless Landlord, the City, its respective officials, officers, employees, volunteers and agents (collectively, "**Indemnified Parties**") from and against any and all claims, losses, actions, damages, liabilities, and expenses (including attorneys' fees) that (i) arise from or are in connection with any negligent or willful act or omission of Tenant or Tenant's officials, officers, employees, volunteers, agents, guests, licensees, invitees, or subtenants (if applicable); or (ii) result from any breach, default, violation or nonperformance by Tenant of this Lease, or applicable federal, state, or local law; or (iii) arise from injury or death to persons or damage to property sustained on or about the Property. Tenant must pay, satisfy and discharge any and all money judgments that may be recovered against any Indemnified Party in connection with the foregoing. Tenant's obligation hereunder shall survive termination of this Lease, and shall not be restricted to insurance proceeds, if any, received by any Indemnified Party. Tenant's obligation to defend, indemnify and hold harmless the Indemnified Parties pursuant to the foregoing paragraph shall not apply to any discretionary approvals made by the City. Tenant shall not be obligated to defend, indemnify or hold harmless any Indemnified Party to the extent any claim, loss, action, damage, liability, or expense (including attorneys' fees) is ultimately determined to be the result of the negligent or willful misconduct of that particular Indemnified Party or any of its officials, officers, employees, volunteers or agents.

2.17.2 RESERVED.

2.18 Duty to Defend. Upon written request from an Indemnified Party, Tenant or Landlord, as applicable, shall defend (with counsel acceptable to that Indemnified Party, in the Indemnified Party's reasonable discretion) any claim, lawsuit, administrative action or other

proceeding brought against the Indemnified Party by any public body, individual, partnership, corporation, or other legal entity, relating to any matter covered by this Lease for which Tenant has an obligation to defend, Tenant shall pay all reasonable costs incident to such defense, including, but not limited to, attorneys' fees, investigators' fees, litigation expenses, settlement payments, and amounts paid in satisfaction of judgments. The obligations of Tenant pursuant to this Section shall survive the termination or expiration of this Lease.

2.19 Taxes; Revenue and Taxation Code § 107.6. A possessory property interest may be created by this Lease which may be subject to property taxation, and Tenant may be subject to the payment of property taxes levied on such interest by the appropriate taxing authority. Tenant is required to pay any such tax directly to the appropriate taxing authority. In addition, if personal property taxes are assessed, Tenant shall pay any portion of such taxes directly attributable to the Property. Except as provided above, Landlord shall pay any real property taxes, assessments and deferred taxes on the Property.

2.20 Financial Statements. Tenant shall provide Landlord with financial statements related to the Tenant's operations at the Property upon Landlord's request.

2.21 Utilities. The utilities at the Property will be arranged for and contracted for by the Tenant. Unless Landlord approves other utilities in writing, the utilities shall include: gas, electric, trash, recycling, and water.

### 3. INSURANCE

3.1 Time for Compliance. This Lease shall not commence until Tenant has provided evidence satisfactory to the Landlord that it has secured all insurance required under this Section.

3.2 Insurance Requirements. Tenant shall, at its expense, procure and maintain for the duration of this Lease insurance against claims for injuries to persons or damages to property which may arise from or in connection with the possession, use, occupancy, management, operation, repair, maintenance or control of the Property by the Tenant and/or its officers, officials, agents, representatives, volunteers or employees.

3.2.1 Minimum Scope of and Limits of Coverage. Coverage shall be at least as broad as the latest version of the following: (A) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (B) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto); (C) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance; and (D) *Sexual Abuse and Molestation Coverage*. Tenant shall maintain limits no less than: (A) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used, either the general

aggregate limit shall apply separately to this Lease/location or the general aggregate limit shall be twice the required occurrence limit; (B) *Automobile Liability*: \$2,000,000 per accident for bodily injury and property damage; (C) *Workers' Compensation and Employer's Liability*: Workers' compensation limits as required by the Labor Code of the State of California. Employers Liability limits of \$1,000,000 per accident for bodily injury or disease; and (D) *Sexual Abuse and Molestation Coverage*: \$1,000,000 per occurrence.

3.2.2 Fire and Extended Coverage. Tenant shall also procure and maintain, at its own expense, for the duration of this Lease fire and extended coverage insurance for Tenant's fixtures, goods, wares, or personal property on or in the Property.

3.2.3 Insurance Endorsements. The insurance policies shall contain the following provisions, or Tenant or the primary insured shall provide endorsements on forms supplied or approved by the Landlord to add the following provisions to the insurance policies:

(a) General Liability and Sexual Abuse and Molestation Coverage. The General Liability policy and Sexual Abuse and Molestation Coverage shall be endorsed to state that: (A) the Landlord, its directors, officials, officers, employees, volunteers and agents shall be covered as additional insureds with respect to the possession, use, occupancy, management, operation, repair, maintenance or control of the Property by the Tenant and its officers, officials, agents, representatives, volunteers, employees, and Residents; and (B) the insurance coverage shall be primary insurance with respect to the Landlord, its officials, officers, employees, volunteers and agents, or if excess, shall stand in an unbroken chain of coverage excess of the Tenant's scheduled underlying coverage. Any insurance or self-insurance maintained by the Landlord, its directors, officials, officers, employees, volunteers and agents shall be excess of the Tenant's insurance and shall not be called upon to contribute with it. Landlord shall be named as a loss payee for damage to improvements on the Property on a form reasonably acceptable to Landlord.

(b) Automobile Liability. The automobile liability policy shall be endorsed to state that: (A) the Landlord, its directors, officials, officers, employees, volunteers and agents shall be covered as additional insureds with respect to the ownership, operation, maintenance, use, loading or unloading of any auto owned, leased, hired or borrowed by the Tenant or for which the Tenant is responsible; and (B) the insurance coverage shall be primary insurance with respect to the Landlord, its directors, officials, officers, employees, volunteers and agents, or if excess, shall stand in an unbroken chain of coverage excess of the Tenant's scheduled underlying coverage. Any insurance or self-insurance maintained by the Landlord, its directors, officials, officers, employees, agents and volunteers shall be excess of the Tenants insurance and shall not be called upon to contribute with it.

(c) Workers' Compensation and Employers Liability Coverage. The insurer shall agree to waive all rights of subrogation against the Landlord, the City and their directors, officials, officers, employees, volunteers and agents for losses paid under the terms of the insurance policy which arise from work performed by the Tenant.

(d) All Coverages. Each insurance policy required by this Lease shall be endorsed to state that: (A) coverage shall not be suspended, voided, reduced or canceled except after thirty (30) days prior written notice by certified mail, return receipt requested, has been given

to the Landlord; and (B) any failure to comply with reporting or other provisions of the policies, including, breaches of warranties, shall not affect coverage provided to the City, its directors, officials, officers, employees, agents and volunteers and other additional insured.

3.2.4 Separation of Insureds; No Special Limitations. All insurance required by this Section shall contain standard separation of insureds provisions. In addition, such insurance shall not contain any special limitations on the scope of protection afforded to the Landlord, the City and their directors, officials, officers, employees, volunteers and agents. All policies shall **waive any right of subrogation** of the insurer against the Landlord, the City, its officials, officers, employees, agents, and volunteers, or any other additional insureds, or shall specifically allow Tenant or others providing insurance evidence in compliance with these specifications to waive their right of recovery prior to a loss. Tenant hereby waives its own right of recovery against Landlord, its officials, officers, employees, agents, and volunteers, or any other additional insureds, and shall require similar written express waivers and insurance clauses.

3.2.5 Deductibles and Self-Insurance Retentions. Landlord may require that any deductibles or self-insured retentions must be declared to and approved by the Landlord. Tenant shall ensure that, at the option of the Landlord, either: (A) the primary insurer shall reduce or eliminate such deductibles or self-insured retentions as respects the Landlord, its directors, officials, officers, employees and agents; or (B) the primary insured shall procure a bond guaranteeing payment of losses and related investigation costs, claims and administrative and defense expenses.

3.2.6 Acceptability of Insurers. Insurance is to be placed with insurers with a current A.M. Best's rating no less than A:VIII, licensed and admitted to do business in California, and satisfactory to the Landlord or as approved by the Landlord's risk manager.

3.2.7 Verification of Coverage. Tenant shall furnish Landlord with original certificates of insurance and endorsements affecting coverage required by this Lease on forms satisfactory to the Landlord. The certificates and endorsements for each insurance policy shall be signed by a person authorized by that insurer to bind coverage on its behalf, and shall be on forms provided by the Landlord if requested. All certificates and endorsements must be received and approved by the Landlord. The Landlord reserves the right to require complete, certified copies of all required insurance policies, at any time.

#### 4. TERMINATION.

4.1 Landlord. Without limiting its ability to seek other remedies (either at law or in equity) that may be available to it pursuant to statute or judicial decision, Landlord may terminate this Lease and all of its obligations hereunder, at its option, upon the occurrence of any of the following:

4.1.1 Tenant's breach of any of its non-monetary obligations under this Lease and failure to cure such breach within thirty (30) days after receipt of written notice from Landlord or, if such cure cannot be completed within thirty (30) days, Tenant's failure to commence such cure within 30 days after its receipt of written notice and thereafter diligently prosecute such cure to

completion, provided that the period to cure shall not exceed ninety (90) days from written notice; or

4.1.2 Tenant's breach of any of its monetary obligations under this Lease and failure to cure such breach within ten (10) days after receipt of written notice from Landlord.

4.1.3 Landlord serving written notice, not less than ninety (90) days, of its intent to terminate the Lease without cause.

If this Lease is terminated pursuant to this Section 4, Tenant hereby expressly, knowingly and voluntarily waives any and all rights, benefits and/or assistance it may be entitled to receive from Landlord due to such termination, including, without limitation, loss of goodwill, inverse condemnation, or relocation assistance as provided for in California Government Code Sections 7260, *et seq.* and 42 U.S.C. Sections 4601, *et seq.*

Tenant has been advised by its legal counsel concerning the content and effect of California Civil Code Section 1542, which provides:

A general release does not extend to claims which the creditor or releasing party does not know or suspect to exist in his or her favor at the time of executing the release and that, if known by him or her would have materially affected his or her settlement with the debtor or released party.

Tenant hereby waives the benefits of Civil Code Section 1542 and all other state or federal statutes or judicial decisions of similar effect.

\_\_\_\_\_ Tenant's Initials

4.2 Tenant. Tenant may terminate this Lease upon (i) Landlord's breach of any of its obligations under this Lease and Landlord's failure to cure such breach within thirty (30) days after receipt of written notice from the Tenant or, if such cure cannot be completed within thirty (30) days, Landlord's failure to commence such cure within thirty (30) days after its receipt of written notice and thereafter diligently prosecute such cure to completion, or (ii) in the event the cost of Tenant's maintenance and repair obligation would exceed an aggregate amount of Twenty Thousand Dollars (\$20,000.00) between January 1 and December 31 of any year during this Agreement, and the maintenance or repair is not required due to the negligence or willful misconduct of Tenant, or its employees, agents, or volunteers.

## 5. ENFORCEMENT OF LEASE

5.1 Governing Law and Venue. This Lease shall be governed by the laws of the State of California without regard to conflicts of laws principles. This Lease shall be deemed to have been made in the County of San Bernardino, California, regardless of the order of the signatures of the parties affixed hereto. Any litigation or other legal proceedings that arise under or in

connection with this Lease shall be conducted in a federal or state court located within or for the County of San Bernardino, California. Tenant consents to the personal jurisdiction and venue in federal or state court located within or for the County of San Bernardino, California and hereby waives any defenses or objections thereto including defenses based on the doctrine of forum non conveniens.

5.2 Waiver. No delay or omission in the exercise of any right or remedy of a non-defaulting party on any default shall impair such right or remedy or be construed as a waiver. Landlord's consent or approval of any act by Tenant requiring Landlord's consent or approval shall not be deemed to waive or render unnecessary Landlord's consent to or approval of any subsequent act of Tenant. Any waiver by any party of any default must be in writing and shall not be a waiver of any other default concerning the same or any other provision of this Lease.

5.3 Rights and Remedies are Cumulative. Except with respect to rights and remedies expressly declared to be exclusive in this Lease, the rights and remedies of the parties are cumulative and the exercise by any party of one or more of such rights or remedies shall not preclude the exercise by that party, at the same or different times, of any other rights or remedies for the same default or any other default by the other party.

5.4 Legal Action. In addition to any other rights or remedies, any party may take legal action, at law or at equity, to cure, correct or remedy any default, to recover damages for any default, to compel specific performance of this Lease, to obtain injunctive relief, or to obtain any other remedy consistent with the purposes of this Lease.

5.5 Attorneys' Fees. If any party commences an action against the other party arising out of or in connection with this Lease, the prevailing party shall be entitled to recover reasonable attorneys' fees and costs of suit from the losing party.

## 6. MISCELLANEOUS PROVISIONS

6.1 Construction; References; Captions. Since the parties or their agents have participated fully in the preparation of this Lease, the language of this Lease shall be construed simply, according to its fair meaning, and not strictly for or against any party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Tenant include all personnel, employees, agents, and subcontractors of Tenant, except as otherwise specified in this Lease. All references to Landlord include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Lease. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content, or intent of this Lease.

6.2 No Third Party Beneficiaries. There are no intended third party beneficiaries of any right or obligation assumed by the parties.

6.3 Notice. Any notice, demand, request, consent, approval, communication either party desires or is required to give the other party or any other person shall be in writing and either served personally or sent by prepaid, first-class mail to the address set forth below, or provided by email with written confirmation of receipt from the receiving party. Alternatively, the Parties may

give notice under this Lease by email to the email addresses provided above, but not such email shall be deemed effective until the receiving party confirms receipt. Either party may change its address by notifying the other party of the change of address in writing. Notice shall be deemed communicated forty-eight (48) hours from the time of mailing if mailed as provided in this section.

To Landlord:

To Tenant:

CITY OF FONTANA

THE RIVERS EDGE RANCH

Attention: City Manager  
8353 Sierra Avenue  
Fontana, CA 92335  
Email: mballantyne@fontanaca.gov  
Phone: (909) 350-7654

Attention: Doug Whiteman  
33433 Haynes Road  
Lucerne Valley, CA 92356  
Email: doug@theriversedge ranch.org

Copy to:

Copy to:

BEST BEST & KRIEGER LLP

Attention: Ruben Duran, Esq.  
City Attorney  
2855 E. Guasti Rd., Suite 400  
Ontario, CA 91761  
Email: ruben.duran@bbklaw.com  
Phone: (213) 787-2569

6.4 Integrated Agreement. This Lease contains all of the agreements of the parties and all previous understanding, negotiations and agreements are integrated into and superseded by this Lease.

6.5 Amendment. This Lease may be amended at any time by the mutual consent of the parties by an instrument in writing signed by both parties.

6.6 Counterparts. This Lease may be signed in counterparts, each of which shall constitute an original.

6.7 Exhibits. All exhibits attached hereto are hereby incorporated by reference as if fully set out in the body of this Agreement.

6.8 Severability. In the event that any one or more of the phrases, sentences, clauses, paragraphs, or sections contained in this Lease shall be declared invalid or unenforceable by a valid judgment or decree of a court of competent jurisdiction, such invalidity or unenforceability shall not affect any of the remaining phrases, sentences, clauses, paragraphs, or sections of this

Lease which are hereby declared as severable and shall be interpreted to carry out the intent of the parties hereunder.

6.9 Authority. The persons executing this Agreement on behalf of the parties hereto warrant that they are duly authorized to execute this Lease on behalf of said parties and that by so executing this Lease the parties hereto are formally bound to the provisions of this Lease.

6.10 Independent Representation by Counsel. The parties represent and declare that in executing this Lease they rely solely upon their own judgment, belief and knowledge, and the advice and recommendations of their own independently-selected counsel, concerning the nature, extent and duration of their rights and claims hereunder, and that, except as provided herein, they have not been influenced to any extent whatsoever in executing this Lease, by any representations, statements or omissions pertaining to any of the matters herein contained by any party or by any persons representing any party.

6.11 Binding Effect. This Lease shall bind and inure to the benefit of the parties, their respective heirs, successors and assigns.

6.12 Quiet Enjoyment. Tenant shall have the right to lawfully, peaceably and quietly hold, occupy and enjoy the Premises during the Lease Term without hindrance, ejection or molestation, so long as Tenant observes the covenants, agreements and stipulations required of Tenant under this Lease.

6.13 Memorandum of Lease and Other Recordings Required by Funding Requirements. The Landlord may record in the San Bernardino County Recorder's Office this Lease or a memorandum of this Lease in a form approved by the City Manager and the City Attorney, which memorandum shall be lawfully executed by Tenant upon request by City.

**SIGNATURE PAGE TO LEASE AGREEMENT  
BETWEEN THE CITY OF FONTANA  
AND THE RIVERS EDGE RANCH**

**TENANT**

**THE RIVERS EDGE RANCH, a California  
non-profit corporation**

By: \_\_\_\_\_

Its: \_\_\_\_\_  
\_\_\_\_\_

Dated: \_\_\_\_\_  
\_\_\_\_\_

By: \_\_\_\_\_  
\_\_\_\_\_

Its: \_\_\_\_\_  
\_\_\_\_\_

Dated: \_\_\_\_\_  
\_\_\_\_\_

**LANDLORD**

**CITY OF FONTANA, a California  
municipal corporation**

By: \_\_\_\_\_  
Matthew C. Ballantyne, City Manager

Dated: \_\_\_\_\_  
\_\_\_\_\_

**ATTEST:**

By: \_\_\_\_\_  
City Clerk

**ATTEST AS TO LEGAL FORM:**

**BEST BEST & KRIEGER LLP**

By: \_\_\_\_\_  
City Attorney

**Exhibit “A”**

**Description of Property**

Assessor Parcel No. 0232-191-10-0000

## **Exhibit “B”**

### **Site Plan**

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

STATE OF STATE )  
 ) ss.  
COUNTY OF SAN BERNARDINO )

On \_\_\_\_\_, before me, \_\_\_\_\_  
Date Name And Title Of Officer (e.g. "Jane Doe, Notary Public")  
personally appeared \_\_\_\_\_  
Name of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Place Notary Seal Above

\_\_\_\_\_  
Signature of Notary Public

OPTIONAL

Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form.

CAPACITY CLAIMED BY SIGNER		DESCRIPTION OF ATTACHED DOCUMENT
<input type="checkbox"/> Individual		_____ Title or Type of Document
<input type="checkbox"/> Corporate Officer		
_____ Title(s)		
<input type="checkbox"/> Partner(s)	<input type="checkbox"/> Limited	_____ Number Of Pages
	<input type="checkbox"/> General	
<input type="checkbox"/> Attorney-In-Fact		_____ Date Of Document
<input type="checkbox"/> Trustee(s)		
<input type="checkbox"/> Guardian/Conservator		
<input type="checkbox"/> Other: _____		
Signer is representing: Name Of Person(s) Or Entity(ies)		
_____ _____ _____		_____ Signer(s) Other Than Named Above

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

STATE OF STATE )  
 ) ss.  
COUNTY OF SAN BERNARDINO )

On \_\_\_\_\_, before me, \_\_\_\_\_  
Date Name And Title Of Officer (e.g. "Jane Doe, Notary Public")  
personally appeared \_\_\_\_\_  
Name of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Place Notary Seal Above \_\_\_\_\_  
Signature of Notary Public

OPTIONAL

Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form.

CAPACITY CLAIMED BY SIGNER		DESCRIPTION OF ATTACHED DOCUMENT
<input type="checkbox"/> Individual		
<input type="checkbox"/> Corporate Officer		
_____ Title(s)		_____ Title or Type of Document
<input type="checkbox"/> Partner(s)	<input type="checkbox"/> Limited	
	<input type="checkbox"/> General	
<input type="checkbox"/> Attorney-In-Fact		_____ Number Of Pages
<input type="checkbox"/> Trustee(s)		
<input type="checkbox"/> Guardian/Conservator		
<input type="checkbox"/> Other: _____		_____ Date Of Document
Signer is representing: Name Of Person(s) Or Entity(ies)		
_____ _____		_____ Signer(s) Other Than Named Above



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

**File #:** 25-0250

**Agenda #:** A.

**Agenda Date:** 5/27/2025

**Category:** Public Hearing

#### FROM:

Planning Department

#### SUBJECT:

Master Case (MCN) No. 25-0025 - Municipal Code Amendment (MCA) No. 25-0006: For amendments to the Fontana Municipal Code to amend multiple sections of Chapter 30 (Zoning and Development Code) relating to parking requirements in the Sierra Core District of the Form-Based Code, minimum dimensions for private open space in the Form-Based Code, minimum width of rowhouses in the Form Based Code, minimum queuing and study requirements for drive-through restaurants, screening requirements for mechanical/utility equipment, and to eliminate redundant code language, pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA.

#### RECOMMENDATION:

1. Determine that this Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, Section No. 3.22 and 3.04 of the 2019 Local Guideline for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly, and it can be determined with certainty that there is no possibility that the activity in question may have significant effect on the environment and is therefore not subject to CEQA; and
2. Read by title only and waive further reading of and introduce **Ordinance No. 1970**, an Ordinance of the City Council of the City of Fontana approving Master Case No. 25-0025 and Municipal Code Amendment No. 25-0006 to amend multiple sections of Chapter 30 (Zoning and Development Code) relating to parking requirements in the Sierra Core District of the Form-Based Code, minimum dimensions for private open space in the Form-Based Code, minimum width of rowhouses in the Form Based Code, minimum queuing and study requirements for drive-through restaurants, screening requirements for mechanical/utility equipment, and to eliminate redundant code language; and the reading of the title constitutes the first thereof.

#### COUNCIL GOALS:

- Promote economic development by pursuing business attraction, retention, and expansion.
- Promote economic development by establishing a quick, consistent development process.
- Promote economic development by being business friendly at all levels and striving to constantly improve the city's competitiveness.
- Provide a diverse range of housing types and levels of affordability while addressing homelessness in the community by construction of affordable high-quality multi-family housing.

- Provide a diverse range of housing types and levels of affordability while addressing homelessness in the community by promoting diverse range of housing projects and levels of affordability.

## DISCUSSION:

### Background:

The Planning Commission reviewed Master Case No. 25-0025 and Municipal Code Amendment No. 25-0006 during its May 7, 2025, meeting. At the conclusion of the hearing, the Planning Commission adopted Resolution PC No. 2025-015 to recommend approval of Municipal Code Amendment No. 25-0006 to the City Council.

### Analysis:

The City of Fontana Zoning and Development Code regulates the development of commercial, industrial, and residential projects. Staff conducts ongoing reviews of the municipal code to determine where language within the code would benefit from updates, clarification, and/or redefinition to the help streamline zoning and facilitate the development process.

**Form-Based Code - Parking in Sierra Core District:** Modifications to allow certain commercial land uses within 400 feet of a City-owned parking facility to be exempt from parking standards.

**Form-Based Code - Private Open Space:** Modifications to allow greater flexibility in the provision of private open space for residential units by reducing the minimum dimensions while maintaining the minimum area to be provided per unit.

**Form-Based Code - Building Standards:** Amendments to development and design standards for rowhouse building types to allow for greater flexibility while maintaining high design standards.

**Drive-Thru Restaurants:** Modifications to standards pertaining to drive-thru restaurants related to queuing and studies to provide for flexibility related to operators.

**Mechanical/Utility Equipment Screening Requirements:** Amendments to the screening requirements for mechanical/utility equipment to authorize the Director of Planning to waive certain equipment screening requirements based on infeasibility.

**Redundant Language in the Form-Based Code:** Amendments to remove redundant language in the Form-Based Code related to building types and districts in which they are allowed.

In summary, the proposed amendments will provide for flexibility and streamlining of the city's Zoning and Development Code to facilitate desirable development within the city.

## FISCAL IMPACT:

None

## MOTION:

Approve staff's recommendation.

## ATTACHMENTS:

Attachment No. 1 - Ordinance No. 1970

Attachment No. 2 - Planning Commission Packet

Attachment No. 3 - Draft Planning Commission Minutes - 5/6/25

Attachment No. 4 - Notice of Exemption

Attachment No. 5 - Public Hearing Notice

## ORDINANCE NO. 1970

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, APPROVING MUNICIPAL CODE AMENDMENT NO. 25-0006 TO AMEND MULTIPLE SECTIONS OF CHAPTER 30 (ZONING AND DEVELOPMENT CODE) RELATING TO PARKING REQUIREMENTS IN THE SIERRA CORE DISTRICT OF THE FORM-BASED CODE, MINIMUM DIMENSIONS FOR PRIVATE OPEN SPACE; THE MINIMUM WIDTH OF ROWHOUSES; MINIMUM QUEUING AND STUDY REQUIREMENTS FOR DRIVE THRU RESTAURANTS, SCREENING REQUIREMENTS FOR MECHANICAL/UTILITY EQUIPMENT, AND TO ELIMINATE REDUNDANT CODE LANGUAGE, PURSUANT TO AN EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION 15378 AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION.**

**WHEREAS**, pursuant to article XI, Section 5 of the California Constitution and Government Code section 37100, the legislative body of a city may pass ordinances not in conflict with the Constitution and laws of the State or the United States; and

**WHEREAS**, Government Code sections 50022.1 to 50022.10 authorizes a city to codify and recodify its ordinances; and

**WHEREAS**, the City of Fontana ("City") desires to restate without substantive revision, amend and recodify certain ordinances codified in the Fontana Municipal Code ("Code") through Municipal Code Amendment ("MCA") No. 25-0006; and

**WHEREAS**, the City of Fontana General Plan ("General Plan") includes policies and actions calling for numerous updates to the Code; and

**WHEREAS**, Section 30-371.2. – Sierra core. is amended to remove parking requirements for commercial uses within 400 feet of a City-owned parking facility; and

**WHEREAS**, Section 30-372. – Duplex, multiplex. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-373. – Rosewalk and Bungalow Court. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-374. – Rowhouse. is amended to require a minimum dimension of four feet for private open space, require a minimum of 15 feet for a rowhouse, and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-375. – Single-family home. is amended to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-376. – Live/work. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-377. – Court. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-378. – Hybrid. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-379. – Flex building. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-380. – Liner building. is amended to require a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-398. – Private open space types. is amended to require a minimum dimension of four feet for private open space; and

**WHEREAS**, Section 30-477. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in residential zones is adequate considering physical feasibility; and

**WHEREAS**, Section 30-491. – Special use regulations\*. is amended to change the queuing and study requirements for drive thru restaurants; and

**WHEREAS**, Section 30-508. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in commercial zones is adequate considering physical feasibility; and

**WHEREAS**, Section 30-538. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in industrial zones is adequate considering physical feasibility; and

**WHEREAS**, Section 30-619. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in public facility zones is adequate considering physical feasibility; and

**WHEREAS**, State law requires zoning regulations to be consistent with the general plan and therefore updating the Code would contribute to consistency with the General Plan; and

**WHEREAS**, the amendments in MCA No. 25-0006 are consistent and compatible with the General Plan and are in line with goals, policies and objectives of the City; the Housing Element policies and the Zoning and Development Code; and

**WHEREAS**, the amendments in MCA No. 25-0006 are in conformity with appropriate land use practices and will establish appropriate development standards for the land use designations; and

**WHEREAS**, the amendments in MCA No. 25-0006 are attached hereto as Exhibit “A” and incorporated herein by reference, will not be detrimental to the public health, safety and general welfare, nor will it adversely affect the orderly development of property; and

**WHEREAS**, the amendments in MCA No. 25-0006 will better express the City’s policies and will generally promote good land use planning and regulation; and

**WHEREAS**, on May 6, 2025, the Planning Commission held a public meeting on MCA No. 25-0006 where it received evidence and public testimony on the Code amendments and recommended that the Fontana City Council (“City Council”) determine that the amendments are exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Sections 15060(c), 15061(B)(3) (the common-sense exemption), and Sections No. 3.01, 3.22, and 10.59 of the 2019 Local Guidelines for Implementing CEQA. in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA; and

**WHEREAS**, the Planning Commission carefully considered all evidence and testimony presented at its public hearing on May 6, 2025 regarding MCA No. 25-0006 and approved Resolution No. 2025-015 recommending that the City Council adopt the modifications to the Zoning and Development Code contained therein; and

**WHEREAS**, on May 27, 2025, the City Council held a public hearing on MCA No. 25-0006 where City Council received evidence and public testimony pertaining to the Zoning and Development Code amendments as well as documentation from the Planning Commission’s public hearing on May 6, 2025; and

**WHEREAS**, the City Council carefully considered all information pertaining to MCA No. 25-0006 presented at its public hearing on May 27, 2025; and

**WHEREAS**, all other legal prerequisites to the adoption of this Ordinance have occurred.

**NOW**, the City Council of the City of Fontana, California, DOES ORDAIN as follows:

**Section 1. Recitals.** The recitals are true, correct and incorporated herein by this reference.

**Section 2. CEQA.** The Planning Commission hereby recommends that the City Council determine that this ordinance is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15378 and Sections No. 3.01 and 3.22 of the 2019 Local Guidelines for Implementing CEQA, and that this Ordinance is nonetheless exempt from the requirements of CEQA in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

**Section 3. Development Code Amendment Findings.** The City Council hereby makes the following findings for Municipal Code Amendment No. 25-0006 accordance with Section 30-40 "Purpose" of the Fontana Zoning and Development Code:

Finding: **A Zoning and Development Code may be amended by changing the development standards (text) or zoning designation map boundaries of any zone whenever such an amendment is deemed necessary to protect or promote the public's health, safety or general welfare or when modification is viewed as appropriate in the context of generally accepted planning principles, surrounding land uses, and the General Plan.**

Findings of Fact: The Municipal code amendments clarify and streamline the City's development requirements and processes and facilitate housing and commercial development. As such, the municipal code amendments promote the General Plan goals of adequate housing to meet the needs of all residents in Fontana. Furthermore, the amendments promote a diversified economy.

**Section 4. Development Code Amendment Approval.** Based on the foregoing, the City Council hereby approves the amendments as set forth in MCA No. 25-0006, which is attached hereto as **Exhibit "A"** and incorporated herein by reference as fully set forth herein.

**Section 5. Effective Date/Publication.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Fontana Herald

News, a local newspaper of the general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

**Section 6. Custodian of Records.** The documents and materials that constitute the record of proceedings on which this Ordinance is based are located at the City Clerk's office located at 8353 Sierra Avenue, Fontana, CA 92335. The custodian of records is the City Clerk.

**Section 7. Certification.** The City Clerk of the City Council shall certify to the adoption of this Ordinance.

**Section 8. Severability.** If any provision of this Ordinance or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

**APPROVED AND ADOPTED** this 10th day of June 2025.

**READ AND APPROVED AS TO LEGAL FORM:**

\_\_\_\_\_  
City Attorney

I, Germaine Key, City Clerk of the City of Fontana, and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance adopted by the City Council and was introduced at a regular meeting on the 27th day of May 2025, and was finally passed and adopted not less than five days thereafter on the 10<sup>th</sup> day of June 2025, by the following vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

\_\_\_\_\_  
City Clerk of the City of Fontana

\_\_\_\_\_  
Mayor of the City of Fontana

**ATTEST:**

---

City Clerk

## EXHIBIT "A"

Amendments to Chapter 30 of the Municipal Code  
(Deletions are shown as ~~strike-outs~~. Additions are shown as underlines.)

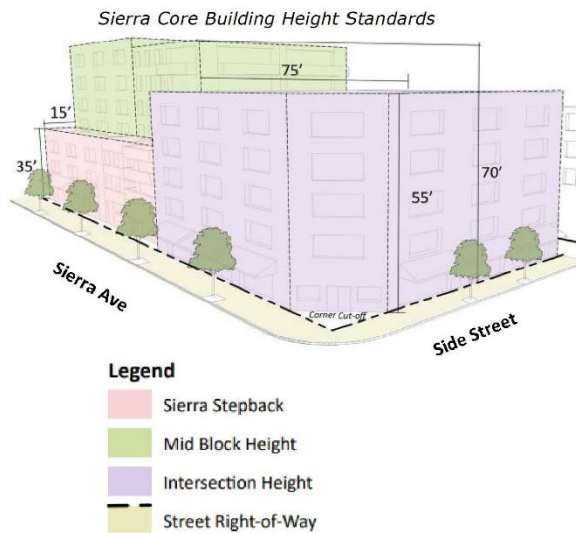
### Sec. 30-371.2. Sierra core.

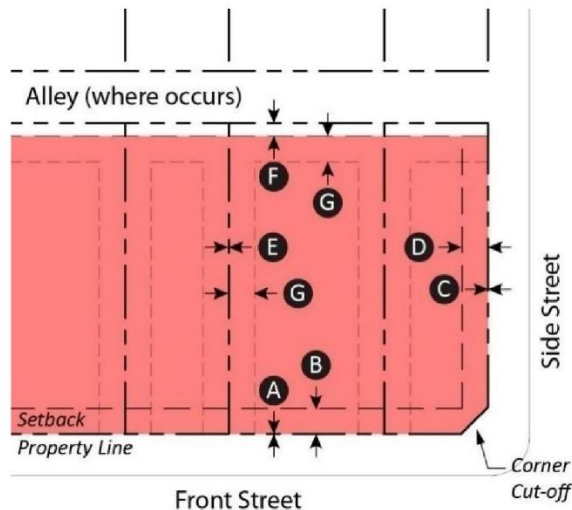
The Sierra core is the commercial core of Fontana and functions as the city center. Uses include a mixture of commercial, retail, entertainment, office, and residential.

Building placement shall be close to the streets and integrated within the pedestrian realm. Architectural features should provide shade and variation in building design.

### Capacity

	Min.	Max.
<b>Residential or mixed-use density</b>	24 DU/Ac	70 DU/Ac
<b>Commercial FAR (retail and restaurants)</b>	Refer to Sec. 30-405 for frontages that require ground floor commercial	2.0





### Setbacks

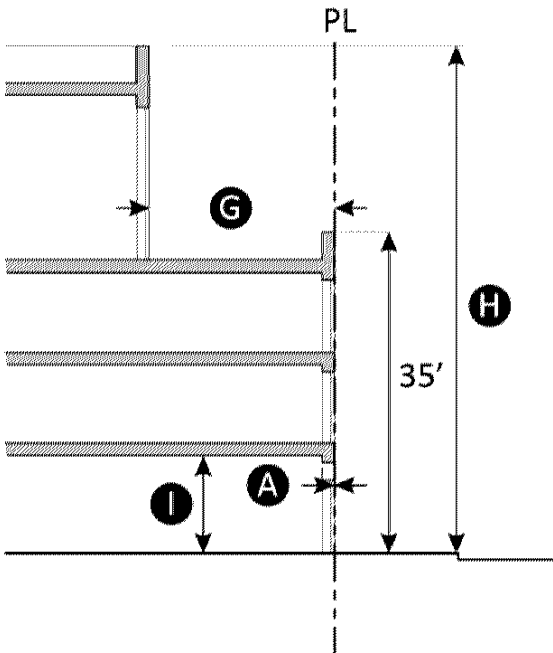
	Min. (ft.)	Max. (ft.)	
Front Street	0 <b>A</b>	10 <b>B</b>	
Side Street	0 <b>C</b>	10 <b>D</b>	
Side (Interior)	0 <b>E</b>	—	
Rear Yard	5 <b>F</b>	—	
Stepback*	10 <b>G</b>	—	
* Applies to rear and side (interior) at 35' high, when adjacent to the neighborhood core.			

### Building Height

Frontage Coverage	80% min.
Height**	35' max.
	55' max. within 75' of side street property line <b>H</b>
	70' max. with min. stepback 75' from side street and 15' from Sierra Ave Property Line*
Ground Floor Commercial Height**	12 ft. Min. <b>I</b>

\* The maximum height along Sierra Ave may be increased to 45 feet and to 70 feet along the side street setbacks for projects that provide a rooftop amenity. The rooftop amenity must be located along a street frontage with a maximum height of 45 feet and minimum width of 15 feet.

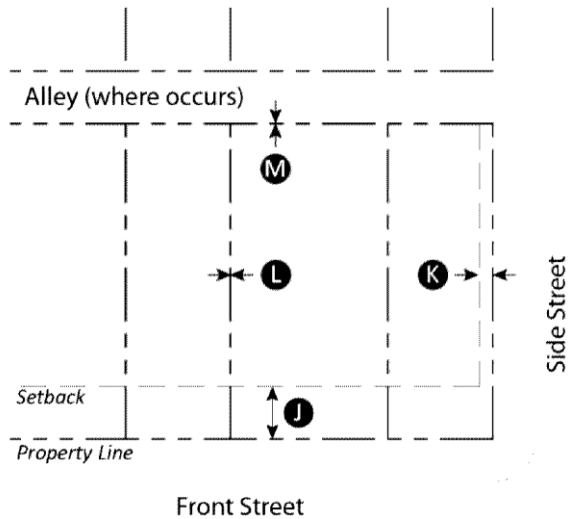
Public and private spaces should be integrated to act as one. Awnings or canopies extending over sidewalks and significant glazing should be included in all new construction or renovation.



### Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<b>Arcade, Gallery, Awning</b>	<b>Balcony</b>	<b>Bay Window</b>	<b>Eave</b>
<b>Front Street</b>	Min. 2 ft. clear of curb	6 ft. max.	4 ft. max. on upper floors only	Min. 2 ft. clear of curb
<b>Side Street</b>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<b>Side Interior</b>	—	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<b>Rear Yard</b>	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<b>Vertical</b>	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear



### Parking

	Required Spaces
<b>Residential</b>	1.25 per unit
<b>Non-Residential Uses Under 6,000 Square Feet</b>	No parking required
<b>Non-Residential Uses Over 6,000 Square Feet</b>	50% of the requirements in the Zoning Code (30-685.A)
<b>Retail, Entertainment and Restaurant Uses Over 6,000 Square Feet Within 400 Feet of City-Owned Public Parking Lot or Structure</b>	No parking required

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)	
<b>Front Street</b>	20	J
<b>Side Street</b>	5	K
<b>Side Interior</b>	—	L
<b>Rear Yard</b>	—	M

### Minimum lot size:

5,000 square feet

### Required frontage:

Forecourt, shopfront, gallery and arcade

### Sec. 30-372. - Duplex, multiplex.

Description: The duplex building type is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

## Ordinance No. 1970

The multiplex is a medium structure that consists of three—six side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

Allowed In:	Transitional, Multi-Family & Village
Lot Size:	Width: 50 ft. min. Depth: 100 ft. min.
Pedestrian Access:	Main entrance location: Primary street On corner lots, each lot shall front a separate street
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: 8 <u>4</u> ft. Minimum depth: 8 <u>4</u> ft. Minimum area: 64 sq. ft.
Building Size & Massing:	Length along frontage: 36 ft. max. for duplex and 350 ft. max. for multiplex Length along side yard: 200 ft. max.

*The remainder of Sec. 30-372 to remain unchanged.*

### **Sec. 30-373. - Rosewalk and Bungalow Court.**

Description: Rosewalk—Six or more single dwellings arranged in a linear manner along either side of a common green. Having the same right-of-way width as a narrow neighborhood street, the Rosewalk (in contrast to the Bungalow Court) must connect two parallel streets. Pedestrian access to the building entrances ~~are~~ is accessed from the common green and/or primary street.

Bungalow Court—Four or more single dwellings arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or fronting street. The courtyard is wholly open to the street and parking is placed in the rear of the lot or behind each unit.

Allowed In:	<del>Transitional, Multi-Family &amp; Village</del>
Lot Size:	Width: 75 ft. min. Depth: 100 ft. min.
Pedestrian Access:	Main entrance location: Common courtyard
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open.
Frontages:	Porch Stoop Dooryard

Private Open Space:	Minimum width: <del>8</del> <u>4</u> ft. Minimum depth: <del>8</del> <u>4</u> ft. Minimum area: 64 sq. ft.
Common Courtyard:	Width: 20 ft. min. clear Depth: 50 ft. min clear
Building Size & Massing:	Length along frontage: 50 ft. max. Length along side yard: 40 ft. max.

*The remainder of Sec. 30-373 to remain unchanged.*

#### **Sec. 30-374. - Rowhouse.**

Description: A small- to medium-sized building comprised of attached dwelling units arrayed side by side. The ground floor can be raised above grade in order to provide privacy for ground floor rooms. The primary building should sit at the front of the property, with the garage at the rear. Each dwelling unit is directly accessed from the front yard/street or walking path leading to the street. The Rowhouse type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

Allowed In:	<del>Transitional, Multi-Family, Sierra Gateway, Route 66 Gateway &amp; Village</del>
Lot Size:	Width: 125 ft. min. Depth: 125 ft. min.
Pedestrian Access:	Main entrance location: Primary street
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: <del>8</del> <u>4</u> ft. Minimum depth: <del>8</del> <u>4</u> ft. Minimum area: 64 sq. ft.
Building Size & Massing:	Width per rowhouse: <del>48</del> <u>15</u> ft. min./36 ft. max.  The front elevation and massing of each rowhouse building may be either symmetrical or asymmetrical, repetitive or unique in disposition, as long as the delineation of each individual unit is evident.

*The remainder of Sec. 30-374 to remain unchanged.*

#### **Sec. 30-375. - Single-family home.**

Description: Single-family homes are freestanding structure intended to be occupied as a home or residence by a single household. An accessory dwelling unit may also be attached or

detached to the main dwelling unit for occupancy by an additional household. Private open space is provided in the rear yard that is secured by walls or fences.

Allowed In:	Transitional, Neighborhood, Village
Lot Size:	Width: 50 ft. min./60 ft. max Depth: 50 ft. min./100 ft. max
Pedestrian Access:	Main entrance location: Primary street
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open. Parking may be accessed from the primary street, secondary street, or alley
Frontages:	Porch Stoop Dooryard
Private Open Space:	Located in the enclosed rear yard
Accessory Buildings/Structures:	For accessory dwelling units, see <a href="#">Sec. 30-467</a> .  For accessory structures, see <a href="#">Sec. 30-461</a> .

#### **Sec. 30-376. - Live/work.**

Description: The live/work building type is a small to medium-sized attached or detached structure that consists of single dwelling unit above and/or behind a flexible ground floor space that can be used for home-business uses such as residential, personal and general service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into an urban neighborhood street. It is especially appropriate for incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands. The work space is accessed directly from the primary street, and the living space at the rear or above is accessed directly or indirectly from the working space.

Allowed In:	<del>Retail, Transitional, Station, Downtown Gateway, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Lot Size:	Width: 75 ft. min. Depth: 80 ft. min.
Pedestrian Access:	Main entrance location: Primary street  Ground floor space and upper unit shall have separate entries.
Vehicle Access & Parking:	Parking spaces may be located in the rear, tuck under.
Frontages:	Forecourt Dooryard Shopfront Lightcourt Gallery
Private Open Space:	Minimum width: <del>8</del> <u>4</u> ft.

	Minimum depth: 8 4 ft. Minimum area: 64 sq. ft.
Building Size & Massing:	Width per unit: 18 ft. min./36 ft. max.

*The remainder of Sec. 30-376 to remain unchanged.*

### **Sec. 30-377. - Court.**

Description: A group of dwelling units arranged to share one or more common courtyards. The courtyard is intended to be a semi-public outdoor room that is an extension of the public realm. Court buildings may accommodate ground floor commercial/flex uses in either a live/work configuration or as solely commercial/retail space in qualifying zones facing the primary street. This building type enables the incorporation of high-quality, well-designed density within a walkable neighborhood.

<del>Allowed In:</del>	<del>Transitional, Station, Downtown Gateway, Multi-Family &amp; Village</del>
Lot Size:	Width: 100 ft. min. Depth: 100 ft. min.
Pedestrian Access:	Direct access from street or courtyard.
Vehicle Access & Parking:	From alley. For lots without alley, via driveway located as close to side yard property as possible.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: 8 4 ft. Minimum depth: 8 4 ft. Minimum area: 64 sq. ft.
This open space is exclusive of the courtyard and may be located in a side or rear yard.	
Common Courtyard:	Recommended Width/depth/height ratio: 1:1 approx. Width/depth: 20 ft. min.
Building Size & Massing:	Length along frontage: 200 ft. max. Length along side yard: 440 <u>200</u> ft. max.

*The remainder of Sec. 30-377 to remain unchanged.*

### **Sec. 30-378. - Hybrid.**

Description: A building that combines a point-access portion of the building with a walk-up portion. The building may be designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for residences.

<del>Allowed In:</del>	<del>Retail, Station, Downtown Gateway, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Lot Size:	Width: 150 ft. min.

	Depth: 160 ft. min.
Pedestrian Access:	The main entrance to each ground floor is directly from the street.
Entrance to the residential portions of the building is through a dedicated street level lobby, or through a dedicated podium lobby accessible from the street or through a side yard.	
Interior circulation to each unit above the second level in double-loaded corrido element of the building is through a corridor of at least six feet in width with recessed doors or seating alcoves/offsets at every 100 feet at a minimum. For other units, it is directly off a common courtyard or through stairs serving up to three dwellings.	
Vehicle Access & Parking:	Underground garage, surface parking, tuck under parking or a combination of any of the above.
Frontages:	Porch Dooryard Stoop Arcade
Private Open Space:	Minimum width: $8\frac{1}{4}$ ft. Minimum depth: $8\frac{1}{4}$ ft. Minimum area: 64 sq. ft.  The open space is exclusive of the courtyard and may be located in a side or rear yard.
Building Size & Massing:	Length along frontage: 200 ft. max.

*The remainder of Sec. 30-378 to remain unchanged.*

### **Sec. 30-379. - Flex building.**

Description: A building type designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. Second floor units may be directly accessed from the street through a stair; upper floors are accessed through a street level lobby.

Allowed In:	<del>Retail, Station, Downtown Gateway, Civic, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Pedestrian Access:	Direct access from sidewalk. Upper floor accessed from street level.
Vehicle Access & Parking:	Required parking is accommodated in an underground or above-ground garage, tuck under parking, or a combination of any of the above.
Frontages:	Forecourt Shopfront Gallery Arcade

Private Open Space:	Private open space is required for each residential unit and shall be no less than 64 sq. ft. with a minimum dimension of <del>five</del> <u>four</u> feet in each direction.
Shared Open Space:	The primary shared common space is the rear or side yard designed as a courtyard. Courtyards can be located on the ground or on a podium and must be open to the sky. Side yards can also be formed to provide outdoor patios connected to ground floor commercial uses.  Recommended width/depth/height ratio: 1:1 approx. Width/depth: 20 ft. min.
Building Size & Massing:	Length along frontage: If over 200 ft., must provide massing break.

*The remainder of Sec. 30-379 to remain unchanged.*

**Sec. 30-380. - Liner building.**

Description: A building that conceals a garage, or other large-scale faceless building (such as a movie theater), "big box" store or surface parking facility, designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. The access corridor, if applicable, is included in the minimum depth.

Allowed In:	<del>Retail, Station, Downtown Gateway, Civic, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Pedestrian Access:	Direct access from sidewalk. Upper floor accessed from street level.
Vehicle Access & Parking:	Required parking is accommodated in an underground or above-ground garage, tuck under parking, or a combination of any of the above.
Frontages:	Forecourt Shopfront Gallery Arcade
Private Open Space:	Private open space is required for each residential unit and shall be no less than 64 sq. ft. with a minimum dimension of <del>five</del> <u>four</u> feet in each direction.
Shared Open Space:	The primary shared common space is the rear or side yard designed as a courtyard. Courtyards can be located on the ground or on a podium and must be open to the sky. Side

	yards can also be formed to provide outdoor patios connected to ground floor commercial uses.  Recommended width/depth/height ratio: 1:1 approx. Width/depth: 20 ft. min.
Building Size & Massing:	Length along frontage: If over 200 ft., must provide massing break.

*The remainder of Sec. 30-380 to remain unchanged.*

**Sec. 30-398. - Private open space types.**

Private open spaces shall be designed as one of the private open space types defined in this section.

- (1) *Private yard.*
  - a. Definition: A side yard or rear yard (excluding required setback areas) which is accessed by secondary unit entrance(s).
  - b. The primary access to a private yard shall be from the dwelling(s) served.
  - c. The minimum area for a private yard shall be 60 square feet.
  - d. The minimum dimensions for a private yard in any single direction shall be ~~six~~ four feet.
  - e. Landscaping shall consist primarily of planted areas including water-efficient plantings of lawns, trees, plants in pots, etc. and may be combined with a porch.
  - f. Private yard spaces may include edge walls or fences, provided that their inclusion does not violate building orientation.
- (2) *Porch.*
  - a. Definition: A patio, terrace, or other platform extending from or adjacent to a building at the ground floor which is accessed by secondary unit entrances(s).
  - b. The primary access to a porch shall be from the dwelling(s) served.
  - c. The minimum area for a porch shall be 48 square feet.
  - d. The minimum dimensions of a porch in any single direction shall be ~~six~~ four feet.
- (3) *Rooftop deck or garden.*
  - a. Definition: A private or privately shared deck or yard on the roof of a building.
  - b. The minimum dimensions for a rooftop deck or garden in any single direction shall be ~~six~~ four feet.
  - c. Gardens and green roofs are encouraged to help minimize heat sinks and to pretreat water from storms prior to it entering the storm drain system.
  - d. The minimum area for a rooftop deck or garden shall be 60 square feet.
- (4) *Balcony.*
  - a. Definition: An outdoor space extending from a private upper floor of a building, which is accessed directly from a secondary unit entrance.
  - b. Access to a balcony shall be limited to the dwelling served.
  - c. The minimum area for a rooftop deck or garden shall be 48 square feet.

- d. The minimum dimensions for a balcony in any single direction shall be ~~six~~ four feet.

**Sec. 30-477. – Building design.**

...

(6) *Utilities.*

- a. Temporary overhead power and telephone facilities are permitted only during construction.
- b. ~~Transformers, utility pads and telephone boxes shall be installed and maintained underground.~~ Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require ~~written~~ approval by the Director of Planning Community Development ~~prior to any administrative or discretionary approval.~~
- c. All utilities including, but not limited to, drainage systems, sewers, gas lines, water lines, and electrical up to 35 KV, telephone, underground cable television, and communications wires and equipment shall be installed and maintained underground. Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Community Development prior to any administrative or discretionary approval.
- d. All utility easements shall be landscaped and shall be maintained as provided in the easement document.

...

*The remainder of Sec. 30-477to remain unchanged.*

**Sec. 30-491. - Special use regulations \*.**

This section establishes special regulations for certain permitted uses marked with an asterisk (\*) in Table No. 30-489. The specified use is permitted provided that the use conforms to the following regulations:

...

(2) *Restaurant, drive-thru.*

- a. A drive-through restaurant applicant shall provide a queuing study and plan for the business's ~~high volume periods, such as its grand opening and other high volume periods.~~ The applicant shall not queue any less than 15 vehicles.
- b. A queuing study, provided by the applicant's engineer, confirming that the site can accommodate the morning or afternoon peak hour queuing for the proposed normal business operations shall be provided. The drive-thru design shall not provide for less than 12 vehicles queuing. Eighteen feet shall be allocated for each queued vehicle.
- ~~b.c.~~ The required queue area on site shall be measured from the forwardmost drive-up window to the entrance of the stacking space. The stacking space

shall be located completely clear of any adjacent public right-of-way and all circulation aisles provided on site.

- ~~e.d.~~ The required queue area on site shall accommodate the morning or afternoon peak hour queue length for the facility. The peak queue length shall hold 25 percent of all vehicles arriving during the morning or afternoon peak hour, whichever time provides the highest stream of traffic. The peak queue length shall be calculated using a queuing study, provided by the applicant's engineer, based on the anticipated peak hour traffic counts from three similar sized restaurants, with similar operational profiles, ~~from the same franchise, located near~~ within two miles of the project site, with similar land use, operation and building size. ~~Twenty feet shall be allocated for each queued vehicle.~~
- ~~d.e.~~ The drive-thru lane and associated parking area(s) visible from a public street shall be screened from view by a landscape berm. If berming is physically impossible, a decorative wall with caps and pilasters shall be provided or a decorative wall with caps, pilasters, and trellis work shall be provided. Additionally, a three-foot landscape hedge at the time of planting shall be provided in front of the wall for either scenario.
- ~~e.f.~~ A drive-thru lane located adjacent to a parcel zoned for residential use is not permitted.
- ~~f.g.~~ A line of sight from the public right-of-way shall be provided for a project that includes a drive-thru lane to demonstrate the screening devices used to screen the drive-thru lane and associated parking area(s).
- ~~g.h.~~ The menu board shall be enhanced, landscaped, and located at a minimum distance of 40 feet from the menu board to the entrance to the stacking space.
- ~~h.i.~~ Exterior doors on any children's play area shall be for emergency exit only.
- ~~i.j.~~ Indoor or outdoor dining/seating is required. The proposed number of indoor or outdoor seats must be approved by the Director of Planning. Outdoor seating areas shall be designed to be consistent with the architectural style of the drive-thru restaurant, shall be located near the main pedestrian entrance and shall include tables with seating, a trash receptacle, a low fencing enclosure, and a protective structure over the entire area.
- ~~j.k.~~ The outdoor dining area may include a plaza, arcade, colonnades, or courtyard design.
- ~~k.l.~~ All new drive-thru restaurants shall have a solid decorative porte cochere above the drive-thru window(s). Existing drive-thru restaurants may construct a porte cochere when sufficient space allows or when the existing restaurant is proposing expansions to the building. The porte-cochere may

encroach into the required setback and right-of-way up to a maximum of two feet.

- ~~l.m.~~ Building entrances shall be oriented toward the street with drive-thru lanes, pick-up window, and off-street parking facilities oriented towards the rear or side yard areas to the extent feasible. Pick-up windows shall be located near the outdoor dining area to encourage walkability.
- ~~m.n.~~ Architectural treatment shall include a variety of roof lines and wall projections on all elevations of the building. The architecture of the drive-through restaurant shall be compatible with the surrounding uses in form, materials, colors, scale, design, etc.
- o. Should operations impact public rights-of-way or obstruct parking or circulation areas for the drive-through or for other tenants within the same property, the City may, upon notification to the owner, require that the business owner submit a plan of corrective action(s) to be taken or immediate curtailment of business operations.

*The remainder of Sec. 30-491 to remain unchanged.*

## **Article VI. – COMMERCIAL AND MIXED-USE ZONING DISTRICTS**

### **Sec. 30-508. - Site Plan Design.**

...

#### **(g) Utilities.**

(1) Temporary overhead power and telephone facilities are permitted only during construction.

~~(2) Transformers, utility pads and telephone boxes shall be installed and maintained underground. Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Planning Community Development prior to any administrative or discretionary approval.~~

(3) Transformer enclosures shall be designed of durable materials with finishes and colors used which are compatible and harmonious with the overall architectural theme.

~~(4) All utilities including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communications wires and equipment shall be installed and maintained underground. Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Community Development prior to any administrative or discretionary approval.~~

*The remainder of Sec. 30-508 to remain unchanged.*

## **Article VII – Industrial Zoning Districts**

### **Sec. 30-538. - Screening.**

...

- (c) *Mechanical equipment, ground.* All mechanical equipment shall be screened to the extent feasible on all sides by a ~~decretive~~ decorative screen wall not less than the height of the equipment being screened in conjunction with landscaping, subject to approval of the Director of Planning. The decorative screen wall shall be located between the street and the mechanical equipment not less than three-foot. The decorative screen wall shall be well incorporated into the design of the building. The other side of the equipment shall be screened with landscaping not less than ten-gallon shrubs or approved landscaping.

...

*The remainder of Sec. 30-538 to remain unchanged.*

### **Sec. 30-550. – Screening**

...

(g) *Utilities.*

- (1) Temporary overhead power and telephone facilities are permitted only during construction.
- (2) Transformer enclosures shall be designed of durable materials with finishes and colors used which are compatible and harmonious with the overall architectural theme.
- (3) ~~All utilities including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communications wires and equipment shall be installed and maintained underground.~~ Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require ~~written~~ approval by the Director of Planning ~~Community Development~~ ~~prior to any administrative or discretionary approval.~~

...

*The remainder of Sec. 30-550 to remain unchanged.*

## **Article VIII – Public Facilities and Open Space Zoning Districts**

### **Sec. 30-619. - Site Plan Design**

...

(e) *Utilities.*

- (1) Temporary overhead power and telephone facilities are permitted only during construction.
- (2) Transformers, utility pads and telephone boxes shall be screened with walls and vegetation to the extent feasible, subject to approval of the Director of Planning.
- (3) Transformer enclosures shall be designed of durable materials with finished and colors used which are compatible and harmonious with the overall architectural theme.
- (4) ~~All exterior on-site utilities and utility boxes, structures, and equipment including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical,~~

Ordinance No. 1970

~~telephone, and communications wires and equipment shall be installed and maintained underground.~~

...

*The remainder of Sec. 30-619 to remain unchanged.*



# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### Planning Commission

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**File #:** 25-0184  
**Agenda #:** PH-D

**Agenda Date:** 5/6/2025  
**Category:** Public Hearing

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**FROM:**

Planning Department

**TITLE:**

Master Case (MCN) No. 25-0025 - Municipal Code Amendment (MCA) No. 25-0006: For amendments to Chapter 30 of the Fontana Municipal Code that will modify multiple sections of the Zoning and Development Code, including modifications to open space and building standards in Form-Based Code districts, parking standards in the Form-Based Code Sierra Core District, mechanical/utility equipment screening requirements, and drive-thru restaurant queuing and study requirements, pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA.

**RECOMMENDATION:**

Based on information in the staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2025-\_\_\_\_\_; and,

1. Determine that this Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, Section No. 3.22 and 3.04 of the 2019 Local Guideline for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly, and it can be determined with certainty that there is no possibility that the activity in question may have significant effect on the environment and is therefore not subject to CEQA; and
2. Approve a resolution recommending that the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 24-0006 to amend Chapter 30 of the Municipal Code.

**APPLICANT:**

City of Fontana  
8353 Sierra Avenue  
Fontana, CA 92335

**LOCATION:**

Citywide

**REQUEST:**

Municipal Code Amendment (MCA) No. 25-0006, for amendments to Chapter 30 that will modify multiple sections of the Zoning and Development Code, including modifications to open space and building standards in Form-Based Code districts, parking standards in the Form-Based Code Sierra Core District, mechanical/utility equipment screening requirements, and drive-thru restaurant queuing and study requirements.

**PROJECT PLANNER:**

Cecily Session-Goins, Associate Planner

**BACKGROUND INFORMATION:**

The City of Fontana Zoning and Development Code regulates the development of commercial, industrial, and residential projects. Staff conducts ongoing reviews of the municipal code to determine where language within the code would benefit from updates, clarification, and/or redefinition to the help streamline zoning and facilitate the development process.

**PROJECT DESCRIPTION:**

The City initiated Municipal Code Amendment No. 24-0006 to update Chapter 30 (Zoning and Development Code) as summarized below; a detailed list of the proposed amendments is provided within Exhibit "A" of the Planning Commission Resolution provided as Attachment No. 1.

**ANALYSIS:**

**Form-Based Code Private Open Space:** Modifications to allow greater flexibility in the provision of private open space for residential units by reducing the minimum dimensions while maintaining the minimum area to be provided per unit.

**Form-Based Code - Building Standards:** Amendments to development and design standards for building types to allow for greater flexibility while maintaining a high standard for design.

**Form-Based Code - Parking in Sierra Core District:** Modifications to allow certain commercial land uses within 400 feet of a City-owned parking facility to be exempt from parking standards.

**Mechanical/Utility Equipment Screening Requirements:** Amendments to the screening requirements for mechanical/utility equipment to authorize the Director of Planning to waive certain equipment screening requirements based on infeasibility.

**Drive-Thru Restaurants:** Modifications to standards pertaining to drive-thru restaurants related to queuing to provide for flexibility related to operators.

**MOTION:**

Approve staff's recommendation

**ATTACHMENTS:**

Attachment No. 1 - Planning Commission Resolution/Exhibit A

Attachment No. 2 - Notice of Exemption

Attachment No. 3 - Public Hearing Notice

**RESOLUTION PC NO. 2025 - \_\_\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA, CALIFORNIA, RECOMMENDING THAT THE FONTANA CITY COUNCIL ADOPT AN ORDINANCE APPROVING AMENDMENTS TO MULTIPLE SECTIONS OF THE ZONING AND DEVELOPMENT CODE, INCLUDING AMENDMENTS TO SEC. 30-371.2 TO AMEND PARKING REQUIREMENTS IN THE SIERRA CORE DISTRICT OF THE FORM-BASED CODE ZONE; SECS. 30-372 THROUGH 30-380 TO AMEND THE MINIMUM DIMENSION FOR PRIVATE OPEN SPACE; SEC. 30-374 TO AMEND THE MINIMUM WIDTH OF ROWHOUSES; SEC. 30-372 THROUGH 30-380 TO REMOVE REDUNDANT LANGUAGE; SEC. 30-398 TO AMEND THE MINIMUM DIMENSION FOR PRIVATE OPEN SPACE; SEC. 30-491 TO UPDATE THE MINIMUM QUEUING AND STUDY REQUIREMENTS FOR DRIVE THRU RESTAURANTS; SECS. 30-477, 30-508, 30-538 AND 30-619 TO AMEND THE SCREENING REQUIREMENTS FOR MECHANICAL/UTILITY EQUIPMENT, PURSUANT TO AN EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION 15378.**

**WHEREAS**, pursuant to Government Code section 37100, the legislative body of -a city may pass ordinances not in conflict with the Constitution and laws of the State or the United States; and

**WHEREAS**, Government Code sections 50022.1 to 50022.10 authorize a city to codify and recodify its ordinances; and

**WHEREAS**, through Municipal Code Amendment ("MCA") No. 25-0025, the City of Fontana ("City") desires to restate without substantive revision, amend and recodify certain ordinances codified in the Fontana Municipal Code ("FMC"); and

**WHEREAS**, the General Plan includes policies and actions calling for numerous updates to the FMC; and

**WHEREAS**, Section 30-371.2. – Sierra core. is amended to remove parking requirements for commercial uses within 400 feet of a City-owned parking facility; and

**WHEREAS**, Section 30-372. – Duplex, multiplex. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-373. – Rosewalk and Bungalow Court. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-374. – Rowhouse. is amended to allow a minimum dimension of four feet for private open space, allow a minimum of 15 feet for a rowhouse, and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-375. – Single-family home. is amended to remove redundant language pertaining to the districts in which the building type is allowed; and

**ATTACHMENT NO. 1**

Page 1 of 19

**WHEREAS**, Section 30-376. – Live/work. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-377. – Court. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-378. – Hybrid. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-379. – Flex building. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-380. – Liner building. is amended to allow a minimum dimension of four feet for private open space and to remove redundant language pertaining to the districts in which the building type is allowed; and

**WHEREAS**, Section 30-398. – Private open space types. is amended to allow a minimum dimension of four feet for private open space; and

**WHEREAS**, Section 30-477. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in residential zones is adequate considering physical feasibility; and

**WHEREAS**, Section 30-491. – Special use regulations\*. is amended to change the queuing and study requirements for drive thru restaurants; and

**WHEREAS**, Section 30-508. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in commercial zones is adequate considering physical feasibility; and

**WHEREAS**, Section 30-538. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in industrial zones is adequate considering physical feasibility; and

**WHEREAS**, Section 30-619. – Building design. is amended to authorize the Director of Planning to evaluate whether screening of equipment in public facility zones is adequate considering physical feasibility; and

**WHEREAS**, the Planning Commission recommends that the Fontana City Council (“City Council”) determine that the amendments qualify for an exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15378, and Section No. 3.01 and 3.22 of the 2019 Local Guidelines for Implementing CEQA. Furthermore, Planning Commission recommends that City Council finds that the amendments are nonetheless exempt from the requirements of CEQA in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA; and

**WHEREAS**, on May 6, 2025, the Planning Commission carefully considered all information pertaining to the municipal code amendments, including the staff report, and all the information, evidence, and testimony presented at its public hearing on May 6, 2025; and

**WHEREAS**, the amendments are consistent and compatible with the General Plan and that the updates are in line with goals, policies and objectives of the City; the Housing Element policies and the Zoning and Development Code; and

**WHEREAS**, the amendments will be in conformity with appropriate land use practices and will establish appropriate development standards for the land use designations; and

**WHEREAS**, the amendments to the FMC that are attached hereto as Exhibit “A” and incorporated herein by this reference will not be detrimental to the public health, safety, and general welfare, and will not adversely affect the orderly development of property, and will better express the City’s policies, and generally promote good land use planning and regulation; and

**WHEREAS**, all other legal prerequisites to the adoption of this Resolution have occurred.

**NOW, THEREFORE, the Planning Commission RESOLVES as follows:**

**Section 1. Recitals.** The above recitals are true, correct and incorporated herein by reference.

**Section 2. CEQA.** The Planning Commission hereby recommends that the City Council determine that this ordinance is categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15378 and Sections No. 3.01 and 3.22 of the 2019 Local Guidelines for Implementing CEQA, and that this Ordinance is nonetheless exempt from the requirements of CEQA in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

**Section 3. Municipal Code Amendment.** The Planning Commission hereby makes the following finding for MCA No. 25-0025 in accordance with Section 30-45(b) “Hearing-Planning Commission” development code amendments of the Fontana Zoning and Development Code:

**Finding:**                      **The proposal substantially promotes the goals of the City’s general plan.**

**Finding of Fact:**        The proposed Municipal Code Amendments will clarify and streamline the City’s development requirements and processes and facilitate housing and civic and commercial development. As such, they promote the General Plan goals of adequate housing to meet the needs of all residents in Fontana and promoting a diversified economy.

**Section 4. Recommendation of Approval.** Based on the foregoing, the Planning Commission hereby recommends that the City Council adopt an ordinance approving MCA No. 25-0025 to amend Chapter 30 of the City Code as indicated in Exhibit “A” which is attached hereto and incorporated herein by reference.

**Section 5. Resolution Regarding Custodian of Record:** The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

**Section 6. Certification.** The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

**Section 7. Effective Date.** This Resolution shall become effective immediately upon its adoption.

**Section 8. Severability.** If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect any other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

**APPROVED AND ADOPTED** by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 6<sup>th</sup> day of May 2025.

**City of Fontana**

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Idilio Sanchez, Chairperson

**ATTEST:**

I, Joseph Armendarez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 6<sup>th</sup> day of May 2025, by the following vote, to-wit:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

---

Joseph Armendarez, Secretary

## EXHIBIT "A"

Below are the Amendments to Chapter 30 of the Municipal Code.  
Deletions are shown as ~~strike-outs~~. Additions are shown as underlines.

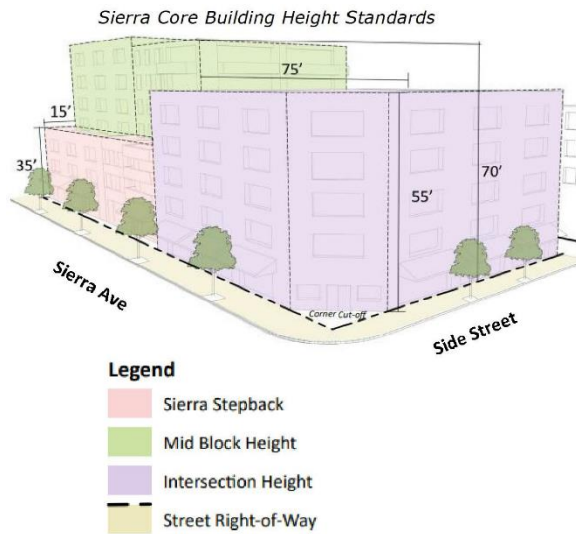
### Sec. 30-371.2. Sierra core.

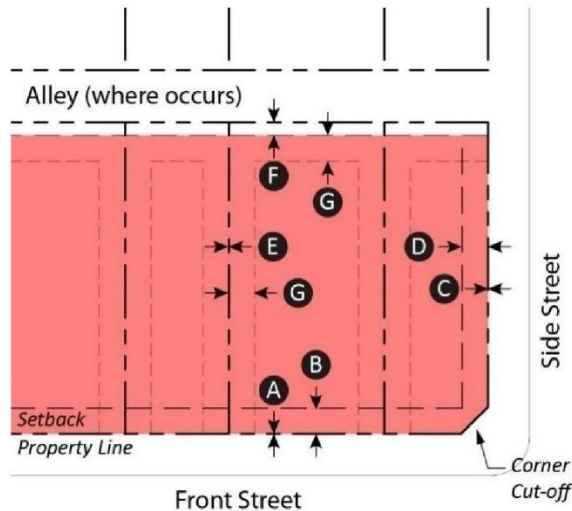
The Sierra core is the commercial core of Fontana and functions as the city center. Uses include a mixture of commercial, retail, entertainment, office, and residential.

Building placement shall be close to the streets and integrated within the pedestrian realm. Architectural features should provide shade and variation in building design.

#### Capacity

	Min.	Max.
<b>Residential or mixed-use density</b>	24 DU/Ac	70 DU/Ac
<b>Commercial FAR (retail and restaurants)</b>	Refer to Sec. 30-405 for frontages that require ground floor commercial	2.0





### Setbacks

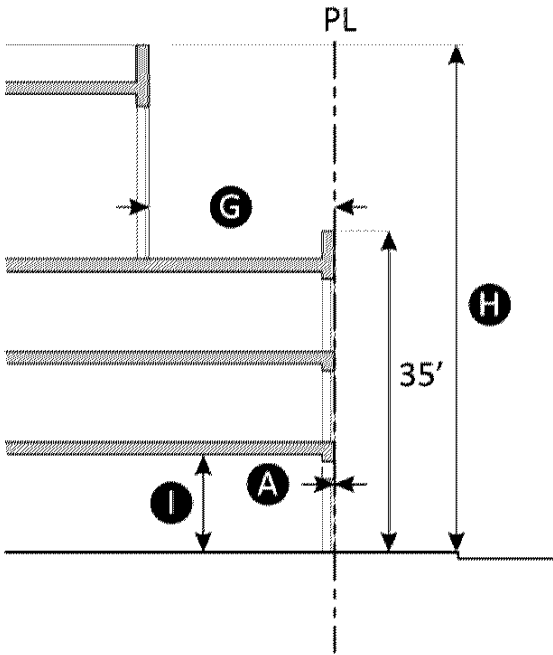
	Min. (ft.)	Max. (ft.)	
Front Street	0 <b>A</b>	10 <b>B</b>	
Side Street	0 <b>C</b>	10 <b>D</b>	
Side (Interior)	0 <b>E</b>	—	
Rear Yard	5 <b>F</b>	—	
Stepback*	10 <b>G</b>	—	
* Applies to rear and side (interior) at 35' high, when adjacent to the neighborhood core.			

### Building Height

Frontage Coverage	80% min.
Height**	35' max.
	55' max. within 75' of side street property line <b>H</b>
	70' max. with min. stepback 75' from side street and 15' from Sierra Ave Property Line*
Ground Floor Commercial Height**	12 ft. Min. <b>I</b>

\* The maximum height along Sierra Ave may be increased to 45 feet and to 70 feet along the side street setbacks for projects that provide a rooftop amenity. The rooftop amenity must be located along a street frontage with a maximum height of 45 feet and minimum width of 15 feet.

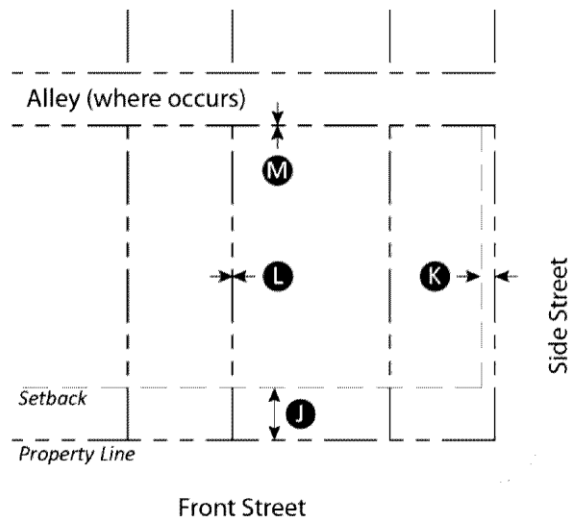
Public and private spaces should be integrated to act as one. Awnings or canopies extending over sidewalks and significant glazing should be included in all new construction or renovation.



## Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<b>Arcade, Gallery, Awning</b>	<b>Balcony</b>	<b>Bay Window</b>	<b>Eave</b>
<b>Front Street</b>	Min. 2 ft. clear of curb	6 ft. max.	4 ft. max. on upper floors only	Min. 2 ft. clear of curb
<b>Side Street</b>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<b>Side Interior</b>	—	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<b>Rear Yard</b>	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<b>Vertical</b>	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear



## Parking

	Required Spaces
<b>Residential</b>	1.25 per unit
<b>Non-Residential Uses Under 6,000 Square Feet</b>	No parking required
<b>Non-Residential Uses Over 6,000 Square Feet</b>	50% of the requirements in the Zoning Code (30-685.A)
<b>Retail, Entertainment and Restaurant Uses Over 6,000 Square Feet Within 400 Feet of City-Owned Public Parking Lot or Structure</b>	No parking required

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)	
<b>Front Street</b>	20	J
<b>Side Street</b>	5	K
<b>Side Interior</b>	—	L
<b>Rear Yard</b>	—	M

### Minimum lot size:

5,000 square feet

### Required frontage:

Forecourt, shopfront, gallery and arcade

### Sec. 30-372. - Duplex, multiplex.

Description: The duplex building type is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

The multiplex is a medium structure that consists of three—six side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

<del>Allowed In:</del>	<del>Transitional, Multi-Family &amp; Village</del>
Lot Size:	Width: 50 ft. min. Depth: 100 ft. min.
Pedestrian Access:	Main entrance location: Primary street On corner lots, each lot shall front a separate street
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: <del>8</del> <u>4</u> ft. Minimum depth: <del>8</del> <u>4</u> ft. Minimum area: 64 sq. ft.
Building Size & Massing:	Length along frontage: 36 ft. max. for duplex and 350 ft. max. for multiplex Length along side yard: 200 ft. max.

*The remainder of Sec. 30-372 to remain unchanged.*

### **Sec. 30-373. - Rosewalk and Bungalow Court.**

Description: Rosewalk—Six or more single dwellings arranged in a linear manner along either side of a common green. Having the same right-of-way width as a narrow neighborhood street, the Rosewalk (in contrast to the Bungalow Court) must connect two parallel streets. Pedestrian access to the building entrances ~~are~~ is accessed from the common green and/or primary street.

Bungalow Court—Four or more single dwellings arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or fronting street. The courtyard is wholly open to the street and parking is placed in the rear of the lot or behind each unit.

<del>Allowed In:</del>	<del>Transitional, Multi-Family &amp; Village</del>
Lot Size:	Width: 75 ft. min. Depth: 100 ft. min.
Pedestrian Access:	Main entrance location: Common courtyard
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: <del>8</del> <u>4</u> ft.

	Minimum depth: <del>8</del> 4 ft. Minimum area: 64 sq. ft.
Common Courtyard:	Width: 20 ft. min. clear Depth: 50 ft. min clear
Building Size & Massing:	Length along frontage: 50 ft. max. Length along side yard: 40 ft. max.

*The remainder of Sec. 30-373 to remain unchanged.*

#### **Sec. 30-374. - Rowhouse.**

Description: A small- to medium-sized building comprised of attached dwelling units arrayed side by side. The ground floor can be raised above grade in order to provide privacy for ground floor rooms. The primary building should sit at the front of the property, with the garage at the rear. Each dwelling unit is directly accessed from the front yard/street or walking path leading to the street. The Rowhouse type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

Allowed In:	<del>Transitional, Multi-Family, Sierra Gateway, Route 66 Gateway &amp; Village</del>
Lot Size:	Width: 125 ft. min. Depth: 125 ft. min.
Pedestrian Access:	Main entrance location: Primary street
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: <del>8</del> 4 ft. Minimum depth: <del>8</del> 4 ft. Minimum area: 64 sq. ft.
Building Size & Massing:	Width per rowhouse: <del>48</del> 15 ft. min./36 ft. max.  The front elevation and massing of each rowhouse building may be either symmetrical or asymmetrical, repetitive or unique in disposition, as long as the delineation of each individual unit is evident.

*The remainder of Sec. 30-374 to remain unchanged.*

#### **Sec. 30-375. - Single-family home.**

Description: Single-family homes are freestanding structure intended to be occupied as a home or residence by a single household. An accessory dwelling unit may also be attached or detached to the main dwelling unit for occupancy by an additional household. Private open space is provided in the rear yard that is secured by walls or fences.

Allowed In:	Transitional, Neighborhood, Village
Lot Size:	Width: 50 ft. min./60 ft. max Depth: 50 ft. min./100 ft. max
Pedestrian Access:	Main entrance location: Primary street
Vehicle Access & Parking:	Parking spaces may be enclosed, covered, or open. Parking may be accessed from the primary street, secondary street, or alley
Frontages:	Porch Stoop Dooryard
Private Open Space:	Located in the enclosed rear yard
Accessory Buildings/Structures:	For accessory dwelling units, see <a href="#">Sec. 30-467</a> .  For accessory structures, see <a href="#">Sec. 30-461</a> .

### Sec. 30-376. - Live/work.

Description: The live/work building type is a small to medium-sized attached or detached structure that consists of single dwelling unit above and/or behind a flexible ground floor space that can be used for home-business uses such as residential, personal and general service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into an urban neighborhood street. It is especially appropriate for incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands. The work space is accessed directly from the primary street, and the living space at the rear or above is accessed directly or indirectly from the working space.

Allowed In:	<del>Retail, Transitional, Station, Downtown Gateway, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Lot Size:	Width: 75 ft. min. Depth: 80 ft. min.
Pedestrian Access:	Main entrance location: Primary street  Ground floor space and upper unit shall have separate entries.
Vehicle Access & Parking:	Parking spaces may be located in the rear, tuck under.
Frontages:	Forecourt Dooryard Shopfront Lightcourt Gallery
Private Open Space:	Minimum width: <del>8</del> 4 ft. Minimum depth: <del>8</del> 4 ft. Minimum area: 64 sq. ft.
Building Size & Massing:	Width per unit: 18 ft. min./36 ft. max.

*The remainder of Sec. 30-376 to remain unchanged.*

**Sec. 30-377. - Court.**

Description: A group of dwelling units arranged to share one or more common courtyards. The courtyard is intended to be a semi-public outdoor room that is an extension of the public realm. Court buildings may accommodate ground floor commercial/flex uses in either a live/work configuration or as solely commercial/retail space in qualifying zones facing the primary street. This building type enables the incorporation of high-quality, well-designed density within a walkable neighborhood.

Allowed In:	<del>Transitional, Station, Downtown Gateway, Multi-Family &amp; Village</del>
Lot Size:	Width: 100 ft. min. Depth: 100 ft. min.
Pedestrian Access:	Direct access from street or courtyard.
Vehicle Access & Parking:	From alley. For lots without alley, via driveway located as close to side yard property as possible.
Frontages:	Porch Stoop Dooryard
Private Open Space:	Minimum width: <del>8</del> 4 ft. Minimum depth: <del>8</del> 4 ft. Minimum area: 64 sq. ft.
This open space is exclusive of the courtyard and may be located in a side or rear yard.	
Common Courtyard:	Recommended Width/depth/height ratio: 1:1 approx. Width/depth: 20 ft. min.
Building Size & Massing:	Length along frontage: 200 ft. max. Length along side yard: <del>140</del> 200 ft. max.

*The remainder of Sec. 30-377 to remain unchanged.*

**Sec. 30-378. - Hybrid.**

Description: A building that combines a point-access portion of the building with a walk-up portion. The building may be designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for residences.

Allowed In:	<del>Retail, Station, Downtown Gateway, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Lot Size:	Width: 150 ft. min. Depth: 160 ft. min.
Pedestrian Access:	The main entrance to each ground floor is directly from the street.
Entrance to the residential portions of the building is through a dedicated street level lobby, or through a dedicated podium lobby accessible from the street or through a side yard.	

Interior circulation to each unit above the second level in double-loaded corrido element of the building is through a corridor of at least six feet in width with recessed doors or seating alcoves/offsets at every 100 feet at a minimum. For other units, it is directly off a common courtyard or through stairs serving up to three dwellings.	
Vehicle Access & Parking:	Underground garage, surface parking, tuck under parking or a combination of any of the above.
Frontages:	Porch Dooryard Stoop Arcade
Private Open Space:	Minimum width: 8 <u>4</u> ft. Minimum depth: 8 <u>4</u> ft. Minimum area: 64 sq. ft.  The open space is exclusive of the courtyard and may be located in a side or rear yard.
Building Size & Massing:	Length along frontage: 200 ft. max.

*The remainder of Sec. 30-378 to remain unchanged.*

#### **Sec. 30-379. - Flex building.**

Description: A building type designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. Second floor units may be directly accessed from the street through a stair; upper floors are accessed through a street level lobby.

<del>Allowed In:</del>	<del>Retail, Station, Downtown Gateway, Civic, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Pedestrian Access:	Direct access from sidewalk. Upper floor accessed from street level.
Vehicle Access & Parking:	Required parking is accommodated in an underground or above-ground garage, tuck under parking, or a combination of any of the above.
Frontages:	Forecourt Shopfront Gallery Arcade
Private Open Space:	Private open space is required for each residential unit and shall be no less than 64 sq. ft. with a minimum dimension of <del>five</del> <u>four</u> feet in each direction.
Shared Open Space:	The primary shared common space is the rear or side yard designed as a courtyard. Courtyards can be located on the ground or on

	<p>a podium and must be open to the sky. Side yards can also be formed to provide outdoor patios connected to ground floor commercial uses.</p> <p>Recommended width/depth/height ratio: 1:1 approx. Width/depth: 20 ft. min.</p>
Building Size & Massing:	Length along frontage: If over 200 ft., must provide massing break.

*The remainder of Sec. 30-379 to remain unchanged.*

### **Sec. 30-380. - Liner building.**

Description: A building that conceals a garage, or other large-scale faceless building (such as a movie theater), "big box" store or surface parking facility, designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. The access corridor, if applicable, is included in the minimum depth.

Allowed In:	<del>Retail, Station, Downtown Gateway, Civic, Sierra Gateway, Route 66 Gateway Valley Gateway &amp; Village</del>
Pedestrian Access:	Direct access from sidewalk. Upper floor accessed from street level.
Vehicle Access & Parking:	Required parking is accommodated in an underground or above-ground garage, tuck under parking, or a combination of any of the above.
Frontages:	Forecourt Shopfront Gallery Arcade
Private Open Space:	Private open space is required for each residential unit and shall be no less than 64 sq. ft. with a minimum dimension of <del>five</del> <u>four</u> feet in each direction.
Shared Open Space:	<p>The primary shared common space is the rear or side yard designed as a courtyard. Courtyards can be located on the ground or on a podium and must be open to the sky. Side yards can also be formed to provide outdoor patios connected to ground floor commercial uses.</p> <p>Recommended width/depth/height ratio: 1:1 approx. Width/depth: 20 ft. min.</p>
Building Size & Massing:	Length along frontage: If over 200 ft., must provide massing break.

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The remainder of Sec. 30-380 to remain unchanged.

**Sec. 30-398. - Private open space types.**

Private open spaces shall be designed as one of the private open space types defined in this section.

- (1) *Private yard.*
  - a. Definition: A side yard or rear yard (excluding required setback areas) which is accessed by secondary unit entrance(s).
  - b. The primary access to a private yard shall be from the dwelling(s) served.
  - c. The minimum area for a private yard shall be 60 square feet.
  - d. The minimum dimensions for a private yard in any single direction shall be ~~six~~ four feet.
  - e. Landscaping shall consist primarily of planted areas including water-efficient plantings of lawns, trees, plants in pots, etc. and may be combined with a porch.
  - f. Private yard spaces may include edge walls or fences, provided that their inclusion does not violate building orientation.
- (2) *Porch.*
  - a. Definition: A patio, terrace, or other platform extending from or adjacent to a building at the ground floor which is accessed by secondary unit entrances(s).
  - b. The primary access to a porch shall be from the dwelling(s) served.
  - c. The minimum area for a porch shall be 48 square feet.
  - d. The minimum dimensions of a porch in any single direction shall be ~~six~~ four feet.
- (3) *Rooftop deck or garden.*
  - a. Definition: A private or privately shared deck or yard on the roof of a building.
  - b. The minimum dimensions for a rooftop deck or garden in any single direction shall be ~~six~~ four feet.
  - c. Gardens and green roofs are encouraged to help minimize heat sinks and to pretreat water from storms prior to it entering the storm drain system.
  - d. The minimum area for a rooftop deck or garden shall be 60 square feet.
- (4) *Balcony.*
  - a. Definition: An outdoor space extending from a private upper floor of a building, which is accessed directly from a secondary unit entrance.
  - b. Access to a balcony shall be limited to the dwelling served.
  - c. The minimum area for a rooftop deck or garden shall be 48 square feet.
  - d. The minimum dimensions for a balcony in any single direction shall be ~~six~~ four feet.

**Sec. 30-477. – Building design.**

- ...
- (6) *Utilities.*
    - a. Temporary overhead power and telephone facilities are permitted only during construction.

- b. ~~Transformers, utility pads and telephone boxes shall be installed and maintained underground.~~ Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Planning Community Development ~~prior to any administrative or discretionary approval.~~
- c. All utilities including, but not limited to, drainage systems, sewers, gas lines, water lines, and electrical up to 35 KV, telephone, underground cable television, and communications wires and equipment shall be installed and maintained underground. Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Community Development prior to any administrative or discretionary approval.
- d. All utility easements shall be landscaped and shall be maintained as provided in the easement document.

...

*The remainder of Sec. 30-477 to remain unchanged.*

#### **Sec. 30-491. - Special use regulations \*.**

This section establishes special regulations for certain permitted uses marked with an asterisk (\*) in Table No. 30-489. The specified use is permitted provided that the use conforms to the following regulations:

...

- (2) *Restaurant, drive-thru.*
  - a. A drive-through restaurant applicant shall provide a queuing study and plan for the business's high volume periods, such as its grand opening and other high volume periods. ~~The applicant shall not queue any less than 15 vehicles.~~
  - b. A queuing study, provided by the applicant's engineer, confirming that the site can accommodate the morning or afternoon peak hour queuing for the proposed normal business operations shall be provided. The drive-thru design shall not provide for less than 12 vehicles queuing. Eighteen feet shall be allocated for each queued vehicle.
  - ~~b.c.~~ The required queue area on site shall be measured from the forwardmost drive-up window to the entrance of the stacking space. The stacking space shall be located completely clear of any adjacent public right-of-way and all circulation aisles provided on site.
  - ~~c.d.~~ The required queue area on site shall accommodate the morning or afternoon peak hour queue length for the facility. The peak queue length shall hold 25 percent of all vehicles arriving during the morning or afternoon peak hour, whichever time provides the highest stream of traffic. The peak queue length shall be calculated using a queuing study, provided by the applicant's engineer, based on the anticipated peak hour traffic counts from

three similar sized restaurants, with similar operational profiles, ~~from the same franchise, located near~~ within two miles of the project site, ~~with similar land use, operation and building size. Twenty feet shall be allocated for each queued vehicle.~~

- ~~d.~~e. The drive-thru lane and associated parking area(s) visible from a public street shall be screened from view by a landscape berm. If berming is physically impossible, a decorative wall with caps and pilasters shall be provided or a decorative wall with caps, pilasters, and trellis work shall be provided. Additionally, a three-foot landscape hedge at the time of planting shall be provided in front of the wall for either scenario.
- ~~e.~~f. A drive-thru lane located adjacent to a parcel zoned for residential use is not permitted.
- ~~f.~~g. A line of sight from the public right-of-way shall be provided for a project that includes a drive-thru lane to demonstrate the screening devices used to screen the drive-thru lane and associated parking area(s).
- ~~g.~~h. The menu board shall be enhanced, landscaped, and located at a minimum distance of 40 feet from the menu board to the entrance to the stacking space.
- ~~h.~~i. Exterior doors on any children's play area shall be for emergency exit only.
- ~~i.~~j. Indoor or outdoor dining/seating is required. The proposed number of indoor or outdoor seats must be approved by the Director of Planning. Outdoor seating areas shall be designed to be consistent with the architectural style of the drive-thru restaurant, shall be located near the main pedestrian entrance and shall include tables with seating, a trash receptacle, a low fencing enclosure, and a protective structure over the entire area.
- ~~j.~~k. The outdoor dining area may include a plaza, arcade, colonnades, or courtyard design.
- ~~k.~~l. All new drive-thru restaurants shall have a solid decorative porte cochere above the drive-thru window(s). Existing drive-thru restaurants may construct a porte cochere when sufficient space allows or when the existing restaurant is proposing expansions to the building. The porte-cochere may encroach into the required setback and right-of-way up to a maximum of two feet.
- ~~l.~~m. Building entrances shall be oriented toward the street with drive-thru lanes, pick-up window, and off-street parking facilities oriented towards the rear or side yard areas to the extent feasible. Pick-up windows shall be located near the outdoor dining area to encourage walkability.
- ~~m.~~n. Architectural treatment shall include a variety of roof lines and wall projections on all elevations of the building. The architecture of the drive-

through restaurant shall be compatible with the surrounding uses in form, materials, colors, scale, design, etc.

- o. Should operations impact public rights-of-way or obstruct parking or circulation areas for the drive-through or for other tenants within the same property, the City may, upon notification to the owner, require that the business owner submit a plan of corrective action(s) to be taken or immediate curtailment of business operations.

*The remainder of Sec. 30-491 to remain unchanged.*

## **Article VI. – COMMERCIAL AND MIXED-USE ZONING DISTRICTS**

### **Sec. 30-508. - Site Plan Design.**

...

#### **(g) Utilities.**

(1) Temporary overhead power and telephone facilities are permitted only during construction.

~~(2) Transformers, utility pads and telephone boxes shall be installed and maintained underground. Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Planning Community Development prior to any administrative or discretionary approval.~~

(3) Transformer enclosures shall be designed of durable materials with finishes and colors used which are compatible and harmonious with the overall architectural theme.

~~(4) All utilities including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communications wires and equipment shall be installed and maintained underground. Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require written approval by the Director of Community Development prior to any administrative or discretionary approval.~~

*The remainder of Sec. 30-508 to remain unchanged.*

## **Article VII – Industrial Zoning Districts**

### **Sec. 30-538. - Screening.**

...

- (c) *Mechanical equipment, ground.* All mechanical equipment shall be screened to the extent feasible on all sides by a ~~decretive~~ decorative screen wall not less than the height of the equipment being screened in conjunction with landscaping, subject to approval of the Director of Planning. The decorative screen wall shall be located between the street and the mechanical equipment not less than three-foot. The decorative screen wall shall be well incorporated into the design of the building. The other side of the equipment shall be screened with landscaping not less than ten-gallon shrubs or approved landscaping.

...

*The remainder of Sec. 30-538 to remain unchanged.*

## **Sec. 30-550. – Screening**

...

### **(g) Utilities.**

- (1) Temporary overhead power and telephone facilities are permitted only during construction.
- (2) Transformer enclosures shall be designed of durable materials with finishes and colors used which are compatible and harmonious with the overall architectural theme.
- (3) ~~All utilities including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communications wires and equipment shall be installed and maintained underground.~~ Placement, location and screening of utilities of any kind which cannot be installed underground and must be placed above ground for function and safety reasons require ~~written~~ approval by the Director of Planning ~~Community Development~~ prior to ~~any administrative or discretionary approval.~~

...

*The remainder of Sec. 30-550 to remain unchanged.*

## **Article VIII – Public Facilities and Open Space Zoning Districts**

### **Sec. 30-619. - Site Plan Design**

...

### **(e) Utilities.**

- (1) Temporary overhead power and telephone facilities are permitted only during construction.
- (2) Transformers, utility pads and telephone boxes shall be screened with walls and vegetation to the extent feasible, subject to approval of the Director of Planning.
- (3) Transformer enclosures shall be designed of durable materials with finished and colors used which are compatible and harmonious with the overall architectural theme.
- (4) ~~All exterior on-site utilities and utility boxes, structures, and equipment including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communications wires and equipment shall be installed and maintained underground.~~

...

*The remainder of Sec. 30-619 to remain unchanged.*

## NOTICE OF EXEMPTION

TO: <input checked="" type="checkbox"/> Office of Land Use and Climate Innovation State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Address: 8353 Sierra Ave, Agency) Fontana CA 92335 Telephone: 909-350-6568
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	<b>Master Case No. 25-0025, Municipal Code Amendment No. 25-0006</b>
2. Project Applicant (include address, telephone number and email address):	<b>City of Fontana, Planning Department, 8353 Sierra Avenue, Fontana, CA 92335, Cecily Session-Goins, Associate Planner, (909) 350-6723, csgoins@fontanaca.gov</b>
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	<b>Citywide, City of Fontana, County of San Bernardino</b>
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	<b>The project is Municipal Code Amendment No. 25-0006 - Fontana Municipal Code amendment to Chapter 30 (Zoning and Development Code) pertaining to parking requirements in the Sierra Core District of the Form-Based Code zone, open space and building type requirements in the Form-Based Code zone, queuing and study requirements for drive-thru restaurants and screening</b>

	<b>requirements for mechanical/utility equipment.</b>
6. Name of Public Agency approving project:	<b>City of Fontana</b>
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	<b>City of Fontana 8353 Sierra Avenue Fontana, CA 92335 (909) 350-6718</b>
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input checked="" type="checkbox"/> Other. Explanation:	This Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act Guidelines, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.
9. Reason why project was exempt:	<b>This project is a citywide amendment to Chapter 30 of the Fontana Municipal Code pertaining to parking requirements in the Sierra Core District of the Form-Based Code zone, open space and building type requirements in the Form-Based Code zone, queuing and study requirements for drive-thru restaurants and screening requirements for</b>

	<b>mechanical/utility equipment. There is no associated development with this project.</b>
10. Lead Agency Contact Person: Telephone:	<b>Cecily Session-Goins, Associate Planner</b> 909-350-6723
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: May 6, 2025	

Date:

\_\_\_\_\_  
Signature

Name: Rina Leung

Title: Senior Planner

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



# NOTICE PUBLIC HEARING

***Si desea información en Español referente a esta notificación o proyecto,  
favor de comunicarse al (909) 350-6728.***

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

**MASTER CASE NUMBER 25-0025 - MUNICIPAL CODE AMENDMENT (MCA) NO. 25-0006: FOR AMENDMENTS TO CHAPTER 30 OF THE FONTANA MUNICIPAL CODE THAT WILL MODIFY MULTIPLE SECTIONS OF THE ZONING AND DEVELOPMENT CODE, INCLUDING MODIFICATIONS TO OPEN SPACE AND BUILDING STANDARDS IN FORM-BASED CODE DISTRICTS, PARKING STANDARDS IN THE FORM BASED CODE SIERRA CORE DISTRICT, MECHANICAL/UTILITY EQUIPMENT SCREENING REQUIREMENTS, AND DRIVE-THRU RESTAURANT QUEUING AND STUDY REQUIREMENTS.**

**Environmental  
Determination:**

This Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act ("CEQA") Guidelines, Section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

**Location of Property:**

Citywide

**Date of Hearing:**

May 6, 2025

**Place of Hearing:**

City Hall Council Chambers  
8353 Sierra Avenue  
Fontana, CA 92335

**Time of Hearing:**

6:00 pm

Should you have any questions concerning this project, please contact Cecily Session-Goins, Associate Planner, at (909) 350-6723 or by email at [csgoins@fontanaca.gov](mailto:csgoins@fontanaca.gov)

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION AT THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish: April 26, 2025

¼ Page



## City of Fontana Planning Commission Minutes

Idilio Sanchez, Chair  
Ricardo Quintana, Vice Chair  
Joe Armendarez, Secretary  
Torrie Lozano, Commissioner  
Dylan Keetle, Commissioner

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**Tuesday, May 6, 2025**

**6:00 P.M.**

**Grover W. Taylor Council Chambers**

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### **CALL TO ORDER/ROLL CALL:**

#### **A. Call to Order/Roll Call:**

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, May 6, 2025. Chair Sanchez called the meeting to order at 6:02 p.m.

**Present:** Chair Sanchez, Vice Chair Quintana, Secretary Armendarez,  
Commissioners Keetle and Lozano.

**Absent:** None

### **INVOCATION/PLEDGE OF ALLEGIANCE:**

#### **A. Invocation/Pledge of Allegiance:**

Following the Invocation by Chaplain Bianca Pescina, the Pledge of Allegiance was led by Commissioner Lozano.

**PUBLIC COMMUNICATIONS:****A. Public Communications:**

None.

**CONSENT CALENDAR:**

- A. Planning Commission Determination of General Plan conformance under Government Code section 65402 for the Vacation, Abandonment and Disposition of portions of Highland Avenue and an unnamed alley, located north of South Highland Avenue between Citrus Avenue and Catawba Avenue, pursuant to a CEQA exemption in accordance with CEQA Guidelines Section 15061(b)(3).**

**RECOMMENDATION:**

Consider the location, purpose, and extent of the proposed real property vacation, abandonment, and disposition described herein as required under Government Code Section 65402(a) and adopt, **Resolution No. PC 2025-013** finding that the proposed vacation, abandonment, and disposition is in conformance with the City's General Plan, determining that the project is exempt under CEQA Guidelines Section 15060(b) (3) and directing staff to file a Notice of Exemption.

**B. Approval of Minutes:**

Approve the Regular Planning Commission Meeting Minutes of April 15<sup>th</sup>, 2025.

**ACTION: A Motion was made by Chair Sanchez and seconded by Commissioner Lozano and passed by a vote of 5-0 to approve the Consent Calendar.**

**The motion carried by the following vote:**

**Aye:** Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, Commissioners Keetle and Lozano

**Absent:** None

**Abstain:** None

**PH-A Master Case No. 25-0020 and Municipal Code Amendment (MCA) No. 25-0005: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) adopt objective design standards for residential and mixed-use development projects subject to streamlined and ministerial review under State of California law, pursuant to a determination that the amendments are exempt from CEQA under CEQA Guidelines section 15060(C), 15061(B)(3) (the common-sense exemption), and 15378. (Item Continued from the April 1, 2025, meeting).**

Chair Sanchez opened the Public Hearing.

Staff recommended that the Planning Commission continue this item to the June 3, 2025, Regular Planning Commission Meeting.

No written correspondence was received.

**RECOMMENDATION:**

**Staff recommends that the Planning Commission continue this item to the June 3, 2025, Regular Planning Commission Meeting.**

**ACTION: Motion was made by Commissioner Keetle and seconded by Secretary Armendarez and passed by a vote of 5-0 to continue Public Hearing Item "A" to the June 3, 2025, Regular Planning Commission Meeting.**

The motion carried by the following vote:

**AYES: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, Commissioners Keetle and Lozano NOES: None; ABSTAIN: None; ABSENT: None**

**PH-B Master Case No. 25-0017 and Municipal Code Amendment (MCA) No. 25-0003: Fontana Municipal Code Amendments to Chapter 30 (Zoning and Development Code) establishing standards for group homes. (Item Continued from the April 15, 2025, meeting).**

Chair Sanchez opened the Public Hearing.

Staff recommended that the Planning Commission continue this item to the June 3, 2025, Regular Planning Commission Meeting.

No written correspondence was received.

**RECOMMENDATION:**

**Staff recommends that the Planning Commission continue this item to the June 3, 2025, Regular Planning Commission Meeting.**

**ACTION: Motion was made by Secretary Quintana and seconded by Commissioner Keetle and passed by a vote of 5-0 to continue Public Hearing Item "B" to the June 3, 2025, Regular Planning Commission Meeting.**

The motion carried by the following vote:

**AYES: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, Commissioners Keetle and Lozano NOES: None; ABSTAIN: None; ABSENT: None**

**PH-C Master Case No. 24-0090: Tentative Parcel Map No. 24-0030 (TPM No. 20949) and Design Review No. 24-0043; A request to subdivide an approximately 9.6-acre site into four (4) parcels; and a request for site and architectural review of a new 29,280 square foot flex building, a new 26,470 square foot two-story office building with a helicopter pad, and a new 119,200 square foot three level self-storage building, with associated site improvements on 9.6 acres located on property identified as Assessor's Parcel Number 0226-075-60, pursuant to an addendum to the Ventana Specific Plan Final Environmental Impact Report (SCH No. 2021100400).**

Chair Sanchez opened the Public Hearing.

Alexia Barberena, Associate Planner, presented the staff report.

The commission and staff discussed the amount of helicopter pad locations throughout the city and whether they are being used for private or public use.

The applicant, Andrew Wennerstrom, on behalf of The Previti Group, stated that he read and agreed to the Conditions of Approval and expressed his excitement on bringing this new project to the city.

Nick Johnson, on behalf of Johnson Aviation addressed questions from the commission and provided answers to questions such as the number of times in which the helicopter pad would be utilized and projected flight paths.

Another discussion ensued between Mr. Johnson and the commission regarding noise concerns for homes near the projected site. Commissioner Keetle questioned alternative flight paths.

Mr. Johnson provided the commission information regarding high tension power lines located north and south of the project and also commented that they would be keeping inside the noise profile. Mr. Johnson also confirmed that the helicopter could be flying during Santa Ana winds, noting that pilots check on weather conditions and take them into account when making flight decisions.

No written correspondence was received.

The Public Hearing was closed.

#### **RECOMMENDATION:**

**Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution No. PC 2025-014; and**

1. Adopt the Addendum and Mitigation, Monitoring, and Reporting Program (MMRP)

to the Ventana Specific Plan Final Environmental Impact Report (SCH No. 2021100400) and direct staff to file a Notice of Determination; and,

2. Approve Tentative Parcel Map (TPM) No. 24-0030; and
3. Approve Design Review (DR) No. 24-0043.

**ACTION: Motion was made by Chair Sanchez and seconded by Commissioner Lozano and passed by a vote of 5-0 to approve Public Hearing Item “C”; adopt Resolution No. PC 2025-014 approving Tentative Parcel Map (TPM) No. 24-0030 and approving Design Review No. 24-0043.**

The motion carried by the following vote:

**AYES: Chair Sanchez, Vice Chair Quintana, Secretary Armendarez, Commissioners Keetle and Lozano NOES: None; ABSTAIN: None; ABSENT: None**

**PH-D Master Case (MCN) No. 25-0025 - Municipal Code Amendment (MCA) No. 25-0006: For amendments to Chapter 30 of the Fontana Municipal Code that will modify multiple sections of the Zoning and Development Code, including modifications to open space and building standards in Form-Based Code districts, parking standards in the Form-Based Code Sierra Core District, mechanical/utility equipment screening requirements, and drive-thru restaurant queuing and study requirements, pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA.**

Chair Sanchez opened the Public Hearing.

Cecily Session-Goins, Associate Planner, presented the staff report.

No written correspondence was received.

The Public Hearing was closed.

#### **RECOMMENDATION:**

**Based on information in the staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2025-015; and:**

1. Determine that this Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act (CEQA) Guidelines, Section No. 3.22 and 3.04 of the 2019 Local Guideline for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly, and it can be determined with certainty that there is no possibility that the activity in question may have significant effect on the environment and is therefore not subject to CEQA; and,

2. Approve a resolution recommending that the City Council adopt an Ordinance for Municipal Code Amendment (MCA) No. 24-0006 to amend Chapter 30 of the Municipal Code.

**ACTION:** Motion was made by Secretary Armendarez and seconded by Commissioner Keetle and passed by a vote of 5-0 to approve Public Hearing Item “D” and adopt Resolution No. PC 2025-015.

The motion carried by the following vote:

**AYES:** Chair Sanchez, Vice Chair Quintana, Secretary Armendarez and Commissioners Keetle and Lozano **NOES:** None; **ABSTAIN:** None; **ABSENT:** None

**DIRECTOR COMMUNICATIONS:**

**A. Director Communications:**

None.

**COMMENTS:**

**A. Public Communication Commission Comments:**

Commissioner Keetle thanked planning staff for their hard work and the people who invest in the city. Commissioner Keetle also expressed his excitement on the growth of the city.

Commissioner Lozano thanked Planning staff for their presentations and wished the public happy Mother’s Day.

Secretary Armendarez wished all the mothers in attendance a happy Mother’s Day; thanked Planning staff for their hard work; closed his comments by thanking all the business who make Fontana great.

Vice Chair Quintana wished the public a happy Mother’s Day and commented on his recent attendance at the Fontana Days Parade.

Chair Sanchez echoed fellow commissioners’ comments; wished the public happy Mother’s Day; expressed his appreciation to staff and closed his comments by thanking the public for the opportunity to serve.

**ADJOURNMENT:**

Chair Sanchez adjourned the meeting at 6:33 p.m. to the next Regular Planning Commission Meeting on Tuesday, May 20, 2025, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

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Susana Gallardo  
Deputy City Clerk

**THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION  
ON THE 20<sup>th</sup> DAY OF MAY 2025.**

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Idilio Sanchez  
Chair

## NOTICE OF EXEMPTION

TO: <input checked="" type="checkbox"/> Office of Land Use and Climate Innovation State Clearinghouse P. O. Box 3044, Room 113 Sacramento, CA 95812-3044	FROM: Name: City of Fontana (Public Address: 8353 Sierra Ave, Agency) Fontana CA 92335 Telephone: 909-350-6568
<input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address:	

1. Project Title:	<b>Master Case No. 25-0025, Municipal Code Amendment No. 25-0006</b>
2. Project Applicant (include address, telephone number and email address):	<b>City of Fontana, Planning Department, 8353 Sierra Avenue, Fontana, CA 92335, Cecily Session-Goins, Associate Planner, (909) 350-6723, csgoins@fontanaca.gov</b>
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	<b>Citywide, City of Fontana, County of San Bernardino</b>
4. (a) Project Location – City: Fontana	(b) Project Location – County: San Bernardino
5. Description of nature, purpose, and beneficiaries of Project:	<b>The project is Municipal Code Amendment No. 25-0006 - Fontana Municipal Code amendment to Chapter 30 (Zoning and Development Code) pertaining to parking requirements in the Sierra Core District of the Form-Based Code zone, open space and building type requirements in the Form-Based Code zone, queuing and study requirements for drive-thru restaurants and screening</b>

	<b>requirements for mechanical/utility equipment.</b>
6. Name of Public Agency approving project:	<b>City of Fontana</b>
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	<b>City of Fontana 8353 Sierra Avenue Fontana, CA 92335 (909) 350-6718</b>
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	State CEQA Guidelines 15050(c)(2)-(3)
(c) <input type="checkbox"/> Declared Emergency	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(d) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(e) <input type="checkbox"/> Categorical Exemption. State type and section number:	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input checked="" type="checkbox"/> Other. Explanation:	This Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act Guidelines, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.
9. Reason why project was exempt:	<b>This project is a citywide amendment to Chapter 30 of the Fontana Municipal Code pertaining to parking requirements in the Sierra Core District of the Form-Based Code zone, open space and building type requirements in the Form-Based Code zone, queuing and study requirements for drive-thru restaurants and screening requirements for</b>

	<b>mechanical/utility equipment. There is no associated development with this project.</b>
10. Lead Agency Contact Person: Telephone:	<b>Cecily Session-Goins, Associate Planner</b> 909-350-6723
11. If filed by applicant: Attach Certificate of Determination (Form "B") before filing.	
12. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: May 27, 2025	

Date:

\_\_\_\_\_  
Signature

Name: Rina Leung

Title: Senior Planner

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing:

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



# NOTICE PUBLIC HEARING

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favor de comunicarse al (909) 350-6728.***

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A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE CITY COUNCIL OF THE CITY OF FONTANA FOR THE FOLLOWING:

**MASTER CASE NUMBER 25-0025 - MUNICIPAL CODE AMENDMENT (MCA) NO. 25-0006: FOR AMENDMENTS TO CHAPTER 30 OF THE FONTANA MUNICIPAL CODE THAT WILL MODIFY MULTIPLE SECTIONS OF THE ZONING AND DEVELOPMENT CODE, INCLUDING MODIFICATIONS TO OPEN SPACE AND BUILDING STANDARDS IN FORM-BASED CODE DISTRICTS, PARKING STANDARDS IN THE FORM BASED CODE SIERRA CORE DISTRICT, MECHANICAL/UTILITY EQUIPMENT SCREENING REQUIREMENTS, AND DRIVE-THRU RESTAURANT QUEUING AND STUDY REQUIREMENTS.**

**Environmental  
Determination:**

This Ordinance is not a project pursuant to Section 15378 of the State of California Environmental Quality Act ("CEQA") Guidelines, Section No. 3.22 and 3.07 of the 2019 Local Guidelines for Implementing CEQA, because it does not have potential for resulting in physical change in the environment, directly or indirectly. Where it can be with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

**Location of Property:**

Citywide

**Date of Hearing:**

May 27, 2025

**Place of Hearing:**

City Hall Council Chambers  
8353 Sierra Avenue  
Fontana, CA 92335

**Time of Hearing:**

2:00 pm

Should you have any questions concerning this project, please contact Cecily Session-Goins, Associate Planner, at (909) 350-6723 or by email at [csgoins@fontanaca.gov](mailto:csgoins@fontanaca.gov)

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE CITY COUNCIL. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION AT THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE PLANNER LISTED ABOVE.

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# City of Fontana

8353 Sierra Avenue  
Fontana, CA 92335

## Action Report

### City Council Meeting

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**File #:** 25-0253

**Agenda #:** A.

**Agenda Date:** 5/27/2025

**Category:** New Business

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**FROM:**

Finance

**SUBJECT:**

Fiscal Year 2024-25 Third Quarter Budget Status Report

**RECOMMENDATION:**

Approve the recommended Fiscal Year 2024-25 Third Quarter Budget adjustments and organizational changes.

**COUNCIL GOALS:**

- Operate in a businesslike manner by ensuring that the public debate is based on accurate information.
- Practice sound fiscal management by producing timely and accurate financial information.
- Practice sound fiscal management by living within our means while investing in the future.
- Practice sound fiscal management by fully funding liabilities and reserves.
- Practice sound fiscal management by developing long-term funding and debt management plans.
- Invest in the City's infrastructure (streets, sewers, parks, etc.) by maintaining and improving the city's existing infrastructure.
- Invest in the City's infrastructure (streets, sewers, parks, etc.) by providing for the development of new infrastructure.
- Invest in the City's infrastructure (streets, sewers, parks, etc.) by utilizing Measure-I Funds wisely.

**DISCUSSION:**

The City's budget is an important policy document, serving as the annual financial plan that identifies the spending priorities for the organization. Quarterly budget status reports are developed and presented to the City Council to provide the most current information on the financial activities of the City upon which to base decisions. Additionally, quarterly reports assist City departments in communicating their financial operations throughout the fiscal year including any program changes and significant impacts to their annual budgets, as well as gauging the City's budget plan as compared to actual revenue and expenditures. This report includes requested departmental budget adjustments and preliminary year-to-date actuals through Third Quarter of Fiscal Year 2024-25, covering the period through March 31, 2025.

The current citywide Fiscal Year 2024-25 budget is comprised of a total of 200 funds including the

General Fund, Other General Funds (10 funds), Special Revenue Funds (135 funds), Enterprise Funds (5 funds), Capital Project Funds (36 funds), a Debt Service Fund, an Internal Service Fund, and Other Agency Funds (11 funds). The current total citywide Fiscal Year 2024-25 budget (excluding other agency funds) includes total uses (expenditures and transfers out) for all City funds of \$666.3 million and total sources (revenues and transfers in) of \$578.5 million. The Recommended Budget includes a decrease in total sources of \$6.8 million for a total of \$571.7 million and an increase in total uses of \$21.8 million for a total of \$688.1 million.

**2024-25 Budget  
All City Fund**

	Current	Proposed Revisions	Recommended
Revenues	\$ 509,593,871	\$ (8,100,254)	\$ 501,493,617
Transfers In	\$ 68,906,951	\$ 1,291,902	\$ 70,198,853
<b>Total Sources</b>	<b>\$ 578,500,822</b>	<b>\$ (6,808,352)</b>	<b>\$ 571,692,470</b>
Expenditures	\$ (597,513,142)	\$ (20,360,128)	\$ (617,873,270)
Transfers Out	\$ (68,800,351)	\$ (1,398,501)	\$ (70,198,852)
<b>Total Uses</b>	<b>\$ (666,313,493)</b>	<b>\$ (21,758,629)</b>	<b>\$ (688,072,122)</b>
<b>Results from Operations</b>	<b>\$ (87,812,671)</b>	<b>\$ (28,566,981)</b>	<b>\$ (116,379,652)</b>

**GENERAL FUND**

The current Fiscal Year 2024-25 General Fund Operating Budget includes total uses of \$184.1 million and total sources of \$169.9 million. The Recommended Budget includes an increase in total sources of \$830,121 for a total of \$170.7 million and an increase in total uses of \$232,415 for a total of \$183.8 million.

**2024-25 Budget  
General Fund (Fund 101)**

	Current	Proposed Revisions	Recommended
Revenues	\$ 156,907,529	\$ 770,312	\$ 157,677,841
Transfers In	\$ 12,944,248	\$ 59,809	\$ 13,004,057
<b>Total Sources</b>	<b>\$ 169,851,777</b>	<b>\$ 830,121</b>	<b>\$ 170,681,898</b>
Expenditures	\$ (144,174,615)	\$ 262,415	\$ (143,912,200)
Transfers Out	\$ (39,903,449)	\$ (30,000)	\$ (39,933,449)
<b>Total Uses</b>	<b>\$ (184,078,064)</b>	<b>\$ 232,415</b>	<b>\$ (183,845,649)</b>
<b>Results from Operations</b>	<b>\$ (14,226,287)</b>	<b>\$ 1,062,536</b>	<b>\$ (13,163,751)</b>

## Notable Changes

- **Revenue Adjustments** - a net increase in revenues of \$770,312 primarily due to an increase of \$1.0 million of investment income to reflect receipts to date offset by the transfer of \$400,000 to properly record County grant funding in the Grants Fund (Fund 301).
- **One-time Requests** - a net decrease in appropriations of \$381,565 primarily due to:
  - Net decrease in Other Professional Services of \$401,565 due to the transfer of budget in the amount of \$500,000 to properly record expenditures in the Grant Fund (Fund 301) for the County's contribution to the Homelessness Prevention, Resources, and Care Center, offset by an increase \$40,685 for dta CFD analysis services, and \$57,750 for PE Trail lighting replacement.
  - Offset by an increase in Lease Expense of \$20,000 for Metrolink Transit Center surveillance systems.

## Fund Balance Analysis

The recommended 2024-25 ending fund balance of \$51.6 million reflects an increase of \$1.1 million. Included in the fund balance are total operating reserves of \$35.9 million (which reflects 25% of recurring annual expenditures).

The recommended ending fund balance reserves and designations reflect an increase in Reserved amounts and the PERS Rate Stability reserves.

### 2024-25 Budget General Fund Balance

	Current	Proposed Revisions	Recommended
<b>Reserved</b>	\$ 407,053	\$ 105,711	\$ 512,764
<b>Designated</b>			
PERS Rate Stability	\$ 10,694,317	\$ 956,825	\$ 11,651,142
Contingencies	\$ 35,888,470	\$ -	\$ 35,888,470
Annual Shelter JPA	\$ 582,570	\$ -	\$ 582,570
Operating Contingencies	\$ 3,000,000	\$ -	\$ 3,000,000
Future Projects & Resv.	\$ -	\$ -	\$ -
Unappropriated	\$ -	\$ -	\$ -
<b>Ending Fund Balance</b>	<b>\$ 50,572,410</b>	<b>\$ 1,062,536</b>	<b>\$ 51,634,946</b>

## OTHER GENERAL FUNDS

Other General Funds includes a total of 10 funds which are funded by the General Fund for services that support the City's general operations. The most notable funds include City Technology, Facility Maintenance, Self-Insurance, Retiree Medical Benefits, and General Fund Operating Projects.

The current 2024-25 Other General Funds Operating Budget includes total uses of \$47.0 million and total sources of \$42.9 million. The Recommended Budget includes an increase in total sources of

\$124,294 for a total of \$43.1 million and a decrease in total uses of \$1.5 million for a total of \$45.5 million.

**2024-25 Budget  
Other General Funds**

	Current	Proposed Revisions	Recommended
Revenues	\$ 16,480,933	\$ 94,294	\$ 16,575,227
Transfers In	\$ 26,464,422	\$ 30,000	\$ 26,494,422
<b>Total Sources</b>	<b>\$ 42,945,355</b>	<b>\$ 124,294</b>	<b>\$ 43,069,649</b>
Expenditures	\$ (41,228,820)	\$ 1,513,958	\$ (39,714,862)
Transfers Out	\$ (5,770,197)	\$ -	\$ (5,770,197)
<b>Total Uses</b>	<b>\$ (46,999,017)</b>	<b>\$ 1,513,958</b>	<b>\$ (45,485,059)</b>
<b>Results from Operations</b>	<b>\$ (4,053,662)</b>	<b>\$ 1,638,252</b>	<b>\$ (2,415,410)</b>

**Notable Changes**

- **Self-Insurance** - Decrease appropriations of \$2.4 million based upon anticipated needs for 2024-25 and increasing the fund balance reserves.
- **Supplemental Retirement** - Increase appropriations of \$805,620 for UAL pre-funding per fund balance policy.

**OTHER CITY FUNDS**

Other City Funds includes a total of 178 funds which Special Revenue Funds, Debt Service Funds, Capital Project Funds, Enterprise Funds, and an Internal Service Fund.

The current 2024-25 Other City Funds Operating Budget includes total uses of \$435.2 million and total sources of \$365.2 million. The Recommended Budget includes an decrease in total sources of \$7.8 million for a total of \$357.9 million and an increase in total uses of \$23.5 million for a total of \$458.7 million.

**2024-25 Budget  
Other City Funds**

	Current	Proposed Revisions	Recommended
Revenues	\$ 336,205,409	\$ (8,964,860)	\$ 327,240,549
Transfers In	\$ 29,498,281	\$ 1,202,093	\$ 30,700,374
<b>Total Sources</b>	<b>\$ 365,703,690</b>	<b>\$ (7,762,767)</b>	<b>\$ 357,940,923</b>
Expenditures	\$ (412,109,707)	\$ (22,136,501)	\$ (434,246,208)
Transfers Out	\$ (23,126,705)	\$ (1,368,501)	\$ (24,495,206)
<b>Total Uses</b>	<b>\$ (435,236,412)</b>	<b>\$ (23,505,002)</b>	<b>\$ (458,741,414)</b>
<b>Results from Operations</b>	<b>\$ (69,532,722)</b>	<b>\$ (31,267,769)</b>	<b>\$ (100,800,491)</b>

### Notable Changes

- **Special Revenue Funds** - Increase in uses of \$2.0 million, an decrease in sources of \$9.8 million, resulting in an increase in fund balance of \$11.9 million primarily due to:
  - Measure I (Local) - decrease in appropriations of \$438,815 for various capital improvement project close outs and defunding.
  - ARPA - decrease in revenues of \$12.4 million to update report with accurate project carryover amount.
  - State COPS Grant - increase revenues for update grant amount.
  - Community Facilities DistrictS (CFD) - increase in appropriations of \$178,122 for various operational expenses, maintenance, and capital projects. Adjustments requested on behalf of 3 CFD's.
- **Capital Project Funds** - increase in uses of \$20.4 million and sources of \$931,450 primarily due to:
  - Capital Reinvestment (Fund 601) - increase in sources of \$306,959 and increase appropriations of \$559,438 due to numerous requests for various projects most notably:
    - ERP System Replacement completion (-\$360,102)
    - Loan to Stage Red Fund #720 (\$1.0 million)
    - Septic to Sewer Conversion (\$108,000)
    - Spring St. Improvement completion (-\$493,419)
  - Capital Improvement (Fund 602) - increase in sources of \$624,491 and an increase in uses of \$ 624,590 due to the following:
    - Vacant land sale and purchase (\$620k)
    - Transfer to Fund #602 for 11109 Jasmin St. purchase (\$306,959)
  - Parks Development (Fund 635) - decrease in appropriations of \$253,250 for South Fontana Sports Park completion.
  - CFD Capital Funds -increase of uses of \$19.6 million for construction reimbursement and cost of issuance charges.
- **Enterprise Funds** - increase in uses of \$1.1 million and sources of \$1.1 million primarily due to \$1.0 million Stage Red loan from Fund #601 and the \$100,000 SB County Stage Red

Local Arts Events Contribution.

**FISCAL IMPACT:**

The fiscal impact associated with this item is summarized below and details are provided in Third Quarter Budget Status Report.

	Sources Inc/(Dec)	Uses (Inc)/Dec	Fund Bal Impact Icr/(Dec)
General Fund	\$ 830,121	\$ 232,415	\$ 1,062,536
Other General Funds	\$ 124,294	\$ 1,513,958	\$ 1,638,252
Other City Funds	\$ (7,762,767)	\$ (23,505,002)	\$ (31,267,769)
<b>Total</b>	<b>\$ (6,808,352)</b>	<b>\$ (21,758,629)</b>	<b>\$ (28,566,981)</b>

The General Fund projected ending fund balance reflects an increase of \$1.1 million to a total of \$51.6 million due to the net impact of the recommended budget adjustments.

**MOTION:**

Approve staff recommendation.



# CITY OF FONTANA

## Third Quarter Budget Status Report

Fiscal Year 2024/2025

Quick Look Indicators	Third Quarter*	See Page
Revenues	↓	7
Expenditures	↑	8
Fund Balance	↑	9

\*Compared to same period prior fiscal year

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## Report Objectives

The purpose of the Third Quarter Budget Status Report is to:

- Provide the City Council with an overview of all funds;
- Comment on significant economic trends;
- Recommend write off of doubtful accounts; and
- Recommend budget changes to address known budget deficiencies which will materially impact fund balance;

## Summary of Key Points

### General Fund:

- Net decrease in General Fund inflows of \$770,312:
  - Increase to Transaction Use Tax of \$78,297
  - Increase to Interest & Rentals of \$956,825
  - Decrease to Miscellaneous Revenues of \$417,000
  - Increase to Reimbursables of \$152,190
- Net decrease in General Fund outflows of \$262,415:
  - Offsetting Adjustments of \$119,150
  - New one-time requests of (\$381,565)

### Other Funds:

- Additional funding for the following projects:
  - \$1,609,000     Date Elementary School SRTS (ATP) (Grants Fund #301)
  - \$500,000     Homelessness Prevent Res & Care Ctr (Grants Fund #301)
  - \$306,959     Regional Navigation Center (Capital Reinvestment Fund #601)
  - \$108,000     Septic to Sewer Conversion (Capital Reinvestment Fund #601)

## Significant Economic Trends

### Nationally:

- The GDP decreased at an annual rate of 0.3 percent primarily reflecting an increase in imports, a deceleration in consumer spending, and decrease in government spending. Decreases in government spending were partly offset by increases in investment and exports. The increase in consumer spending was mostly reflected in services led by spending on health care, housing, and utilities.
- The US unemployment rate has increased and remains unchanged at 4.2 percent. Employment trended up in health care, transportation and warehousing, financial activities, and social assistance while Federal government employment declined. According to the Bureau of Labor Statistics, health care added 51,000 jobs in April through hospitals and ambulatory health services.

### The State of California:

- California is now the fourth largest economy in the world, behind the US, China, and Germany – officially overtaking Japan. Over the long term, California's economy has had an average nominal GDP growth of 7.5 percent from 2021 to 2024. The increasing state population and record-high tourism spending makes California the nation's top state for business starts, access to venture capital funding, manufacturing, high-tech, and agriculture. California's unemployment rate dropped to 5.4 percent in January 2025, ultimately gaining 3,112,600 jobs since April 2020. The leading industries contributing to jobs gained are Private Education and Health Services.

### City of Fontana

- Third Quarter 24/25 sales were 5% lower than the same quarter one year ago. This is primarily due to the State being behind on sales tax processing.
- The Local Agency Investment Fund (LAIF) is currently paying 4.31% (daily rate) on City investments as of March 31, 2025, up from 4.23% for the same time last year. The 2-year treasury benchmark rate as of March 31, 2025, is 3.89% down from 4.59% last year.

# Summary of Proposed General Fund Adjustments

The Third Quarter Budget Report recommends the following General Fund budget adjustments:

		Fund Balance Impact	
		Revenues	Expenditures
<b>Adjust revenue estimates to reflect third quarter collections:</b>			
Increase to Transactional Use Tax		78,297	
Increase to Interest & Rentals		956,825	
Decrease to Miscellaneous Revenue		(417,000)	
Increase to Reimbursables		152,190	
		<b>770,312</b>	
<b>Offsetting Adjustments:</b>			
Public Works & Engineering	Decrease for WGMP NV5 Review		(30,000)
Police	Battery backup service agreement		149,150
			<b>\$ 119,150</b>
<b>New requests (one-time):</b>			
Finance			40,685
Development Services			(500,000)
Public Works & Engineering			57,750
Police			20,000
			<b>\$ (381,565)</b>
		<b>\$ 770,312</b>	<b>\$ (262,415)</b>
<b>Transfers:</b>			
To Fund #125 for WGMP NV5 review			30,000
From Fund #401 for Police services		59,809	
<b>Reserves:</b>			
Inventories adjustment			105,711
PERS Rate Stability adjustment			956,825
		<b>\$ 830,121</b>	<b>\$ 830,121</b>

## General Fund Revenues

Revenues continue to be monitored on a monthly basis. Staff recommends a net decrease in revenues of \$770,312 as part of the Third Quarter Budget Status Report. See page 32 for details of the revenue adjustments.

Revenue Source	Adopted Budget	Current Budget Before Adjustments	Received as of 3/31/2025	Percent of Current Budget Received	Recommended Third Quarter Adjustments	Recommended Budget After Adjustments	Percent of Recommended Budget Received
Sales Tax	\$ 58,638,140	\$ 57,928,710	\$ 31,538,671	54.44%	\$ -	\$ 57,928,710	54.44%
Transaction Use Tax	-	-	-	0.00%	78,297	78,297	0.00%
Property Tax	41,290,060	43,563,830	22,963,230	52.71%	-	43,563,830	52.71%
Interest and Rentals	3,636,180	3,713,070	808,948	21.79%	956,825	4,669,895	17.32%
Franchises	10,237,950	11,782,010	4,873,708	41.37%	-	11,782,010	41.37%
Business Related	10,066,170	10,914,289	8,843,478	81.03%	-	10,914,289	81.03%
Development Related	10,381,130	11,947,650	6,853,090	57.36%	-	11,947,650	57.36%
Recreation	4,176,200	4,176,200	2,934,161	70.26%	-	4,176,200	70.26%
Motor Vehicle in-Lieu	200,000	250,000	337,767	135.11%	-	250,000	135.11%
Miscellaneous Revenues	2,411,030	2,970,730	1,574,561	53.00%	(417,000)	2,553,730	61.66%
Reimbursables	2,129,440	2,851,350	1,503,858	52.74%	152,190	3,003,540	50.07%
From Other Agencies	5,916,550	6,809,690	4,852,768	71.26%	-	6,809,690	71.26%
<b>Total General Fund</b>	<b>\$ 149,082,850</b>	<b>\$ 156,907,529</b>	<b>\$ 87,084,241</b>	<b>55.50%</b>	<b>\$ 770,312</b>	<b>\$ 157,677,841</b>	<b>55.23%</b>

NOTE: Property Tax in-lieu of VLF collections are lagging due to the State's distribution which provides for lump-sum payments in January and May. Interest revenue is received starting in October and is followed by a year-end accrual for a full twelve months of interest. A large number of Business Licenses are renewable in December. A large share of Franchise revenues is received annually in the month of April. **When adjusted for these anomalies, the percent of recommended budget received is 64.14%.**

## General Fund Expenditures

General Fund expenditures for Third Quarter are on track and within budget. Staff recommends a net decrease in appropriations of \$262,415. See page 32 for details of the expenditure adjustments.

Department	Adopted Budget	Current Budget Before Adjustments	Spent as of 03/31/2025	Percent of Current Budget Spent	Recommended Third Quarter Adjustments	Recommended Budget After Adjustments	Percent of Recommended Budget Spent
City Administration	\$ 4,745,090	\$ 4,436,464	\$ 2,686,162	60.55%	-	\$ 4,436,464	60.55%
Human Resources	1,405,380	1,995,565	1,015,421	50.88%	-	1,995,565	50.88%
Administrative Services	623,230	735,753	457,312	62.16%	-	735,753	62.16%
City Clerk	883,420	1,521,746	644,736	42.37%	-	1,521,746	42.37%
Community Services	15,517,660	15,351,267	9,643,874	62.82%	-	15,351,267	62.82%
Innovation & Technology	4,848,200	5,403,863	3,672,701	67.96%	-	5,403,863	67.96%
Finance	4,587,160	5,236,737	3,284,851	62.73%	40,685	5,277,422	62.24%
Development Services	1,578,290	4,079,869	1,626,336	39.86%	(500,000)	3,579,869	45.43%
Building and Safety	3,400,150	4,228,270	2,628,769	62.17%	-	4,228,270	62.17%
Planning	3,372,090	3,692,998	2,388,650	64.68%	-	3,692,998	64.68%
Public Works & Engineering	12,388,550	16,899,172	10,821,565	64.04%	27,750	16,926,922	63.93%
Police	78,327,180	80,592,911	55,790,726	69.23%	169,150	80,762,061	69.08%
<b>Total General Fund</b>	<b>\$ 131,676,400</b>	<b>\$ 144,174,615</b>	<b>\$ 94,661,104</b>	<b>65.66%</b>	<b>\$ (262,415)</b>	<b>\$ 143,912,200</b>	<b>65.78%</b>

NOTE: The above amounts do not include projects.

# Fund Balance Review

The City Council has established an Undesignated General Fund Balance goal of 25% of adopted recurring annual appropriations. The Third Quarter Report recommendations maintain this balance. The City’s Undesignated General Fund Balance represents the available resources to provide funding for future contingencies such as earthquakes, economic fluctuations, major infrastructure repairs and investment in capital for improved productivity and efficiencies.

The Third Quarter Budget Report recommends the following:

- \$956,825      Increase to PERS Rate Stability Reserve

## Fund Balance Reserves After Adjustments

25% Contingency Reserve	\$35,888,470
Animal Shelter JPA Reserve	\$582,570
Operating Contingencies Reserve	\$3,000,000
PERS Rate Stability Reserve	\$11,651,142
Total	\$51,122,182

## Organizational Changes

Quarterly Budget Reports are routinely used to recommend organizational and/or personnel changes within a fiscal year. Upon approval, the total recurring costs for these organizational changes will be added to the department's target numbers. The changes have been reviewed by Human Resources and comply with City personnel rules.

There are no organizational changes recommended as part of the Third Quarter Budget Status Report.

# Write off of Doubtful Accounts

A review of the City’s Doubtful Accounts (bad debts) is routinely a part of the City’s Third Quarter Budget Review. The review and subsequent write off is necessary to accurately reflect the true value of City assets. The budget is not impacted by the reduction as budget revenue estimates are based on receipts rather than billings.

The following write offs consist of items that are: (1) too small to collect, and therefore not cost effective or (2) unable to locate. In many cases, these items will be referred to a collection agency for further action.

These items represent an information item for the City Council. Specific City Council action related to the write offs is not required.

The write offs are categorized by fund number, account, and dollar amount.

Account Title	Account #	Amount	
Illegal Firework	101-1306	\$	75,384
Returned Checks	101-1307		7,055
Miscellaneous	101-1306		54,535
Total Write Offs		\$	136,973

# Liability Claims

The City Council has authorized the Director of Human Resources and the City Manager to settle liability claims within specified dollar amounts as follows:

City Manager with the concurrence of the City Attorney	\$25,000
Director of Human Resources/Risk Management with concurrence of the City Attorney	\$10,000

The City Council has directed staff to report claim settlements as part of each quarterly budget report. There were no claims settled during the Third Quarter of Fiscal Year 2024/2025.

# American Rescue Plan Act (ARPA) Expenditure Plan

## CITY OF FONTANA

## AMERICAN RESCUE PLAN ACT (ARPA) EXPENDITURE PLAN

ESTIMATED AS OF March 31, 2025

Approved Projects by Federal Use Category	Amount	Expended	Available
<b>Public Health &amp; Economic Response</b>	<b>22,633,152</b>	<b>21,765,583</b>	<b>867,569</b>
Fontana Forward Grant Program	190,786	190,786	-
Homelessness Prevention Resources and Care Center	6,442,229	5,984,202	458,027
Leveraged Project: Support Government Employment	9,842,763	9,842,763	(0)
Metrolink Station Security Cameras	66,411	66,411	-
Park Improvements	3,241,828	2,832,285	409,542
Vaccine Bonus	526,986	526,986	-
Ventilation Upgrade for City Facilities	2,322,150	2,322,150	-
<b>Revenue Loss</b>	<b>10,000,000</b>	<b>9,936,963</b>	<b>63,037</b>
Parking Structure	10,000,000	9,936,963	63,037
<b>Uniform Administrative Requirement, Cost Principles, and Audit Requirements for Federal Awards (2 CFR Part 200)</b>	<b>51,433</b>	<b>51,433</b>	<b>-</b>
Administrative Costs	51,433	51,433	-
<b>Water, Sewer, and Broadband Infrastructure</b>	<b>16,531,692</b>	<b>7,577,342</b>	<b>8,954,350</b>
Cypress Storm Drain Project	7,340,000	608,455	6,731,545
Data Security & Threat Detection	157,927	157,927	-
Endpoint Detection & Response Solution	154,806	154,806	-
Fiber to City facilities	1,773,968	66,778	1,707,190
Network Detection & Response Solution	-	-	-
Leveraged Project: Accela	3,406,636	3,406,636	-
Leveraged Project: Fontana 311	2,398,355	1,953,695	444,660
Septic to Sewer	500,000	429,133	70,867
Sewer and Storm Drain Infrastructure Masterplan	375,130	375,130	-
Update Master Infrastructure Plans	424,870	424,781	89
<b>Premium Pay</b>	<b>1,040,837</b>	<b>1,040,837</b>	<b>-</b>
Part-Time Employee Retention	152,936	152,936	-
Public Safety Premium Pay	887,901	887,901	-
<b>Total</b>	<b>50,257,114</b>	<b>40,372,157</b>	<b>9,884,957</b>

# Treasury Report

City of Fontana  
Investment Portfolio Asset Summary  
As of March 31, 2025

ASSETS	March 31, 2025					
Asset Allocation	Current Par Value	Total Cost Value	Market Value	Accrued Int/Div	Market Value Plus Accrued	Percent of Total
<b>Advisor-Managed Portfolio</b>						
Cash/Sweep	\$ 12,722,897	\$ 12,722,897	\$ 12,722,897	\$ -	\$ 12,722,897	3.98%
Money Market	\$ 16,804,822	\$ 16,804,822	\$ 16,804,822	\$ -	\$ 16,804,822	5.25%
Total Cash/Sweep	\$ 29,527,719	\$ 29,527,719	\$ 29,527,719	\$ -	\$ 29,527,719	9.23%
<b>Marketable Securities</b>						
Agency Security	\$ 6,500,000	\$ 6,117,115	\$ 6,355,499	\$ 36,970	\$ 6,392,469	2.00%
Mortgage Pools	47,816,058	14,012,228	14,893,662		14,893,662	4.65%
CMO & Asset Backed Securities	37,085,985	24,909,945	24,646,313		24,646,313	7.70%
Corporate Bonds	77,336,000	75,701,008	77,399,134	782,884	78,182,018	24.43%
Municipal Bonds	-	-	-		-	0.00%
U.S. Treasuries	163,595,000	163,459,526	164,757,154	1,566,190	166,323,344	51.98%
Total Marketable Securities	\$ 332,333,043	\$ 284,199,822	\$ 288,051,762	\$ 2,386,044	\$ 290,437,806	90.77%
Total Advisor-Managed Portfolio	\$ 361,860,762	\$ 313,727,541	\$ 317,579,481	\$ 2,386,044	\$ 319,965,524	100.00%
<b>Pooled Investments</b>						
Local Agency Investment Fund (LAIF)	\$ 85,795,958	\$ 85,795,958	\$ 85,795,958	\$ -	\$ 85,795,958	100.00%
Total Pooled Investments	\$ 85,795,958	\$ 85,795,958	\$ 85,795,958	\$ -	\$ 85,795,958	100.00%
<b>Deposit Accounts</b>						
Bank of America - General Checking	\$ 93,192,738	\$ 93,192,738	\$ 93,192,738	\$ -	\$ 93,192,738	98.47%
Bank of America - Veterans	9,050	9,050	9,050	-	9,050	0.01%
Escrow Accounts	6,735	6,735	6,735	23	6,758	0.01%
Petty Cash/Self Insurance	1,434,875	1,434,875	1,434,875	-	1,434,875	1.52%
Total Deposit Accounts	\$ 94,643,399	\$ 94,643,399	\$ 94,643,399	\$ 23	\$ 94,643,422	100.00%
<b>Investments Held by Fiscal Agents</b>						
Schwab - 115 Trusts						
OPEB		\$ 25,474,466	\$ 27,349,501	\$ 25,509	\$ 27,375,011	13.81%
Pension Stabilization		11,651,142	12,688,180	9,402	12,697,582	6.41%
Other Fiscal Agent Accounts		158,097,052	158,097,052	-	158,097,052	79.78%
Total Investments Held by Fiscal Agents	\$ -	\$ 195,222,661	\$ 198,134,733	\$ 34,911	\$ 198,169,644	100.00%
<b>Total Cash and Investments</b>	\$ 542,300,118	\$ 689,389,558	\$ 696,153,570	\$ 2,420,978	\$ 698,574,548	

The information presented in this report reflects the data as stated on the official financial statements and records as of the reporting date.

# Treasury Report - continued

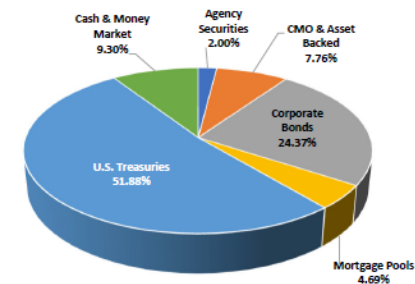
## OPERATING AND 115 TRUST ASSETS SUMMARY

March 31, 2025

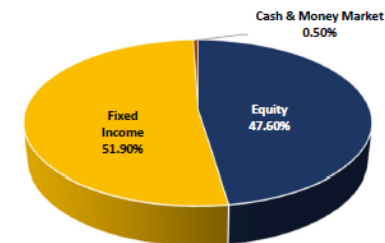


Operating Assets - Asset Allocation (BlackRock/Schwab)					
Asset Type	Period Ending Par Value/Shares	Original Cost Basis	Adjusted Cost Basis	Period Ending Market Value	
Agency Securities	\$ 6,500,000	\$ 6,117,115	\$ 6,117,115	\$ 6,355,499	
CMO & Asset Backed	\$ 37,085,985	\$ 24,909,945	\$ 24,909,945	\$ 24,646,313	
Corporate Bonds	\$ 77,336,000	\$ 75,701,008	\$ 75,715,173	\$ 77,399,134	
Mortgage Pools	\$ 47,816,058	\$ 14,012,228	\$ 14,012,228	\$ 14,893,662	
U.S. Treasuries	\$ 163,595,000	\$ 163,459,526	\$ 163,542,954	\$ 164,757,154	
Cash & Money Market*	\$ 29,527,719	\$ 29,527,719	\$ 29,527,719	\$ 29,527,719	
<b>Totals</b>	<b>\$ 361,860,762</b>	<b>\$ 313,727,540</b>	<b>\$ 313,825,134</b>	<b>\$ 317,579,480</b>	

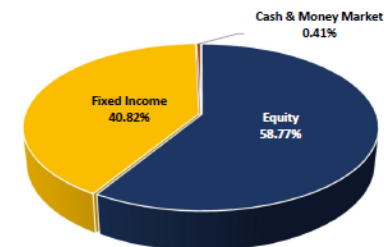
\*Includes \$16,804,821.64 of Money Market assets set aside in a separate Schwab account (sweep from BlackRock account).



Section 115 OPEB Irrevocably Committed Assets - Asset Allocation (Shuster/Schwab)				
Asset Type	Initial Investment	2/28/2025 Value	3/31/2025 Cost Basis	3/31/2025 Value
Equity	\$ -	\$ 13,485,925	\$ 11,410,573	\$ 13,017,928
Fixed Income	\$ -	\$ 14,185,510	\$ 13,926,016	\$ 14,193,695
Cash & Money Market	\$ 23,810,690	\$ 128,544	\$ 137,878	\$ 137,878
<b>Totals</b>	<b>\$ 23,810,690</b>	<b>\$ 27,799,980</b>	<b>\$ 25,474,466</b>	<b>\$ 27,349,501</b>



Section 115 Pension Stabilization Irrevocably Committed Assets - Asset Allocation (Shuster/Schwab)				
Asset Type	Initial Investment	2/28/2025 Value	3/31/2025 Cost Basis	3/31/2025 Value
Equity	\$ -	\$ 7,713,678	\$ 6,529,390	\$ 7,456,870
Fixed Income	\$ -	\$ 5,175,308	\$ 5,069,279	\$ 5,178,837
Cash & Money Market	\$ 10,800,000	\$ 50,691	\$ 52,473	\$ 52,473
<b>Totals</b>	<b>\$ 10,800,000</b>	<b>\$ 12,939,677</b>	<b>\$ 11,651,142</b>	<b>\$ 12,688,180</b>
<b>Combined Totals</b>	<b>\$</b>	<b>\$ 357,417,186</b>	<b>\$ 350,950,742</b>	<b>\$ 357,617,161</b>



This summary was assembled by Shuster Advisory Group, LLC ("Shuster") by request from the City of Fontana. The information shown is taken from Schwab custodial data and is believed to be accurate. Any discrepancy is purely unintentional and is not guaranteed by Shuster.

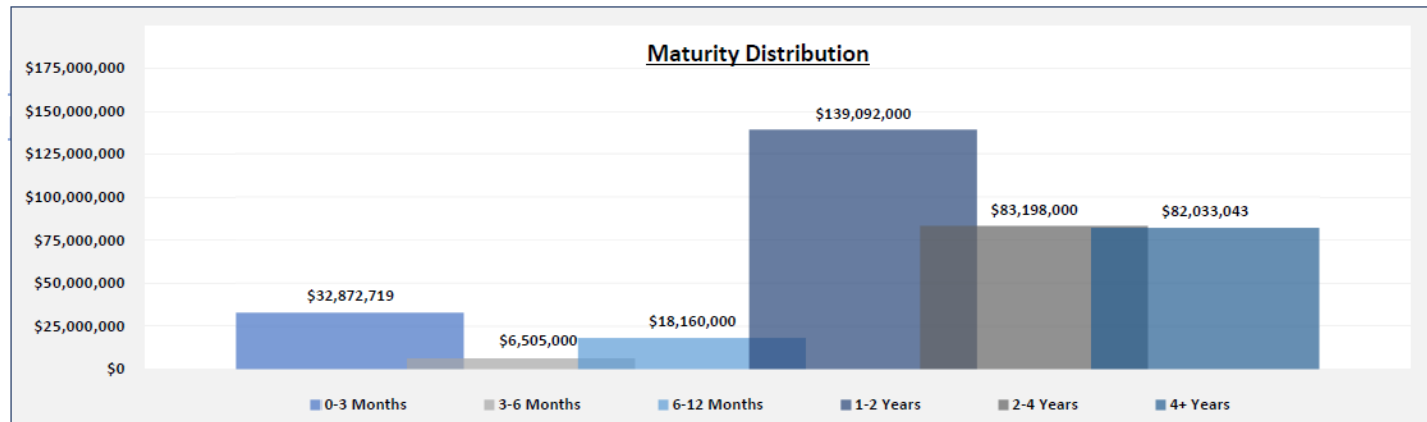
# Treasury Report - continued

## OPERATING ASSETS (BLACKROCK/SCHWAB) - MATURITY DISTRIBUTION

March 31, 2025



Current Par Value	0-3 Months	3-6 Months	6-12 Months	1-2 Years	2-4 Years	4+ Years
Agency Securities	\$ -	\$ 2,500,000	\$ -	\$ 2,000,000	\$ -	\$ 2,000,000
CMO & Asset Backed	\$ -	\$ -	\$ -	\$ 1,186,000	\$ 15,183,000	\$ 20,716,985
Corporate Bonds	\$ 3,345,000	\$ 4,005,000	\$ 16,160,000	\$ 22,876,000	\$ 18,950,000	\$ 12,000,000
Mortgage Pools	\$ -	\$ -	\$ 2,000,000	\$ 2,000,000	\$ -	\$ 43,816,058
U.S. Treasuries	\$ -	\$ -	\$ -	\$ 111,030,000	\$ 49,065,000	\$ 3,500,000
Cash & Money Market	\$ 29,527,719	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Totals</b>	<b>\$ 32,872,719</b>	<b>\$ 6,505,000</b>	<b>\$ 18,160,000</b>	<b>\$ 139,092,000</b>	<b>\$ 83,198,000</b>	<b>\$ 82,033,043</b>



This summary was assembled by Shuster Advisory Group, LLC ("Shuster") by request from the City of Fontana. The information shown is taken from Schwab custodial data and is believed to be accurate. Any discrepancy is purely unintentional and is not guaranteed by Shuster.

# Treasury Report - continued



## OPERATING ASSETS (BLACKROCK/SCHWAB) - HOLDINGS DETAIL

March 31, 2025

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
Cash & Money Market	Schwab Cash & Money Market	Cash				29,527,718.59		29,527,718.59	1.00
Total Count:			1			29,527,718.59	-	29,527,718.59	
Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
Agency Securities	FHLMC 0.68%25	3134GWD52	0.68%	1.77%	9/2/2025	2,500,000.00	-	2,462,012.50	98.48
Agency Securities	FEDERAL NTNL MO 0.875%26	3135G06L2	0.88%	2.91%	12/18/2026	2,000,000.00	-	1,894,914.00	94.75
Agency Securities	FEDERAL NTNL MORT 4.4%29	3136GA2Y4	4.40%	4.41%	12/11/2029	2,000,000.00	-	1,998,572.00	99.93
Total Count:			3	1.88%	2.94%	6,500,000.00	-	6,355,498.50	
Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
CMO & Asset Backed	ARI FLEET LEASE T 5.6%32	00218KAB9	5.60%	5.53%	11/15/2032	205,000.00	-	170,194.98	100.49
CMO & Asset Backed	AMERICAN EXPRESS 3.39%27	02582JIT8	3.39%	3.45%	5/17/2027	1,020,000.00	-	1,018,315.16	99.83
CMO & Asset Backed	AMERICAN EXPRESS 3.75%27	02582JIV3	3.75%	3.85%	8/16/2027	1,609,000.00	-	1,603,659.89	99.67
CMO & Asset Backed	AMERICAN EXPRESS 5.23%28	02582JKD1	5.23%	4.92%	9/15/2028	325,000.00	-	328,992.76	101.23
CMO & Asset Backed	ARI FLEET LEASE 5.54%33	04033HAB1	5.54%	5.45%	4/15/2033	100,000.00	-	92,730.10	100.65
CMO & Asset Backed	BA CREDIT CARD T 4.79%28	05522RDG0	4.79%	4.66%	5/15/2028	1,582,000.00	-	1,589,543.45	100.48
CMO & Asset Backed	BA CREDIT CARD T 4.98%28	05522RDH8	4.98%	4.58%	11/15/2028	500,000.00	-	508,229.15	101.65
CMO & Asset Backed	BMW VEHICLE OWNE 3.21%26	05602RAD3	3.21%	3.37%	8/25/2026	400,000.00	-	79,950.36	99.64
CMO & Asset Backed	CNH EQUIPMENT TR 3.89%27	12663JAC5	3.89%	4.03%	11/15/2027	413,000.00	-	273,397.76	99.52
CMO & Asset Backed	CAPITAL ONE MULT 3.49%27	14041NGA3	3.49%	3.54%	5/17/2027	1,057,000.00	-	1,055,465.02	99.85
CMO & Asset Backed	CAPITAL ONE MULT 4.95%27	14041NGB1	4.95%	4.86%	10/15/2027	141,000.00	-	141,405.19	100.29
CMO & Asset Backed	CARMAX AUTO OWNE 0.55%26	14317DAC4	0.55%	0.71%	6/15/2026	165,000.00	-	8,557.50	99.65
CMO & Asset Backed	CARMAX AUTO OWNE 4.92%28	14318WAD9	4.92%	4.78%	10/16/2028	98,000.00	-	98,564.88	100.58
CMO & Asset Backed	CARMAX AUTO OWNER T 6%28	14318XAC9	6.00%	5.55%	7/17/2028	642,000.00	-	652,760.05	101.68
CMO & Asset Backed	ELEMENT FLEET MA 6.16%35	165183C25	6.16%	6.00%	10/15/2035	306,000.00	-	184,989.08	101.28
CMO & Asset Backed	CHESAPEAKE FUNDI 5.52%36	165183DE1	5.52%	5.38%	5/15/2036	468,000.00	-	354,021.91	101.24
CMO & Asset Backed	CITIBANK NTNL AS 5.23%27	17305EGW9	5.23%	5.09%	12/8/2027	254,000.00	-	255,155.40	100.45
CMO & Asset Backed	DISCOVER CARD EX 4.31%28	254683CY9	4.31%	4.35%	3/15/2028	171,000.00	-	170,764.24	99.86
CMO & Asset Backed	ENTERPRISE FLEET 6.4%30	29374LAB6	6.40%	6.07%	3/20/2030	490,000.00	-	358,252.96	101.64
CMO & Asset Backed	ENTERPRISE FLEET 5.56%30	29375NAB1	5.56%	5.43%	4/20/2030	710,000.00	-	402,431.06	100.67
CMO & Asset Backed	ENTERPRISE FLEET 5.5%30	29375NAC9	5.50%	5.17%	4/22/2030	143,000.00	-	145,432.10	101.70
CMO & Asset Backed	ENTERPRISE FLEET 5.23%30	29375PAB6	5.23%	5.10%	3/20/2030	330,000.00	-	271,703.68	100.65
CMO & Asset Backed	ENTERPRISE FLEET 5.16%30	29375PAC4	5.16%	4.88%	9/20/2030	50,000.00	-	50,770.03	101.54
CMO & Asset Backed	FHLMC 1.5%44	3137H0A40	1.50%	1.68%	4/15/2044	4,400,000.00	-	830,905.79	96.90
CMO & Asset Backed	FORD CR AUTO OWN 4.65%28	344928AD8	4.65%	4.61%	2/15/2028	342,000.00	-	292,526.07	100.14
CMO & Asset Backed	FORD CR AUTO OWN 5.53%28	344940AD3	5.53%	5.20%	9/15/2028	389,000.00	-	393,949.25	101.27
CMO & Asset Backed	FORD CREDIT FL 4.9199%28	34528QHV9	4.92%	4.80%	5/15/2028	911,000.00	-	914,912.38	100.43
CMO & Asset Backed	FORD CREDIT FLOO 5.24%31	34528QJF2	5.24%	4.75%	4/15/2031	760,000.00	-	781,877.59	102.88
CMO & Asset Backed	FOUNDATION FIN TR 5.5%49	349941AA2	5.50%	5.34%	12/15/2049	303,000.00	-	226,808.56	102.23
CMO & Asset Backed	GMF FLOORPLAN OW 5.34%28	361886CR3	5.34%	5.07%	6/15/2028	678,000.00	-	684,794.03	101.00
CMO & Asset Backed	GM FINL CONSUMER 3.64%27	36265WAD5	3.64%	3.78%	4/16/2027	944,000.00	-	403,278.18	99.59
CMO & Asset Backed	GM FINL REVOLVIN 4.98%36	36269KAA3	4.98%	4.74%	12/11/2036	446,000.00	-	455,982.51	102.24
CMO & Asset Backed	HAROT 2023-4 A2 5.67%28	438123AC5	5.67%	5.34%	6/21/2028	196,000.00	-	198,420.76	101.24
CMO & Asset Backed	HYUNDAI AUTO REC 2.22%26	448977AD0	2.22%	2.42%	10/15/2026	621,000.00	-	118,297.92	99.52
CMO & Asset Backed	MMAF EQUIPMENT F 4.95%31	55318CAC8	4.95%	4.77%	7/14/2031	112,985.00	-	114,182.30	101.06
CMO & Asset Backed	NAVISTAR FINL CO 6.18%28	63938PBUI2	6.18%	6.04%	8/25/2028	122,000.00	-	122,658.58	100.54
CMO & Asset Backed	NAVISTAR FINL CO 5.59%29	63938PBW8	5.59%	5.39%	4/25/2029	299,000.00	-	301,625.34	100.88
CMO & Asset Backed	NAVIENT PRIVATE 0.97%69	63942EAA6	0.97%	1.30%	12/16/2069	1,495,000.00	-	667,599.38	88.69

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# Treasury Report - continued



## OPERATING ASSETS (BLACKROCK/SCHWAB) - HOLDINGS DETAIL

March 31, 2025

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
CMO & Asset Backed	NAVIENT PRIVATE 1.11%70	63942GAA1	1.11%	1.47%	2/18/2070	1,010,000.00	-	487,595.26	87.89
CMO & Asset Backed	NAVIENT PRIVATE 0.94%69	63942LAA0	0.94%	1.20%	7/15/2069	755,000.00	-	254,029.34	90.88
CMO & Asset Backed	NAVIENT PRIVATE 4.16%70	63942PAA1	4.16%	4.28%	10/15/2070	1,139,000.00	-	723,679.64	97.62
CMO & Asset Backed	NAVIENT PRIVATE 6.48%72	63942TAA3	6.48%	6.27%	3/15/2072	184,000.00	-	111,565.85	103.17
CMO & Asset Backed	NELNET STUDENT L 1.42%62	64034QAB4	1.42%	1.63%	4/20/2062	920,000.00	-	326,116.72	94.13
CMO & Asset Backed	NELNET STUDENT 5.1738%62	64035GAA7	5.17%	5.23%	4/20/2062	580,000.00	-	225,487.85	99.11
CMO & Asset Backed	NISSAN AUTO RECE 5.93%28	65480MAD5	5.93%	5.61%	3/15/2028	142,000.00	-	143,606.74	101.13
CMO & Asset Backed	ONEMAIN DIRECT A 0.87%28	682687AA6	0.87%	1.15%	7/14/2028	750,000.00	-	148,553.96	98.84
CMO & Asset Backed	ONEMAIN FINL ISS 5.85%36	68269HAE5	5.85%	5.70%	9/15/2036	621,000.00	-	629,355.12	101.35
CMO & Asset Backed	PFS FING CORP 5.52%28	69335PEY7	5.52%	5.16%	3/15/2028	180,000.00	-	182,279.72	101.27
CMO & Asset Backed	PFS FINANCING CO 4.95%29	69335PFE0	4.95%	4.79%	2/15/2029	905,000.00	-	911,272.92	100.69
CMO & Asset Backed	PORSCHE FINL AUT 6.22%29	732916AD3	6.22%	6.06%	1/22/2029	387,000.00	-	379,115.91	100.66
CMO & Asset Backed	PORSCHE FINL AUT 4.81%28	73328QAC8	4.81%	4.77%	9/22/2028	792,000.00	-	628,986.60	100.16
CMO & Asset Backed	SMB PRIVATE ED L 1.59%53	78448YAC5	1.59%	1.98%	1/15/2053	294,000.00	-	144,417.23	91.45
CMO & Asset Backed	SMB PRIVATE EDUC 1.34%53	78449MAA4	1.34%	1.64%	3/17/2053	800,000.00	-	284,289.48	93.14
CMO & Asset Backed	SMB PRIVATE ED L 2.85%54	78450FAA5	2.85%	3.21%	11/16/2054	130,000.00	-	63,461.59	92.95
CMO & Asset Backed	PRIVATE ED LN 6.3723%53	78450QAB9	6.37%	6.32%	1/15/2053	490,000.00	-	330,473.25	100.72
CMO & Asset Backed	SMB PRIVATE EDUCATI 0%58	78454XAB0	0.00%	-0.06%	10/15/2058	1,430,000.00	-	928,732.12	102.24
CMO & Asset Backed	SMB PRIVATE ED 1.3899%53	83208AAA1	1.39%	1.76%	1/15/2053	500,000.00	-	179,016.69	91.70
CMO & Asset Backed	SOFI PROFESSIONA 1.14%47	83405NAA4	1.14%	1.81%	2/15/2047	935,000.00	-	419,540.30	87.44
CMO & Asset Backed	SOFI PROFESSIONA 1.03%43	83405YAA0	1.03%	1.80%	8/17/2043	210,000.00	-	77,294.37	87.44
CMO & Asset Backed	TOYOTA AUTO RECE 5.54%28	89239FAD4	5.54%	5.21%	8/15/2028	243,000.00	-	246,089.70	101.27
CMO & Asset Backed	VERIZON MASTER T 4.83%31	92348KCH4	4.83%	4.65%	12/22/2031	101,000.00	-	102,141.15	101.13
CMO & Asset Backed	VOLKSWAGEN AUTO 5.48%28	92867YAD6	5.48%	5.10%	12/20/2028	390,000.00	-	396,106.07	101.57
Total Count:			62	3.44%	3.47%	37,085,985.00	-	24,646,312.93	

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
Corporate Bonds	ALABAMA POWER CO 2.80XX	010392FN3	2.80%	2.81%	4/1/2025	1,000,000.00	-	999,870.00	99.99
Corporate Bonds	AMERICAN EXPRESS VAR 27	025816DG1	5.39%	5.05%	7/28/2027	455,000.00	-	459,636.45	101.02
Corporate Bonds	AMERICAN EXPRESS VAR 29	025816DH9	5.28%	4.85%	7/27/2029	1,500,000.00	-	1,529,842.50	101.99
Corporate Bonds	ASTRAZENECA FIN L 4.8%27	04636NAK9	4.80%	4.42%	2/26/2027	1,081,000.00	-	1,091,945.13	101.01
Corporate Bonds	AUSTRALIA & NES.088% 25F	05254JAA8	5.09%	4.77%	12/8/2025	635,000.00	(16.25)	638,185.16	100.50
Corporate Bonds	BANK OF AMERICA C VAR 28	06051GHD4	3.42%	4.17%	12/20/2028	1,000,000.00	-	968,229.00	96.82
Corporate Bonds	BANK OF AMERICA C VAR 27	06051GJQ3	1.66%	2.64%	3/11/2027	1,000,000.00	-	972,544.00	97.25
Corporate Bonds	BANK OF AMERICA C VAR 27	06051GJS9	1.73%	2.89%	7/22/2027	1,000,000.00	-	963,859.00	96.39
Corporate Bonds	BANK OF AMERICA C VAR 27	06051GLE7	5.08%	4.95%	1/20/2027	1,300,000.00	-	1,304,217.20	100.32
Corporate Bonds	BANK OF AMERICA C VAR 27	06051GLV9	5.93%	5.29%	9/15/2027	885,000.00	-	902,800.89	102.01
Corporate Bonds	THE BANK OF NEW Y VAR 27	06406RBQ9	4.95%	4.76%	4/26/2027	1,455,000.00	-	1,462,566.00	100.52
Corporate Bonds	BRISTOL-MYERS SQU 4.9%27	110122EE4	4.90%	4.50%	2/22/2027	980,000.00	-	990,426.22	101.06
Corporate Bonds	CARGILL INC 3.5%25	141781BU7	3.50%	3.56%	4/22/2025	495,000.00	-	494,681.22	99.94
Corporate Bonds	CATERPILLAR FINL 3.65%25	14913RZ29	3.65%	3.84%	8/12/2025	1,000,000.00	-	997,516.00	99.75
Corporate Bonds	CATERPILLAR FINL SE 5%27	14913UAL4	5.00%	4.50%	5/14/2027	535,000.00	-	542,701.33	101.44
Corporate Bonds	CISCO SYSTEMS, IN 4.8%27	17275R8Q4	4.80%	4.38%	2/26/2027	1,081,000.00	-	1,093,285.57	101.14
Corporate Bonds	CITIGROUP INC. 3.7%26	172967KG5	3.70%	4.06%	1/12/2026	1,000,000.00	-	993,808.00	99.38
Corporate Bonds	CITIGROUP INC. VAR 27	17327CAM5	1.12%	2.17%	1/28/2027	700,000.00	-	680,105.30	97.16
Corporate Bonds	MERCEDES-BENZ FIN 3.3%25	233851BW3	3.30%	3.47%	5/19/2025	1,850,000.00	-	1,846,446.15	99.81
Corporate Bonds	JOHN DEERE CAPIT 1.05%26	24422EVR7	1.05%	2.82%	6/17/2026	295,000.00	-	283,934.26	96.25
Corporate Bonds	NEXTERA ENERGY, 4.45%26	341081GR2	4.45%	4.27%	5/15/2026	605,000.00	-	607,196.76	100.36
Corporate Bonds	GEORGIA-PACIFIC 1.75%25	37331NAJ0	1.75%	2.80%	9/30/2025	700,000.00	-	689,308.20	98.47

# Treasury Report - continued



## OPERATING ASSETS (BLACKROCK/SCHWAB) - HOLDINGS DETAIL

March 31, 2025

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
Corporate Bonds	THE GOLDMAN SACHS VAR 26	38141GXM1	1.09%	2.01%	12/9/2026	2,000,000.00	-	1,952,472.00	97.62
Corporate Bonds	GOLDMAN SACHS BK VAR 27	38151LAF7	5.28%	5.05%	3/18/2027	3,035,000.00	(7.90)	3,054,035.52	100.63
Corporate Bonds	HSBC USA INC. 5.294%27	40428HA44	5.29%	4.67%	3/4/2027	630,000.00	(7.90)	640,598.49	101.68
Corporate Bonds	INTERNTNL BANK F 0.65%26	45905HJ53	0.65%	2.32%	2/10/2026	1,500,000.00	-	1,454,866.50	96.99
Corporate Bonds	INTERNTNL FIN C 3.625%25	45950KDA5	3.63%	3.90%	9/15/2025	1,005,000.00	-	1,001,091.56	99.61
Corporate Bonds	JPMORGAN CHASE & VAR 28	46647PCW4	2.95%	3.75%	2/24/2028	1,355,000.00	-	1,315,786.30	97.11
Corporate Bonds	JPMORGAN CHASE & VAR 28	46647PEA0	5.04%	4.79%	1/23/2028	965,000.00	(0.06)	973,363.66	100.87
Corporate Bonds	JPMORGAN CHASE & VAR 30	46647PEB8	5.01%	4.81%	1/23/2030	1,000,000.00	-	1,009,868.00	100.99
Corporate Bonds	MASSMUTUAL GLOBAL 5.1%27	57629W456	5.10%	4.58%	4/9/2027	500,000.00	-	507,188.00	101.44
Corporate Bonds	MET TOWER GLOBAL 4.85%27	58989V2G8	4.85%	4.51%	1/16/2027	180,000.00	-	181,590.30	100.88
Corporate Bonds	MORGAN STANLEY 5.882%26	61690U7W4	5.88%	4.94%	10/30/2026	1,148,000.00	-	1,173,872.48	102.25
Corporate Bonds	MORGAN STANLEY BA VAR 28	61690U8A1	4.95%	4.73%	1/14/2028	1,170,000.00	-	1,178,721.18	100.75
Corporate Bonds	MORGAN STANLEY VAR 27	61747YEC5	1.51%	2.75%	7/20/2027	705,000.00	-	677,778.54	96.14
Corporate Bonds	MORGAN STANLEY VAR 28	61747YEK7	2.48%	3.47%	1/21/2028	1,045,000.00	-	1,008,398.88	96.50
Corporate Bonds	MORGAN STANLEY VAR 28	61747YER2	4.21%	4.42%	4/20/2028	1,305,000.00	-	1,295,082.00	99.24
Corporate Bonds	MORGAN STANLEY VAR 29	61747YFA8	5.12%	4.78%	2/1/2029	1,000,000.00	(1,848.17)	1,014,490.00	101.45
Corporate Bonds	MORGAN STANLEY VAR 28	61747YFP5	5.65%	5.10%	4/13/2028	1,115,000.00	(8.21)	1,137,184.04	101.99
Corporate Bonds	NTNL AUSTRALIA4.966% 26F	63253QAA2	4.97%	4.73%	1/12/2026	705,000.00	(16.25)	707,769.95	100.39
Corporate Bonds	NTNL AUSTRALIA 4.75% 25F	63253QAF1	4.75%	4.59%	12/10/2025	2,020,000.00	-	2,025,102.52	100.25
Corporate Bonds	NEW YORK LIFE GLO 3.6%25	64952WEU3	3.60%	3.79%	8/5/2025	2,000,000.00	-	1,994,892.00	99.74
Corporate Bonds	THE PNC FINL SERV VAR 26	693475BQ7	5.81%	5.69%	6/12/2026	1,000,000.00	-	1,002,395.00	100.24
Corporate Bonds	THE PNC FINL SERV VAR 29	693475BR5	5.58%	4.94%	6/12/2029	4,500,000.00	(1,540.01)	4,630,167.00	102.89
Corporate Bonds	PACCAR FINL CORP 4.95%25	69371RS23	4.95%	4.84%	10/3/2025	600,000.00	(6,367.52)	600,966.60	100.16
Corporate Bonds	PACCAR FINL CORP 4.45%26	69371RS49	4.45%	4.37%	3/30/2026	1,800,000.00	-	1,802,642.40	100.15
Corporate Bonds	PHILIP MORRIS IN 2.75%26	718172BT5	2.75%	3.59%	2/25/2026	1,780,000.00	-	1,752,871.02	98.48
Corporate Bonds	PHILIP MORRIS INTER 5%25	718172CU1	5.00%	4.79%	11/17/2025	560,000.00	-	561,750.56	100.31
Corporate Bonds	ROCHE HOLDINGS, 2.625%26	771196BK7	2.63%	3.44%	5/15/2026	600,000.00	-	590,041.20	98.34
Corporate Bonds	SCHLUMBERGER HOLDIN 4%25	806851AG6	4.00%	4.35%	12/21/2025	1,210,000.00	-	1,203,031.61	99.42
Corporate Bonds	THE CHARLES SCH 5.875%26	808513CG8	5.88%	5.03%	8/24/2026	1,920,000.00	-	1,955,788.80	101.86
Corporate Bonds	STATE STREET CORP VAR 26	857477BX0	5.75%	5.47%	11/4/2026	341,000.00	(11.79)	343,243.10	100.66
Corporate Bonds	TOYOTA MOTOR CRED 0.8%25	89236THP3	0.80%	2.13%	10/16/2025	1,650,000.00	-	1,617,003.30	98.00
Corporate Bonds	U.S. BANCORP 3.15%27	91159HHR4	3.15%	4.02%	4/27/2027	1,000,000.00	-	975,006.00	97.50
Corporate Bonds	U.S. BANCORP VAR 26	91159HJH4	5.73%	5.50%	10/21/2026	1,080,000.00	-	1,085,632.20	100.52
Corporate Bonds	U.S. BANCORP VAR 29	91159HJM3	5.78%	5.13%	6/12/2029	5,000,000.00	-	5,144,935.00	102.90
Corporate Bonds	UNITEDHEALTH GRO 1.25%26	91324PDW9	1.25%	2.66%	1/15/2026	2,000,000.00	-	1,951,398.00	97.57
Corporate Bonds	UNITEDHEALTH GRO 5.25%28	91324PEP3	5.25%	4.60%	2/15/2028	1,000,000.00	(4,337.76)	1,022,759.00	102.28
Corporate Bonds	UNITEDHEALTH GROU 4.6%27	91324PEY4	4.60%	4.37%	4/15/2027	505,000.00	-	508,321.39	100.66
Corporate Bonds	WELLS FARGO BANK 5.45%26	94988JD04	5.45%	4.83%	8/7/2026	1,100,000.00	-	1,114,933.60	101.36
Corporate Bonds	WELLS FARGO & CO VAR 26	95000U2N2	2.19%	2.31%	4/30/2026	2,800,000.00	-	2,793,280.00	99.76
Corporate Bonds	WELLS FARGO & CO VAR 28	95000U2S1	2.39%	3.58%	6/2/2028	1,060,000.00	-	1,011,606.76	95.43
Corporate Bonds	WELLS FARGO & CO VAR 28	95000U3L5	5.71%	5.12%	4/22/2028	895,000.00	(2.83)	914,105.57	102.13
Total Count:			63	4.08%	4.15%	77,336,000.00	(14,164.65)	77,399,134.37	

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
Mortgage Pools	FHLB 0.6%26	3130AKK88	0.60%	2.80%	12/30/2026	2,000,000.00	-	1,884,530.00	94.23
Mortgage Pools	FNMA PL BM5111 3%33	31409VDO0	3.00%	3.44%	11/1/2033	4,882,000.00	-	1,118,603.12	96.40
Mortgage Pools	FNMA PL FM8952 4%37	3140XC5N4	4.00%	4.21%	12/1/2037	2,149,000.00	-	1,012,309.07	97.88
Mortgage Pools	FHLB 0.96%26	3130ALHH0	0.96%	2.52%	3/5/2026	1,000,000.00	-	971,018.00	97.10
Mortgage Pools	FHLB 1%26	3130ALGJ7	1.00%	3.90%	3/23/2026	1,000,000.00	-	945,584.25	94.56

# Treasury Report - continued



## OPERATING ASSETS (BLACKROCK/SCHWAB) - HOLDINGS DETAIL

March 31, 2025

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price	
Mortgage Pools	FNMA PL FM6298	4%38	3140X97L3	4.00%	4.14%	6/1/2038	1,887,000.00	-	749,482.33	98.49
Mortgage Pools	FNMA PL MA4389	1.5%31	31418D2X9	1.50%	2.53%	7/1/2031	1,440,000.00	-	665,769.68	93.24
Mortgage Pools	FNMA PL FS6072	2.5%36	3140XMXA9	2.50%	3.17%	12/1/2036	843,175.00	-	627,711.13	93.01
Mortgage Pools	FNMA PL CB4509	4.5%37	3140QQAQ1	4.50%	4.54%	8/1/2037	840,624.00	-	535,243.17	99.57
Mortgage Pools	FNMA PL FM2743	3%34	3140X6BM2	3.00%	3.48%	2/1/2034	2,590,000.00	-	526,475.45	95.99
Mortgage Pools	FNMA PL CB4514	4.5%37	3140QQAQ8	4.50%	4.47%	9/1/2037	728,251.00	-	469,240.04	100.30
Mortgage Pools	FNMA PL CB4760	5%37	3140QQJE6	5.00%	4.86%	9/1/2037	632,000.00	-	419,158.10	101.36
Mortgage Pools	FNMA PL MA1401	3%33	31418ARX8	3.00%	3.51%	4/1/2033	3,339,000.00	-	410,489.37	96.06
Mortgage Pools	FNMA PL MA0976	3.5%32	31418ACN6	3.50%	3.74%	2/1/2032	6,180,000.00	-	359,474.58	98.35
Mortgage Pools	FNMA PL CB4755	5%37	3140QQH99	5.00%	4.93%	9/1/2037	486,000.00	-	326,837.01	100.64
Mortgage Pools	FNMA PL CB4510	4.5%37	3140QQAL9	4.50%	4.56%	8/1/2037	483,000.00	-	326,011.45	99.38
Mortgage Pools	FNMA PL CB4526	5%37	3140QQA47	5.00%	4.93%	9/1/2037	442,735.00	-	306,762.70	100.69
Mortgage Pools	FNMA PL CB4508	4.5%37	3140QQA44	4.50%	4.54%	8/1/2037	448,000.00	-	304,689.90	99.57
Mortgage Pools	FNMA PL MA2832	3%36	31418CEE0	3.00%	3.63%	12/1/2036	1,662,000.00	-	295,666.95	93.64
Mortgage Pools	FNMA PL CB4757	5%37	3140QQJB2	5.00%	4.89%	9/1/2037	457,000.00	-	290,477.71	101.12
Mortgage Pools	FNMA PL CB4523	5%37	3140QQA28	5.00%	4.85%	8/1/2037	385,141.00	-	283,861.89	101.44
Mortgage Pools	FNMA PL MA3060	3%32	31418CMJ0	3.00%	3.49%	7/1/2032	2,178,000.00	-	270,316.51	96.52
Mortgage Pools	FNMA PL MA0919	3.5%31	31418AAV0	3.50%	3.75%	12/1/2031	5,269,000.00	-	267,884.27	98.35
Mortgage Pools	FNMA PL CB4759	5%37	3140QQJD8	5.00%	4.93%	9/1/2037	315,000.00	-	192,954.45	100.69
Mortgage Pools	FHLMC SB0032	3.5%32	3132CWA95	3.50%	3.61%	9/1/2032	3,799,000.00	-	184,514.60	99.22
Mortgage Pools	FNMA PL CB4758	5%37	3140QQJC0	5.00%	4.92%	9/1/2037	312,000.00	-	181,734.56	100.74
Mortgage Pools	FNMA PL CB4756	5%37	3140QQJA4	5.00%	4.85%	9/1/2037	271,000.00	-	171,624.26	101.44
Mortgage Pools	FNMA PL CB4990	4.5%37	3140QQRL1	4.50%	4.54%	11/1/2037	240,312.00	-	159,442.17	99.57
Mortgage Pools	FNMA PL CB4524	5%37	3140QQA21	5.00%	4.88%	8/1/2037	165,000.00	-	131,254.46	101.11
Mortgage Pools	FNMA PL CB5005	5%37	3140QQR31	5.00%	4.86%	10/1/2037	188,000.00	-	129,094.50	101.36
Mortgage Pools	FNMA PL CB4995	4.5%37	3140QQRR8	4.50%	4.47%	10/1/2037	185,273.00	-	125,122.30	100.30
Mortgage Pools	FHLMC G18659	3%32	3128MMWV1	3.00%	3.37%	9/1/2032	744,000.00	-	100,682.15	97.28
Mortgage Pools	FNMA PL CB4525	5%37	3140QQA39	5.00%	4.92%	8/1/2037	149,498.00	-	75,389.98	100.74
Mortgage Pools	FNMA PL CB4991	4.5%37	3140QQRM9	4.50%	4.54%	10/1/2037	125,049.00	-	74,251.55	99.57
Total Count:			34	3.26%	3.72%		47,816,058.00	-	14,893,661.66	

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
U.S. Treasuries	US TREASUR NT 4.5%07/26	91282CHM6	4.50%	4.21%	7/15/2026	1,100,000.00	-	1,106,875.00	100.63
U.S. Treasuries	US TREASUR NT 4.375%08/26	91282CHU8	4.38%	4.14%	8/15/2026	9,070,000.00	-	9,116,766.73	100.52
U.S. Treasuries	US TREASUR NT 4.625%09/26	91282CHY0	4.63%	4.22%	9/15/2026	7,540,000.00	-	7,610,687.50	100.94
U.S. Treasuries	US TREASUR NT 4.625%10/26	91282CJC6	4.63%	4.21%	10/15/2026	6,370,000.00	-	6,432,704.37	100.98
U.S. Treasuries	US TREASUR NT 4.625%11/26	91282CJK8	4.63%	4.20%	11/15/2026	4,715,000.00	(5,510.67)	4,763,623.44	101.03
U.S. Treasuries	US TREASUR NT 4.375%12/26	91282CJP7	4.38%	4.09%	12/15/2026	6,580,000.00	(11,270.98)	6,626,265.30	100.70
U.S. Treasuries	US TREASUR NT 4.125%02/27	91282CKA8	4.13%	3.99%	2/15/2027	15,140,000.00	-	15,194,408.62	100.36
U.S. Treasuries	US TREASUR NT 4.5%05/27	91282CKR1	4.50%	4.09%	5/15/2027	20,050,000.00	-	20,288,093.75	101.19
U.S. Treasuries	US TREASUR NT 4.625%06/27	91282CKV2	4.63%	4.11%	6/15/2027	8,000,000.00	(10,342.43)	8,122,500.00	101.53
U.S. Treasuries	US TREASUR NT 4.375%07/27	91282CKZ3	4.38%	4.03%	7/15/2027	19,015,000.00	(23,096.02)	19,211,092.19	101.03
U.S. Treasuries	US TREASUR NT 4.375%07/26	91282CLB5	4.38%	4.14%	7/31/2026	60,515,000.00	(31,793.42)	60,817,575.00	100.50

Treasury Report - continued



OPERATING ASSETS (BLACKROCK/SCHWAB) - HOLDINGS DETAIL  
March 31, 2025

Asset Class	Issuer	Cusip	Coupon Rate	Yield to Maturity	Maturity Date	Ending Par Value/Shares	Amortization Value	Ending Market Value	Ending Unit Price
U.S. Treasuries	US TREASUR NT 4%07/29	91282CLC3	4.00%	3.95%	7/31/2029	1,500,000.00	(1,415.31)	1,503,750.00	100.25
U.S. Treasuries	US TREASUR NT 3.5%09/29	91282CLN9	3.50%	3.87%	9/30/2029	2,000,000.00	-	1,963,750.00	98.19
U.S. Treasuries	US TREASU NT 3.875%10/27	91282CLQ2	3.88%	3.89%	10/15/2027	2,000,000.00	-	1,999,062.40	99.95
Total Count:			14	4.39%	4.11%	163,595,000.00	(83,428.83)	164,757,154.30	

This summary was assembled by Shuster Advisory Group, LLC ("Shuster") by request from the City of Fontana. The information shown is taken from Schwab custodial data and is believed to be accurate. Any discrepancy is purely unintentional and is not guaranteed by Shuster.  
Some securities did not have yields provided by Schwab. Yields in these cases were sourced from Blackrock. Data source is available upon request.

**Glossary**  
*Coupon Rate:* This is the stated coupon rate for the security. For variable rate securities this rate may change. Data provided by Orion.  
*Yield to Maturity:* This is the actual average annual return on a note if held to maturity. Data provided by Orion.  
*Maturity Date:* This is the stated maturity date of the security. Certain securities like mortgage pools, collateralized mortgage obligations, and asset backed securities can have the option to be paid back prior to maturity.  
*CMO & Asset Backed Securities:* This is a type of financial security which is collateralized by an underlying pool of assets.  
*Ending Par Value/Shares:* The original par value of the security.  
*Cost Basis:* Original cost of the security.  
*Adjusted Cost Basis:* The original cost basis adjusted for amortization.

# Treasury Report - continued

## SECTION 115 OPEB ASSETS (SHUSTER/SCHWAB) - HOLDINGS DETAIL

March 31, 2025



Asset Class	Name	Ticker/Symbol	Prior Month End	Ending Market Value
Cash	Schwab Bank Sweep	SchwabCash	\$ 128,544.46	\$ 137,878.14
Alternative Private Debt	Thorofare Asset Based Lending Fund V Lp	88599T108	\$ 827,308.43	\$ 842,609.24
Diversified Emerging Mkts	iShares MSCI Emerging Markets ex-China ETF	EMXC	\$ 979,023.29	\$ 988,171.36
Japan Stock	JPMorgan BetaBuilders Japan ETF	BBJP	\$ 793,832.52	\$ 795,959.62
Foreign Large Growth	iShares MSCI EAFE Growth ETF	EFG	\$ 818,422.62	\$ 795,743.92
Foreign Large Growth	Vanguard Intl Dividend Appreciation	VIGI	\$ 746,644.00	\$ 745,412.68
Foreign Large Value	iShares MSCI EAFE Value	EFV	\$ 1,435,350.77	\$ 1,476,432.36
Infrastructure	iShares US Infrastructure ETF	IFRA	\$ 698,001.30	\$ 675,373.95
Intermediate Core-Plus Bond	iShares Core Total USD Bond Market	IUSB	\$ 1,285,195.00	\$ 1,280,471.04
Intermediate Core-Plus Bond	Fidelity Total Bond	FTBFX	\$ 18,596.10	\$ 18,567.20
Intermediate Core-Plus Bond	Fidelity Total Bond ETF	FBND	\$ 6,374,231.69	\$ 6,363,417.79
Large Blend	Schwab S&P 500 Index	SWPPX	\$ 2,997,818.93	\$ 2,828,890.84
Large Blend	iShares MSCI USA Quality Factor ETF	QUAL	\$ 1,503,461.04	\$ 1,418,257.45
Large Blend	iShares US Equity Factor Rotation Active ETF	DYNF	\$ 879,033.03	\$ 825,123.35
Large Blend	iShares Core S&P 500	IVV	\$ 670,589.72	\$ 633,064.19
Large Growth	iShares S&P 500 Growth ETF	IVW	\$ 737,910.29	\$ 677,858.26
Large Value	iShares S&P 500 Value ETF	IVE	\$ 720,779.84	\$ 699,327.76
Multisector Bond	PIMCO Income Fund Instl	PIMIX	\$ 4,915,917.83	\$ 4,927,371.52
Technology	Vanguard Information Technology	VGT	\$ 505,058.05	\$ 458,312.08
Ultrashort Bond	Janus Henderson AAA CLO Fund	JAAA	\$ 764,260.92	\$ 761,258.52
Totals			\$ 27,799,979.83	\$ 27,349,501.27

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# Treasury Report - continued

## SECTION 115 PENSION STABILIZATION ASSETS (SHUSTER/SCHWAB) - HOLDINGS DETAIL

March 31, 2025



Asset Class	Name	Ticker/Symbol	Prior Month End	Ending Market Value
Cash	Schwab Bank Sweep	SchwabCash	\$ 50,690.56	\$ 52,472.97
Alternative Private Debt	Thorofare Asset Based Lending Fund V Lp	88599T108	\$ 344,160.30	\$ 350,525.50
Diversified Emerging Mkts	iShares MSCI Emerging Markets ex-China ETF	EMXC	\$ 563,492.47	\$ 568,757.79
Japan Stock	JPMorgan BetaBuilders Japan ETF	BBJP	\$ 456,026.55	\$ 457,248.48
Foreign Large Growth	Vanguard Intl Dividend Appreciation	VIGI	\$ 852,300.86	\$ 850,895.28
Foreign Large Value	iShares MSCI EAFE Value	EFV	\$ 816,608.22	\$ 839,980.60
Infrastructure	iShares US Infrastructure ETF	IFRA	\$ 391,126.39	\$ 380,676.31
Intermediate Core-Plus Bond	iShares Core Total USD Bond Market	IUSB	\$ 473,831.25	\$ 472,089.60
Intermediate Core-Plus Bond	Fidelity Total Bond	FTBFX	\$ 5,648.09	\$ 5,639.36
Intermediate Core-Plus Bond	Fidelity Total Bond ETF	FBND	\$ 2,349,340.72	\$ 2,345,355.06
Large Blend	iShares US Equity Factor Rotation Active ETF	DYNF	\$ 483,629.74	\$ 453,969.50
Large Blend	iShares Core S&P 500	IVV	\$ 908,496.90	\$ 857,658.37
Large Blend	Schwab S&P 500 Index	SWPPX	\$ 1,137,127.34	\$ 1,073,049.84
Large Blend	iShares MSCI USA Quality Factor ETF	QUAL	\$ 830,536.46	\$ 783,468.62
Large Growth	iShares S&P 500 Growth ETF	IVW	\$ 403,148.54	\$ 370,339.84
Large Value	iShares S&P 500 Value ETF	IVE	\$ 482,106.71	\$ 467,758.10
Multisector Bond	PIMCO Income Fund Instl	PIMIX	\$ 1,720,184.86	\$ 1,724,192.81
Technology	Vanguard Information Technology	VGT	\$ 389,078.19	\$ 353,066.82
Ultrasort Bond	Janus Henderson AAA CLO Fund	JAAA	\$ 282,143.22	\$ 281,034.82
	Totals		\$ 12,939,677.37	\$ 12,688,179.67

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## Conclusion

The City Council has provided fiscal policy direction that has laid the foundation for the 2024/2025 Operating Budget's conservative approach to revenues and expenditures. **The recommended budget changes included in the Third Quarter Budget Report continue to adhere to City Council Policy.**

As stated by the City Council's Mission Statement below, the City of Fontana embraces every opportunity to enrich the lives of those who reside in this community, and this is possible due to its committed elected leadership and the talents and ingenuity of the individuals in this community and organization. The key is through a well-planned, long-term fiscal plan, based upon economic development that will continue to generate high paying long-term employment opportunities, bring in new and stable sales tax revenue sources, and maintaining intergovernmental relations. Though there are still great challenges ahead, the City is firmly committed to meeting each and every challenge that comes our way.

**"We seek and embrace every opportunity to enrich the lives of those who live, work, play and invest in the City of Fontana."**

Mission Statement Adopted April 26, 2022

## General Fund - Fund Balance Reconciliation

## (Five-Year Summary)

		2020/21		2021/22		2022/23		2023/24		2024/2025						
		Audited		Audited		Audited		Audited		Adopted	Adjusted	Proposed	Proposed			
		Actuals		Actuals		Actuals		Actuals		Budget	Budget	Adjustments	Budget			
Revenues	\$	128,044,517	\$	135,371,657	\$	146,743,017	\$	151,466,541	\$	149,082,850	\$	156,907,529	\$	770,312	\$	157,677,841
Expenditures		100,324,532		111,341,793		118,017,538		128,062,185		131,676,400		144,174,615		(262,415)		143,912,200
Revenues over (under) expenditures		27,719,985		24,029,864		28,725,479		23,404,356		17,406,450		12,732,914		1,032,727		13,765,641
Other sources & uses:																
Operating transfers in		10,455,858		12,073,139		11,585,264		11,566,054		12,422,520		12,944,248		59,809		13,004,057
Operating transfers out		(27,553,964)		(26,313,909)		(26,336,232)		(43,805,438)		(28,333,200)		(39,903,449)		(30,000)		(39,933,449)
Total other sources & uses		(17,098,107)		(14,240,770)		(14,750,968)		(32,239,384)		(15,910,680)		(26,959,201)		29,809		(26,929,392)
Revenues & other sources over (under) expenditures and other uses		10,621,878		9,789,094		13,974,511		(8,835,028)		1,495,770		(14,226,287)		1,062,536		(13,163,751)
Fund balance, beginning of year		38,692,079		47,728,351		57,517,445		72,639,194		61,055,857		64,798,697		(0)		64,798,697
Fund Balance Adjustment						1,147,238		994,531								
GASB 31 Adjustment		41,009														
Fund balance, end of year	\$	49,354,966	\$	57,517,445	\$	72,639,194	\$	64,798,697	\$	62,551,627	\$	50,572,410	\$	1,062,536	\$	51,634,946
FUND BALANCE																
Reserved																
Inventories	\$	253,532	\$	375,878	\$	407,053	\$	512,764	\$	375,878	\$	407,053	\$	105,711	\$	512,764
Jr. Lien Bonds		2,500,000		0		0		0		0		0		0		0
Total reserved		2,753,532		375,878		407,053		512,764		375,878		407,053		105,711		512,764
Designated																
Economic Uncertainty		8,514,643		9,469,586		0		0		0		0				0
CALPERS UAL Forecasted Increases		0		0		0		0		2,357,937		0				0
PERS Rate Stability		5,869,393		10,886,393		10,694,317		12,204,822		10,886,393		10,694,317		956,825		11,651,142
Annual Shelter JPA		0		0		0		800,000		0		582,570				582,570
Operating Contingencies		0		0		0		3,000,000		0		3,000,000				3,000,000
Future projects and reserves		0		0		0		750,000		0		0				0
Unappropriated		16,333,398		20,280,588		38,595,914		14,443,275		15,385,254		0				0
	\$	33,470,966	\$	41,012,445	\$	49,697,284	\$	31,710,861	\$	29,005,462	\$	14,683,940	\$	1,062,536	\$	15,746,476
Total available for contingencies	\$	15,884,000	\$	16,505,000	\$	22,941,910	\$	33,087,836	\$	33,546,165	\$	35,888,470			\$	35,888,470

## Other Funds - Unreserved Fund Balances

Fiscal Year 2024/2025

	Budget									Net Proposed Adjustments	Estimated Fund Balance June 30, 2025
	Unaudited Fund Balance July 1, 2024										
		Revenues	Transfers In	Expenditures	Transfers Out	Available					
Other General Funds:											
102 City Technology	\$ 3,508,359	\$ -	\$ 7,315,290	\$ (10,678,904)	\$ -	\$ 144,745		\$ 144,745			
103 Facility Maintenance	11,177	0	9,823,832	(9,777,120)	0	57,889		57,889			
104 Office of Emergency Services	1,291,877	0	0	(157,274)	0	1,134,603	-	1,134,603			
105 KFON	1,832,888	250,000	0	(250,000)	0	1,832,888		1,832,888			
106 Self Insurance	3,872,719	10,007,050	4,000,000	(14,125,992)	0	3,753,777	2,436,962	6,190,739			
107 Retirees Medical Benefits	2,395,853	260,000	2,600,000	(2,863,380)	0	2,392,473		2,392,473			
108 Supplemental Retirement	32,517	0	840,620	(35,000)	0	838,137	(805,620)	32,517			
110 General Fund Operating Projects	1,292,256	3,900	1,884,680	(3,021,306)	(98,818)	60,712	6,910	67,622			
115 Lease-Fire	15,898	5,655,483	0	0	(5,671,379)	2		2			
125 Storm Water Compliance	578,674	304,500	0	(319,844)	0	563,330	-	563,330			
Total Other General Funds	\$ 14,832,218	\$ 16,480,933	\$ 26,464,422	\$ (41,228,820)	\$ (5,770,197)	\$ 10,778,556	\$ 1,638,252	\$ 12,416,808			
Special Revenue Funds:											
201 Muni Svcs Fiscal Impact Fee	\$ 24,640,404	\$ 1,250,000	\$ -	\$ -	\$ (1,290,590)	\$ 24,599,814	\$ -	\$ 24,599,814			
221 Federal Seizure Treasury	165,661	0	0	(75,000)	0	90,661		90,661			
222 Crime Prev Asset Seizure	45,734	10,000	0	(33,300)	0	22,434		22,434			
223 Federal Asset Seizure	12,011,232	3,050,000	0	(6,574,517)	0	8,486,715		8,486,715			
224 State Asset Seizure	580,422	78,000	0	(71,626)	0	586,796		586,796			
225 PD Traffic Safety	2,927,454	400,000	0	(343,251)	0	2,984,203		2,984,203			
226 Opioid Settlement	415,697	630,337	0	(898,088)	0	147,946		147,946			
241 Air Quality Mgmt District	985,492	304,000	0	(628,340)	(12,090)	649,062		649,062			
243 Traffic Safety	79,510	45,000	0	(45,020)	0	79,490		79,490			
244 Prop 1B	141,441	0	0	0	0	141,441		141,441			
245 Measure I Reimb 2010-2040	(10,579,721)	24,415,625	0	(13,761,705)	0	74,199		74,199			
246 Measure I Local 2010-2040	17,289,968	5,618,200	0	(21,730,348)	(450,220)	727,600	438,815	1,166,415			
281 Gas Tax (State)	2,179,297	6,042,980	0	(7,252,522)	(385,440)	584,315		584,315			
282 Solid Waste Mitigation	6,633,933	3,000,000	0	(5,403,326)	(320,230)	3,910,377		3,910,377			
283 Road Maintenance & Rehab	6,622,575	5,129,440	0	(11,298,628)	0	453,387		453,387			
301 Grants	(7,758,509)	75,359,654	0	(67,542,655)	(58,490)	0	29,070	29,070			
302 ARPA 2021	19,827,902	12,449,657	0	(19,827,902)	0	12,449,657	(12,449,657)	0			
303 TDA/Article 3	(74,076)	634,068	0	(559,992)	0	0	2,657	2,657			
304 ARPA - County	(707,359)	2,001,676	0	(1,294,317)	0	0		0			
321 Fed Law Enf Block Grant	0	0	0	0	0	0		0			
322 State COPS AB 3229	1,107,155	300,000	0	(497,874)	0	909,281	345,000	1,254,281			

## Other Funds - Unreserved Fund Balances

## Fiscal Year 2024/2025

	Unaudited Fund Balance July 1, 2024	Budget					Net Proposed Adjustments	Estimated Fund Balance June 30, 2025	
		Revenues	Transfers In	Expenditures	Transfers Out	Available			
Special Revenue Funds:									
362 CDBG	\$ (51,048)	\$ 4,830,992	\$ -	\$ (4,308,093)	\$ (33,310)	\$ 438,541	\$ -  <		

## Other Funds - Unreserved Fund Balances

## Fiscal Year 2024/2025

	Unaudited Fund Balance July 1, 2024	Budget					Net Proposed Adjustments	Estimated Fund Balance June 30, 2025	
		Revenues	Transfers In	Expenditures	Transfers Out	Available			
Special Revenue Funds:									
430 CFD #30M	\$ 756,051	\$ 234,170	\$ -	\$ (139,808)	\$ (156,360)	\$ 694,053	\$ -  (64,201)	\$ 694,053	
431 CFD #31 Citrus Heights North	777,604	480,630	0	(289,923)	(187,300)	781,011		781,011	
432 CFD #32M	103,430	17,800	0	(3,490)	(17,400)	100,340		100,340	
433 CFD #33M Empire Lighting	198,310	41,220	0	(44,291)	(6,140)	189,099		189,099	
434 CFD #34 Empire Detention Basin	271,865	21,140	0	(14,154)	(4,580)	274,271		274,271	
435 CFD #35M	1,178,538	533,930	0	(889,289)	(166,170)	657,009		592,808	
436 CFD #36M	40,803	22,010	0	(28,790)	(18,190)	15,833		15,833	
437 CFD #37 Montelago	214,362	87,000	0	(200,253)	(45,010)	56,099		56,099	
438 CFD #38M	866,175	176,810	0	(80,489)	(114,980)	847,516		847,516	
439 CFD #39M	40,573	21,360	0	(33,120)	(15,310)	13,503		13,503	
440 CFD #40M	73,770	10,530	0	(980)	(7,530)	75,790		75,790	
441 CFD #41M	119,314	15,070	0	(12,320)	(7,480)	114,584		114,584	
442 CFD #42M	261,698	43,710	0	(105,680)	(4,350)	195,378		195,378	
444 CFD #44M	29,411	8,910	0	(7,750)	(5,570)	25,001		25,001	
445 CFD #45M	345,360	99,960	0	(87,537)	(52,740)	305,043		305,043	
446 CFD #46M	309,114	48,440	0	(40,610)	(21,000)	295,944		295,944	
447 CFD #47M	6,340	11,460	0	(15,790)	(990)	1,020		1,020	
448 CFD #48M	422,249	74,400	0	(61,024)	(26,050)	409,575		409,575	
449 CFD #49M	30,853	12,750	0	(13,830)	(4,150)	25,623		25,623	
450 CFD #50M	82,771	35,520	0	(29,740)	(27,850)	60,701		60,701	
451 CFD #51M	101,418	65,810	0	(82,880)	(35,630)	48,718		48,718	
453 CFD #53M	79,325	8,820	0	(4,710)	(4,850)	78,585		78,585	
454 CFD #54M	46,874	24,960	0	(40,650)	(13,060)	18,124		18,124	
455 CFD #55M	57,998	7,110	0	(5,670)	(2,930)	56,508		56,508	
456 CFD #56M	121,456	26,040	0	(440)	(25,270)	121,786		121,786	
457 CFD #57M	61,268	14,960	0	(17,160)	(5,750)	53,318		53,318	
458 CFD #58M	16,928	4,410	0	(550)	(120)	20,668		20,668	
459 CFD #59M	10,633	2,400	0	(2,280)	(40)	10,713	10,713		
460 CFD #60M	81,978	12,560	0	(10,210)	(5,290)	79,038	79,038		
461 CFD #61M	378,410	54,870	0	(28,100)	(28,100)	377,080	377,080		
462 CFD #62M	48,501	5,580	0	(2,170)	(160)	51,751	51,751		
463 CFD #63M	571,134	54,780	0	(36,690)	(1,590)	587,634	587,634		
464 CFD #64M	77,583	4,920	0	0	0	82,503	82,503		
465 CFD #65M	196,589	19,900	0	(12,700)	(10,270)	193,519	193,519		

## Other Funds - Unreserved Fund Balances

Fiscal Year 2024/2025

	Unaudited Fund Balance July 1, 2024	Budget					Net Proposed Adjustments	Estimated Fund Balance June 30, 2025	
		Revenues	Transfers In	Expenditures	Transfers Out	Available			
Special Revenue Funds:									
467 CFD #67M	\$ 189,693	\$ 42,180	\$ -	\$ (26,620)	\$ (23,820)	\$ 181,433	\$ -	\$ 181,433	
468 CFD #68M	143,022	24,610	0	(17,030)	(12,090)	138,512		138,512	
469 CFD #69M	636,405	164,440	0	(211,753)	(98,670)	490,422		490,422	
470 CFD #70M Avellino	219,484	78,080	0	(55,663)	(37,730)	204,171		204,171	
471 CFD #71M Sierra Crest	387,355	117,110	0	(119,437)	(44,370)	340,658		340,658	
472 CFD #72M	29,232	10,740	0	(8,950)	(5,910)	25,112		25,112	
473 CFD #73M	280,446	65,720	0	(32,431)	(36,140)	277,595		277,595	
474 CFD #74M	499,670	84,850	0	(41,327)	(900)	542,293		542,293	
475 CFD #75M	55,841	14,360	0	(7,970)	(8,260)	53,971		53,971	
476 CFD #76M	81,288	33,540	0	(49,308)	(14,730)	50,790		50,790	
477 CFD #77M	49,071	12,900	0	(8,480)	(6,270)	47,221		47,221	
478 CFD #78M	251,128	69,880	0	(33,329)	(53,170)	234,509		234,509	
479 CFD #79M	181,026	21,500	0	(340)	(20)	202,166		202,166	
480 CFD #80M	455,451	212,440	0	(191,256)	(120,090)	356,545		356,545	
481 CFD #81M	92,249	109,200	0	(109,157)	(53,920)	38,372		38,372	
482 CFD #82M	173,980	28,650	0	0	0	202,630		202,630	
483 CFD #83M	195,217	61,970	0	(38,552)	(29,650)	188,985		188,985	
484 CFD #84M	41,445	19,500	0	(9,950)	(9,490)	41,505		41,505	
485 CFD #85 THE MEADOWS	922,459	419,280	0	(333,652)	(124,380)	883,707		883,707	
486 CFD #86 ETIWANDA RIDGE	182,184	63,750	0	(67,577)	(31,650)	146,707		146,707	
487 CFD #87 El Paseo	214,032	73,560	0	(27,989)	(59,090)	200,513		200,513	
488 CFD #88 SIERRA CREST II	282,247	113,670	0	(62,970)	(39,260)	293,687		293,687	
489 CFD #89 BELROSE	232,393	61,100	0	(29,745)	(28,990)	234,758		234,758	
490 CFD #90 SUMMIT @ ROSENA PH i	1,348,086	353,040	0	(297,531)	(114,190)	1,289,405		1,289,405	
491 CFD #91M	30,254	6,080	0	0	0	36,334		36,334	
492 CFD #92M	79,109	16,720	0	(11,020)	(5,140)	79,669		79,669	
493 CFD #93M	52,721	11,250	0	(20,040)	(4,100)	39,831		39,831	
494 CFD #94M	9,116	2,100	0	0	(1,620)	9,596		9,596	
495 CFD #95 SUMMIT @ ROSENA PH II	445,969	162,700	0	(239,329)	(27,760)	341,580		341,580	
496 CFD #96M Tr. 19957	42,361	11,110	0	(6,420)	0	47,051	47,051		
497 CFD #97M	23,004	5,200	0	0	(3,520)	24,684	24,684		
498 CFD #98M	22,199	6,030	0	0	0	28,229	28,229		

## Other Funds - Unreserved Fund Balances

Fiscal Year 2024/2025

	Unaudited Fund Balance July 1, 2024	Budget					Net Proposed Adjustments	Estimated Fund Balance June 30, 2025	
		Revenues	Transfers In	Expenditures	Transfers Out	Available			
Special Revenue Funds:									
500 CFD #100M	\$ 191,692	\$ 83,190	\$ -	\$ (29,169)	\$ (160)	\$ 245,553	\$ -	\$ 245,553	
501 CFD #101M	29,263	8,110	0	0	0	37,373		37,373	
502 CFD #102M	18,813	5,010	0	0	(1,620)	22,203		22,203	
503 CFD #103M Estrada	16,035	4,500	0	0	(1,350)	19,185		19,185	
504 CFD #104M	38,637	13,780	0	(5,820)	0	46,597		46,597	
505 CFD #105M	96,367	46,180	0	(21,819)	(26,260)	94,468		94,468	
506 CFD #106M	208,608	92,090	0	(23,472)	(36,000)	241,226		241,226	
507 CFD #107M	46,387	15,670	0	(7,430)	(28,910)	25,717		25,717	
509 CFD #109M	398,271	45,610	0	(199,900)	(128,760)	115,221		115,221	
510 CFD #510M	12,776	17,420	0	0	(4,870)	25,326		25,326	
511 CFD #111M	38,715	72,470	0	(10,210)	(53,500)	47,475		47,475	
512 CFD #112M	37,955	343,280	0	(210,179)	(137,730)	33,326		33,326	
Total Special Revenue Funds	\$ 110,672,246	\$ 191,769,518	\$ 2,840,870	\$ (211,652,684)	\$ (10,883,630)	\$ 82,746,320	\$ (11,872,046)	\$ 70,874,274	
Debt Service Funds:									
580 General Debt Service	\$ 9,447	\$ 1,125,300	\$ 2,869,050	\$ (3,994,350)	\$ -	\$ 9,447	\$ -	\$ 9,447	
Total Debt Service Funds	\$ 9,447	\$ 1,125,300	\$ 2,869,050	\$ (3,994,350)	\$ -	\$ 9,447	\$ -	\$ 9,447	
Capital Project Funds:									
601 Capital Reinvestment	\$ 43,938,501	\$ 10,300,984	\$ 7,131,676	\$ (60,771,159)	\$ -	\$ 600,002	\$ (252,479) (99)	\$ 347,523	
602 Capital Improvements	7,677,865	4,782,516	13,903,875	(26,364,157)	0	99		0	
603 Future Capital Projects	9,426,013	0	0	(344,883)	(151,420)	8,929,710	34,921	8,929,710	
620 San Sevaine Flood Control	2,600,304	805,800	0	(9,049)	(8,320)	3,388,735		3,388,735	
621 Upper Etiwanda Flood Control	47,845	0	0	0	0	47,845		47,845	
622 Storm Drain	22,471,309	3,555,000	0	(12,047,490)	(98,460)	13,880,359		13,880,359	
623 Sewer Expansion	1,539,860	2,500,000	0	(2,910,621)	(19,280)	1,109,959		1,109,959	
630 Circulation Mitigation	23,516,714	4,651,000	0	(14,496,822)	(73,880)	13,597,012		13,631,933	
631 Fire Assessment	742,012	260,000	0	(423,922)	(281,570)	296,520		296,520	
632 General Government	13,554,511	430,000	0	(12,068,888)	0	1,915,623		1,915,623	
633 Landscape Medians	2,552,973	650,000	0	(2,343,210)	(11,720)	848,043		848,043	
634 Library Capital Improvement	1,370,483	200,000	0	(99,472)	(6,440)	1,464,571		99,472	1,564,043
635 Parks Development	16,609,232	2,100,000	0	(9,510,527)	(123,970)	9,074,735		253,250	9,327,985
636 Police Capital Facilities	4,179,598	400,000	0	(461,285)	(38,880)	4,079,433		4,079,433	
637 Underground Utilities	851,587	0	0	0	0	851,587	851,587		

## Other Funds - Unreserved Fund Balances

Fiscal Year 2024/2025

	Unaudited Fund Balance July 1, 2024	Budget					Net Proposed Adjustments	Estimated Fund Balance June 30, 2025		
		Revenues	Transfers In	Expenditures	Transfers Out	Available				
Capital Project Funds:										
657 CFD #31 Citrus Heights North	\$ 3,032,010	\$ -	\$ -	\$ -	\$ -	\$ 3,032,010		\$ 3,032,010		
658 CFD #31	7,491	0	0	0	0	7,491		7,491		
659 CFD #70 Avellino	1,197	0	0	0	0	1,197		1,197		
660 CFD #71 Sierra Crest	2,686	0	0	0	0	2,686		2,686		
661 CFD #80 Bella Strada	11,501	0	0	0	0	11,501		11,501		
663 CFD #74B Citrus/Summit	184,859	0	0	0	0	184,859		184,859		
664 CFD #86 Etiwanda Ridge	975,717	0	0	0	0	975,717		975,717		
665 CFD #85 The Meadows	5,904	0	0	0	0	5,904		5,904		
666 CFD #88 Sierra Crest II	98,635	0	0	0	0	98,635		98,635		
667 CFD #89 Belrose	91,566	0	0	0	0	91,566		91,566		
668 CFD #90 Summit @ Rosena Ph I	10,600,446	0	0	0	(19,680)	10,580,766		10,580,766		
669 CFD #95 Summit @ Rosena II	5,938,090	0	0	0	(80,498)	5,857,592		5,857,592		
670 CFD #87 El Paseo	972,593	0	0	0	(97,130)	875,463		875,463		
671 CFD #106 Mountain View	100,406	0	0	0	(75,070)	25,336		25,336		
672 CFD #99 The Retreat	3,358,852	0	0	0	(28,300)	3,330,552		3,330,552		
673 CFD #100 Victoria	3,863,529	0	0	0	(7,772)	3,855,757		3,855,757		
674 CFD #111 Monterado	7,186,664	0	0	0	(1,910,560)	5,276,104	(14,600)	5,261,504		
675 CFD#107 Highland	0	3,653,668	0	(267,456)	(671,660)	2,714,552	(8,000)	2,706,552		
676 CFD#109 Narra Hills	0	37,059,417	0	(549,427)	(5,455,660)	31,054,330	(19,531,559)	11,522,771		
677 CFD #112 The Gardens Phase One	0	30,989,616	0	(1,593,227)	(553,645)	28,842,744		28,842,744		
Total Capital Project Funds	\$ 187,510,953	\$ 102,338,001	\$ 21,035,551	\$ (144,261,595)	\$ (9,713,915)	\$ 156,908,995	\$ (19,419,094)	\$ 137,489,901		
Enterprise Funds:										
701 Sewer Maintenance & Operations	\$ 10,913,811	\$ 31,165,000	\$ -	\$ (28,341,298)	\$ (2,266,640)	\$ 11,470,873	\$ -	\$ 11,470,873		
702 Sewer Capital Projects	2,812,692	300,000	0	(370,014)	(155,350)	2,587,328		2,587,328		
703 Sewer Replacement	8,260,896	1,000,000	146,210	(8,568,274)	(107,170)	731,662	705	732,367		
710 Water Utility	854,085	0	0	0	0	854,085		854,085		
720 Stage Red	258,953	50,000	0	(250,200)	0	58,753	-	58,753		
Total Enterprise Funds	\$ 23,100,437	\$ 32,515,000	\$ 146,210	\$ (37,529,786)	\$ (2,529,160)	\$ 15,702,701	\$ 705	\$ 15,703,406		
Internal Service Fund:										
751 FLEET OPERATIONS	\$ 19,109,563	\$ 8,457,590	\$ 2,606,600	\$ (14,671,292)	\$ -	\$ 15,502,461	\$ 22,666	\$ 15,525,127		
Total Internal Service Funds	\$ 19,109,563	\$ 8,457,590	\$ 2,606,600	\$ (14,671,292)	\$ -	\$ 15,502,461	\$ 22,666	\$ 15,525,127		
TOTAL ALL FUNDS	\$ 355,234,864	\$ 352,686,342	\$ 55,962,703	\$ (453,338,527)	\$ (28,896,902)	\$ 281,648,480	\$ (29,629,517)	\$ 252,018,963		

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## General Fund - Recommended Adjustments

Fiscal Year 2024/2025

Fund	Organization Project #	Dept	Organization/Project Description	Object	Object Description	Appropriations	Revenues	Transfers In	Transfers Out	FB Impact	Reason
<b>101</b>	<b>General Fund</b>					(262,415)	770,312	59,809	30,000	1,062,536	
<b>Revenue Adjustments</b>											
10128000	FN	Management Services	5062	Transaction Use Tax			78,297			78,297	Update revenue forecasts to reflect the passage of Measure T
10128000	FN	Management Services	6310	Interest - Investments			956,825			956,825	Update revenue forecasts to reflect receipts to date
10130105	DS	HomelessPrevent Center	5317	County - Special Proj		(400,000)				(400,000)	Defund revenue and record to Fund #301 for SB County Contribution File #25-0126, CC approved 3/25/25
10140100	PD	Administrative Services	6025	Prohibited Call Fine		(40,000)				(40,000)	Decrease revenues for prohibited call fees realized
10140200	PD	Field Services-Admin	6029	System Report Fee			2,000			2,000	Increase revenues for vehicle repossession fees realized
10140200	PD	Field Services-Admin	6475	Reimb Exp - Police			1,040			1,040	Increase revenues for block party fees realized
10140200	PD	Field Services-Admin	6900	Operating Transfers In				59,809		59,809	Xfer from Fund #401 for Police services
10140231	PD	Patrol Units	5390	Misc Grant Reimb			18,000			18,000	Increase revenues for SART reimbursement
10140231	PD	Patrol Units	6475	Reimb Exp - Police			2,000			2,000	Increase revenues for misc events officer reimbursement
10140493	PD	Property	6035	Confiscated Firearms Fee			3,000			3,000	Increase revenues for confiscated firearm fees realized
<b>Offsetting Adjustments</b>											
10137404	PW&E	Land Development	8116	Plan Check		(30,000)				30,000	Decrease appropriations for WGMP NV5 review
10137404	PW&E	Land Development	8790	Operating Transfer Out					30,000	(30,000)	Xfer to Fund #125 for WGMP NV5 review
10140492	PD	Dispatch	6480	Miscellaneous Reimb			149,150			149,150	Increase revenues and appropriations for service agreement and battery backup
10140492	PD	Dispatch	8030	Equipment Maintenance		149,150				(149,150)	
<b>New Requests (One-Time)</b>											
10128200	FN	Accounting	8130	Other Professional Svcs		40,685				(40,685)	Increase appropriations for dta CFD analyst svcs
10130105	DS	HomelessPrevent Res & Care C	8130	Other Professional Svcs		(500,000)				500,000	Defund appropriations and record to Fund #301 for SB County Contribution File #25-0126, CC approved 3/25/25
10137202	PW&E	Parks	8130	Other Professional Svcs		57,750				(57,750)	Increase appropriations for PE trail lighting replacement
10140300	PD	Special Operations-Admin	8420	Lease Expense - Principal		20,000				(20,000)	Increase appropriations for Metolink Transit Center surveyance systems File # 25-0088, CC approved 2/25/25

## Third Quarter Budget Status Report - 2024/2025

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## Other Funds - Recommended Adjustments

## Fiscal Year 2024/2025

Fund	Organization Project #	Dept	Organization/Project Description	Object	Object Description	Appropriations	Revenues	Transfers In	Transfers Out	FB Impact	Reason
<b>104 Office of Emergency Svcs</b>						62,603	62,603	-	-	-	
	10420010	AS	Office of Emergency Svcs	6835	Contribution From FFD		62,603			62,603	} Contribution From Fire and increase appropriations for Line } Fire personnel and operating expenditures
	20000002-104-A	AS	Line Fire 2024		Various Personnel Accounts	30,494				(30,494)	
	20000002-104-A	AS	Line Fire 2024		Various Operating Accounts	32,109				(32,109)	
<b>106 Self-Insurance</b>						(2,405,271)	31,691	-	-	2,436,962	
	10615001	HR	Workers' Compensation	6429	Workers' Comp Charges		30,655			30,655	Increase revenues for Workers Comp allocation
	10615200	HR	Risk Liability	6428	Risk Liability Charges		1,036			1,036	Increase revenues for Risk Liability allocation
	10615200	HR	Risk Liability	8026	Settlement Claim	(2,405,271)				2,405,271	Decrease appropriations to rightsize budget for FY24-25 settlements
<b>108 Supplemental Retirement</b>						805,620	-	-	-	(805,620)	
	10815103	HR	Supplemental Retirement	7015	PERS Retirement-F/T	805,620				(805,620)	Increase appropriations for UAL pre-funding per fund balance policy
<b>110 GF Operating Projects</b>						(6,910)	-	-	-	6,910	
	11040299	PD	Special Operations Project		Various Personnel Accounts	(6,910)				6,910	POA contract negotiation correction
<b>125 Storm Water Compliance</b>						30,000	-	30,000	-	-	
	12537401	PW&E	Plan Check Engineering	6900	Operating Transfers In			30,000		30,000	} Xfer from GF #101 and Increase appropriations for WGMP } NV5 review
	12537401	PW&E	Plan Check Engineering	8130	Other Professional Svcs	30,000				(30,000)	
<b>246 Measure I 2010-2040 Local</b>						(438,815)	-	-	-	438,815	
	37600002-246-A	PW&E	W Liberty Parkway/Miller TS		Various C Overtime	(93,478)				93,478	Project complete, return remaining funds to FB
	37600023-246-A	PW&E	Fiber Optic / Heritage Cir & Sierra		Various Personnel Accounts	(11,793)				11,793	} Project complete, return remaining funds to FB
	37600023-246-A	PW&E	Fiber Optic / Heritage Cir & Sierra		Various Operating Accounts	(64,744)				64,744	
	37600024-246-A	PW&E	Kathy Binks Elem. Sch. SRTS TDA 21		Various Operating Accounts	(124,556)				124,556	Project complete, return remaining funds to FB
	37600042-246-A	PW&E	Westgate at Cherry and Victoria Ave	8329	Other Construction	(140,000)				140,000	Defund Westgate Cherry Victoria project
	37603310-246-A	PW&E	Valley/Oleander Traffic Signal	8130	Other Professional Svcs	(4,244)				4,244	Project complete, return remaining funds to FB
<b>301 Grants</b>						2,238,704	2,266,041	1,733	-	29,070	
	30137221	PW&E	Dwnt Furn-Reyes Funding	5367	State Grant		100,000			100,000	} C/O Dwnt Furn-Reyes grant funding
	30137221	PW&E	Dwnt Furn-Reyes Funding	8010	Departmental Expense	100,000				(100,000)	
	30100001-301-A	DS	Beverage Recycling Grant	5637	Fee - Variance		2,414			2,414	} Increase revenues and appropriations for grant amount } realized
	30100001-301-A	DS	Beverage Recycling Grant	8010	Departmental Expense	2,414				(2,414)	
	30200018-301-A	DS	CalHome Program 2021		Various Revenue Accounts		49,092			49,092	} Adjust revenues and appropriations for CalHome Proram } 2021 cleanup
	30200018-301-A	DS	CalHome Program 2021	6900	Operating Transfers In			1,733		1,733	
	30200018-301-#	DS	CalHome Program 2021		Various Operating Accounts	50,825				(50,825)	
	37600029-301-D	PW&E	Date Elementary School SRTS (ATP)	5390	Misc Grant Reimb		1,609,000			1,609,000	} Increase revenues and appropriations for Date Elementary } ATP Grant File # 25-0138, CC approved 4/22/25
	37600029-301-D	PW&E	Date Elementary School SRTS (ATP)		Various Operating Accounts	1,609,000				(1,609,000)	
	37600041-301-C	PW&E	Homelessness Prevent Res & Care Ctr	5317	County - Special Proj		400,000			400,000	} Record revenue from GF # 101 and increase appropriations } for SB County Homeless Operations Contribution File #25-0110, CC approved 3/25/2025
	37600041-301-C	PW&E	Homelessness Prevent Res & Care Ctr	5317	County - Special Proj		100,000			100,000	
	37600041-301-C	PW&E	Homelessness Prevent Res & Care Ctr	8130	Other Professional Svcs	500,000				(500,000)	
	30137699	PW&E	Capital Projects	5367	State Grant		5,535			5,535	} Project C/O update
	30137699	PW&E	Capital Projects	8130	Other Professional Svcs	(23,535)				23,535	
<b>302 ARPA - City</b>						-	(12,449,657)	-	-	(12,449,657)	
	30237699	PW&E	Capital Projects	5311	Federal Grant Funds		(12,449,657)			(12,449,657)	Project C/O update

## Third Quarter Budget Status Report - 2024/2025

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## Other Funds - Recommended Adjustments

Fiscal Year 2024/2025

Fund	Organization Project #	Dept	Organization/Project Description	Object	Object Description	Appropriations	Revenues	Transfers In	Transfers Out	FB Impact	Reason
<b>303 TDA/Article 3</b>						(2,657)	-	-	-	2,657	
	37600024-303-A	PW&E	Kathy Binks Elem. Sch. SRTS TDA 21	Various	Operating Accounts	(2,657)				2,657	Project complete, return remaining funds to FB
<b>322 State COPS AB 3229</b>						-	345,000	-	-	345,000	
	32240237	PD	State COPS AB 3229	5324	State COPS AB3229		345,000			345,000	Increase revenues for State COPS AB 3229 grant
<b>362 CDBG</b>						18,267	20,000	-	1,733	-	
	30200003-362-A	DS	CDBG Project TBD	5328	CDBG Grant Reimbursement		20,000			20,000	} Increase revenues and appropriations for program income (20,000) } spent
	30200003-362-A	DS	CDBG Project TBD	8329	Other Construction	20,000					
	30200004-362-G	DS	Housing Rehab Loan Program	8119	Construction-Non-Capital	(1,733)				1,733	} Adjust revenues and appropriations for CalHome Proram (1,733) } 2021 cleanup
	30200004-362-G	DS	Housing Rehab Loan Program	8790	Operating Transfer Out				1,733		
<b>401 CFD #1 Southridge Village</b>						86,219	-	-	59,809	(146,028)	
	40128100	FN	Fire Protection	8745	Contribution To FFD	86,219				(86,219)	} Contribution to Fund #210 for Fire services (59,809) } Xfer to GF #101 for Police services
	40140112	PD	Police Services	8790	Operating Transfer Out				59,809		
<b>406 CFD #6 The Landings</b>						27,702	-	-	-	(27,702)	
	40637209	PW&E	Landscape Maintenance	8130	Other Professional Svcs	27,702				(27,702)	Increase appropriations for sidewalk repairs Giffillan Dr. & Rockwell Ave
<b>435 CFD #35M</b>						64,201	-	-	-	(64,201)	
	43537202	PW&E	Parks	8130	Other Professional Svcs	64,201				(64,201)	Increase appropriations for playground rubber surfacing Coyote Canyon Park
<b>601 Capital Reinvestment</b>						(440,562)	-	306,959	1,000,000	(252,479)	
	26101021-601-A	IT	ERP System Replacement	Various	Operating Accounts	(360,102)				360,102	Project complete, return remaining funds to FB
	26101022-601-A	IT	Permit System	8130	Other Professional Svcs	(2,000)				2,000	Project complete, return remaining funds to FB
	60130000	DS	Special Projects	8790	Operating Transfer Out				1,000,000	(1,000,000)	Loan to Fund #720 for Stage Red operations
	37600036-601-D	PW&E	Septic to Sewer Conversion	8329	Other Construction	108,000				(108,000)	Increase appropriations for Arrow Sewer Main IEUA support
	37600062-601-A	PW&E	Spring St Improvement	8329	Other Construction	(493,419)				493,419	Project complete, return remaining funds to FB
	37600084-601-A	PW&E	Regional Navigation Center	6900	Operating Transfers In			306,959		306,959	} Xfer from Fund #602 and increase appropriations for (150,000) } purchase of 11109 Jasmin St. (156,959) }
	37600084-601-A	PW&E	Regional Navigation Center	8113	Design/Architect Service	150,000					
	37600084-601-A	PW&E	Regional Navigation Center	8329	Other Construction	156,959					
<b>602 Capital Improvement</b>						317,631	624,491	-	306,959	(99)	
	60230000	DS	Special Projects	6450	Miscellaneous Income		2,481			2,481	Increase revenues based on receipts to date
	60230000	DS	Special Projects	6623	Proceeds - Properties		622,010			622,010	} Increase revenues and appropriations for vacant land sale (624,590) } and purchase (DTR-7200334)
	60230000	DS	Special Projects	8310	Land	624,590					
	60230000	DS	Special Projects	8310	Land	(306,959)				306,959	} Decrease apporpriations and Xfer to Fund #601 purchase (306,959) } 11109 Jasmin St.
	60230000	DS	Special Projects	8790	Operating Transfer Out				306,959		
<b>630 Circulation Mitigation</b>						(34,921)	-	-	-	34,921	
	37600002-630-A	PW&E	W Liberty Parkway/Miller TS	8331	Construction Contingency	(3,079)				3,079	Project complete, return remaining funds to FB
	37603351-630-A	PW&E	I-10 Citrus Landscape (3088)	Various	Operating Accounts	(31,842)				31,842	Project complete, return remaining funds to FB
<b>634 Library Cap Improvement</b>						(99,472)	-	-	-	99,472	
	37600034-634-A	PW&E	Lewis Library Wall	8329	Other Construction	(99,472)				99,472	Project complete, return remaining funds to FB

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## Other Funds - Recommended Adjustments

Fiscal Year 2024/2025

Fund	Organization Project #	Dept	Organization/Project Description	Object	Object Description	Appropriations	Revenues	Transfers In	Transfers Out	FB Impact	Reason
<b>635 Parks Development</b>						(253,250)	-	-	-	253,250	
	37604250-635-A	PW&E	South Fontana Sports Park	8329	Other Construction	(253,250)				253,250	Project complete, return remaining funds to FB
<b>674 CFD #111 Monterado</b>						14,600	-	-	-	(14,600)	
	67437000	PW&E	CFD #111 Monterado	8721	Costs Of Issuance	14,600				(14,600)	Increase appropriations for trustee and bond counsel cost of issuance charges
<b>675 CFD#107 Highland</b>						8,000	-	-	-	(8,000)	
	67537000	PW&E	CFD #107 Highland	8721	Costs Of Issuance	8,000				(8,000)	Increase appropriations for trustee and bond counsel cost of issuance charges
<b>676 CFD#109 Narra Hills</b>						19,531,559	-	-	-	(19,531,559)	
	67637000	PW&E	CFD #109 Narra Hills	8330	Construction Contracts	19,498,182				(19,498,182)	Increase appropriations for construction reimbursement charges
	67637000	PW&E	CFD #109 Narra Hills	8721	Costs Of Issuance	33,377				(33,377)	Increase appropriations for trustee and bond counsel cost of issuance charges
<b>703 Sewer Replacement</b>						(705)	-	-	-	705	
	37104332-703-A	PW&E	Valley Blvd/Kaiser Sewer	8112	Engineering Services	(705)				705	Project complete, return remaining funds to FB
<b>720 Stage Red</b>						1,100,000	100,000	1,000,000	-	-	
	72030100	DS	Stage Red Admin	6450	Miscellaneous Income		100,000			100,000	} SB County Stage Red Local Arts Events Contribution File #25-0126, CC approved 3/25/2025
	72030100	DS	Stage Red Admin	8130	Other Professional Svcs	100,000				(100,000)	
	72030104	DS	Pending	6900	Operating Transfers In			1,000,000		1,000,000	} Loan from Fund #601 and increase appropriations for Stage Red operations
	72030104	DS	Pending	8092	Expenses - ASM	1,000,000				(1,000,000)	
<b>751 Fleet Operations</b>						-	129,265	(106,599)	-	22,666	
	75137305	PW&E	Fleet Maintenance	6710	Motorpool Charges		22,666			22,666	Increase revenues for vehicle O&M allocation
	75137306	PW&E	Fleet Replacement	6835	Contribution From FFD		106,599			106,599	} Adjust xfers to contribution accounts
	75137306	PW&E	Fleet Replacement	6900	Operating Transfers In			(106,599)		(106,599)	