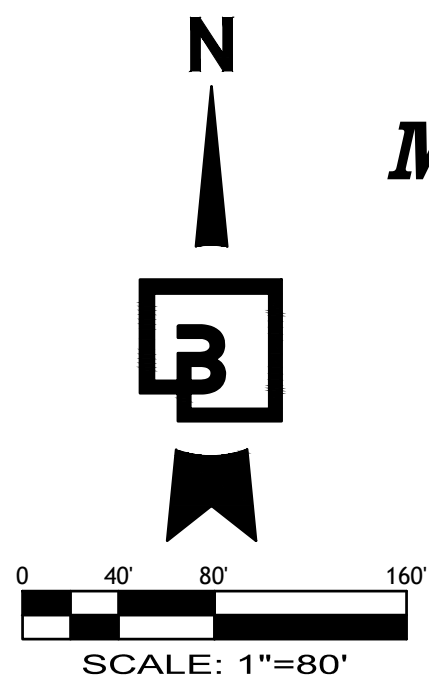


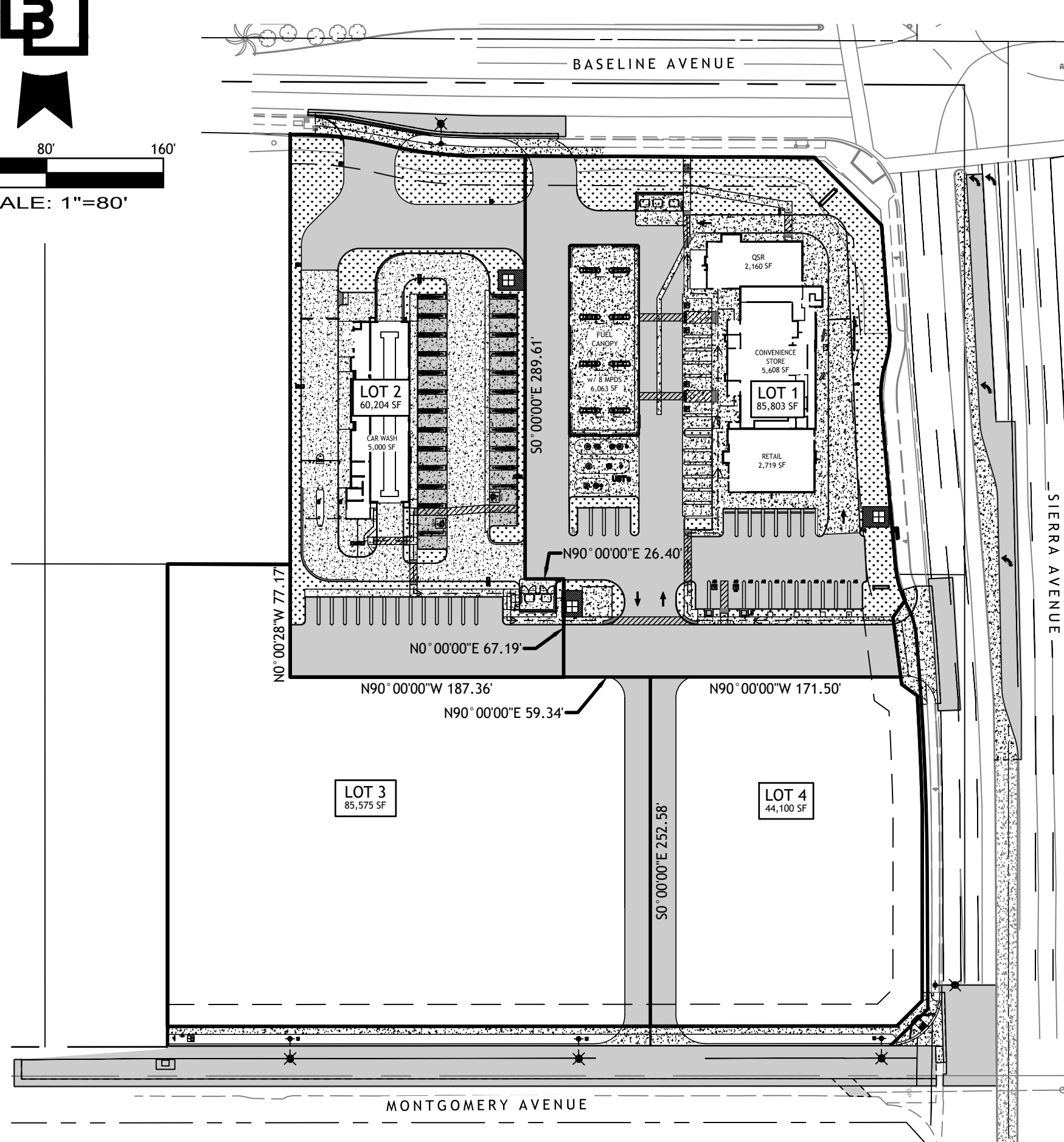
GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MIN. ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER, AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF THE PROJECT.
12. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS.
13. CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

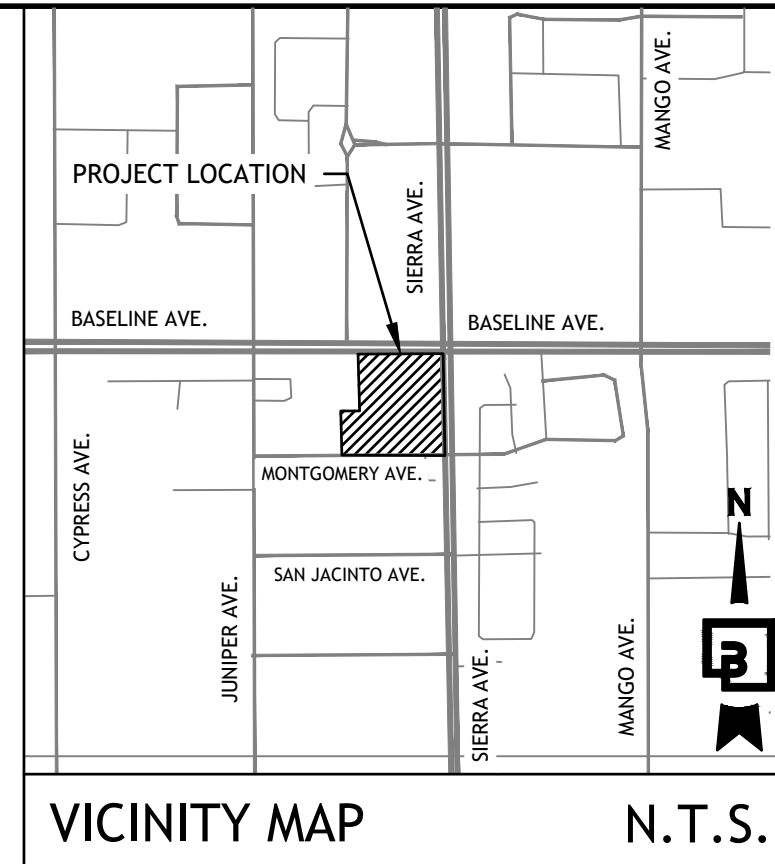


COVER SHEET  
FOR  
**MIDLAND INVESTMENTS, LLC.**

PTN. N.E. 1/4 SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY



Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	TENTATIVE PARCEL MAP NO.20761
C2.0	SITE PLAN
C3.0	UTILITY PLAN
C4.0	DRAINAGE PLAN
C5.0	GRADING PLAN
C5.1	GRADING CROSS SECTIONS
C5.2	TYPICAL STREET SECTIONS



PROJECT DATA	
LOCATION:	SWC SIERRA AVE. AND BASELINE AVE FONTANA, CALIFORNIA
LOT AREA:	±275,682 SF (6.33 ACRES)
	LOT 1 AREA: 85,803 SF/1.97 AC
	LOT 2 AREA: 60,204 SF/1.38 AC
	LOT 3 AREA: 85,575 SF/1.97 AC
	LOT 4 AREA: 44,100 SF/1.01 AC
<b>BUILDING &amp; PARKING SETBACKS:</b>	
MAJOR HIGHWAY SETBACK:	20 FEET (SIERRA AVE & BASELINE AVE)
LOCAL STREET SETBACK:	15 FEET (MONTGOMERY AVE)
SIDE & REAR SETBACK:	0 FEET
<b>AREA SUMMARY:</b>	
SITE AREA:	275,682 SF/6.33 AC
PAVED AREA:	109,710 SF/2.52 AC
LANDSCAPED AREA:	26,474 SF/ 0.61 AC
SODDED AREA:	121,200 SF/2.78 AC
BUILDING AREA:	15,752 SF
MINIMUM LANDSCAPED REQUIRED:	15% OF SITE NOT INCLUDING BUILDING AREA
LANDSCAPING AREA REQUIRED:	21,901 SF/0.50 AC
LANDSCAPING AREA PROVIDED:	26,474 SF /0.61 AC
MINIMUM PARKING INTERIOR LANDSCAPING:	30% OF TOTAL REQUIRED LANDSCAPING
PARKING LANDSCAPING REQUIRED:	6,570 SF/0.15 AC
PARKING LANDSCAPED PROVIDED:	7,052 SF/0.16 AC
<b>PARKING REQUIREMENTS (LOT 1 &amp; LOT 2):</b>	
<b>PARKING SETBACKS:</b>	
MAJOR HIGHWAY SETBACK:	20 FEET (SIERRA AVE. & BASELINE AVE.)
LOCAL STREET SETBACK:	15 FEET (MONTGOMERY AVE)
SIDE & REAR SETBACK:	0 FEET
<b>PARKING REQUIREMENTS:</b>	
CONVENIENCE STORE (INCLUDING FUELING STATION):	25 SPACES PER 5,608 SF TOTAL AT 1 SPACE PER 225 SF
QSR PATIO:	2 SPACES FOR 303 SF TOTAL AT 1 SPACE PER 200 SF
QSR DINING:	22 SPACES FOR 2,160 SF TOTAL AT 1 SPACE PER 100 SF
RETAIL:	16 SPACES PER 2,719 SF TOTAL 1 SPACE PER 175 SF FOR THE FIRST 5,000 SF GFA
CAR WASH (ATTENDED): 1 SPACE PER EMPLOYEE AND 12 PARKING SPACES FOR DRYING AND CLEANING	40 SPACES TOTAL, 23 SPACES FOR DRYING AND CLEANING, 1 SPACE PER EMPLOYEE
<b>TOTAL SPACES REQUIRED: 79 SPACES</b>	<b>TOTAL SPACES PROVIDED: 93 SPACES</b> (16 SPACES UNDER FUELING CANOPY)
<b>ACCESSIBLE SPACES REQUIRED - 4 SPACES</b>	<b>PROVIDED - 8 SPACES</b>
<b>LOADING SPACES:</b>	
LOADING-FUELING STATION:	1 TRACTOR TRAILER SPACE
LOADING-RETAIL:	1 TRUCK SPACE
<b>BICYCLE PARKING RETAIL:</b>	
	2 SPACES FOR BUILDINGS UP TO 5,000 SQ. FT.
	4 SPACES FOR BUILDINGS 4,001 - 15,000 SQ. FT.
	1 ADDITIONAL SPACE FOR EACH ADDITIONAL 5,000 SF
CONVENIENCE STORE:	4 SPACES
QSR:	2 SPACES
RETAIL:	2 SPACES
<b>TOTAL BIKING SPACES REQUIRED - 8 SPACES</b>	<b>PROVIDED - 8 SPACES</b>

**OWNER**

MIDLAND OIL GROUP, LLC  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO, CA 91764  
PHONE: (425) 251-6222

**SURVEYOR**

ANDREASON ENGINEERING, INC.  
580 NORTH PARK AVENUE  
POMONA, CA 91766  
PHONE: (909) 623-1595  
FAX: (909) 620-0016  
CONTACT: ERIC ANDREASEN, P.L.S.

**ENGINEER/LANDSCAPE/ARCHITECT**

BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. SOUTH  
KENT, WA 98032  
PHONE: (425) 251-6222  
FAX: (425) 251-8782  
CONTACT: MICHAEL HERSETH, P. E./JEFF VARLEY, R.L.A./DAN GOALWIN, R.A.

**ELECTRICAL PROVIDER**

SOUTHERN CALIFORNIA EDISON COMPANY

**DOMESTIC WATER PROVIDER**

FONTANA WATER COMPANY

**GAS PROVIDER**

SOUTHERN CALIFORNIA GAS COMPANY

**SEWAGE PROVIDER**

INLAND EMPIRE UTILITIES AGENCY

**DRAINAGE DISTRICT**

CITY OF FONTANA

**REFUSE PROVIDER**

BURRTEC WASTE

**COMMUNICATIONS PROVIDERS**

AT&T, CHARTER COMMUNICATIONS, ZIPLY FIBER

**PROJECT INFO**

**LEGAL DESCRIPTION:**  
LOTS 1, 2, 3 AND THE EAST 1/4 OF THE SOUTH 1/4 OF LOT 4 OF TRACT NO. 2085, MAGNOLIA ACRES, IN THE CITY OF FONTANA, COUNTY OF SAN BERNADINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 30 PAGE 25 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BASIS OF BEARINGS:**  
THE BEARING OF N 89° 44' 00" W AS SHOWN FOR THE CENTERLINE OF BASELINE AVE. ON RECORD OF SURVEY FILED IN BOOK 62, PAGE 70 WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK:**  
THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE COUNTY OF SAN BERNADINO SURVEY GPS CONTROL MONUMENT NO. 20352. 2" IP W/BRASS CAP STAMPED SE CORNER S .32.

GPS CONTROL NO. 20352  
ELEVATION = 1408.668 FEET

**ASSESSOR PARCEL NUMBERS:**  
0241-051-01, 02, 16, 17, AND 32-0-00

**ZONING:**  
GENERAL COMMERCIAL (C-G, C-2)

**FLOOD ZONE:**  
PER FEMA FLOOD ZONE MAP SERVICE CENTER. PROJECT IN AREA 06071C8656H IS IN ZONE 'X', AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**EXISTING TOPOGRAPHIC/SURVEY INFORMATION NOTE:**

CERTIFIED BOUNDARY SURVEY & TOPOGRAPHIC MAP DATED SEPTEMBER 14, 2021 PERFORMED BY ANDREASEN ENGINEERING, INC. HAS BEEN PROVIDED TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. SITE DESIGN HAS BEEN BASED ON THE ABOVE REFERENCED SURVEY.

**ESTIMATED EARTHWORK QUANTITIES:**

CUT: 300 CY  
FILL: 17,450 CY  
NET: 17,150 CY (FILL)  
AREA TO BE DISTURBED: 6.3 AC  
EARTHWORK QUANTITIES ARE APPROXIMATE AND HIGHLY DEPENDENT ON SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHOULD PERFORM INDEPENDENT ESTIMATE FOR BIDDING.

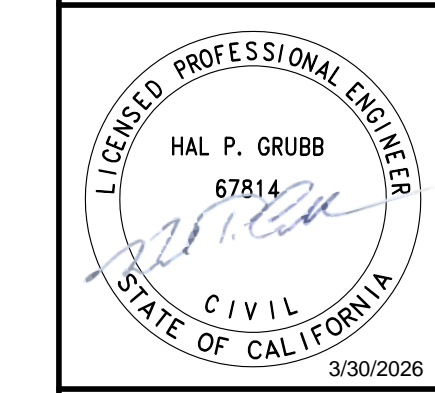
**LEGEND:**

PROPOSED	EXISTING
CURB AND GUTTER	SURVEY MONUMENT (AS NOTED)
BARRIER CURB	SECTION CORNER (AS NOTED)
CONCRETE	SET REBAR/CAP (AS NOTED)
ASPHALT	FOUND REBAR/CAP (AS NOTED)
PLAYGROUND	SET 2"x2" HUB/TACK LINE STAKE
SAWCUT	MAG/WASHER OR LEAD/TACK (AS NOTED)
CONTOUR	BENCHMARK
WATER	LUMINAIRE (LUM.)
WATER METER	YARD LIGHT
STORM	ORNAMENTAL LIGHT
SANITARY	TRAFFIC SIGNAL LIGHTS
GAS	POWER METER
POWER	POWER POLE
PAINT STRIPE	JUNCTION BOX (AS NOTED)
TYPE 1 CATCH BASIN	TELEPHONE MANHOLE
TYPE 2 CATCH BASIN	CATCH BASIN (CB)
SANITARY SEWER CLEANOUT	STORM MANHOLE (SDMH)
SCREEN WALL	SANITARY SEWER MANHOLE (SSMH)
TELECOM	CLEANOUT (AS NOTED)
	GAS METER
	GAS VALVE
	WATER VALVE (WV)
	FAUCET
	FIRE HYDRANT(FH) / CONNECTION(FDC)
	WATER MANHOLE
	WATER METER
	BLOW-OFF / AIRVAC
	MONITOR WELL
	SIGN
	IRRIGATION SPRINKLER
	DIRECTIONAL ARROW
	ADA SYMBOL
	EXISTING CONTOURS
	CHAIN LINK FENCE
	WOOD FENCE
	HOGWIRE FENCE
	SILT FENCE
	METAL/IRON FENCE
	GUARD RAIL/CABLE FENCE
	WATER LINE
	GAS LINE
	STEAM LINE
	TELEPHONE LINE (OH) OR (UG)
	POWER LINE (OH) OR (UG)
	STORM LINE
	SEWER LINE
	ROCKERY
	KEYSTONE WALL
	DECIDUOUS TREE
	CONIFEROUS TREE
	CONCRETE
	GRAVEL/SAND (AS NOTED)
	ASPHALT
	BUILDING LINE
	<b>ABBREVIATIONS</b>
	(R#) REFERENCE SURVEYS
	(OH) OVERHEAD
	(UG) UNDERGROUND
	(TYP) TYPICAL
	(C) CALCULATED
	(M) MEASURED
	(UST) UNDERGROUND STORAGE TANK

Revision  
Appr.  
By  
Date  
No.

Title:  
**COVER SHEET**  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA

For:  
**MIDLAND INVESTMENTS LLC**  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764



Scale:	Horizontal: 1"=80'	Vertical: N/A
Designed: JG	Drawn: JB	Checked: MH
Approved: JG	Approved: MH	Date: 3/20/26

**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)

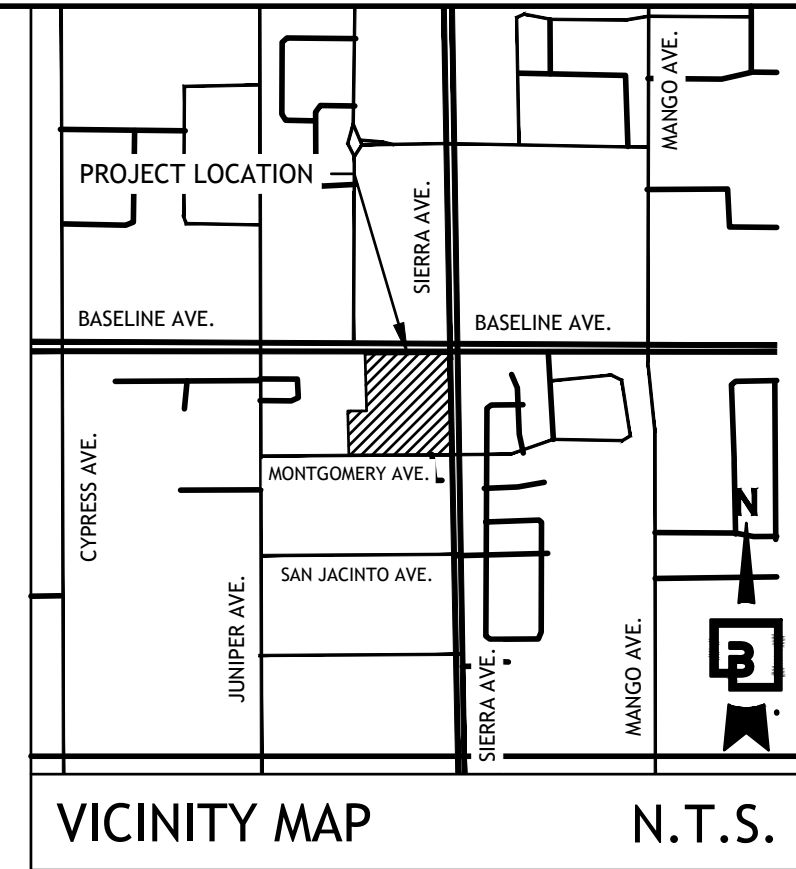
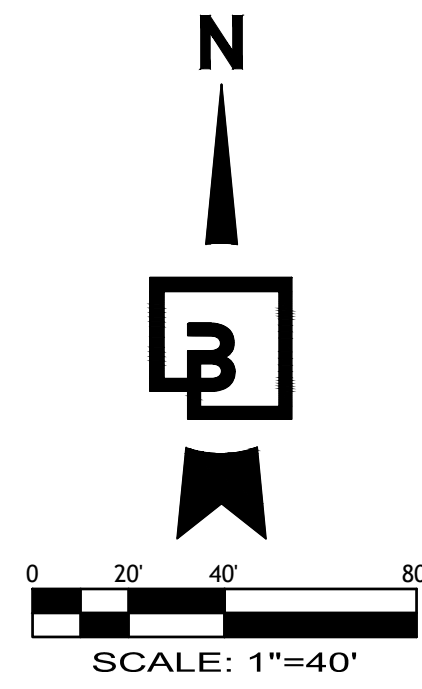
Job Number: **21786**  
Sheet: **C1.0** of **8**



TENTATIVE PARCEL MAP NO.20761

**MIDLAND INVESTMENTS, LLC.**

PTN. N.E. 1/4 SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNARDINO COUNTY



**OWNER**  
MIDLAND OIL GROUP, LLC  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO, CA 91764  
TEL: (425) 251-6222

**SURVEYOR**  
ANDREASEN ENGINEERING, INC.  
580 NORTH PARK AVENUE  
POMONA, CA 91786  
TEL: (909) 623-1595  
FAX: (909) 620-0016  
CONTACT: ERIC ANDREASEN, PLS.

**ENGINEER/LANDSCAPE ARCHITECT**  
BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. SOUTH  
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TEL: (425) 251-6222  
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R.L.A./DAN GOALWIN, R.A.

**DOMESTIC WATER PROVIDER**  
FONTANA WATER COMPANY

**SEWAGE PROVIDER**  
INLAND EMPIRE UTILITIES AGENCY

**DRAINAGE DISTRICT**  
CITY OF FONTANA

**ELECTRICAL PROVIDER**  
SOUTHERN CALIFORNIA EDISON COMPANY

**GAS PROVIDER**  
SOUTHERN CALIFORNIA GAS COMPANY

**REFUSE PROVIDER**  
BURRTEC WASTE

**COMMUNICATIONS PROVIDERS**  
AT&T, CHARTER COMMUNICATIONS, ZIPLY FIBER

**LEGAL DESCRIPTION**  
LOTS 1, 2, 3, AND THE EAST 1/2 OF THE SOUTH 1/2 OF LOT 4 OF TRACT NO. 2085, MAGNOLIA ACRES, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 30 PAGE 25 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BASIS OF BEARINGS**  
THE BEARING OF N. 89°44'00" W. AS SHOWN FOR THE CENTERLINE OF BASE LINE AVENUE ON RECORD OF SURVEY FILED IN BOOK 62, PAGE 70 WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCH MARK**  
THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE COUNTY OF SAN BERNARDINO SURVEY GPS CONTROL MONUMENT NO. 20352. 2" IP W/BRASS CAP STAMPED SE CORNER S.32.

**ASSESSOR PARCEL NUMBERS**  
0241-051-01, 02, 16, 17, AND 32-0-00

**ZONING**  
GENERAL COMMERCIAL (C-G, C-2)

**LOCATION**  
SWC SIERRA AVE AND BASELINE AVE  
FONTANA, CALIFORNIA

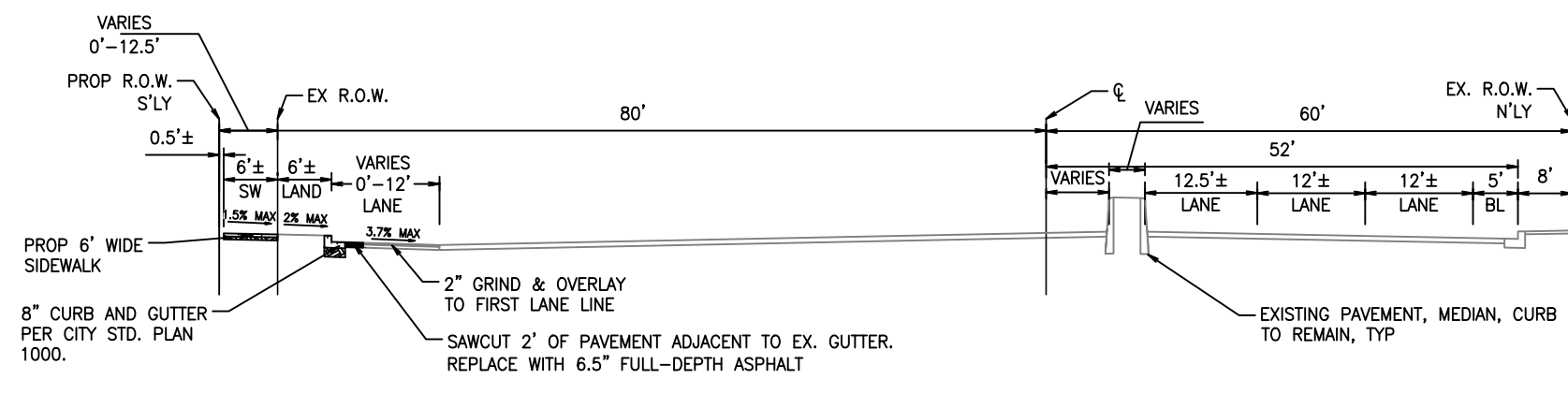
LOT AREA: 1284,280 S.F. (6.53 ACRES)

**BUILDING AND PARKING SETBACKS**  
MAJOR HIGHWAY SETBACK: 20 FEET (SIERRA AVE & BASELINE AVE)  
LOCAL STREET SETBACK: 15 FEET (MONTGOMERY AVE)  
SIDE & REAR SETBACK: 0 FEET

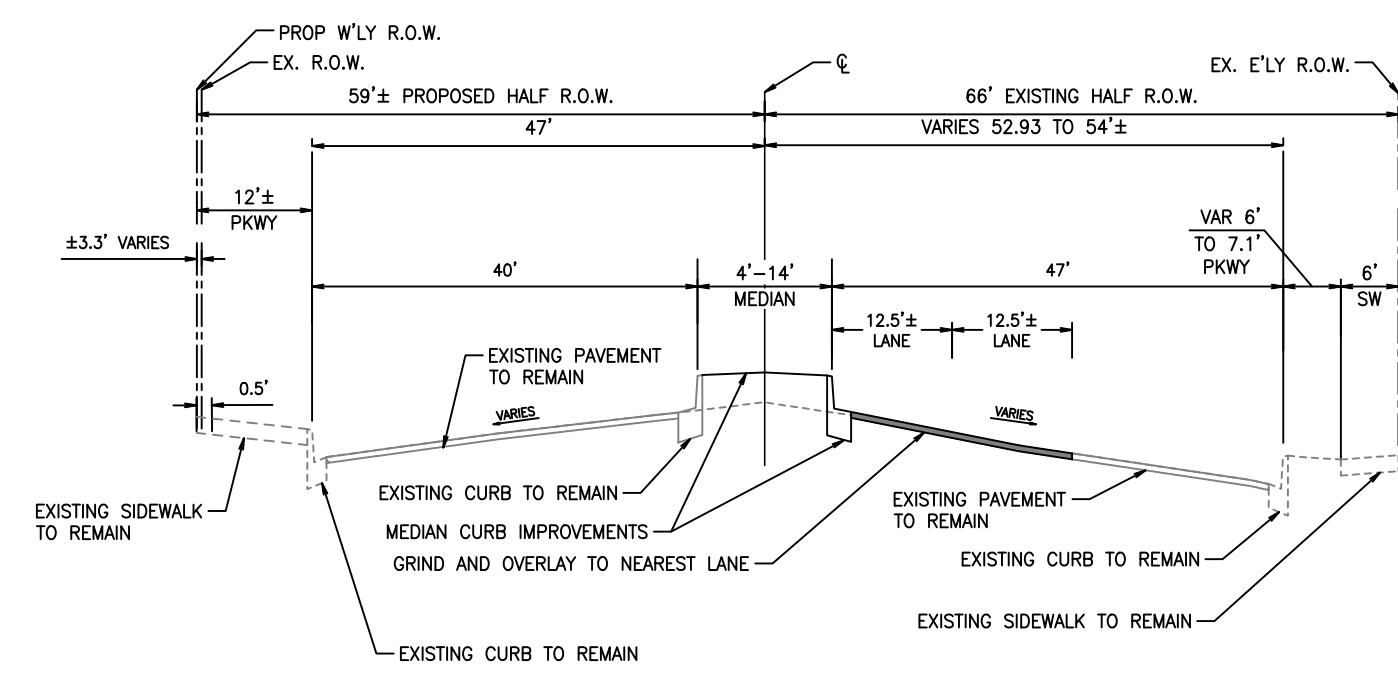
**ACCESS EASEMENT**  
ACCESS EASEMENTS TO BE PROVIDED THROUGH SITE VIA BLANKET ACCESS AGREEMENT. (NOT PLOTTABLE).

**EXISTING EASEMENT**  
1. FONTANA DEVELOPMENT COMPANY, A CORPORATION HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 17, 1919 IN BOOK 450 OF DEEDS, PAGE 330. (NOT PLOTTABLE).  
2. SOUTHERN CALIFORNIA EDISON COMPANY, A CALIFORNIA CORPORATION, HOLDER OF EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 13, 1926 AS BOOK 129, PAGE 256 OF OFFICIAL RECORDS.

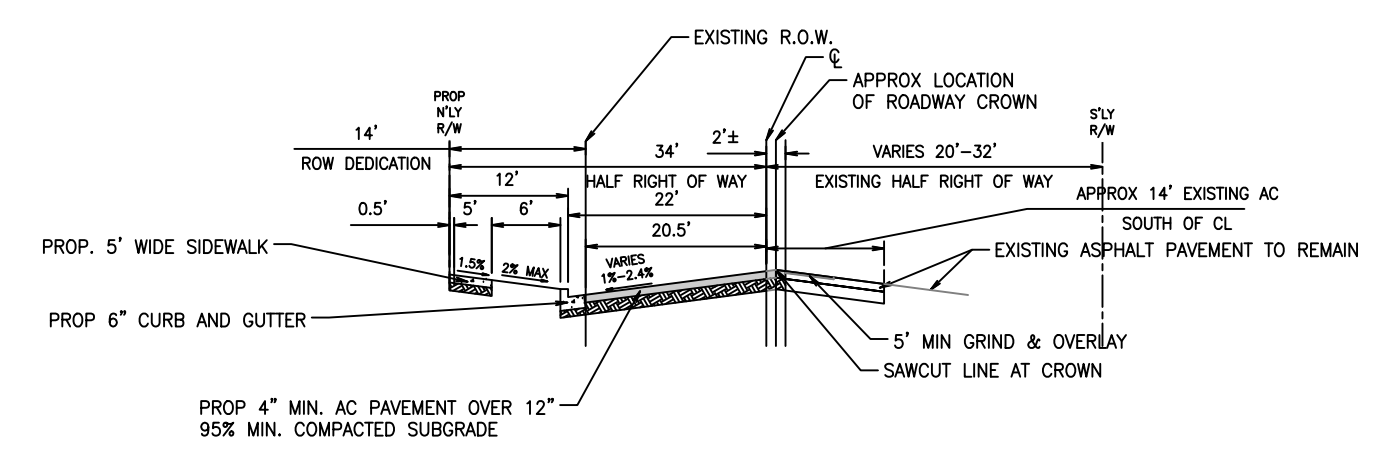
**PARCEL SUMMARY**  
LOT 1: 1.97 AC = 85,803 SF  
LOT 2: 1.38 AC = 60,204 SF  
LOT 3: 1.97 AC = 85,575 SF  
LOT 4: 1.01 AC = 44,100 SF  
TOTAL AREA: 2275,682 S.F. (6.33 ACRES)



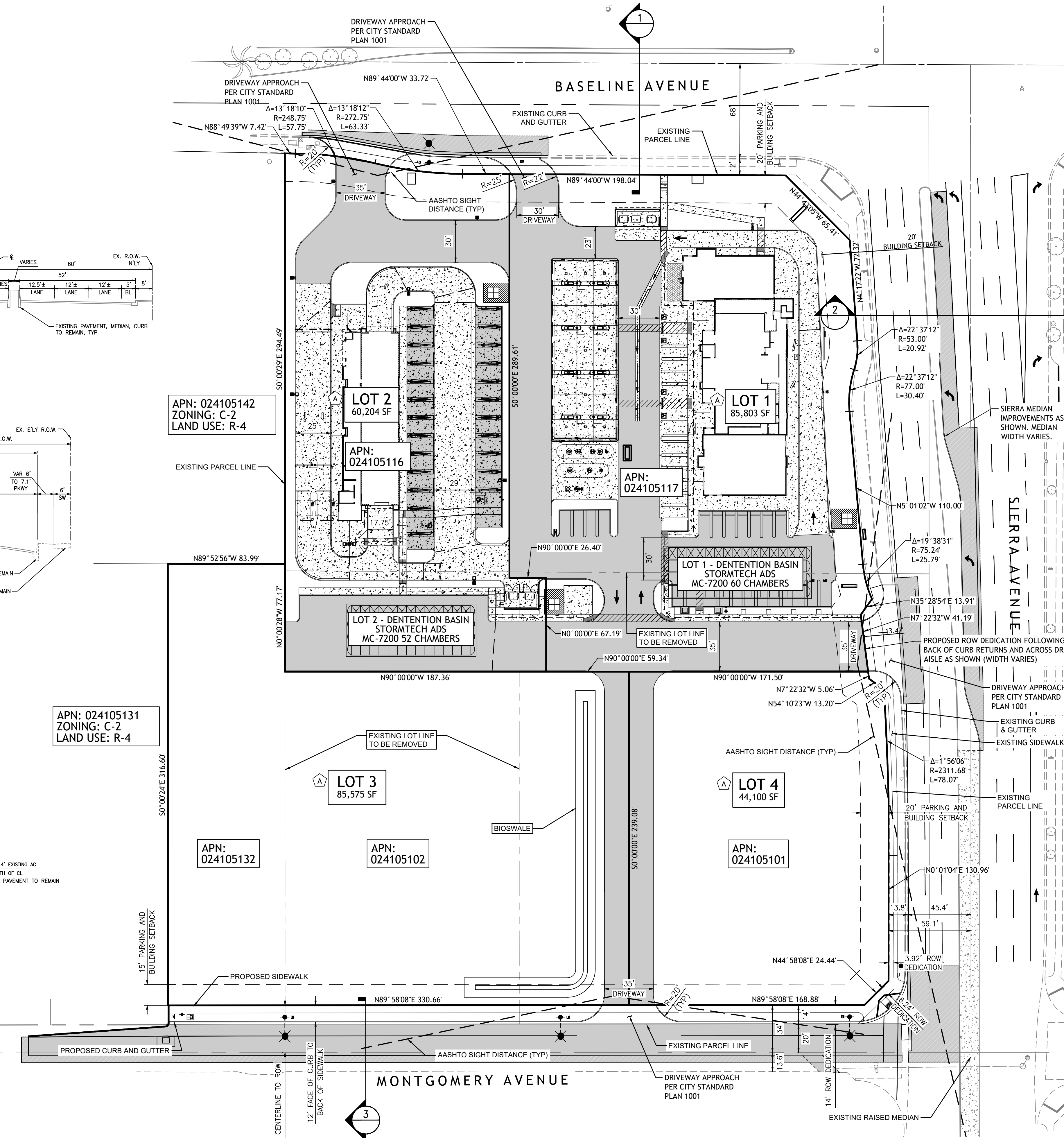
1 TYPICAL BASELINE AVENUE  
SCALE: NOT TO SCALE



2 TYPICAL SIERRA AVENUE  
SCALE: NOT TO SCALE



3 MONTGOMERY AVENUE  
SCALE: NOT TO SCALE



Revision

No.	Date	By	Clk.	Appr.

Title: **PRELIMINARY PARCEL EXHIBIT**  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA

For: **MIDLAND INVESTMENTS LLC**  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764

Scale:  
Horizontal: 1"=40'  
Vertical: N/A

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_  
Date: 3/30/26

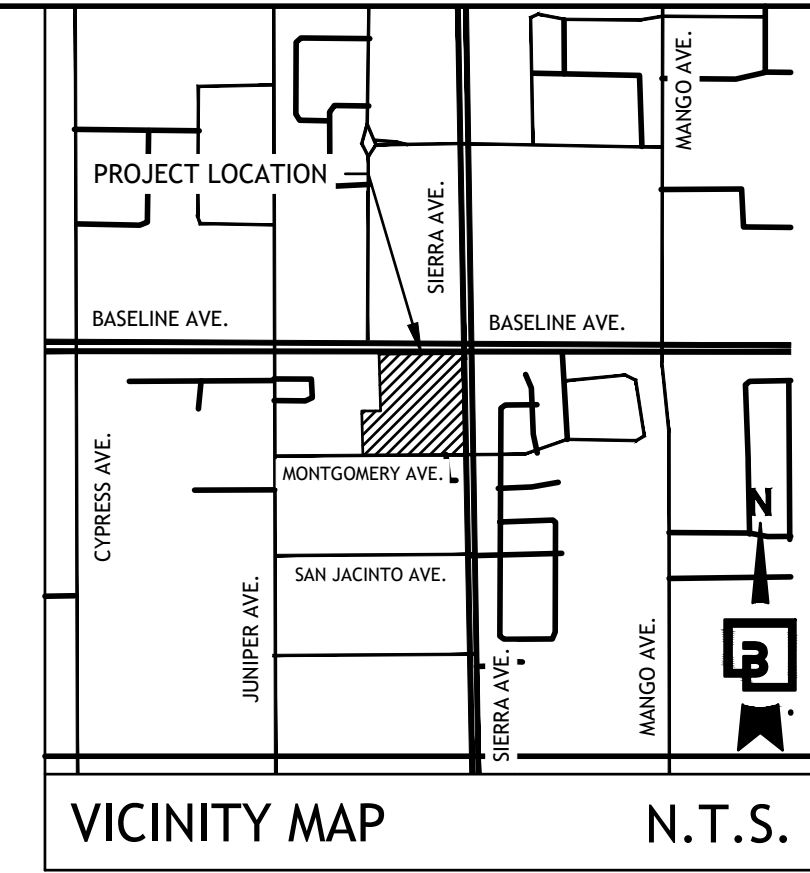
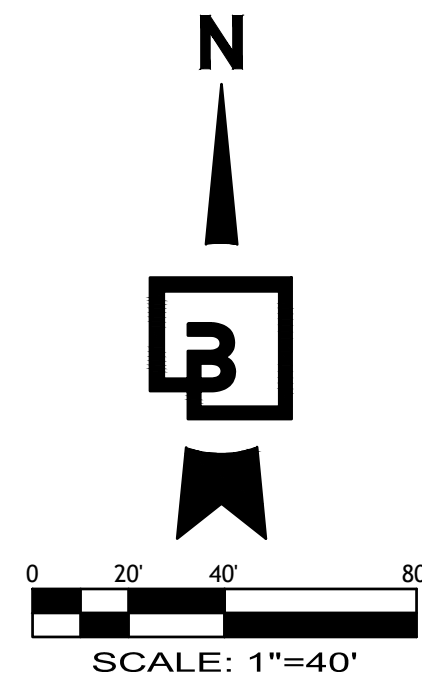
**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com

Job Number: **21786**  
Sheet: **C.1.1** of **8**

PL210008\21786\Engineering\Entitlement\_Submittal-Overall\Entitlement\_Parcel\_Map\21786-Overall\TPM.dwg 3/30/2026 10:28 AM JGARWIN

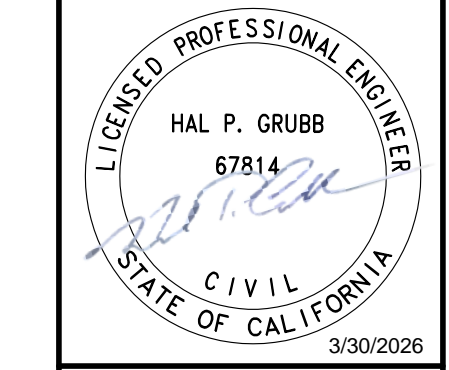
# SITE PLAN FOR **MIDLAND INVESTMENTS, LLC.**

PTN. N.E. 1/4, SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY



Title:  
**SITE PLAN**  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA

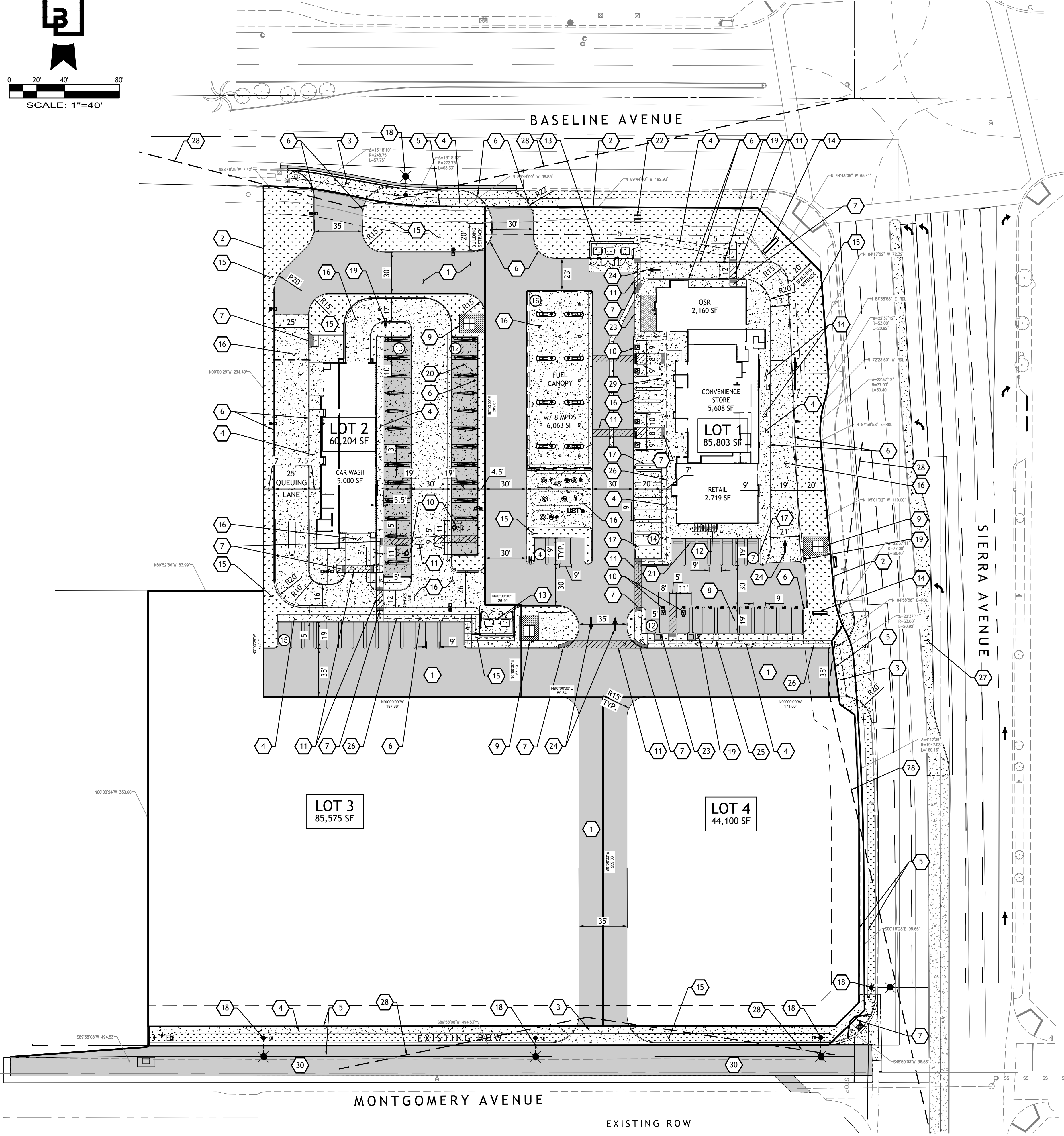
For:  
**MIDLAND INVESTMENTS LLC**  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764



Scale:	Horizontal	1"=40'	Vertical	N/A					
Designed	JG	Drawn	JB	Checked	MH	Approved	MH	Date	3/30/26

**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)

Job Number: **21786**  
Sheet: **C2.0** of **8**



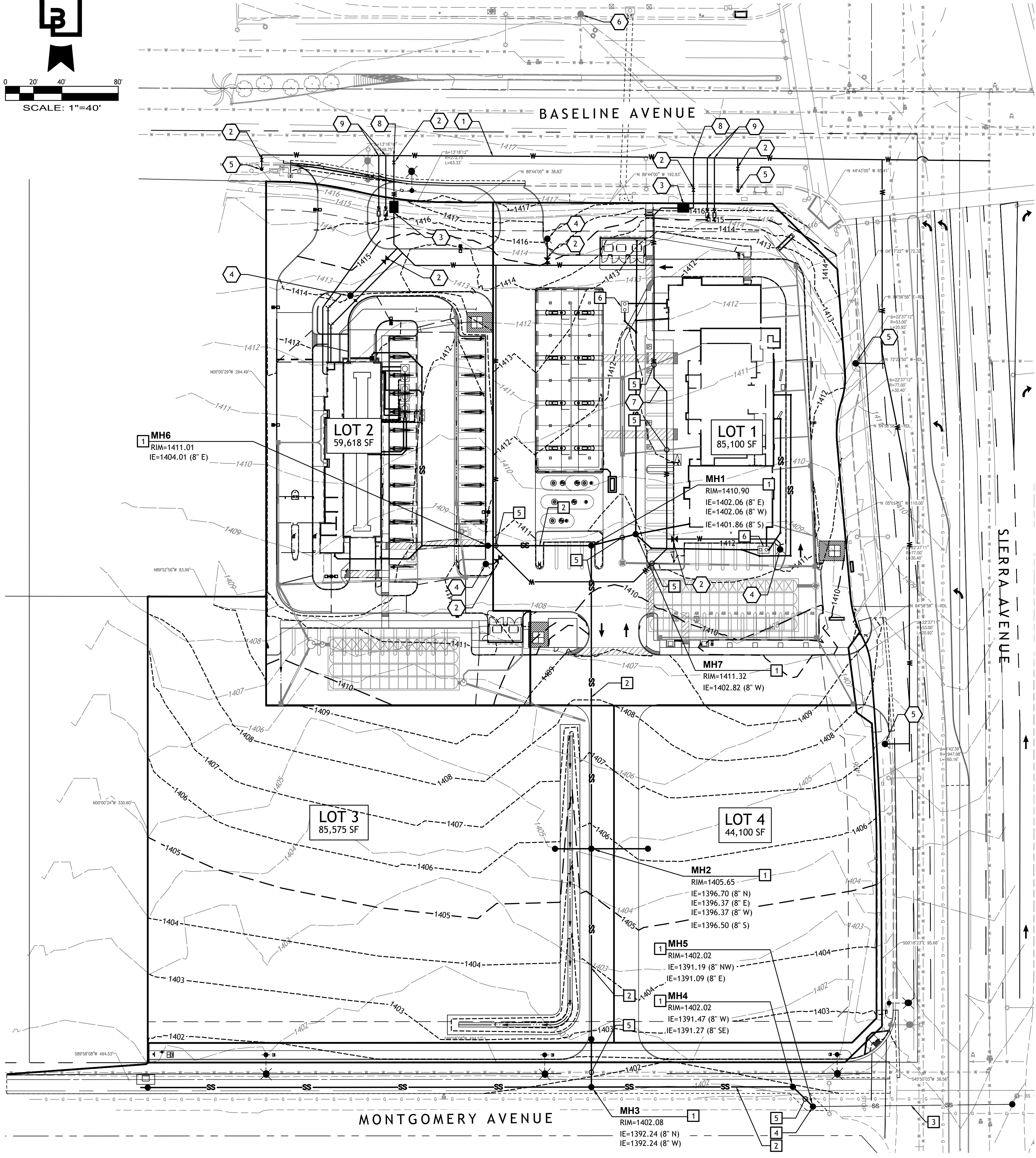
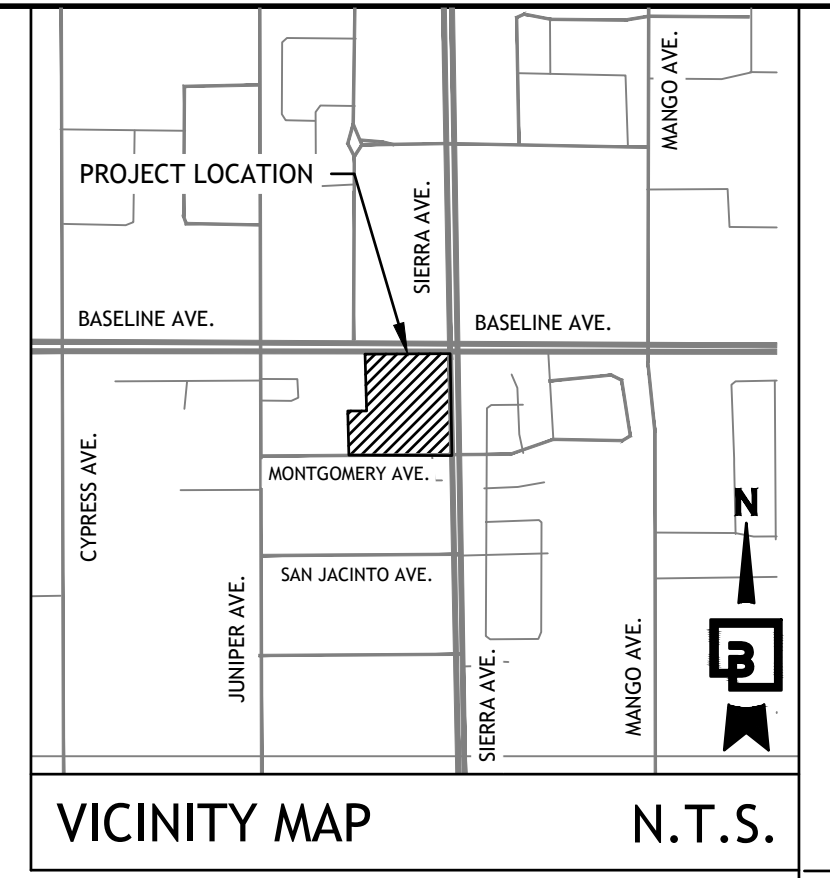
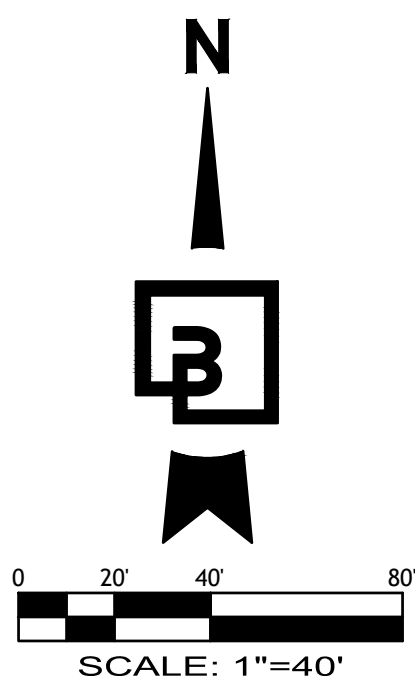
### # SITE KEYNOTES

1. ASPHALT PAVING.
2. PROPERTY LINE.
3. CONCRETE DRIVEWAY PER CITY STD DETAIL 1001.
4. CONCRETE SIDEWALK PER CITY STD DETAIL 1006.
5. ROW DEDICATION.
6. BARRIER CURB.
7. ADA RAMP.
8. EV PARKING STALL.
9. EV ELECTRICAL SUPPLY.
10. ADA PARKING STALL.
11. ONSITE CROSSWALK STRIPING.
12. BICYCLE RACK.
13. TRASH ENCLOSURE.
14. SIGN. SEE ARCHITECTURE PLANS FOR INFORMATION.
15. LANDSCAPING AREA. SEE LANDSCAPE PLANS FOR INFORMATION.
16. CONCRETE PAVING.
17. 18" STEP CURB.
18. STREET LIGHT.
19. SITE LIGHT.
20. VACUUM STALL.
21. WHEEL STOP.
22. CONCRETE STAIRS.
23. BOLLARDS.
24. DIRECTIONAL PAVEMENT ARROW.
25. EV CHARGER EQUIPMENT.
26. ADA ACCESSIBLE PATHWAY.
27. SIERRA AVENUE MEDIAN IMPROVEMENTS TO BE DESIGNED AT A LATER DATE.
28. SIGHT DISTANCE LINE.
29. FLUSH CURB.
30. MONTGOMERY AVENUE IMPROVEMENTS. SEE SECTION C ON SHEET C5.2



# UTILITY PLAN FOR **MIDLAND INVESTMENTS, LLC.**

PTN. N.E. 1/4, SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY



### # WATER KEYNOTES:

1. WATER MAIN EXTENSION BY FONTANA WATER COMPANY APPROXIMATE LOCATION SHOWN.
2. 6" GATE VALVE.
3. 6" DOUBLE CHECK BACKFLOW PREVENTER AND METER.
4. PRIVATE FIRE HYDRANT PER CITY OF FONTANA STANDARD.
5. PUBLIC FIRE HYDRANT PER CITY OF FONTANA STANDARD.
6. EXISTING FIRE HYDRANT.
7. 6" FIRE SERVICE.
8. FIRE SERVICE CONNECTION TO WATER MAIN EXTENSION BY FONTANA WATER COMPANY.
9. DOMESTIC AND IRRIGATION SERVICES TO BE CONNECTED TO WATER MAIN EXTENSION BY FONTANA WATER COMPANY.

### # SANITARY SEWER KEYNOTES:

1. 4" DIA SANITARY MANHOLE.
2. 8" SANITARY SEWER @ MIN. 2%.
3. EXISTING 8" SANITARY SEWER PER CITY OF FONTANA DRAWING NO. 6229.
4. CONNECT TO EXISTING SANITARY STUB VIA MANHOLE
5. UTILITY CROSSING. MAINTAIN 18" SEPARATION MINIMUM FROM WATER MAINS AND 6" SEPARATION MINIMUM FROM STORM MAINS.
6. GREASE INTERCEPTOR.

Title:  
**UTILITY PLAN**  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA

For:  
**MIDLAND INVESTMENTS LLC**  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764



Scale:	Horizontal	Vertical
	1"=40'	N/A
Designed	Drawn	Checked
JG	JB	MH
		MH
Approved	Date	
	3/20/26	

**Barghausen**  
**Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)

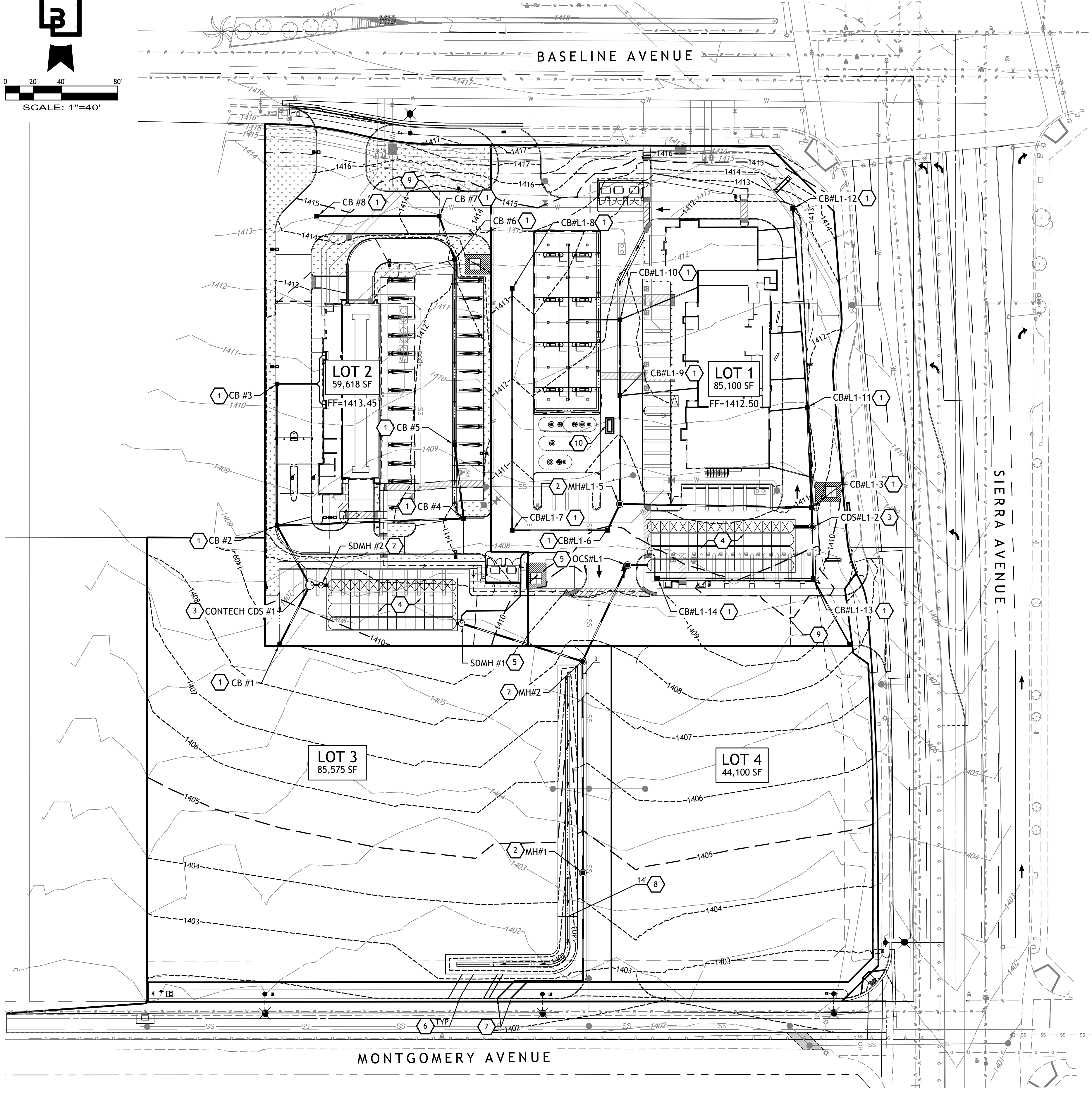
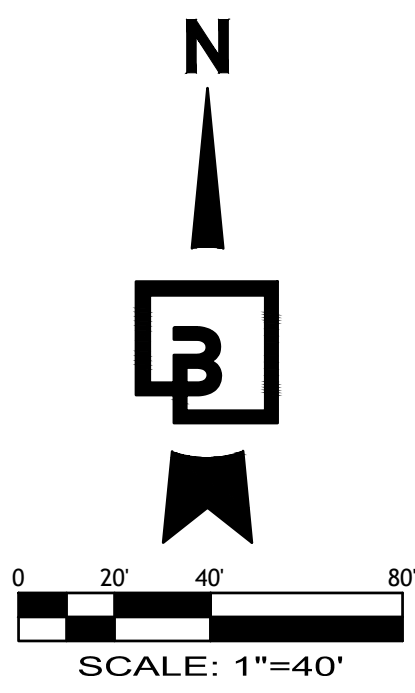
Job Number  
**21786**  
Sheet  
**C3.0** of **8**



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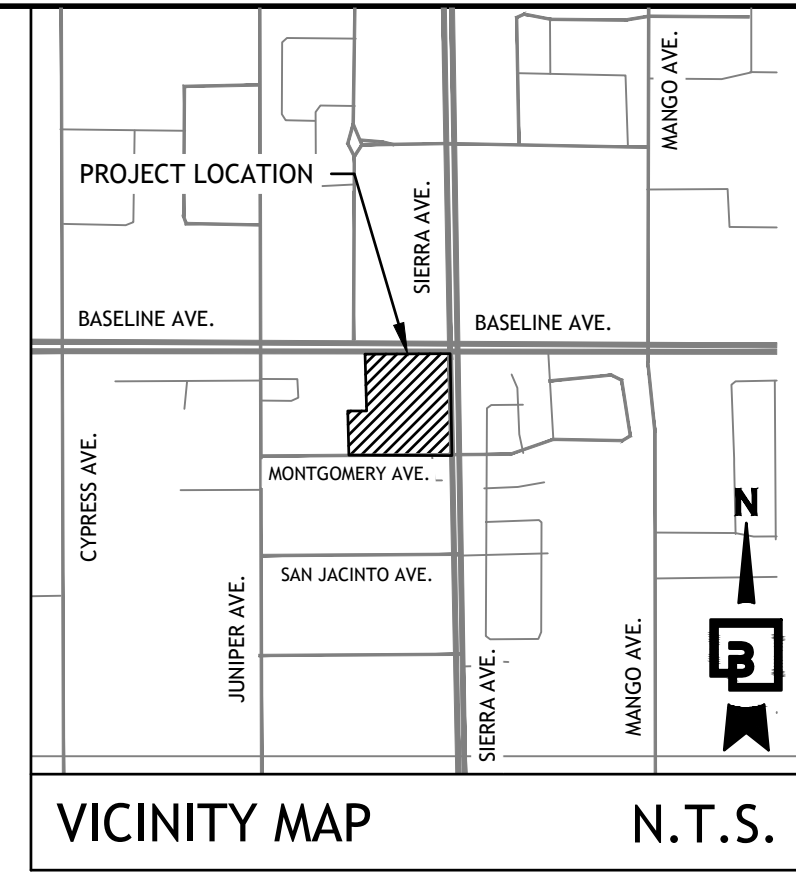
# DRAINAGE PLAN FOR **MIDLAND INVESTMENTS, LLC.**

PTN. N.E. 1/4, SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY



### KEYNOTE DRAINAGE PLAN KEYNOTES

1. 24"x36" PRECAST DROP INLET WITH TRAFFIC RATED FRAME AND GRATE.
2. 48" DIA. PRECAST MANHOLE PER CITY OF FONTANA STD. PLAN XXX.
3. HYDRODYNAMIC SEPARATOR FOR WATER QUALITY.
4. UNDERGROUND DETENTION/INFILTRATION BASIN.
5. OUTLET CONTROL STRUCTURE.
6. PARKWAY DRAIN PER CITY OF FONTANA STD. PLAN 3001.
7. PARKWAY DRAIN BOX CULVERT UNDER SIDEWALK.
8. BIOFILTRATION SWALE PER CALTRANS STORMWATER QUALITY HANDBOOK.
9. GRADE BREAK.
10. DEAD END SUMP LOCATION FOR REFERENCE ONLY.



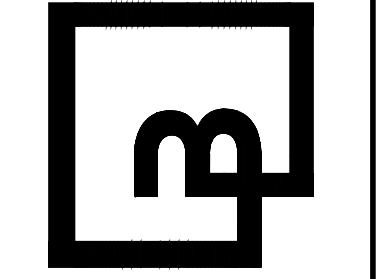
Title:  
**DRAINAGE PLAN**  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA

For:  
**MIDLAND INVESTMENTS LLC**  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764



Scale:	Horizontal	Vertical
	1"=40'	N/A
Designed	Drawn	Checked
_____	_____	_____
Approved	Date	
_____	3/30/26	

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425.251.6222  
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Job Number  
**21786**

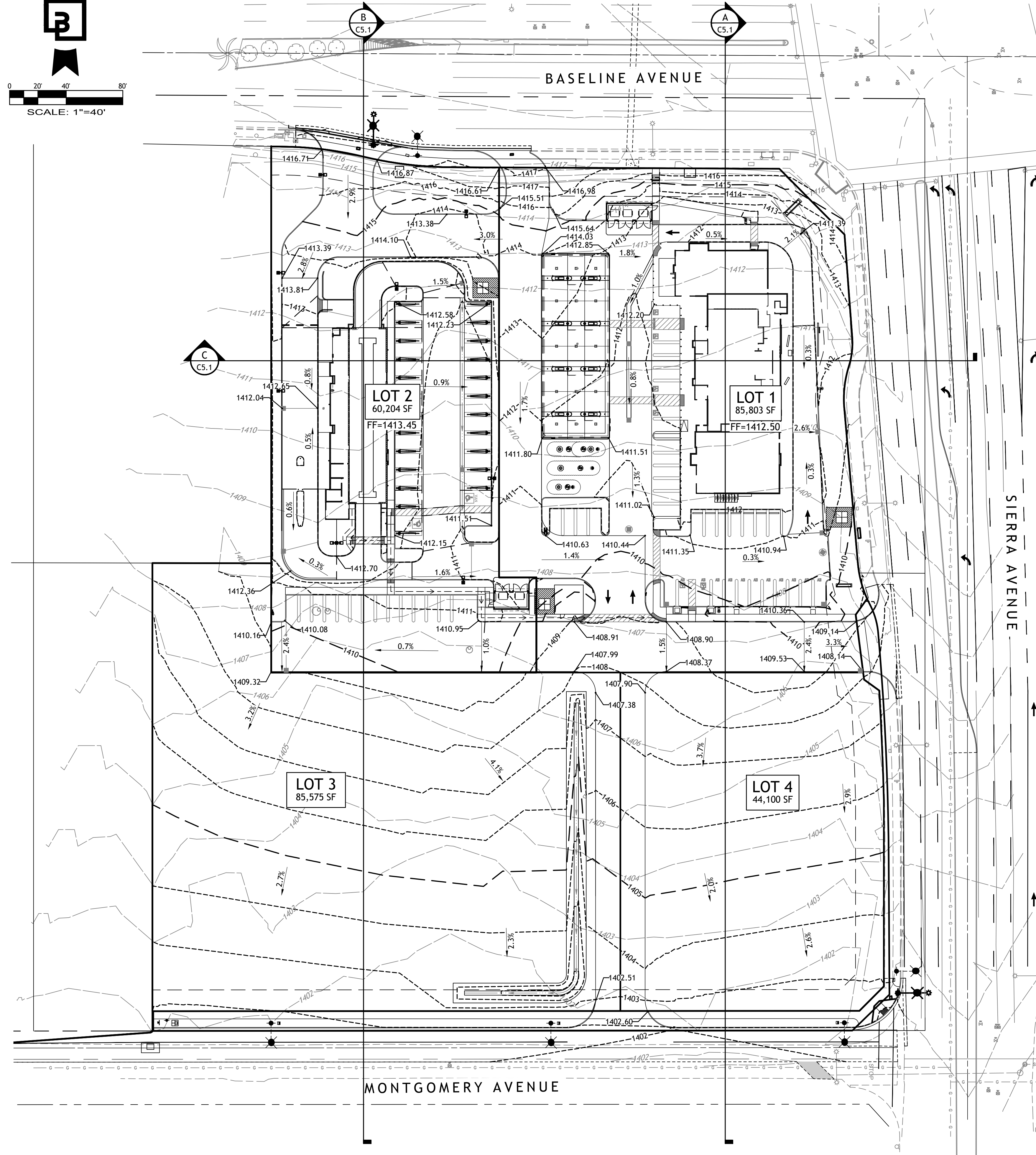
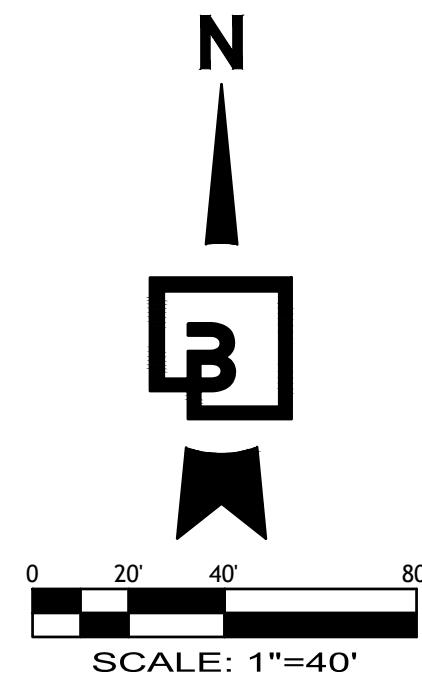
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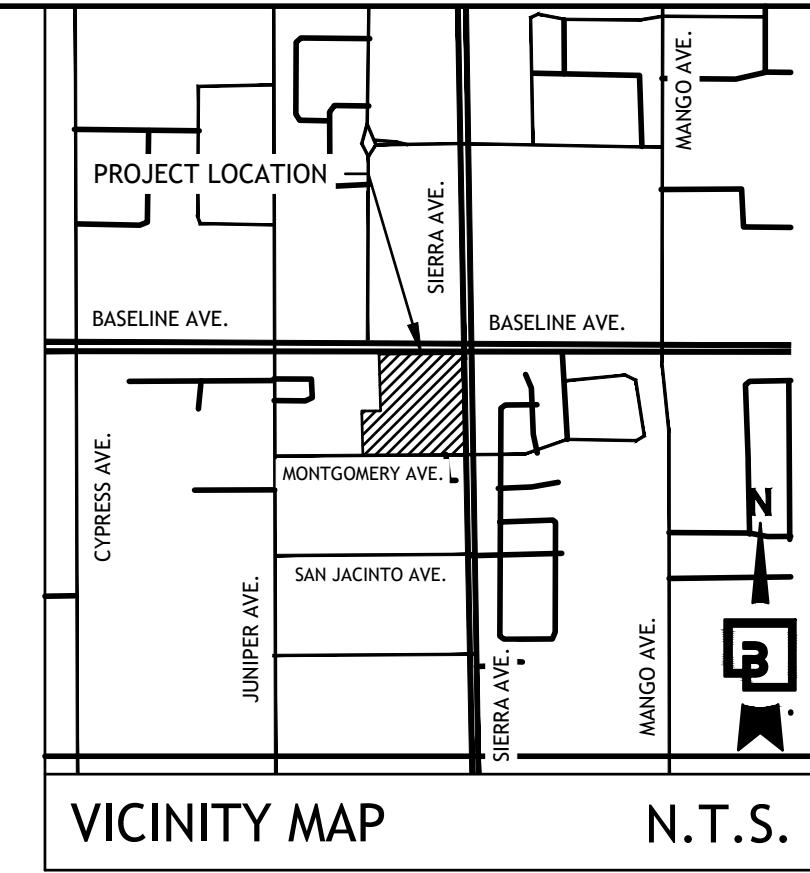
# GRADING PLAN FOR **MIDLAND INVESTMENTS, LLC.**

PTN. N.E. ¼, SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY



### GRADING GENERAL NOTES:

1. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF FONTANA STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
3. ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
5. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
6. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
7. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.



VICINITY MAP				N.T.S.			
No.	Date	By	Ctd.	Appr.	Revision		

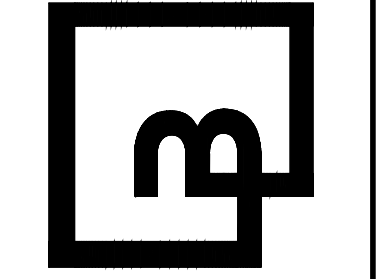
Title:  
**GRADING PLAN**  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA

For:  
**MIDLAND INVESTMENTS LLC**  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764



Scale:		Horizontal		Vertical	
1"=40'		1"=40'		N/A	
Designed	Drawn	Checked	Approved	Date	
				3/30/26	

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Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)



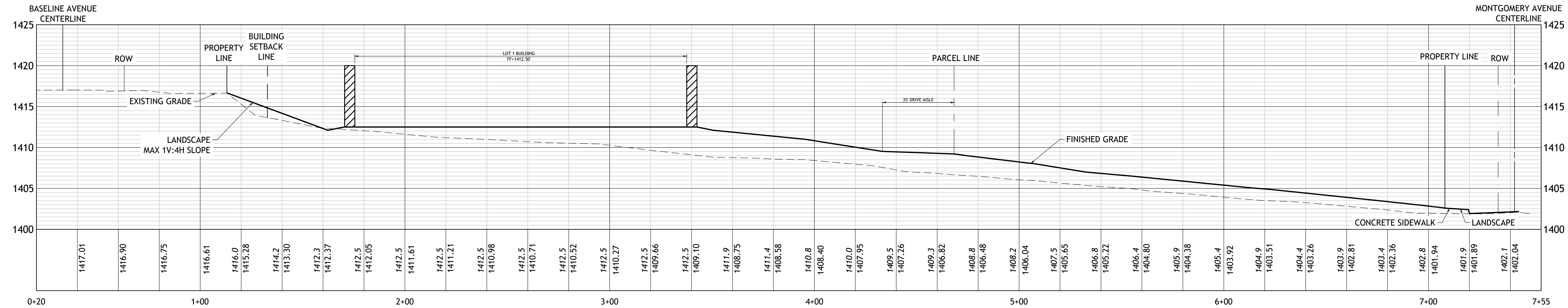
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Sheet: **8**  
C5.0 of 8



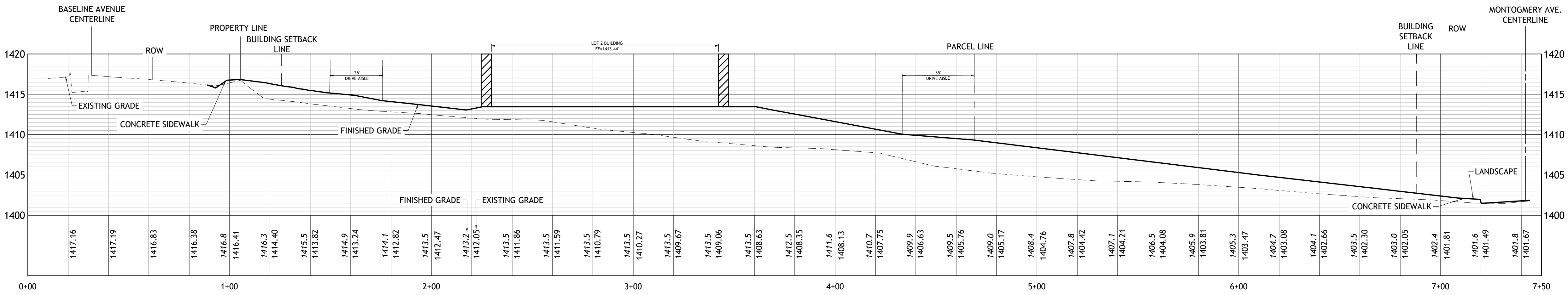
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# GRADING CROSS SECTIONS FOR **MIDLAND INVESTMENTS, LLC.**

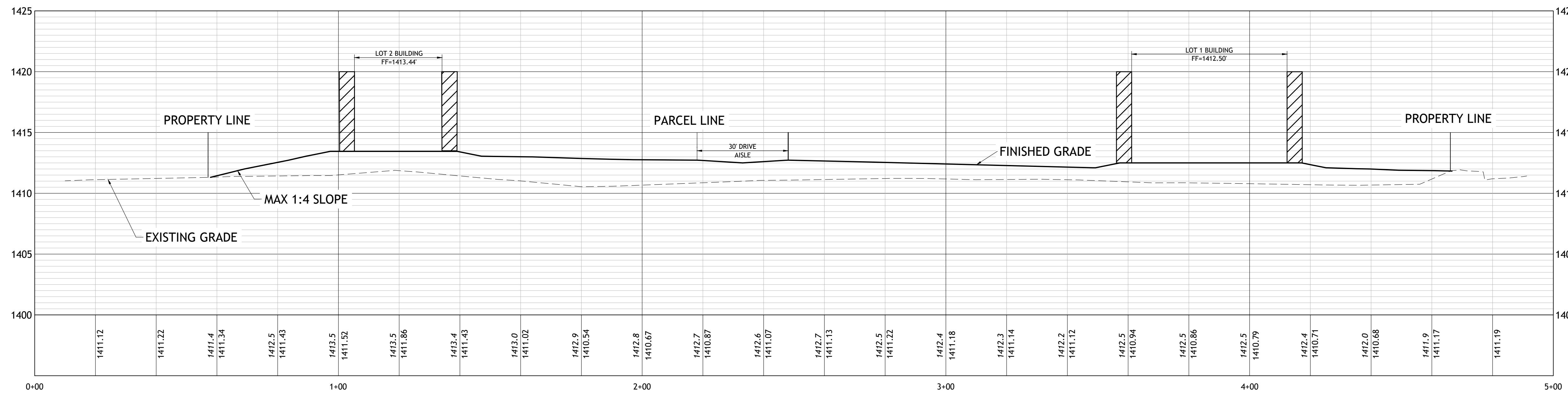
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CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY



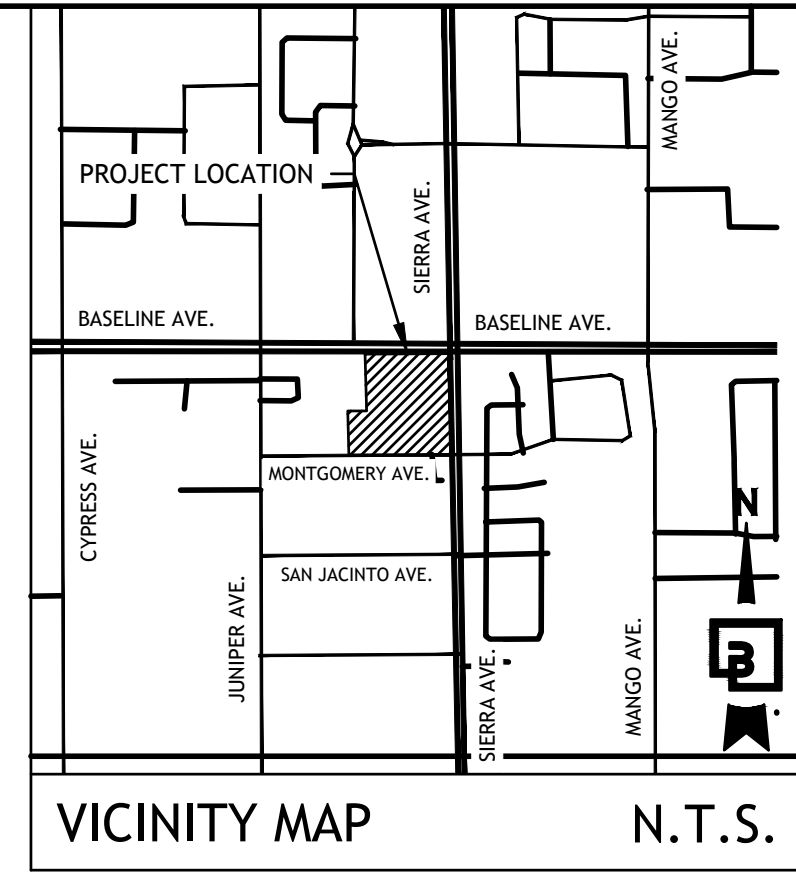
**A NORTH TO SOUTH PROFILE 1**  
SCALE: HORZ=1"=20' VERT=1"=20'



**B NORTH TO SOUTH PROFILE 2**  
SCALE: HORZ=1"=20' VERT=1"=30'



**C EAST TO WEST PROFILE**  
SCALE: HORZ=1"=20' VERT=1"=20'



No.	Date	By	Chd.	Appr.

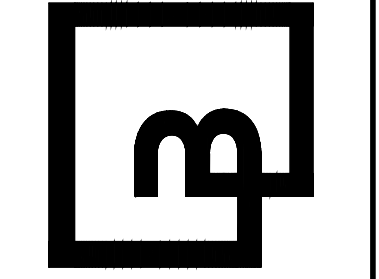
Title:  
**GRADING CROSS SECTIONS  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA**

For:  
**MIDLAND INVESTMENTS LLC  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764**



Scale:	Horizontal	1"=40'	Vertical	N/A	
Designed	JG	Drawn	JB	Checked	MH
Approved	MH	Date	3/20/26		

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Kent, WA 98032  
425.251.6222  
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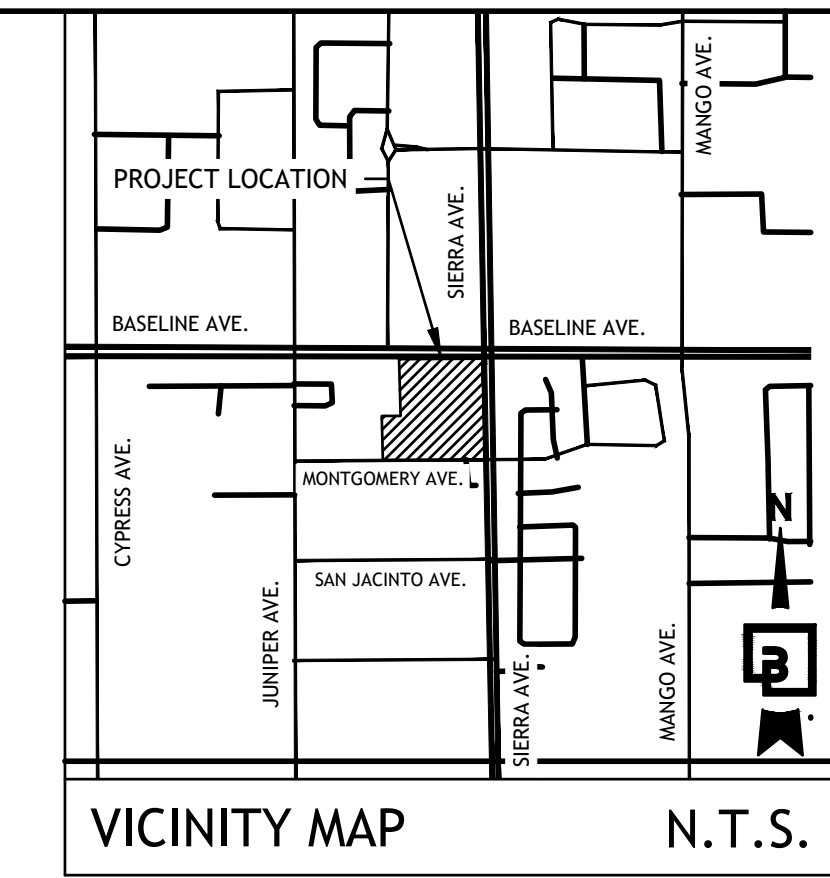
Job Number  
**21786**  
Sheet  
**C5.1** of **8**



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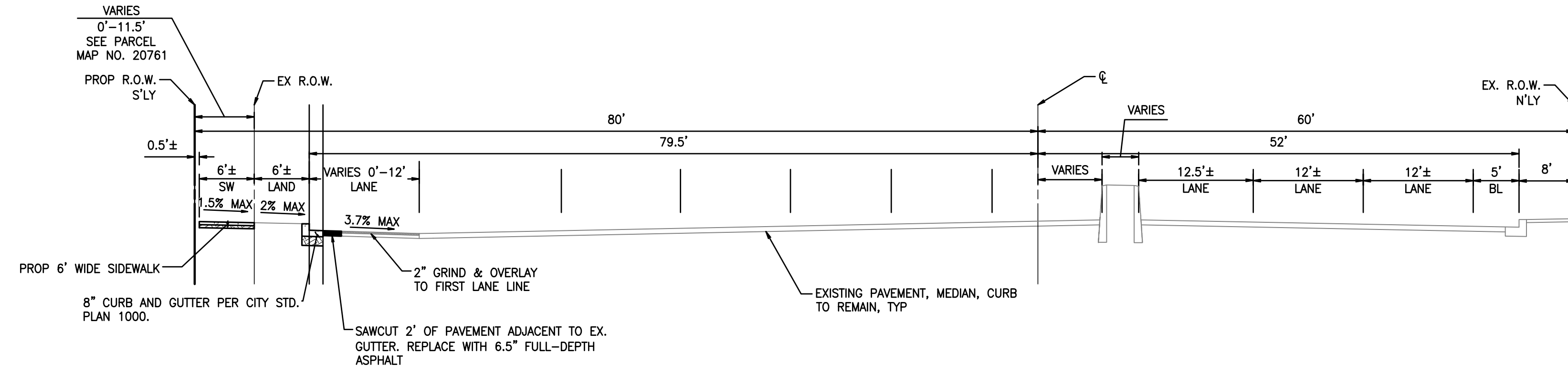
TYPICAL STREET SECTIONS  
FOR  
**MIDLAND INVESTMENTS, LLC.**

PTN. N.E. 1/4, SECTION 06 OF TOWNSHIP 12., RANGE 5 W.  
CITY OF FONTANA, CALIFORNIA, SAN BERNADINO COUNTY

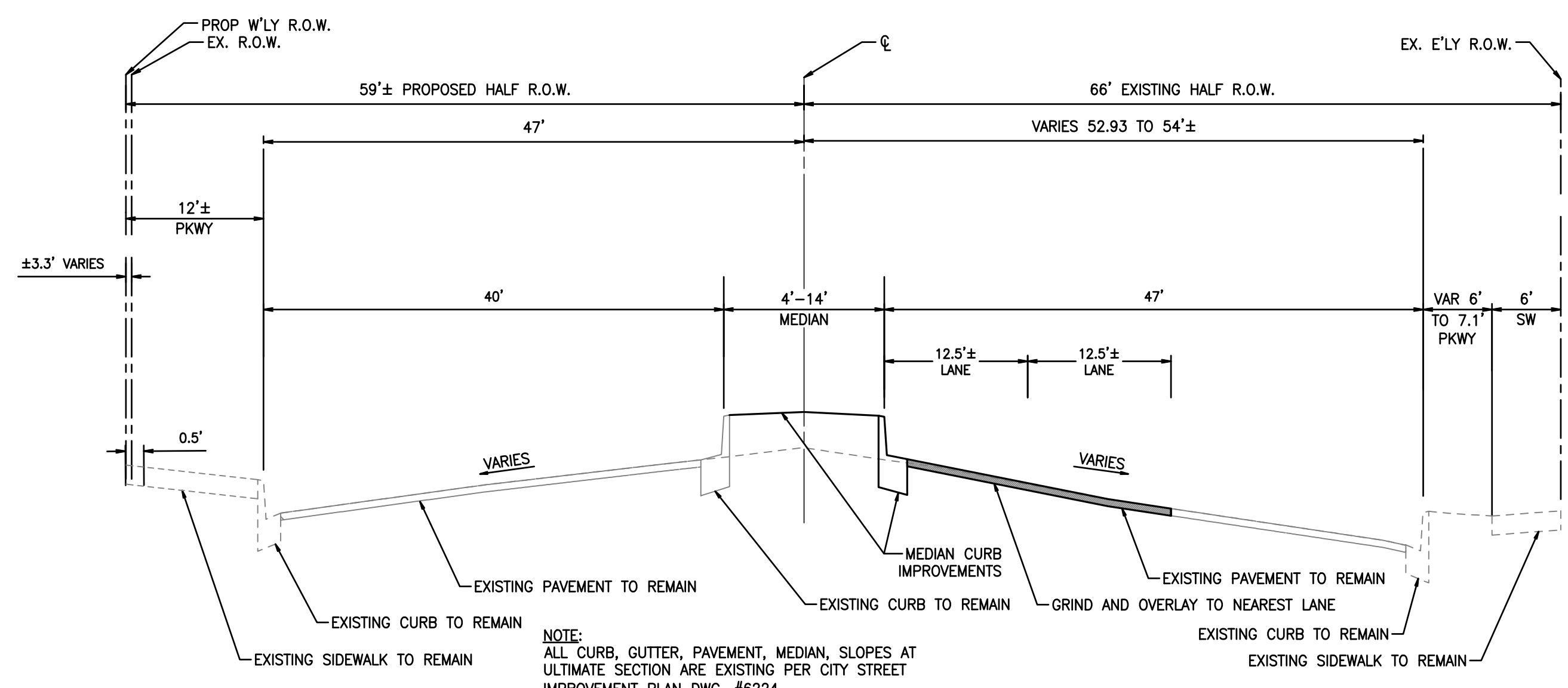


Revision  
Appr. \_\_\_\_\_  
By \_\_\_\_\_  
Date \_\_\_\_\_  
No. \_\_\_\_\_

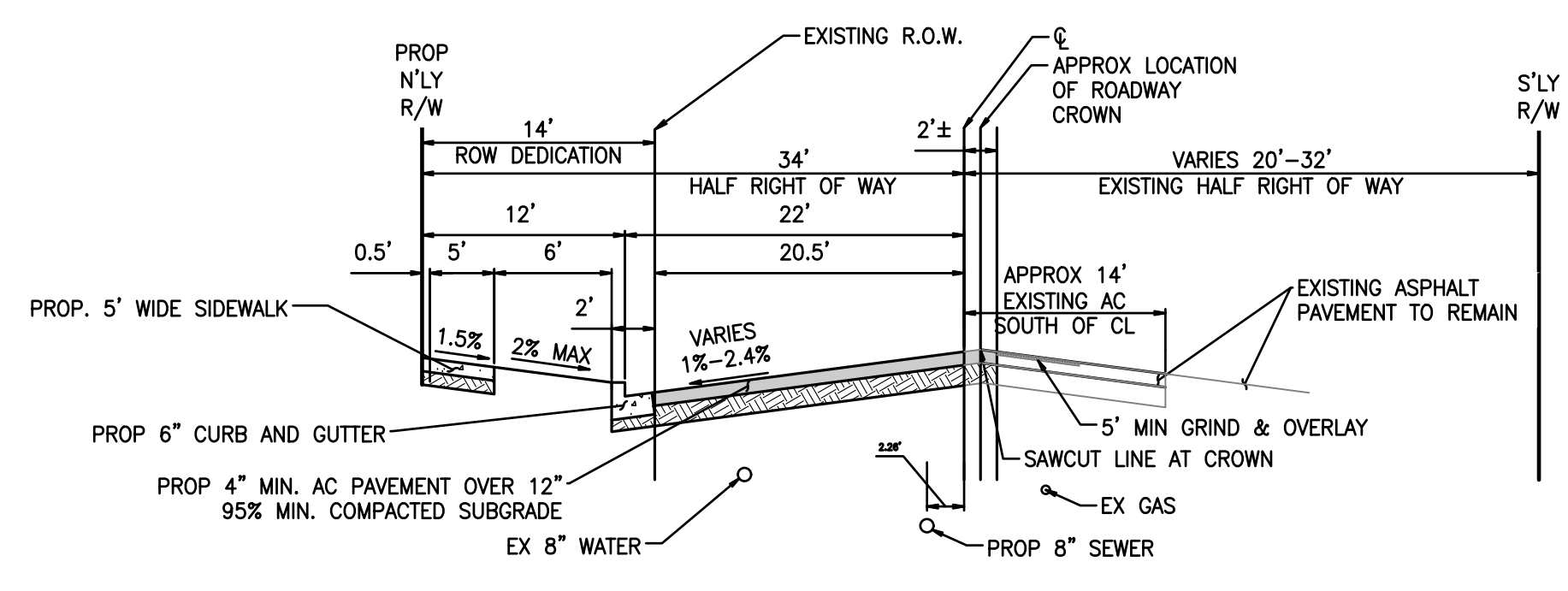
Title:  
TYPICAL STREET SECTIONS  
SW CORNER OF SIERRA AVE. + BASELINE AVE.  
CITY OF FONTANA, CALIFORNIA



**A** BASELINE AVENUE TYPICAL SECTION  
C5.1 SCALE: N.T.S.

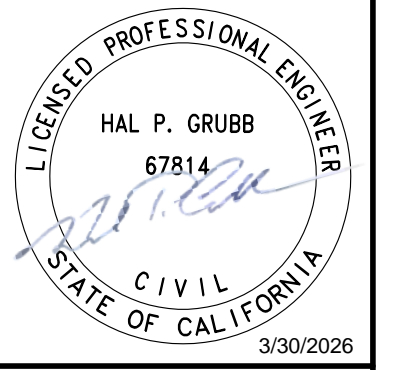


**B** SIERRA AVENUE TYPICAL SECTION  
C5.1 SCALE: N.T.S.



**C** MONTGOMERY AVENUE TYPICAL SECTION  
C5.1 SCALE: N.T.S.

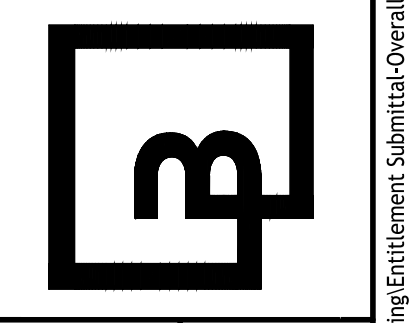
For:  
MIDLAND INVESTMENTS LLC  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO CA 91764



Scale:  
Horizontal 1"=40'  
Vertical N/A

Designed \_\_\_\_\_  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_  
Date 3/30/26

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Kent, WA 98032  
425.251.6222  
barghausen.com



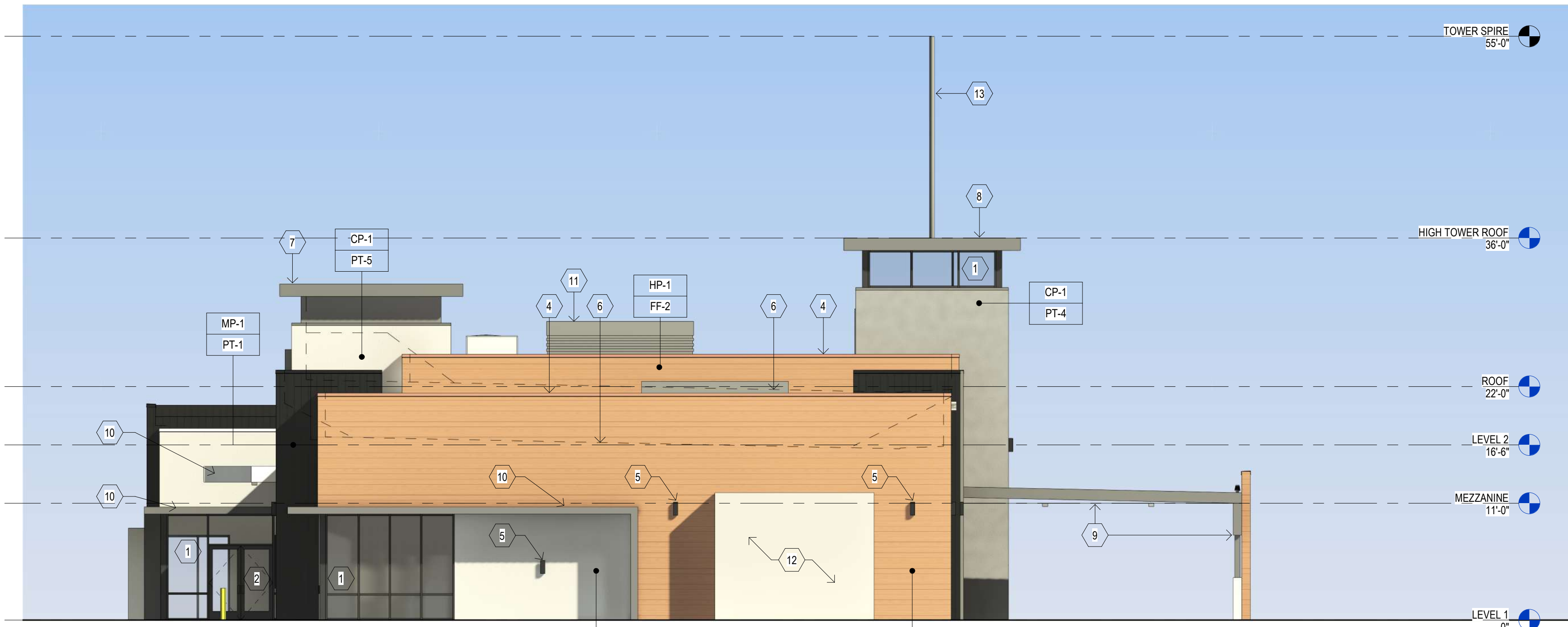
Job Number  
**21786**

Sheet  
**C5.2** of **8**



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2 EXTERIOR ELEVATION - SOUTH - PRESENTATION  
PR2.2 1/8" = 1'-0"

**KEYED NOTES**

- 1 CLEAR ANODIZED ALUMINUM STOREFRONT
- 2 ALUMINUM STOREFRONT DOOR PER SCHEDULE
- 3 HOLLOW METAL DOOR PER SCHEDULE, COLOR TO MATCH ADJACENT SIDING
- 4 PREFAB METAL COPING
- 5 WALL MOUNTED LIGHT FIXTURE
- 6 LINE OF ROOF BEYOND
- 7 ENTRY TOWER CORNICE
- 8 STAIR TOWER CORNICE
- 9 DRIVETHRU CANOPY
- 10 ARCHITECTURAL AWNING
- 11 NIT PER DETAIL 7/A5.3 REFER TO MECHANICAL DRAWINGS,
- 12 ELECTRICAL EQUIPMENT/ NEMA-3R SWITCHGEAR ENCLOSURE
- 13 ARCHITECTURAL FLAG POLE
- 14 BUILDING ADDRESS, 10' ILLUMINATED LETTERS

**MATERIALS LEGEND**

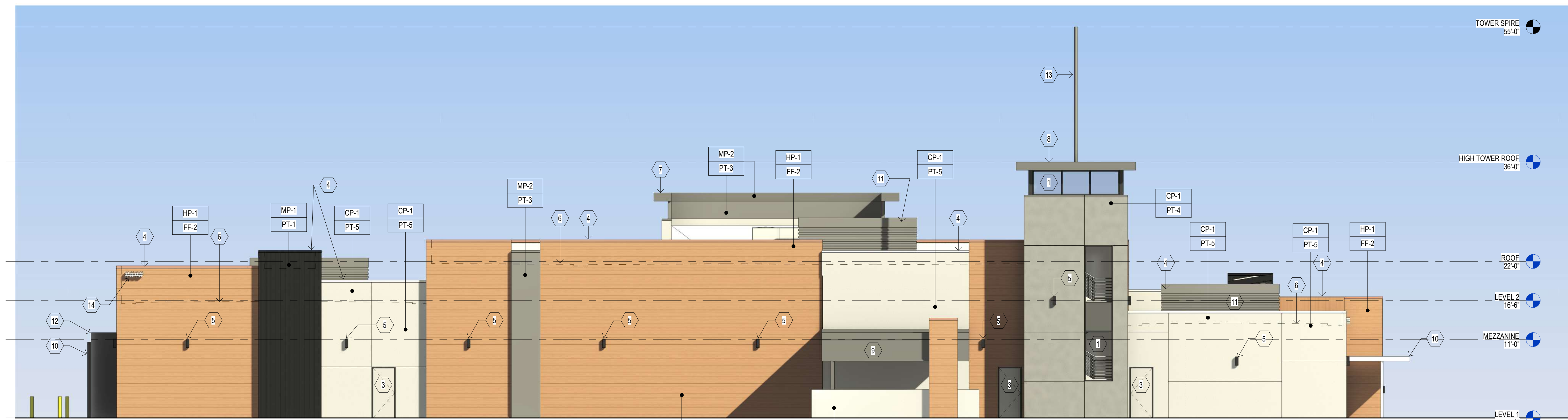
- HP-1 HARDIE PANEL "SELECT CEDARMILL" 8-IN WIDE SIDING
- MP-1 McELROY "MEDALLION-LOK" 12-IN STANDING SEAM METAL PANELS
- MP-2 ARCHITECTURAL SHEET METAL DECORATIVE COPING
- CP-1 SMOOTH STEEL-TROWELED "SBMF" CEMENT PLASTER
- CP-2 EQUITONE LINEA FIBRE CEMENT WALL PANELS - LT40
- FW-1 NEWTECH WOOD, PERUVIAN TEAK FAUX WOOD

**COLOR LEGEND**

- PT-1 MATTE BLACK FACTORY KYNAR 500 (PVDF) FINISH
- PT-2 BLENDED GREYS/ NEUTRAL FACTORY COLORS 30% "PEARL GRAY" 30% "SLATE GRAY" 40% "LIGHT MIST"
- PT-3 BLACK CHARCOAL PAINT BENJAMIN MOORE 2134-30 IRON MOUNTAIN, SATIN FINISH
- PT-4 DARK GRAY PAINT BENJAMIN MOORE CSP-45 STREET CHIC, SATIN FINISH
- PT-5 WHITE PAINT BENJAMIN MOORE OC-170 WHITE DOVE, SATIN FINISH
- FF-1 FINISH LT40 PRE-FINISHED FACTORY COLOR
- FF-2 HARDIE PLANK "COPPER PENNY" PRE-FINISHED FACTORY COLOR/ MITER ALL CORNERS

**MATERIAL/COLOR LEGEND**

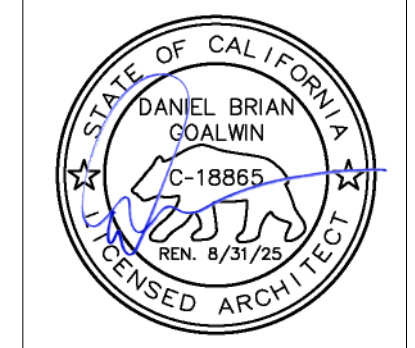
HP-1	PT-1
FF-2	PT-3
MP-1	PT-4
MP-2	PT-4
CP-1	PT-4
CP-2	



1 EXTERIOR ELEVATION - EAST - PRESENTATION  
PR2.2 1/8" = 1'-0"

**EXTERIOR ELEVATIONS**  
**Title:** CONVENIENCE STORE  
 SW CORNER OF SIERRA AVE & BASELINE AVE  
 CITY OF FONTANA, CA 92336

**For:** MIDLAND OIL GROUP  
 3270 INLAND EMPIRE BLVD., STE. 430  
 ONTARIO, CA 91764

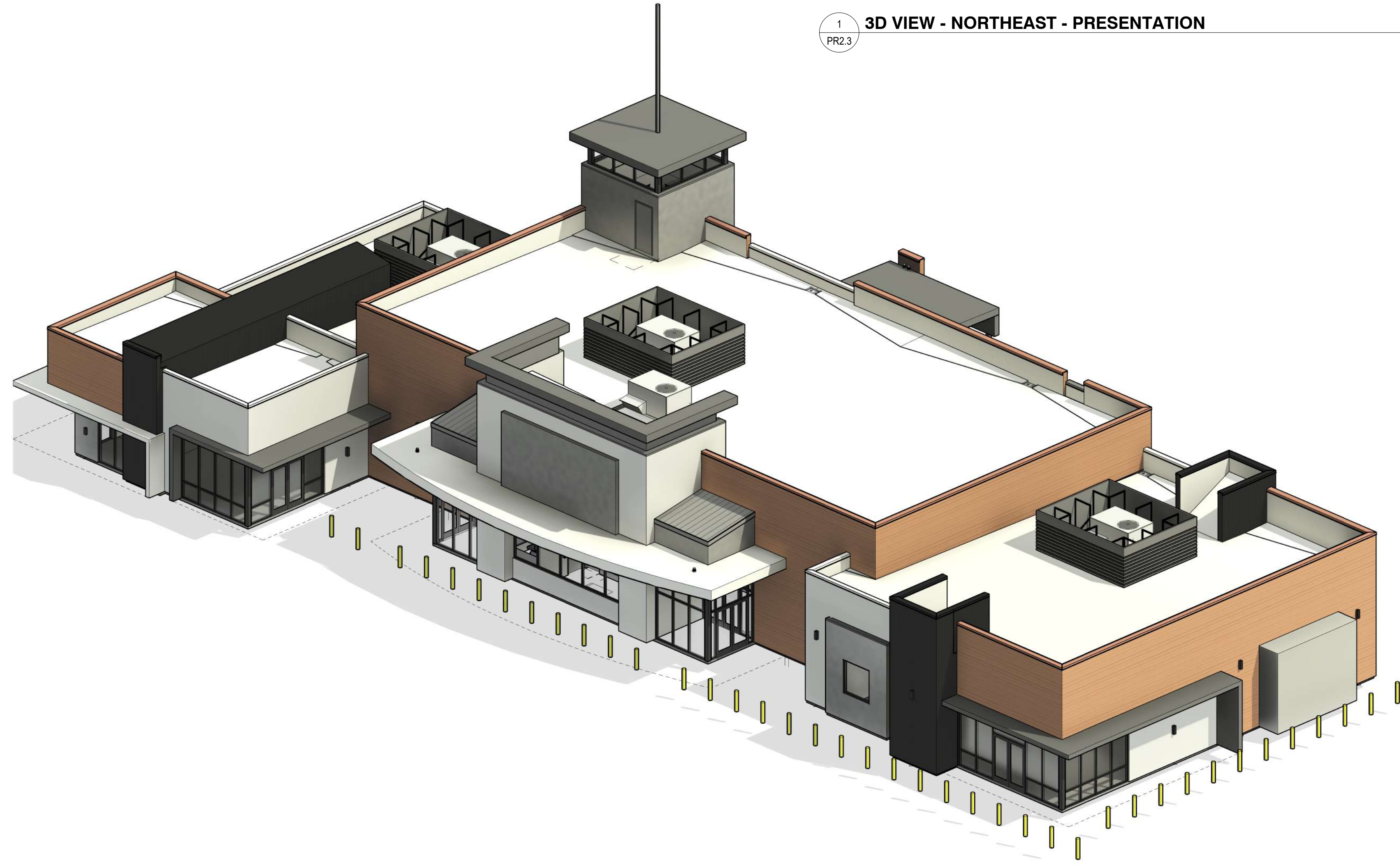


Scale:	Horizontal	1/8" = 1'-0"	Vertical	1/8" = 1'-0"
Designed	SAS	LP	DD	08/09/2024
Drawn				
Checked				
Approved				
Date				08/09/2024

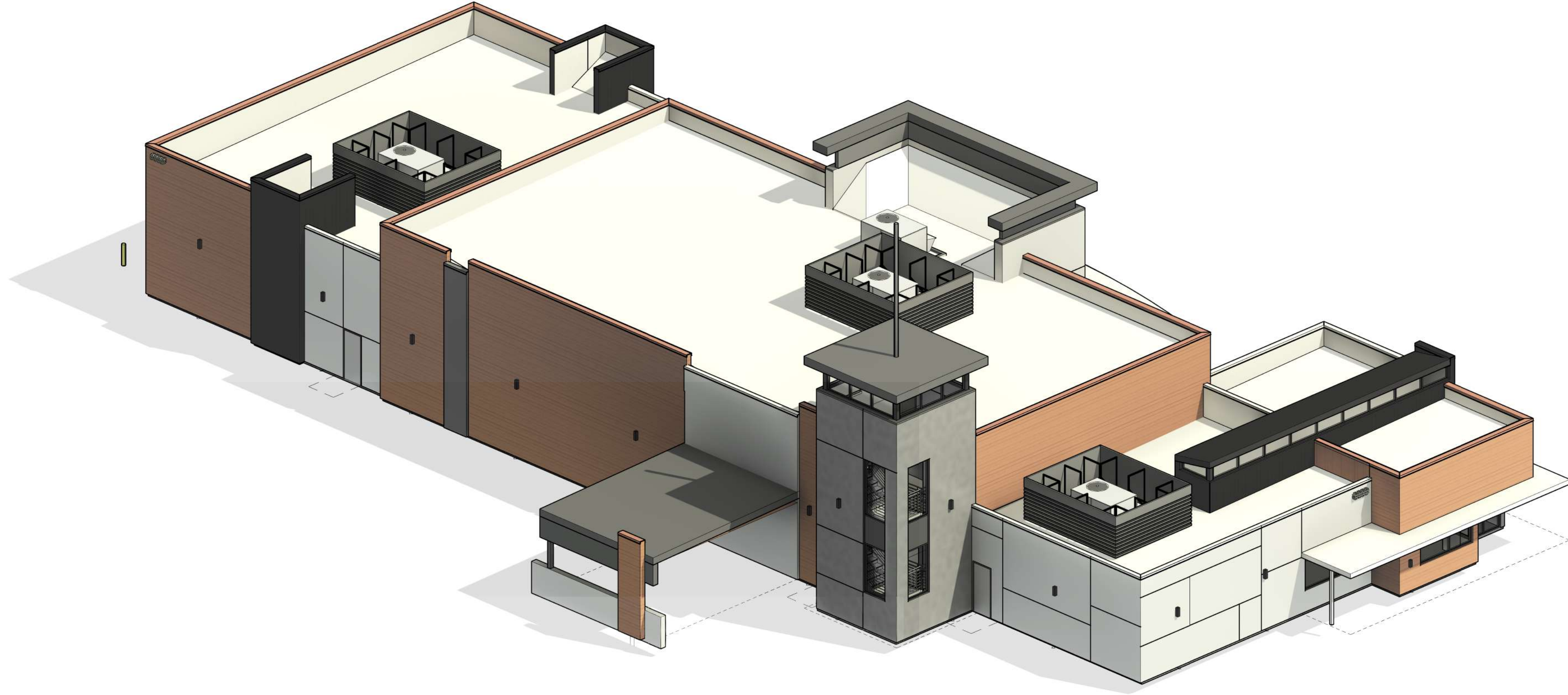
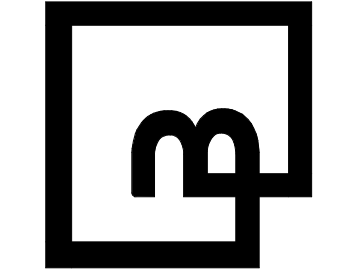
**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com

Job Number  
**21786**  
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**PR2.2**  
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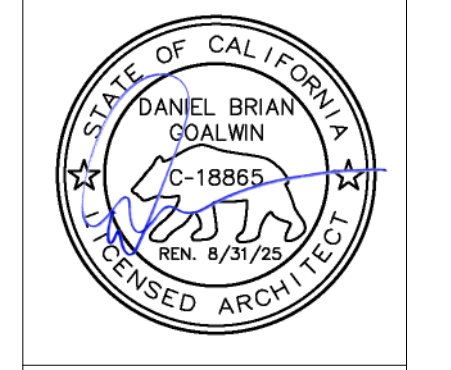
1 3D VIEW - NORTHEAST - PRESENTATION  
PR2.3

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Kent, WA 98032  
425.251.6222  
barghausen.com

Designed	SAS	LP	DD	Date	08/02/2024
Drawn					
Checked					
Approved					

Scale:  
Horizontal  
Vertical



**For:**  
MIDLAND OIL GROUP  
3270 INLAND EMPIRE BLVD., STE. 430  
ONTARIO, CA 91764

No.	Date	By	Chk.	Revision
<b>Title:</b> 3D EXTERIOR AXON VIEWS CONVENIENCE STORE SW CORNER OF SIERRA AVE & BASELINE AVE CITY OF FONTANA, CA 92336				

1  
PR2.4

**3D PERSPECTIVE**



Job Number  
**21786**

Sheet  
**PR2.4**

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Kent, WA 98032  
425.251.6222  
barghausen.com

Designed	SAS	LP		Date	08/02/2024
Drawn					
Checked					
Approved					

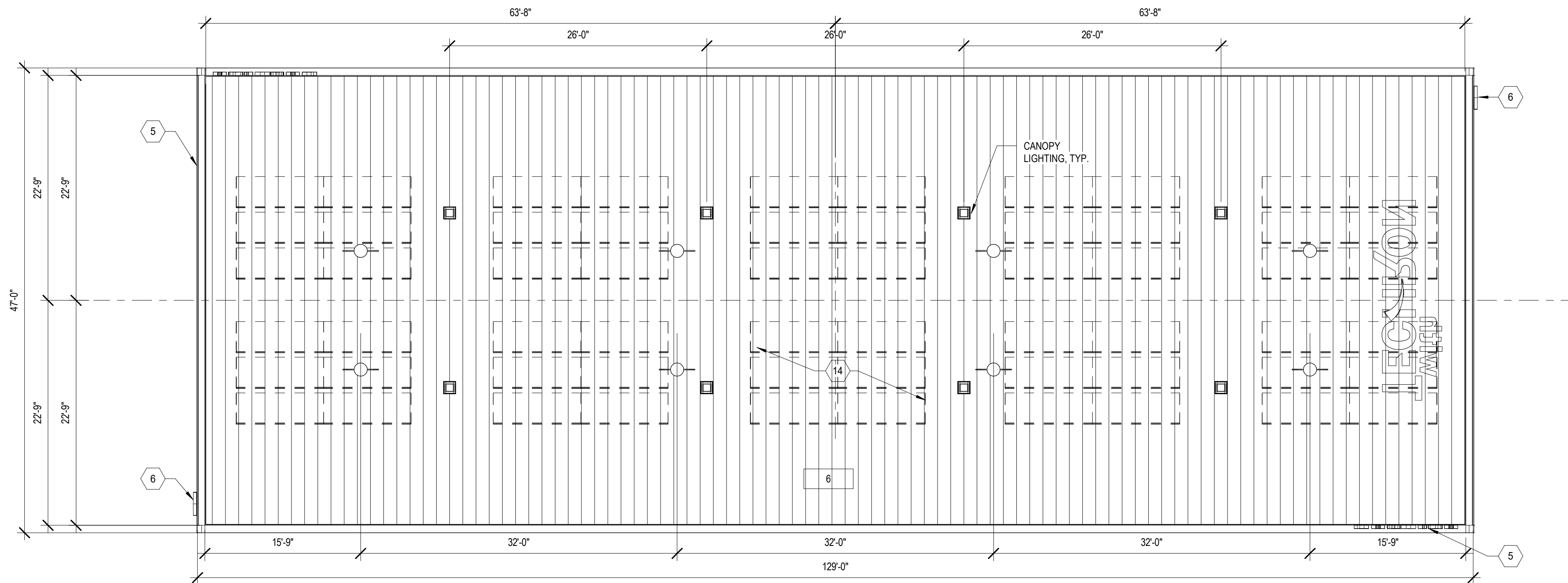
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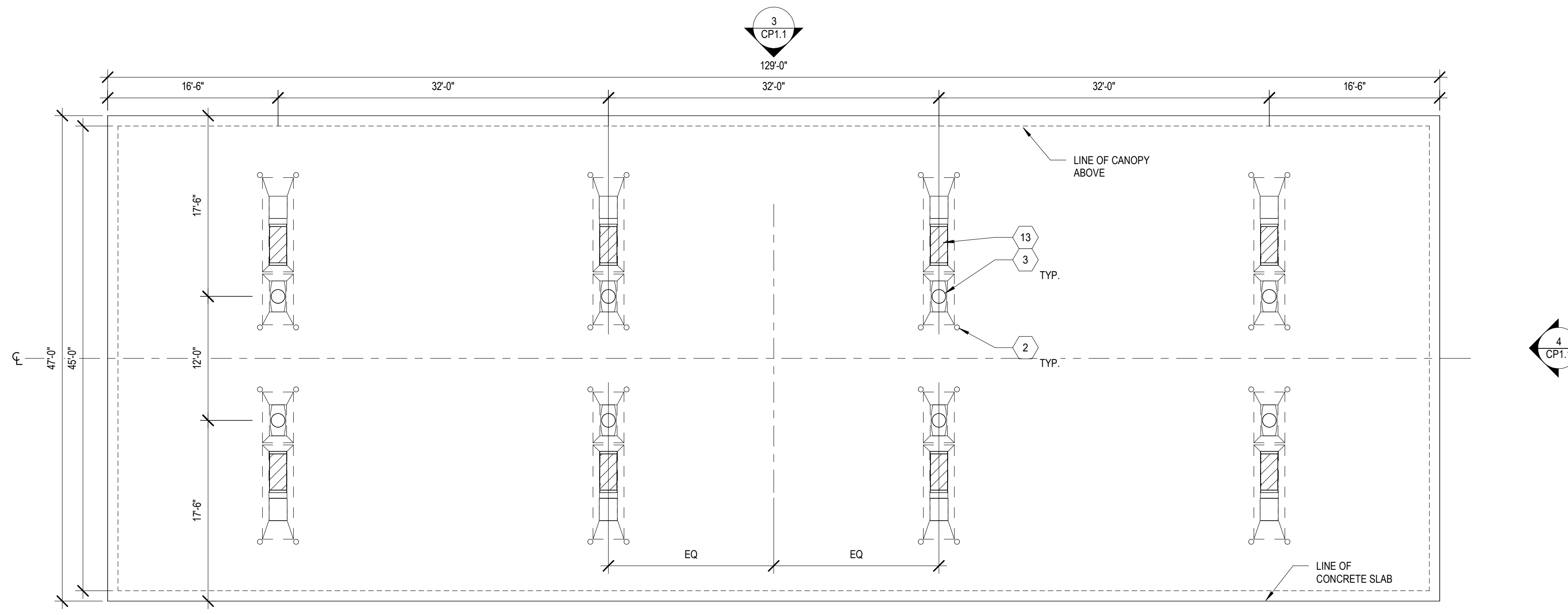
**For:**  
MIDLAND OIL GROUP  
3270 INLAND EMPIRE BLVD., STE. 430  
ONTARIO, CA 91764

**Title:**  
3D EXTERIOR PERSPECTIVE  
CONVENIENCE STORE  
SW CORNER OF SIERRA AVE & BASELINE AVE  
CITY OF FONTANA, CA 92336

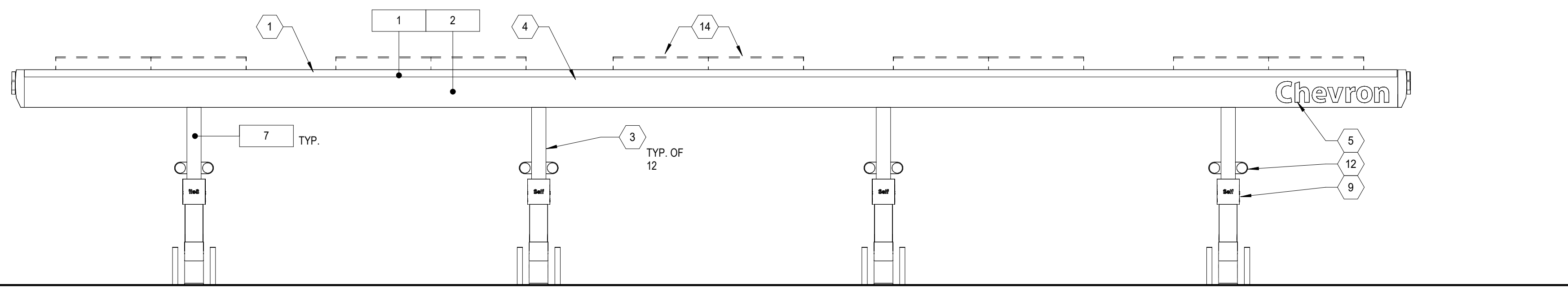
No.	Date	By	Chk.	Revision



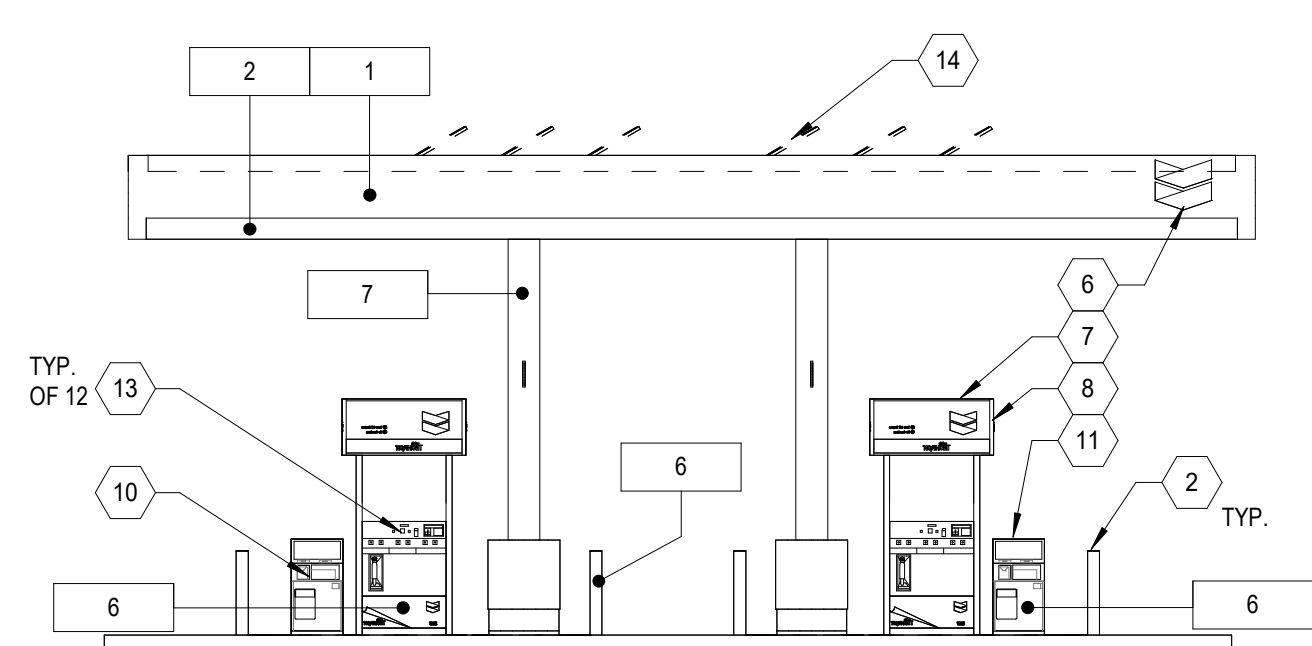
**2** CANOPY REFLECTED CEILING PLAN  
1/8" = 1'-0"



**1** CANOPY FLOOR PLAN  
1/8" = 1'-0"



**3** FRONT ELEVATION  
1/8" = 1'-0"



**4** SIDE ELEVATION  
1/8" = 1'-0"

**GENERAL NOTES - CANOPY**

- ALL ITEMS ABOVE ROOF DECK SHOWN w/ SOLID LINES; ALL ITEMS BELOW ROOF DECK SHOWN w/ DASHED LINES.
- ALL RACEWAYS ABOVE ROOF DECK TO BE EMT, EXCEPT WHERE NOTED. ALL JUNCTION BOXES, CONNECTORS, COUPLINGS, AND FITTINGS SHALL BE RAIN-TIGHT. RACEWAYS SHALL COMPLY w/ LATEST EDITION OF CALIFORNIA ELECTRICAL CODE. MINIMUM CONDUIT SIZE 3/4-INCH. MINIMUM SIZE OF JUNCTION BOX 4" x 4" x 2".
- PROVIDE & INSTALL #8 EQUIPMENT GROUNDING CONDUCTOR IN ALL RACEWAYS. BOND EQUIPMENT GROUNDING CONDUCTOR TO EACH LIGHTING FIXTURE AND SIGN FRAME.
- ALL WIRING SHALL BE #8 AWG. COPPER, THWN. SEE ELECTRICAL.
- REFER TO SIGN AND CANOPY REFERENCE DRAWINGS FOR INSTALLATION DETAILS.
- VSAT ANTENNA IS LOCATED ON REMOTE MARKETER INSTEAD OF CANOPY.
- PROVIDE ACCESS COVER PLATE FOR SEAL-OFFS TO MATCH CANOPY COLUMN CLADDING; IF SPECIAL ARCHITECTURE, TREATMENT COLOR TO BE PROVIDED BY G.C.
- USE OF PLASTER COATED FOAM TRIMS IN SPECIAL ARCHITECTURE CANOPY COLUMN CLADDING SHALL BE PLACED A MINIMUM OF 6'-0" ABOVE FINISH GRADE. WOOD SHAPES SHALL BE USED BELOW 6'-0".

**SHEET NOTES**

- 28' x 150' CANOPY, CANOPY COLUMNS, AND FOUNDATIONS. FOR MORE INFORMATION/DESIGN, SEE STEEL FABRICATION DRAWINGS
- 6-INCH Ø GUARD POST
- 16-INCH ROUND STRUCTURAL STEEL COLUMN
- 8-INCH HIGH ILLUMINATED DIMENSIONAL HOOD
- INTERNALLY ILLUMINATED, 24-INCH HIGH WHITE DIMENSIONAL "Chevron" LETTERS, TYP. OF 2; REFER TO SIGN PLAN FOR MORE INFO.
- PINMOUNTED HALLMARK SIGN, 25-INCH HIGH (TYP. OF 2); REFER TO SIGN PLAN FOR MORE INFO.
- INTERNALLY ILLUMINATED SPANNER w/ CHEVRON LOGO
- INTERNALLY ILLUMINATED ENDCAP
- MODE OF SERVICE DIRECTION SIGN w/ DARK GRAY LETTERS ("Self" LETTERS, 6-INCH HIGH)
- 3 x 3 P.O.P. FRAME
- TRASH VALET w/ FRONT WINDSHIELD SERVICE
- 13" x 13.75" VINYL ID FLAG ON ALUMINUM FRAME
- MULTIPRODUCT FUEL DISPENSER
- SOLAR ARRAY MOUNTED TO TOP OF FUEL CANOPY

**COLOR LEGEND**

- |   |                                              |
|---|----------------------------------------------|
| 1 | IR WHITE; 3M REFLECTIVE WHITE 680-10         |
| 2 | IR BLUE; PMS 2935c; 3M BRISTOL BLUE          |
| 3 | LIGHT GRAY; PMS 428c; JB #A3W-6005 FINISH    |
| 4 | DARK GRAY; PMS 431c; JB# 4560-001 FINISH     |
| 5 | RED; PMS 185c                                |
| 6 | WHITE; JB# 45081 FINISH                      |
| 7 | IR SILVER; PMS 429c; JONES BLAIE # 36 FINISH |

NOTE: ALL PAINT TO BE VOC COMPLIANT URETHANE

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**Preparer:** Barghausen Consulting Engineers, LLC.  
18215 72nd Avenue South  
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**Location:** SWC SIERRA & BASELINE  
FONTANA, CA 92336

**DESIGNED BY:** LP **DRAWN BY:** AH  
**CHECKED BY:** LP **APPROVED BY:** AH  
**SCALE:** As indicated **PROJECT NO.:** 21786  
**SHEET TITLE:** CANOPY PLANS & ELEVATIONS

**SHEET NO.:** CP1.1  
**PAGE NUMBER:** of

**PRELIMINARY**

No.	Date	By	Clk.	Appr.	Revision

**GENERAL NOTES**

- A. ALL DIMENSIONS ARE TO FACE OF STUD OR CMU.
- B. SEE CIVIL DRAWINGS FOR UTILITY CONNECTIONS/ LOCATIONS.
- C. ALL EXCAVATIONS SHALL BE FREE FROM LOOSE DIRT, WATER AND DEBRIS, ROOTS, STUMPS, ETC. BEFORE PLACING CONCRETE.
- D. ALL WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS. WELDS SHALL BE GROUND SMOOTH.
- E. CMU INTERIOR:
  - a. SMOOTH GROUT AT ALL INTERIOR JOINTS
  - b. COAT INTERIOR CMU SURFACES w/ 16 MIL. MINIMUM SIKAGARD 62 (510) 636-2020.
  - c. PAINT INTERIOR CMU SURFACES w/ FINAL COAT OF OFF WHITE EPOXY (WASHABLE) PAINT
- F. METAL ACCESS GATE:
  - a. 6x3 TUBULAR STEEL GATE POST - TYP. OF 3; PROVIDE CAP WELDED TO POST PER STRUCTURAL
  - b. 3x3 TUBULAR STEEL GATE FRAME - PROVIDE CAP WELDED TO 3x3 PER STRUCTURAL

**LEGEND**

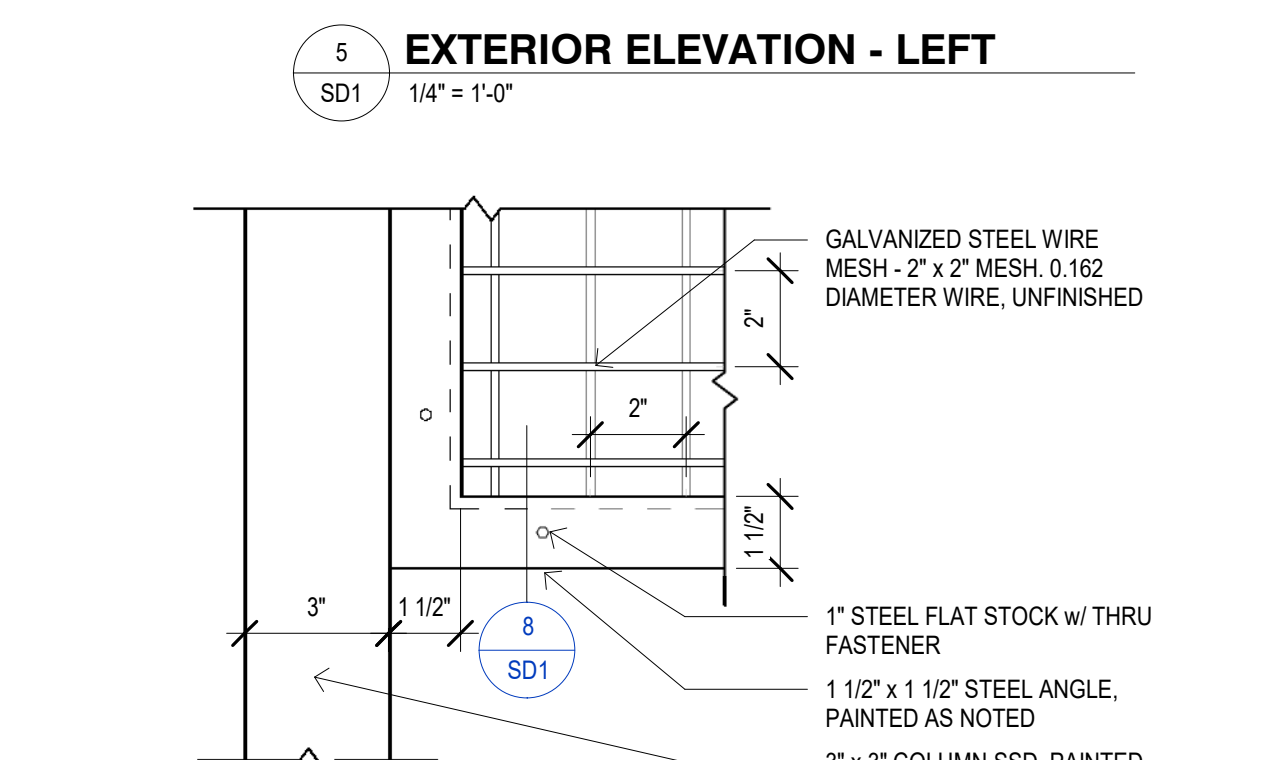
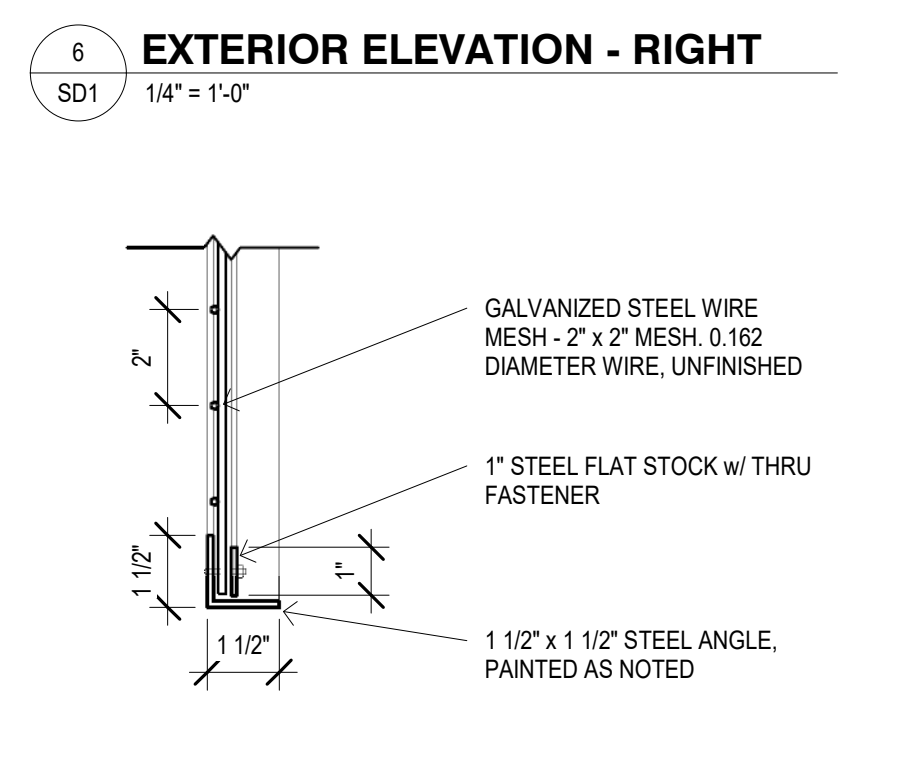
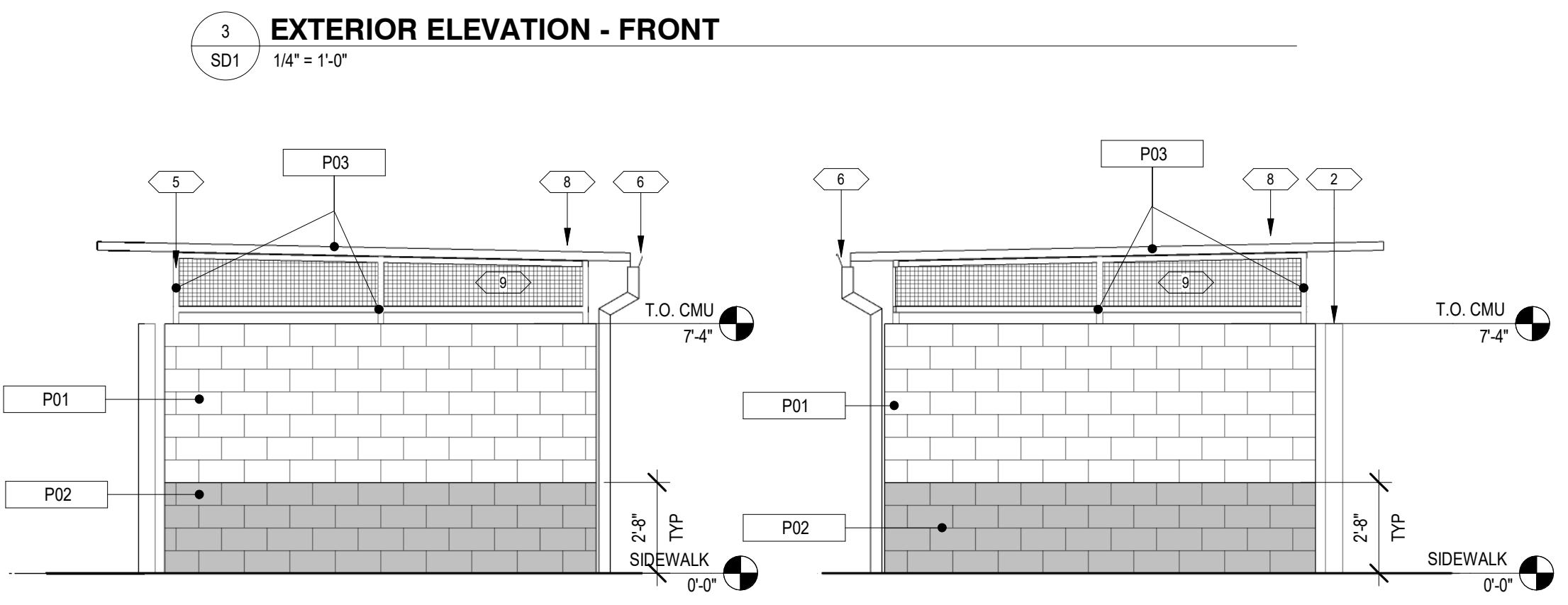
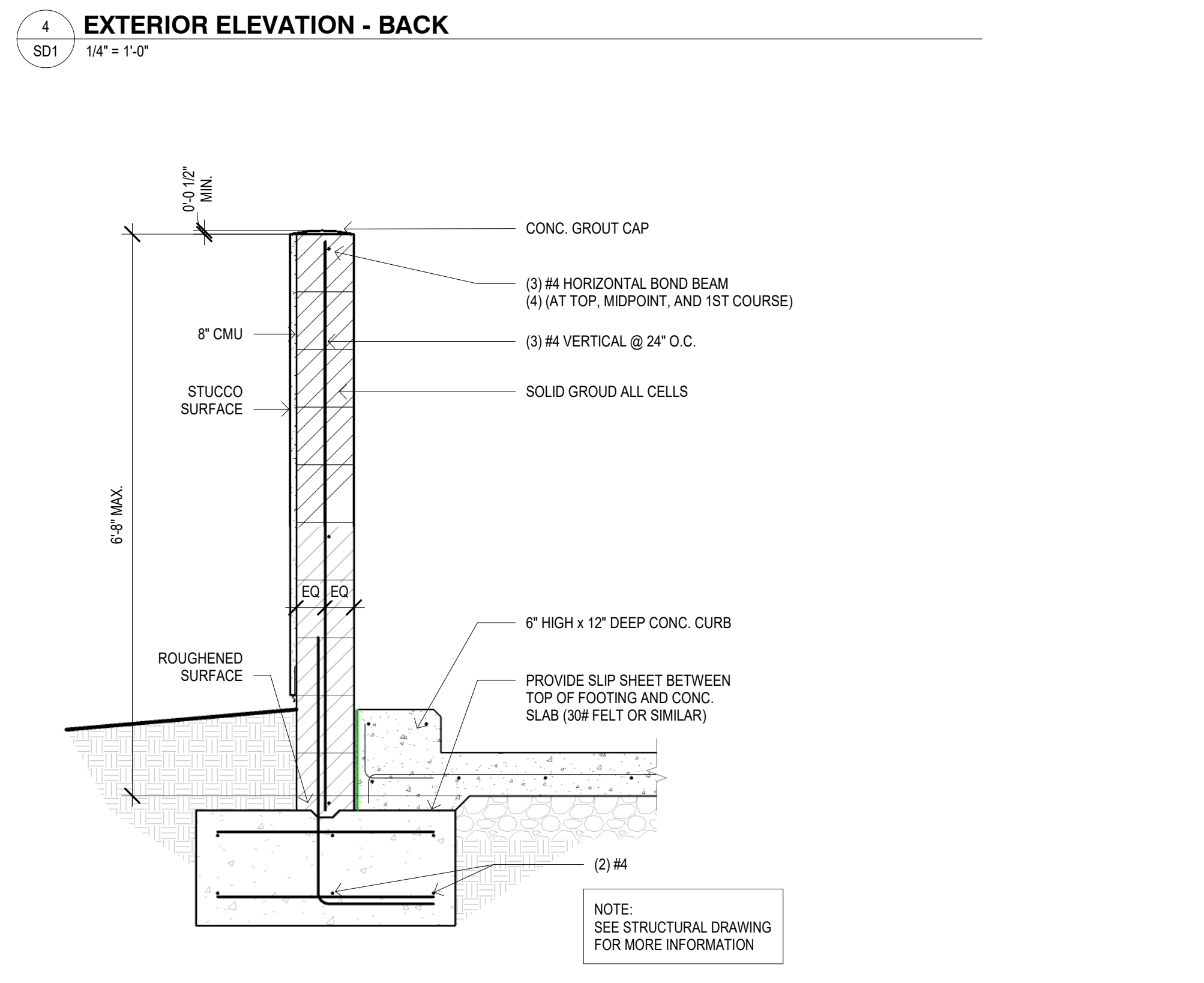
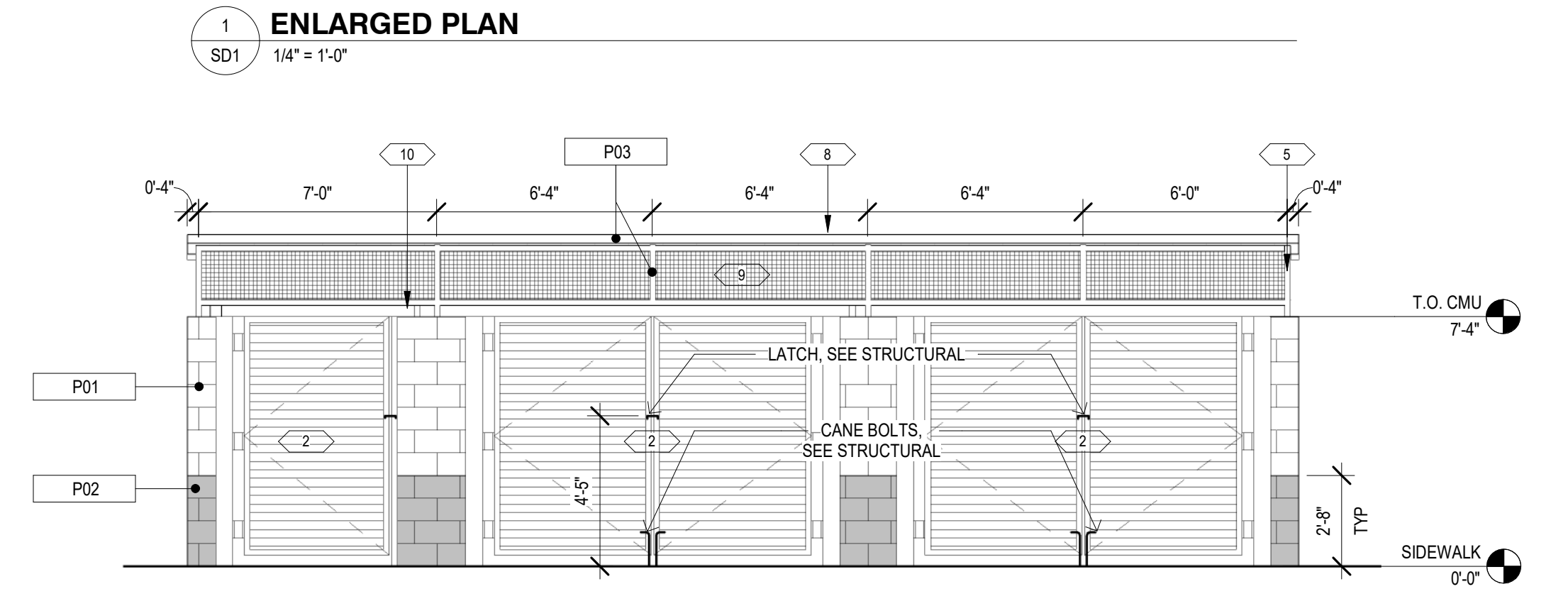
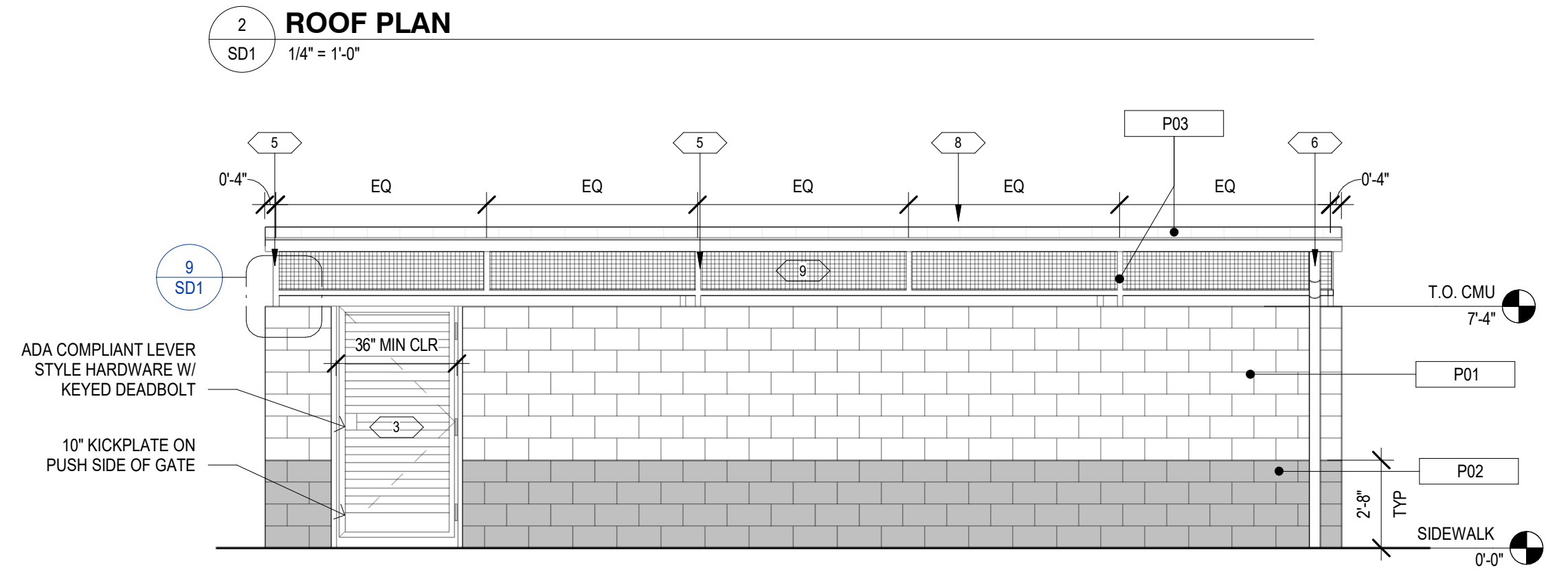
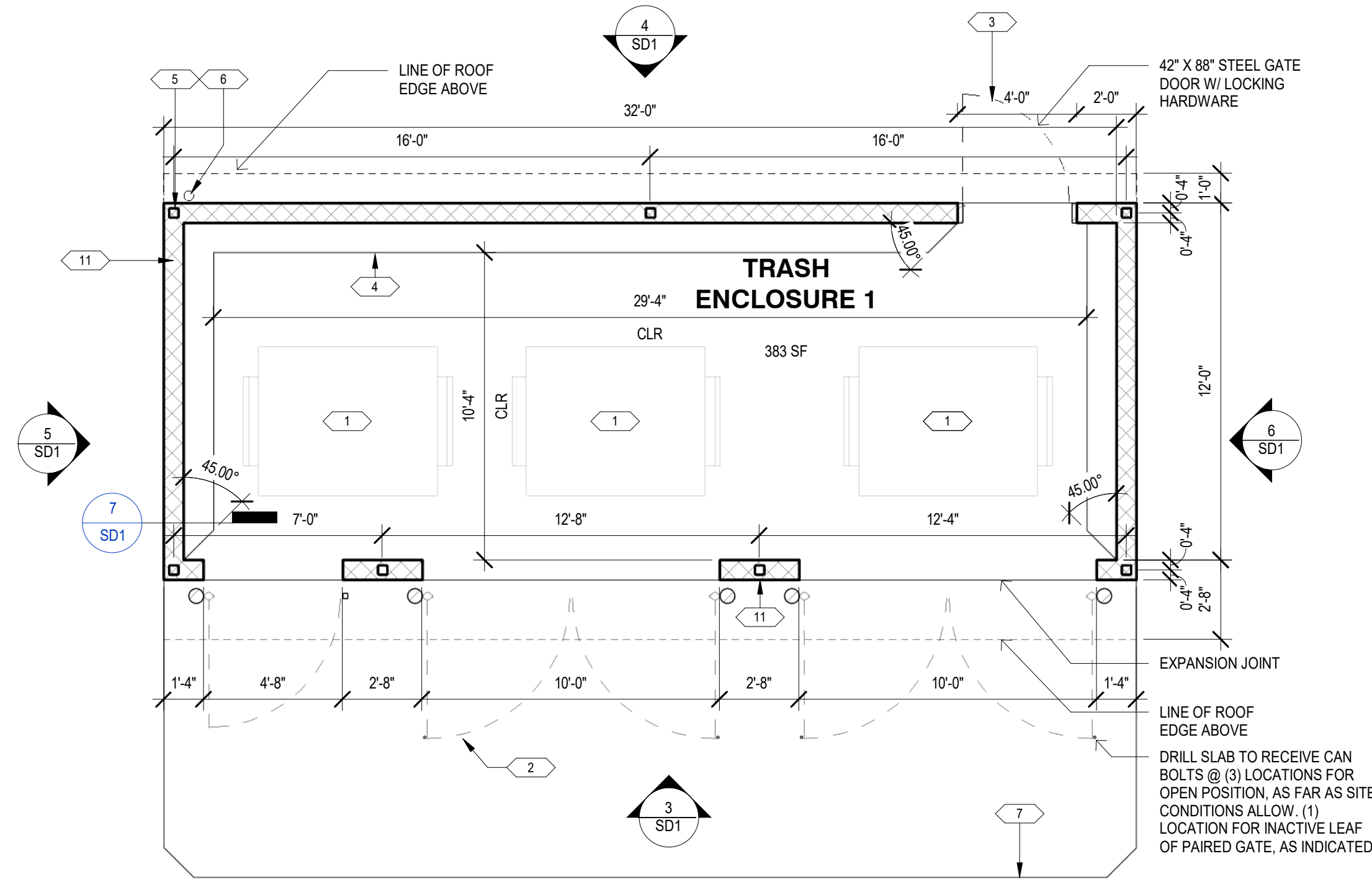
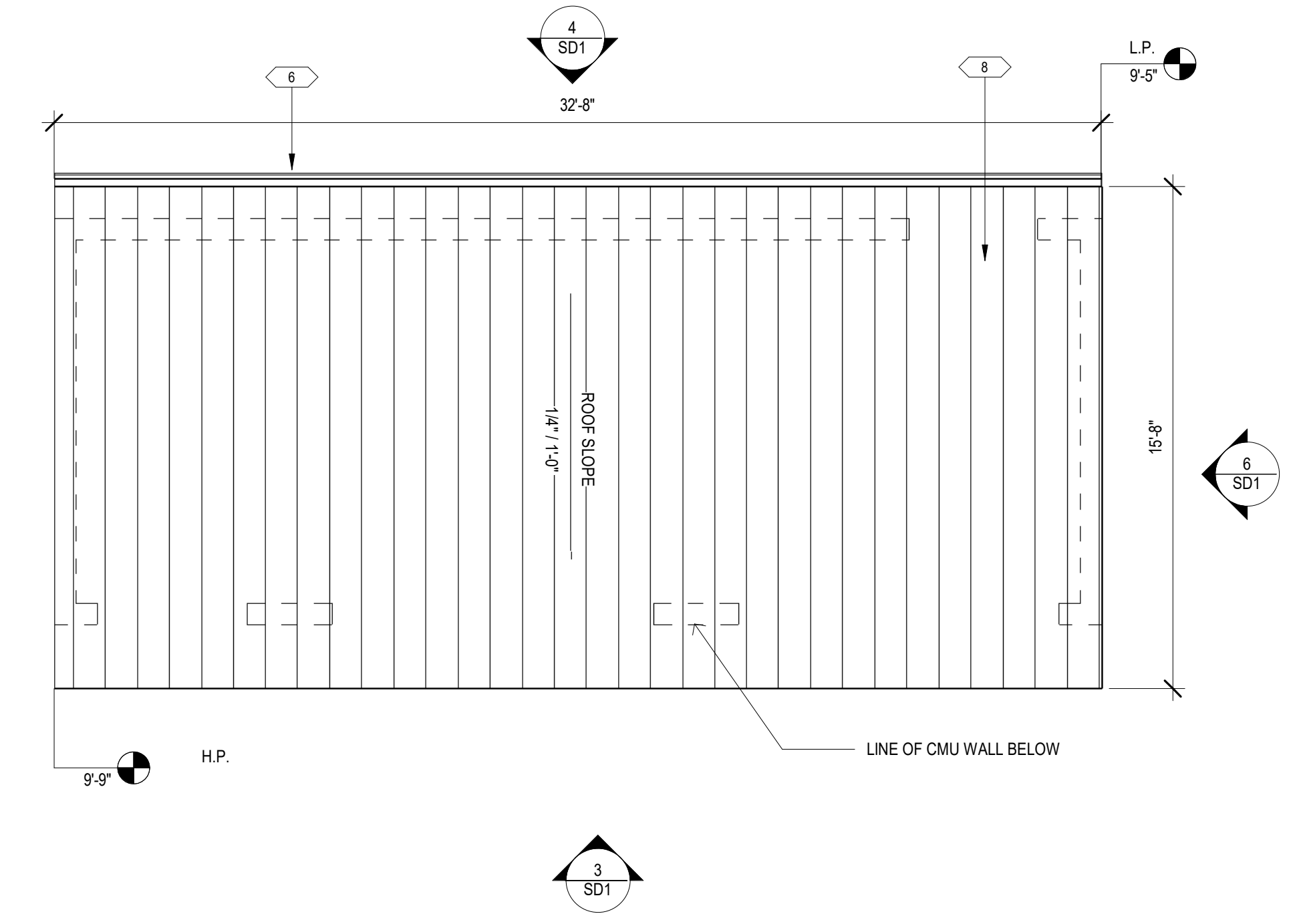
- KEYNOTE
- FINISH MATERIAL

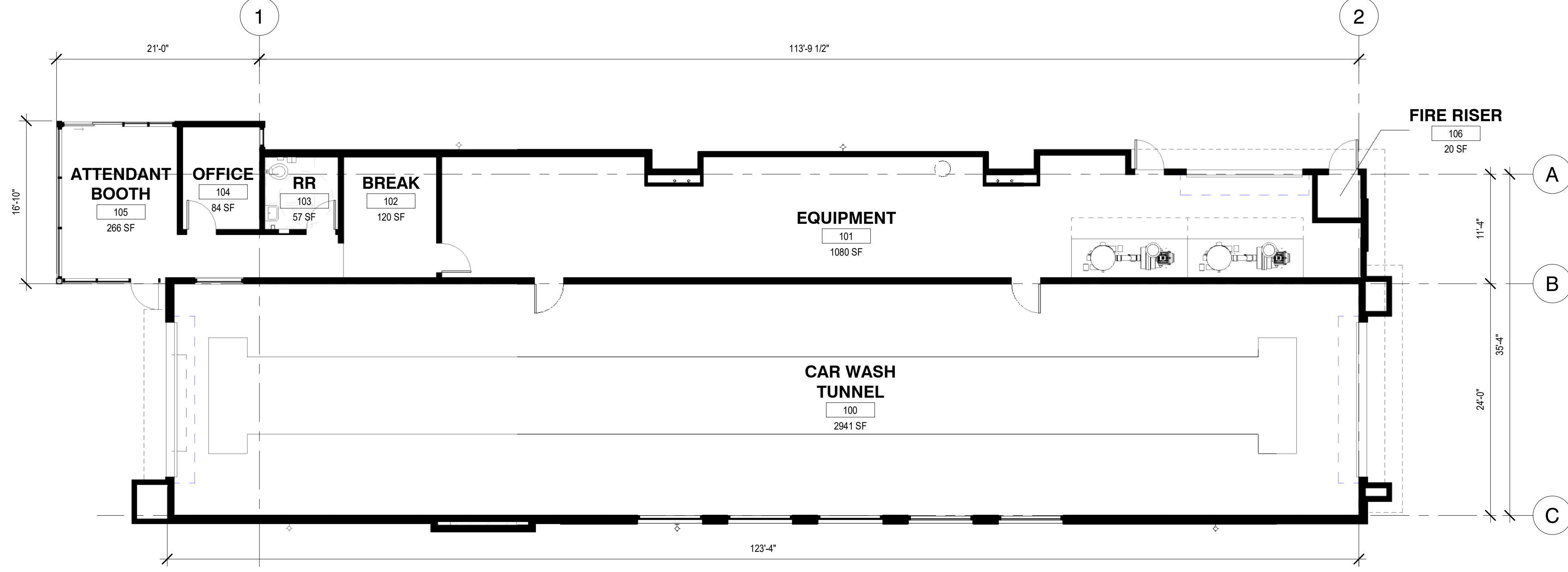
**COLOR LEGEND**

- P01 SHADED WHISPER, PPG0995-1, SEMI-GLOSS
- P02 STATUE GARDEN PPG0996-3, MATTE
- P03 SUMMER SHADOW, PPG0997-7, MATTE

**KEYNOTES**

- 1 DUMPSTER, BY OTHERS
- 2 METAL ACCESS GATES w/ HEAVY-DUTY HINGES, PAINTED SUMMER SHADOW (EXT. SUPERPAINT FLAT) PPG0996-7
- 3 WROUGHT IRON GATES w/ KICK PLATE AND HEAVY-DUTY HINGES, PAINTED SUMMER SHADOW (EXT. SUPERPAINT FLAT) PPG0996-7
- 4 6" HIGH x 12" WIDE CONCRETE CURB
- 5 3 x 3 COLUMN SSD, PAINTED SUMMER SHADOW (EXT. SUPERPAINT FLAT) PPG0996-7
- 6 METAL GUTTER AND DOWNSPOUT, PAINTED SUMMER SHADOW (EXT. SUPERPAINT FLAT) PPG0996-7
- 7 6" THICK CONCRETE SLAB AND ENCLOSURE APRON w/ "FIBERMESH" AND #4 @12" E.W.
- 8 1.5x20 GA GALVANIZED STEEL DECKING BY VULCRAFT (ESR-1227) FASTEN w/ 1/4-24 TEKS w/ BONDED WASHER @ 16" OC, TYP., PAINTED SUMMER SHADOW (EXT. SUPERPAINT FLAT) PPG0996-7
- 9 GALVANIZED STEEL WIRE MESH, UNFINISHED
- 10 STEEL ANGLE AND FLAT STOCK FRAME, PAINTED SUMMER SHADOW (EXT. SUPERPAINT FLAT) PPG0996-7
- 11 8 x 8 x 16 (NOMINAL) CMU WALL





1 CAR WASH FLOOR PLAN  
PR.1.1 1/8" = 1'-0"



No.	Date	By	Chk.	Revision

**Title:** PRESENTATION FLOOR PLAN  
CARWASH  
SW CORNER OF SIERRA AVE & BASELINE AVE  
CITY OF FONTANA, CA 92336

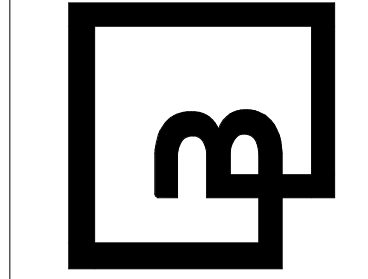
**For:** MIDLAND OIL GROUP  
3270 INLAND EMPIRE BLVD., STE. 430  
ONTARIO, CA 91764



Designed	Drawn	Checked	Approved	Date
SAS	LDMP	LD		07/17/2025

Scale:  
Horizontal 1/8" = 1'-0"  
Vertical 1/8" = 1'-0"

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Job Number  
**21786**  
Sheet  
**PR 1.1**  
of



2 EXTERIOR ELEVATION - EAST - PRESENTATION  
PR2.1 3/16" = 1'-0"

**KEYED NOTES**

- 1 BLACK ANODIZED ALUMINUM STOREFRONT
- 2 ALUMINUM STOREFRONT DOOR PER SCHEDULE
- 3 HOLLOW METAL DOOR PER SCHEDULE
- 4 COILING OVERHEAD DOOR W FACTOR FINISH PER SCHEDULE
- 5 TOWER METAL ACCESS DOOR PER SCHEDULE
- 6 PREFAB METAL COPING
- 7 LINE OF ROOF BEYOND
- 8 LPR: SEE CAR WASH EQUIPMENT MANUFACTURER SUPPLIER DRAWINGS
- 9 OVERHEIGHT BAR: SEE CAR WASH EQUIPMENT MANUFACTURER SUPPLIER DRAWINGS
- 10 TOWER CORNICE, SEE DETAIL 3/CWA5.3
- 11 VACUUM EQUIPMENT, SONNY'S CARWASH VACUUMS BY AUTOVAC, SEE SHOP DRAWINGS FOR REFERENCE
- 12 ARCHITECTURAL CANOPY OVER POINT OF SALE, VACUUMS (COLOR TBD)
- 13 POINT OF SALE EQUIPMENT
- 14 WALL-MOUNTED EXTERIOR LIGHT FIXTURE
- 15 BUILDING ADDRESS, 10' ILLUMINATED LETTERS

**MATERIALS LEGEND**

- |      |                                                          |
|------|----------------------------------------------------------|
| HP-1 | HARDIE PABEL "SELECT CEDARMILL" 8-IN WIDE SIDING         |
| MP-1 | McELROY "MEDALLION-LOK" 12-IN STANDING SEAM METAL PANELS |
| MP-2 | ARCHITECTURAL SHEET METAL DECORATIVE COPING              |
| CP-1 | SMOOTH STEEL-TROWELED "SBMF" CEMENT PLASTER              |

**COLOR LEGEND**

- |      |                                                                                             |
|------|---------------------------------------------------------------------------------------------|
| PT-1 | MATTE BLACK FACTORY KYNAR 500 (PVDF) FINISH                                                 |
| PT-2 | BLENDED GREYS/ NEUTRAL FACTORY COLORS<br>30% "PEARL GRAY" 30% "SLATE GRAY" 40% "LIGHT MIST" |
| PT-3 | BLACK CHARCOAL PAINT<br>BENJAMIN MOORE 2134-30 IRON MOUNTAIN; SATIN FINISH                  |
| PT-4 | DARK GRAY PAINT<br>BENJAMIN MOORE CW-705 TUCKER GRAY; SATIN FINISH                          |
| PT-5 | WHITE PAINT<br>BENJAMIN MOORE OC-170 WHITE DOVE; SATIN FINISH                               |
| FF-2 | HARDIE PLANK "COPPER PENNY"<br>PRE-FINISHED FACTORY COLOR/ MITER ALL CORNERS                |



1 EXTERIOR ELEVATION - SOUTH - PRESENTATION  
PR2.1 3/16" = 1'-0"

**MATERIAL/COLOR LEGEND**

HP-1	MP-1	Cement Gray PT-5	PT-1	Street Chic CP-1
FF-2	Black Panther MP-2	CP-2	Iron Mountain PT-3	White Dove PT-4

No.	Date	By	Chk	Revision

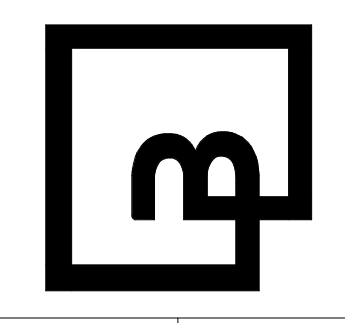
**EXTERIOR ELEVATIONS**  
**Title:** CARWASH  
 SW CORNER OF SIERRA AVE & BASELINE AVE  
 CITY OF FONTANA, CA 92336

**For:** MIDLAND OIL GROUP  
 3270 INLAND EMPIRE BLVD., STE. 430  
 ONTARIO, CA 91764



Scale:	Horizontal	As indicated
Vertical	As indicated	
Designed:	SAS	LDLP
Drawn:	LDLP	DD
Checked:	DD	
Approved:		
Date:	07/17/2025	

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Job Number: 21786  
 Sheet: PR2.1  
 Date: 7/19/2025 10:20:34 AM



**# KEYED NOTES**

- 1 BLACK ANODIZED ALUMINUM STOREFRONT
- 2 ALUMINUM STOREFRONT DOOR PER SCHEDULE
- 3 HOLLOW METAL DOOR PER SCHEDULE
- 4 COILING OVERHEAD DOOR W/ FACTOR FINISH PER SCHEDULE
- 5 TOWER METAL ACCESS DOOR PER SCHEDULE
- 6 PREFAB METAL COPING
- 7 LINE OF ROOF BEYOND
- 8 LPR: SEE CAR WASH EQUIPMENT MANUFACTURER/ SUPPLIER DRAWINGS
- 9 OVERHEIGHT BAR: SEE CAR WASH EQUIPMENT MANUFACTURER/ SUPPLIER DRAWINGS
- 10 TOWER CORNICE, SEE DETAIL 3/CWA5.3
- 11 VACUUM EQUIPMENT, SONNY'S CARWASH VACUUMS BY AUTOVAC, SEE SHOP DRAWINGS FOR REFERENCE
- 12 ARCHITECTURAL CANOPY OVER POINT OF SALE, VACUUMS (COLOR TBD)
- 13 POINT OF SALE EQUIPMENT
- 14 WALL-MOUNTED EXTERIOR LIGHT FIXTURE
- 15 BUILDING ADDRESS, 10" ILLUMINATED LETTERS

**MATERIALS LEGEND**

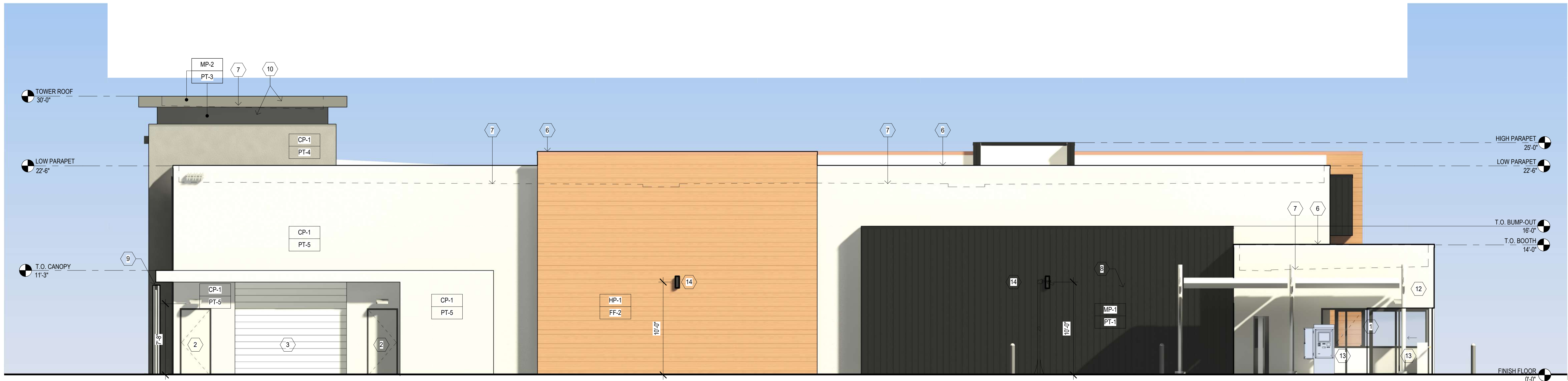
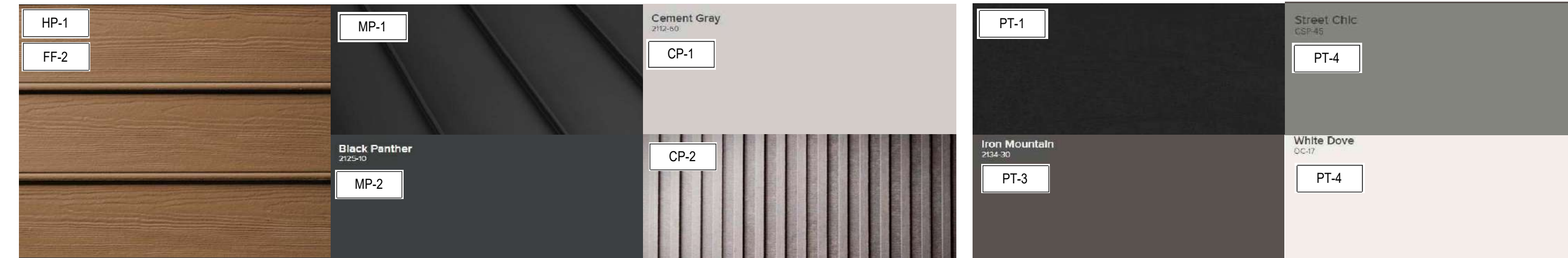
- HP-1 HARDIE PABEL "SELECT CEDARMLL" 8-IN WIDE SIDING
- MP-1 McELROY "MEDALLION-LOK" 12-IN STANDING SEAM METAL PANELS
- MP-2 ARCHITECTURAL SHEET METAL DECORATIVE COPING
- CP-1 SMOOTH STEEL-TROWELED "SBMF" CEMENT PLASTER

**COLOR LEGEND**

- PT-1 MATTE BLACK FACTORY KYNAR 500 (PVDF) FINISH
- PT-2 BLENDED GREYS/ NEUTRAL FACTORY COLORS 30% "PEARL GRAY" 30% "SLATE GRAY" 40% "LIGHT MIST"
- PT-3 BLACK CHARCOAL PAINT BENJAMIN MOORE 2134-30 IRON MOUNTAIN: SATIN FINISH
- PT-4 DARK GRAY PAINT BENJAMIN MOORE CW-705 TUCKER GRAY: SATIN FINISH
- PT-5 WHITE PAINT BENJAMIN MOORE OC-170 WHITE DOVE: SATIN FINISH
- FF-2 HARDIE PLANK "COPPER PENNY" PRE-FINISHED FACTORY COLOR/ MITER ALL CORNERS

2 EXTERIOR ELEVATION - WEST - PRESENTATION  
PR2.2 3/16" = 1'-0"

**MATERIAL/COLOR LEGEND**

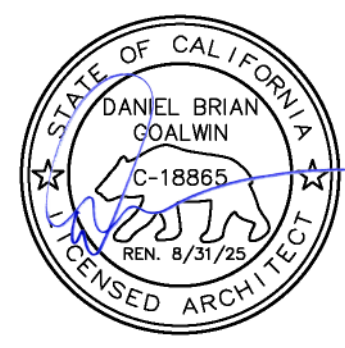


1 EXTERIOR ELEVATION - NORTH - PRESENTATION  
PR2.2 3/16" = 1'-0"

No.	Date	By	Chk.	Revision

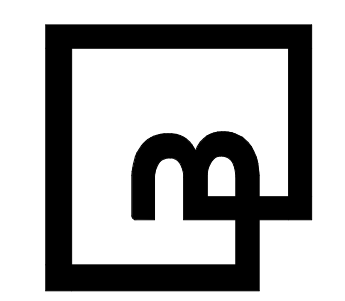
**EXTERIOR ELEVATIONS**  
**Title:** CARWASH  
 SW CORNER OF SIERRA AVE & BASELINE AVE  
 CITY OF FONTANA, CA 92336

**For:** MIDLAND OIL GROUP  
 3270 INLAND EMPIRE BLVD., STE. 430  
 ONTARIO, CA 91764

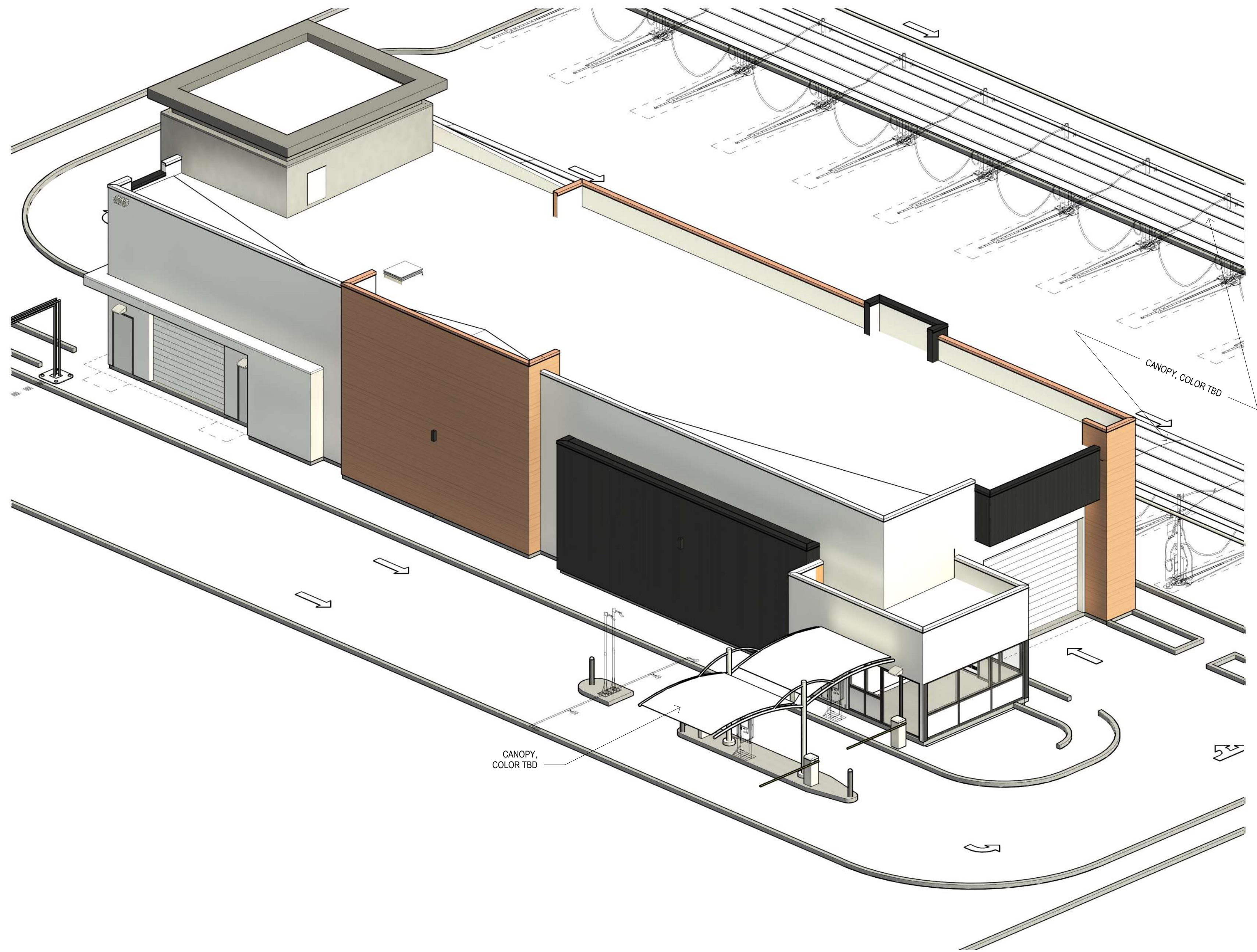


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Designed:	SAS	LDLP	DD	07/17/2025
Drawn:				
Checked:				
Approved:				
Date:				

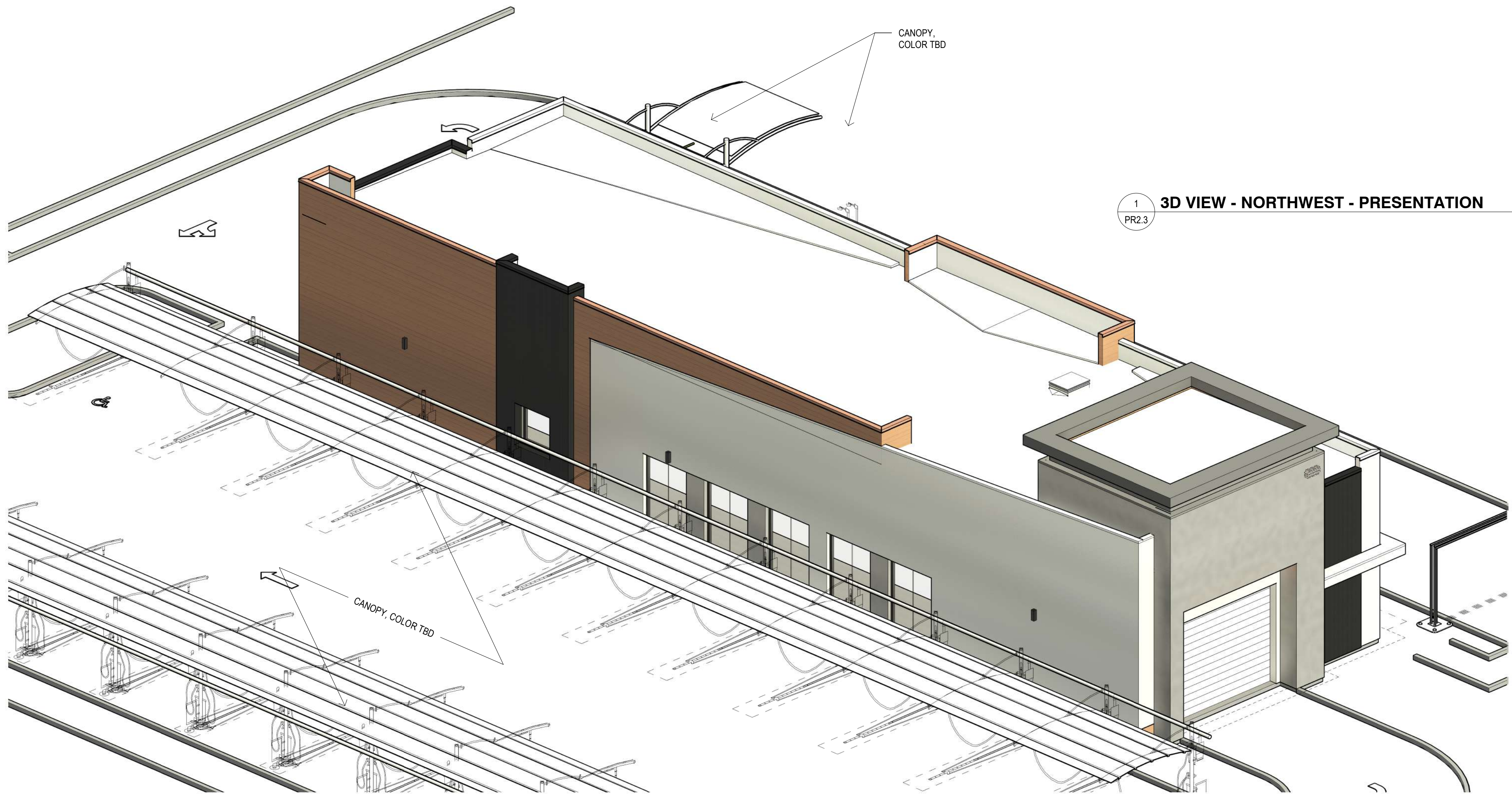
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Job Number: 21786  
 Sheet: PR2.2  
 Date: 7/19/2025 10:20:45 AM



1 3D VIEW - NORTHWEST - PRESENTATION  
PR2.3

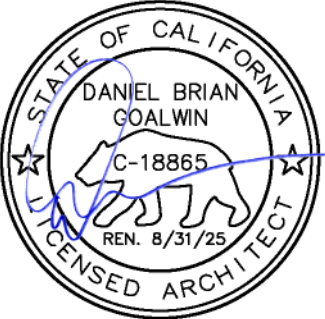


2 3D VIEW - SOUTHEAST - PRESENTATION  
PR2.3

No.	Date	By	Chk	Revision

**Title:** 3D EXTERIOR AXON VIEWS  
CARWASH  
SW CORNER OF SIERRA AVE & BASELINE AVE  
CITY OF FONTANA, CA 92336

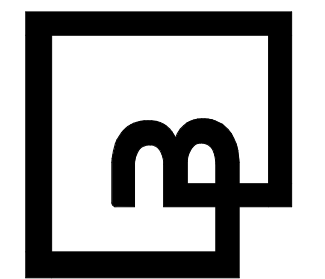
**For:** MIDLAND OIL GROUP  
3270 INLAND EMPIRE BLVD., STE. 430  
ONTARIO, CA 91764



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Horizontal	Vertical

Designed	SAS	LDMP	DD	07/17/2025
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Date				

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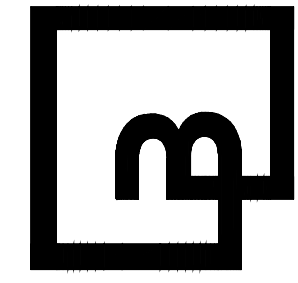


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**21786**  
Sheet  
**PR2.3**



Job Number  
**21786**

Sheet  
**R1:1**



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Drawn     AD  
Checked     DEG  
Approved      
Date    

Scale:

Horizontal

Vertical



For: **MIDLAND INVESTMENTS LLC**  
**3270 INLAND EMPIRE BLVD, SUITE 430**  
**ONTARIO, CA 91764**

Title:

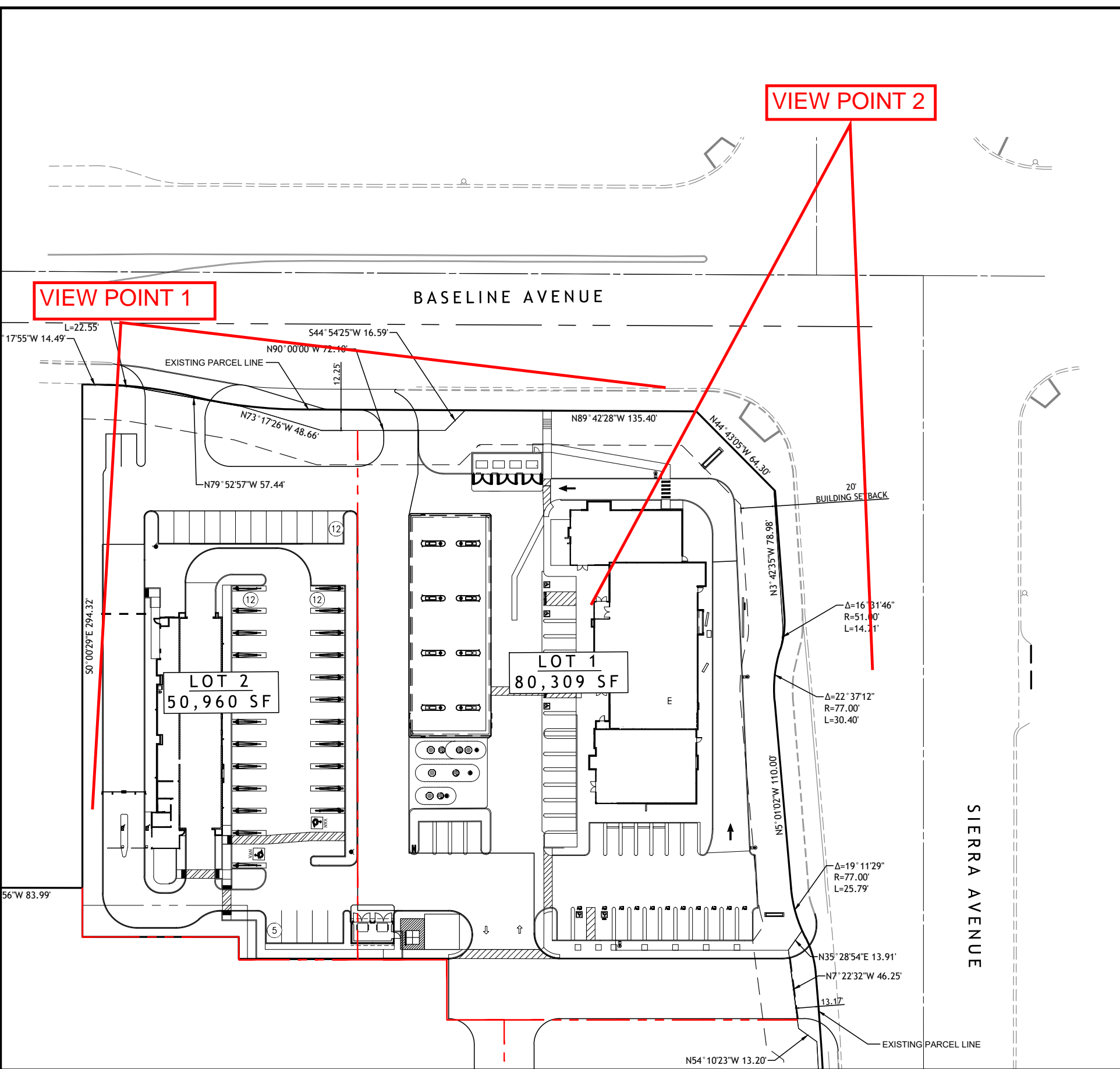
**RENDERING IMAGE**

**SW CORNER OF SIERRA AVE. + BASELINE AVE**  
**CITY OF FONTANA, CALIFORNIA**

No.	Date	By	Clk.	Appr.	Revision



VIEW POINT 1



VIEW POINT 2

No. Date By Ckd. Appr. Revision

RENDERING IMAGE

For: MIDLAND INVESTMENTS LLC  
3270 INLAND EMPIRE BLVD, SUITE 430  
ONTARIO, CA 91764

Job Number  
21786  
Sheet  
R1.3



Scale: Horizontal Vertical  
Designed \_DEG\_ Drawn \_AD\_ Checked \_DEG\_ Approved \_DATE\_ Date

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