



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2713
Agenda #: PH-F

Agenda Date: 1/16/2024
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 20-073, General Plan Amendment No. 20-015, Zoning District Map Amendment No. 20-015, Conditional Use Permit No. 22-013, Tentative Tract Map No. 20-006 (TTM No. 20358), and Design Review No. 20-028: a request for Planning Commission review of amendments to the land use designations on 8.8 gross acres (APNs: 0233-122-28, -29, -60, -63), a Conditional Use Permit to establish a Planned Unit Development for the project, subdivision of four parcels, and site and architectural review to construct a 53-lot single family residential detached development, located on the southeast corner of Orchid Avenue and Poplar Avenue, and on the west side of Catawba Avenue, pursuant to a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval; staff recommends that the Planning Commission adopt Resolution PC No. 2024____; and, recommend that the City Council:

1. Adopt the Mitigated Negative Declaration, approve the Mitigation Monitoring and Reporting Program, and direct staff to file a Notice of Determination; and,
2. Adopt a resolution approving General Plan Amendment (GPA) No. 20-015; and,
3. Adopt an ordinance approving Zoning District Map Amendment (ZCA) No. 20-015; and,
4. Adopt a resolution approving Conditional Use Permit (CUP) No. 22-013; and,
5. Adopt a resolution approving Tentative Tract Map No. 20-006 (TTM No. 20358); and,
6. Adopt a resolution approving Design Review (DRP) No. 20-028.

APPLICANT:

Monte Vista Assets, Inc
8628 Hillside Road
Alta Loma, CA 91701

LOCATION:

The project site consists of vacant property located between Poplar Avenue and Catawba Avenue, north of Athol Street and south of Orchid Avenue, APNs: 0233-122-28, -29, -60, and -63.

REQUEST:

1. General Plan Amendment (GPA) No. 20-015 - a request to amend Exhibit 15.8 in Chapter 15 (Land Use, Zoning, and Urban Design) of the General Plan to amend the General Plan land use

- designation from Single-Family Residential (R-SF) to Medium Density Residential (R-M) for APNs: 0233-122-28; -29, -60, and -63 consisting of approximately 8.8 adjusted gross acres total.
2. Zoning District Map Amendment (ZCA) No. 20-015 - a proposal to amend the zoning map (Zoning District Map) from Single-Family Residential (R-1) to Medium Density Residential (R-2) for APNs: 0233-122-28; -29, -60, and -63 consisting of approximately 8.8 adjusted gross acres total.
 3. Conditional Use Permit (CUP) No. 22-013 - a request to establish the minimum requirements and specific site development standards under a Planned Unit Development for the 53-lot single-family residential detached dwelling project. The Planned Unit Development will establish the minimum lot sizes, project density, and setbacks for the project site.
 4. Tentative Tract Map No. 20358 (TTM 20-006) - a request to subdivide four (4) parcels (approximately 8.8 acres) for the development of a 53-lot subdivision. The lots range in size from 4,200 square feet to 7,077 square feet. The minimum lot size is 4,200 square feet, established by the CUP.
 5. Design Review (DRP) No. 20-028 - a request for site and architectural review for a new 53-lot single-family detached residential project with associated on-site and off-site improvements.

PROJECT PLANNER:

Jon Dille, Assistant Planner

BACKGROUND INFORMATION:

Land Use Designation:

	General Plan	Zoning	Existing Land Use
Site:	Single-Family Residential (R-SF)	Single-Family (R-1)	Vacant land
North:	Single-Family Residential (R-SF)	Single-Family (R-1)	Single-Family Residence Dwellings
South:	Single-Family Residential (R-SF)	Single-Family (R-1)	Single-Family Residential Dwellings
East:	Single-Family Residential (R-SF)	Single-Family (R-1)	Single-Family Residential Dwellings
West:	Single Residential (R-S)	Single Residential County of San Bernardino	Single-Family Residential Dwellings

PROJECT DESCRIPTION:

- A. Site Area: Approximately 8.8 adjusted gross acres
- B. Density: Allowed: 5.1 to 7.6 5.4
Provided:
- C. Building/Unit Analysis: 53 lots
- D. Total Area: Approximately 8.8 gross acres

- E. Parking Analysis: Required: 1 garage for each dwelling unit
Provided: 1 garage for each dwelling unit + 36 visitor parking spaces including two handicap spaces
- F. Landscaping: Required: 15 percent
Provided: 20 percent (59,236 SF)

ANALYSIS:

The applicant, Monte Vista Assets, Inc. is requesting that the Planning Commission review and forward a recommendation of approval to the City Council for a General Plan Amendment application to change the General Plan land use map, Exhibit No. 15.8, from Single-Family Residential (R-SF) district to the Medium Density Residential (R-M), a Zoning District Map Amendment application to change the Zoning District Map from Single-Family Residential (R-1) to Medium Density Residential (R-2), adopt a Conditional Use permit to establish a Planned Unit Development for the project, subdivide four parcels via a Tentative Tract Map, and Design Review application for the site and architectural review to construct 53-lot single-family residential detached dwellings. The project will include site improvements of parking, landscaping, and other associated on-site and off-site improvements for a site of approximately 8.8 adjusted gross acres, APNs: 0233-122-28; -29, -60, and -63.

General Plan Amendment (GPA) No. 20-013

The proposal would amend Exhibit 15.8 in Chapter 15 (Land Use, Zoning and Urban Design) of the General Plan to change the General Plan land use designation from Single-Family Residential (R-SF) to Medium Density Residential (R-M) to allow for the residential development. The project site is approximately 8.8 adjusted gross acres, APNs: 0233-122-28; -29, -60, -63.

The proposed General Plan amendment is consistent with the goals and policies of the Housing Element in the General Plan. The project is consistent with the following goals of the Housing Element.

- Provide adequate housing to meet the needs of all residents in the City of Fontana.
- Provide a high standard of quality in existing affordable housing stock.

Furthermore, the project will meet the following policies of the Housing Element of the General Plan:

- Goal No.1, Policy No. 1.1, by providing a “Establish a range of rental and for sale housing opportunities in the city” and
- Goal No. 1, Policy No. 1.3 - “Promote the development and access to housing affordable to all income levels in Fontana”

The amendment will present an opportunity for development to be constructed at a higher density which will allow City to have a wider variety of housing types for residents. This amendment will increase the unit count and provide opportunity for attainable or market rate housing. Also, this amendment will assist the City of Fontana in meeting its Regional Housing Needs Assessment (RHNA) numbers. This change will increase the unit count from the existing maximum of 44 residential units (8.8 acres x 5.0 units/acre = 44 compared to 66 residential units (8.8 acres x 7.6

units/acre = 66). The proposed amendment will increase the potential residential units count by 22 units.

Zoning Change Amendment (ZCA) No. 20-015

The proposal would change the zoning map (Zoning District Map) Zoning Code Amendment would the change the Zoning District Map from the Single-Family (R-1) zone district to the Medium Density (R-2) zone district, to allow for the residential planned development, for the properties APNs: 0233-122-28; -29, -60, and -63, of approximately 8.8 adjusted gross acres. The Zoning District Map amendment would ensure that zoning for the project site is consistent with the proposed General Plan Amendment.

Conditional Use Permit (CUP) No. 22-013 for a Planning Unit Development

The applicant has submitted a Conditional Use Permit application for the purpose of establishing a Planned Unit Development (PUD). The site has a General Plan Designation of Single-Family Residential (R-SF). With approval of the proposed General Plan Land Use Designation to Medium Density Residential (R-M), a mix of single-family product types may be permitted with an approved site plan. The site plan provides specific planning and design for a defined geographical area designated within the Medium Density Residential (R-M) zone and interconnected with walkable and recreational amenities for the residential development. The purpose of a PUD is to encourage creative and desirable livable communities that incorporate modern site plan techniques and building grouping and arrangements that would not necessarily be permitted with the strict application of the current Zoning and Development Code. Based on the PUD development standard, the proposed Medium Density Residential (R-2) zoning district allows for a maximum density of twelve (12) dwelling units per acre. The proposed combined density for this project site is 5.4 dwelling units per acre. Based on the unique guidelines from the PUD, the applicant has provided a unique and vibrant development that will create a sense of community for the residents. A summary of the amenities are detailed later in the staff report.

The proposal for this Planned Unit Development (PUD) is to establish the minimum requirements and specific site development standards for the development of the 53-lot single-family residential detached dwelling project. The Planned Unit Development will establish the allowed density, minimum lot sizes, maximum density, and setbacks for the project site.

Tentative Tract Map No. 20-006 (TTM No. 20358)

The proposal is to subdivide four (4) parcels totaling approximately 8.8 adjusted gross acres, for the development of a 53-lot single-family residential PUD subdivision. The minimum single-family lot size within this subdivision is 4,200 square feet with an average of 5,445 square feet, up to 7,077 square feet. The minimum established lot size dimensions are proposed at 50-foot by 84-foot. The project will include on-site and off-site improvements and the undergrounding of utilities.

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Design Review (DRP) No. 20-028

The applicant has applied for a Design Review approval of the project, which proposal includes three proposed floor plans for the two-story single-family detached dwellings at 1,903 square feet, 2,186 square feet, and 2,368 square feet, respectfully with three architectural styles of homes, Spanish, Tuscan, and Craftsman. Individual two-car garages will be provided for each dwelling. The dwelling units are arranged with private streets and some share private alley. Each dwelling will reflect light earth tone warm colors (i.e. brown, tan, beige, etc.). There are twelve (12) color schemes provided for the overall project. Architectural relief utilized for the proposed homes consists of stone veneer, decorative window treatments, varied roof lines, architectural "pop-outs," banding, porches, and other features appropriate to each theme. The use of a variety of colors and decorative shutters of a contrasting color will further add architectural diversity to each plan. All units are designed with concrete tile roofing material coordinated to match the color scheme of each elevation. All plans are proposed as two-story homes.

Several landscaped open spaces areas are included within the development to include a variety of trees, shrubs, perennials, and ground cover and well landscaped pathways for residents. All landscaped areas will adhere to the city's design guidelines. There will be street landscape treatments along Orchid Avenue and Catawba Avenue.

Amenities

The site includes a park with a shade structure with picnic tables, open lawn area, BBQ island, and a tot lot area. The amenities are centrally located, so the residents have easy access to them. Additionally, the amenities are further discussed in the PUD development standards and plan attached.

Circulation/Walls

Access to the site will be gained by either Orchid Avenue or Catawba Avenue, bridging a complete

circulation network. All interior streets and alleys are private. The circulation network will include improvements including paving of the private streets and alleys with curbing and cutters on both sides. Parking spaces are being provided along the main private streets.

Each lot will have a six-foot high concrete block wall to define private spaces and to provide privacy and help maintain boundaries of open space areas within the development. A six-foot high tan decorative type wall will surround all areas that are seen from public view of the project site.

The project site is physically suitable in size and shape to support the development. Applicable specific site development standards, building, zoning, and fire codes and standards, will be met and will make for a safe, attractive, and well-designed residential project. The project design incorporates internal safety measures such as sidewalks and lighting to facilitate pedestrians/residents walking in the community.

Grading

The grading is consistent throughout the site. The site is relatively flat. Each property will drain to the private street or alley then the area drains will collect the nuisance water and gravity flow into designated chambers located on-site. The overflows from the chamber shall be piped to the paved public street cutter than to the existing storm drain system.

Environmental:

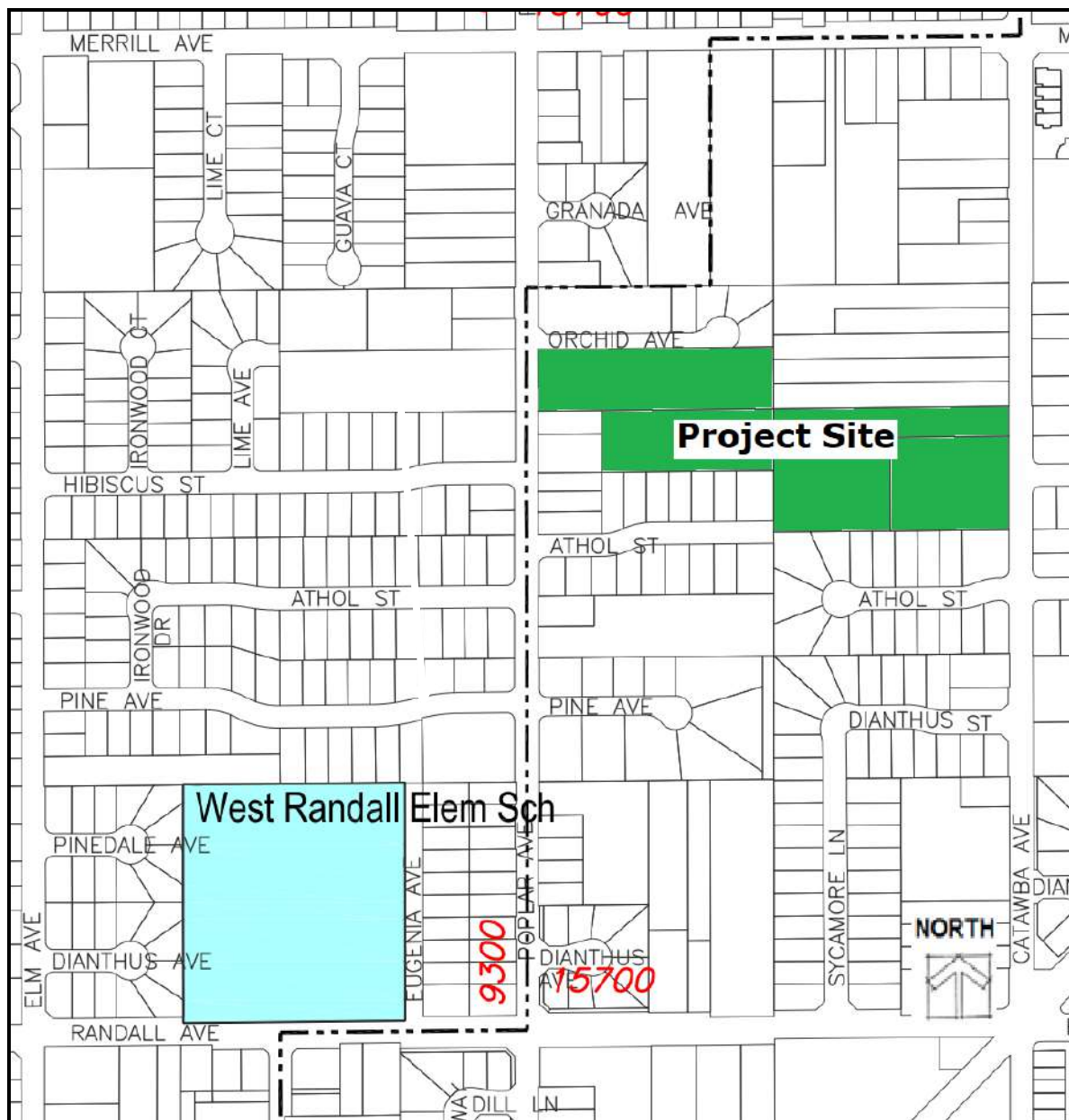
An Initial Study (IS), Mitigated Negative Declaration, and Mitigation Monitoring and Reporting Program has been prepared and circulated for public comment for this project pursuant to the California Environmental Quality Act (CEQA) and the 2019 Local Guidelines for Implementing CEQA. Based on the information in the IS, the project would not have a significant effect on the environment as a result of project implementation and the Mitigated Negative Declaration, and Mitigation Monitoring and Reporting Program; a Notice of Determination have been prepared for the Planning Commission's consideration. The mitigation measures from the Mitigation Monitoring and Reporting Program are included herein as part of the Conditions of Approval. The IS/MND and Mitigation Monitoring and Reporting Program (MMRP) for this project can be found at <https://www.fontanaca.gov/2137/Environmental-Documents>.

MOTION:

Approve Staff Recommendation

ATTACHMENTS:

- Attachment No. 1 - Vicinity Map
- Attachment No. 2 - Tentative Tract Map Exhibit
- Attachment No. 3 - Project Plan Set - Architectural
- Attachment No. 4 - General Plan Amendment Exhibit
- Attachment No. 5 - Zone Change Exhibit
- Attachment No. 6 - Planned Unit Development Standards
- Attachment No. 7 - Planning Commission Resolution, Findings and Conditions of Approval
- Attachment No. 8 - Notice of Determination
- Attachment No. 9 - NOI and Notice of Public Hearing



VICINITY MAP

DATE: January 16, 2024

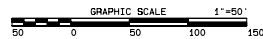
CASE: Master Case No. 20-073
 Zoning Amendment No. 20-015
 General Plan Amendment No. 20-015
 Conditional Use Permit No. 22-013
 Tentative Tract Map No. 20358
 Design Review Permit No. 20-028

TENTATIVE TRACT NO. 20358

BEING A SUBDIVISION OF A PORTION OF LOT 783 ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11 PAGE 12 OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.

S D ENGINEERING AND ASSOCIATES

JULY, 2022



APPLICANT/OWNER/DEVELOPER

MY 20358 LLC
P.O. BOX 9509
ALTA LOMA, CA 91701
ATTN: MR. STEVE LANDIS
PH: (909) 231-7206

PROPERTY ADDRESS

9092 CATAMBA AVENUE
FONTANA, CA 92335

ENGINEER

S.D. ENGINEERING AND ASSOCIATES
ATTN: MR. SURESH DODDIAH, P.E.
242 E. AIRPORT DRIVE, STE. 212
SAN BERNARDINO, CA 92408
PH: (909) 215-3451
EMAIL: SURESH@SDEENGINEERING.NET

GENERAL NOTES

- ASSESSOR'S PARCEL NO.: 0233-122-60, 63, 28 and 29
- PROPERTY ADDRESS: 9092 CATAMBA AVENUE, FONTANA, CA 92335
- GROSS ACREAGE: 8.90 ACRES
- NET ACREAGE: 8.74 ACRES
- NUMBER OF PROPOSED LOTS: 50
- PROJECT DENSITY: 5.96 UNITS/ACRE
- ZONING: EXISTING R1-6000
- PROPOSED R-2 PD
- EXISTING RESIDENTIAL 6

SPECIAL NOTES

- ALL INTERIOR STREETS SHOWN ON THIS MAP ARE PRIVATE.
- ALL ON-SITE SEWER AND WATER LINES WILL BE MAINTAINED PRIVATELY.
- FRONT BUILDING SETBACKS SHOWN ARE FOR GARAGES.
- THERE IS NO C.F.D. REQUIREMENT. ALL LANDSCAPED AREAS, STREETS AND UTILITIES ARE MAINTAINED BY H.O.A.

UTILITY PROVIDERS

SEWER
CITY OF FONTANA
3838 SIERRA AVENUE
FONTANA, CA 92335
(909) 820-9532

WATER
FONTANA WATER COMPANY
16565 ARROW POINTE
FONTANA, CA 92335
(909) 820-2001

ELECTRICITY
SOUTHERN CALIFORNIA EDISON COMPANY
ATTN: M. HERRERA STREET
RATON, CA 92376
(909) 875-9100

UNDERGROUND
CITY OF FONTANA
(913) 637-1233

GAS
SOUTHERN CALIFORNIA GAS COMPANY
1681 N. LUGUENIA AVENUE
FONTANA, CA 92374
(909) 820-9532

TELEPHONE
AT&T
3639 E. CORONADO STREET
ANIMAS, CA 92407
(714) 666-5454

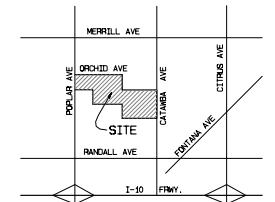
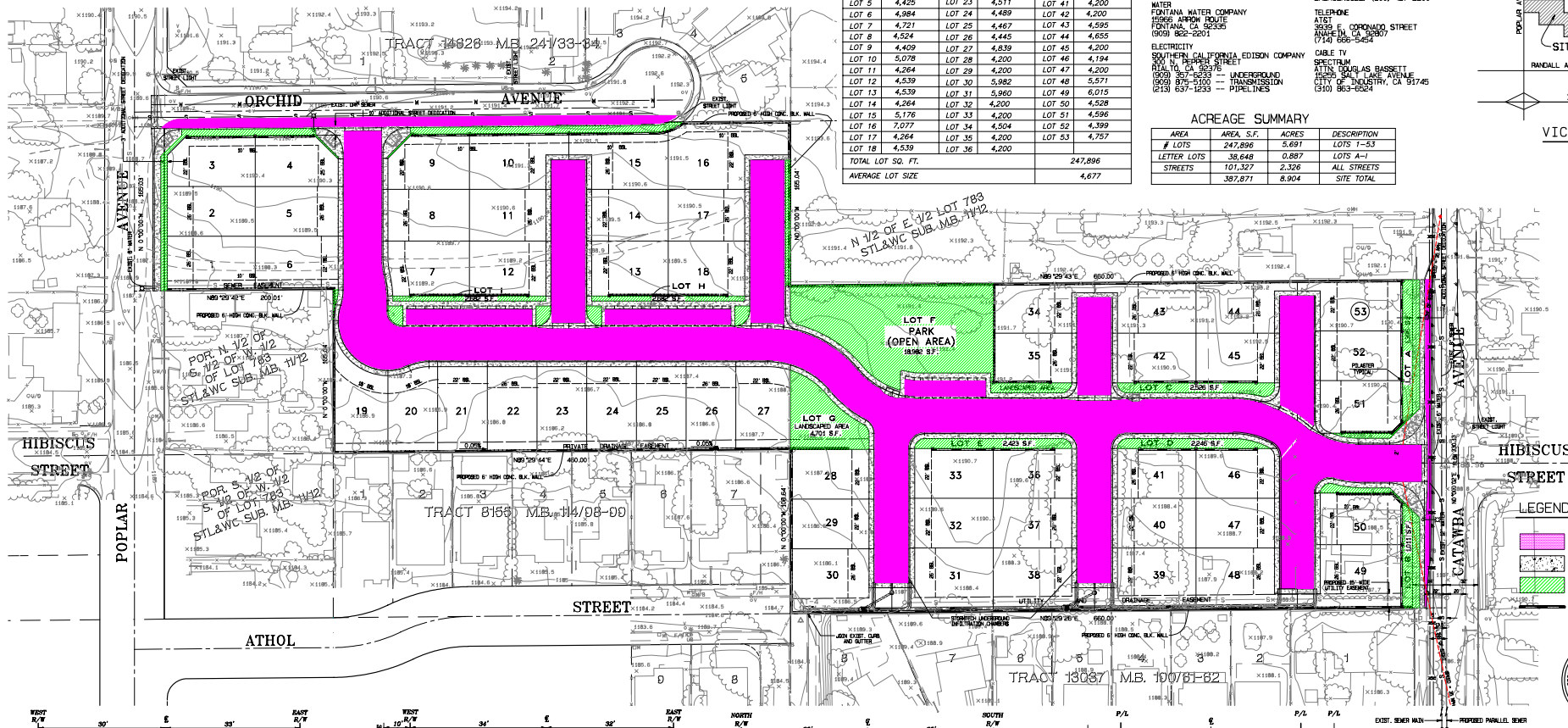
CABLE TV
SPECTRUM
ATTN: DOUGLAS BASSETT
3800 S. LAKE AVENUE
CITY OF INDUSTRY, CA 91745
(310) 835-0284

ACREAGE SUMMARY

AREA	AREA, S.F.	ACRES	DESCRIPTION
# LOTS	247,896	5.681	LOTS 1-53
LETTER LOTS	38,648	0.887	LOTS A-I
STREETS	101,327	2.326	ALL STREETS
	387,871	8.904	SITE TOTAL

LOT ANALYSIS

LOT NO.	AREA, S.F.	LOT NO.	AREA, S.F.	LOT NO.	AREA, S.F.
LOT 1	4,813	LOT 19	5,350	LOT 37	4,200
LOT 2	4,425	LOT 20	4,390	LOT 38	5,868
LOT 3	4,306	LOT 21	4,555	LOT 39	5,775
LOT 4	4,171	LOT 22	4,533	LOT 40	4,200
LOT 5	4,425	LOT 23	4,511	LOT 41	4,200
LOT 6	4,984	LOT 24	4,489	LOT 42	4,200
LOT 7	4,721	LOT 25	4,467	LOT 43	4,595
LOT 8	4,524	LOT 26	4,445	LOT 44	4,655
LOT 9	4,409	LOT 27	4,839	LOT 45	4,200
LOT 10	5,078	LOT 28	4,200	LOT 46	4,194
LOT 11	4,264	LOT 29	4,200	LOT 47	4,200
LOT 12	4,539	LOT 30	5,982	LOT 48	5,571
LOT 13	4,539	LOT 31	5,980	LOT 49	6,015
LOT 14	4,264	LOT 32	4,200	LOT 50	4,528
LOT 15	5,176	LOT 33	4,200	LOT 51	4,596
LOT 16	7,077	LOT 34	4,504	LOT 52	4,399
LOT 17	4,264	LOT 35	4,200	LOT 53	4,757
LOT 18	4,539	LOT 36	4,200		
TOTAL LOT SQ. FT.					247,896
AVERAGE LOT SIZE					4,677

VICINITY MAP
N.T.S.

LEGEND

- INDICATES AC PAVEMENT
- INDICATES CONCRETE
- INDICATES LANDSCAPED AREA
- INDICATES CONC. BLOCK WALL



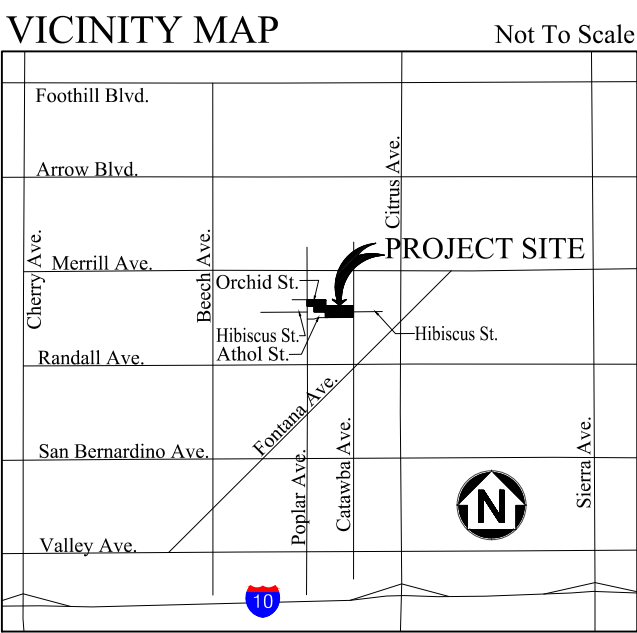
S.D. ENGINEERING AND ASSOCIATES
LAND PLANNING AND CIVIL ENGINEERING
242 E. AIRPORT DRIVE, STE. 212 - SAN BERNARDINO, CA 92408
PHONE: (909) 215-3451 EMAIL: SURESH@SDEENGINEERING.NET

SURESH DODDIAH R.C.E. NO. 36361
DATE EXP. DATE: 06-30-22

ATTACHMENT NO. 4

FONTANA 53 -TRACT 20358 - 53 HOMES

OWNER/ CONSULTANTS		PROJECT INFORMATION/ SITE DATA					SHEET INDEX			
OWNER	MONTA VISTA ASSETS, INC. 8628 HILLSIDE ROAD ALTA LOMA, CA 91701	ZONING	R2, MEDIUM DENSITY RESIDENTIAL (5.1-12 du/ac) UP TO 7.6 du/ac FOR SINGLE-FAMILY DETACHED	TOTAL UNITS	53 UNITS	UNIT AREAS	SA-1.0	COVER SHEET, PROJECT INFORMATION, KEY SITE PLAN		
BUILDING DESIGNER	(951) 204-1742 Office	A.P.N.	0233-122-60, 63, 28 & 29	UNIT BREAKDOWN	PLAN 1 = 20 UNITS 3 BEDROOM, 2.5 BATH & 2-CAR GARAGE	FIRST FLOOR 860sf SECOND FLOOR 1,043sf TOTAL LIVING 1,903sf	SA-1.1 SA-1.2 PLAN 1	ENLARGED SITE PLAN		
	KVH DESIGN GROUP 165 E. 24th STREET UPLAND, CA 91784	LEGAL DESCRIPTION	BEING A SUBDIVISION OF A PORTION OF LOT 783, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11 PAGE 12 OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY. 9.24 GROSS ACRES +/- / 8.81 NET ACRES +/-	PLAN 2 = 14 UNITS 4 BEDROOM, 3 BATH & 2-CAR GARAGE	FIRST FLOOR 1,130sf SECOND FLOOR 1,056sf TOTAL LIVING 2,186sf 2-CAR GARAGE 421sf PORCH 62sf	DRB1.0 DRB1.1 DRB1.2 DRB1.3	FLOOR PLANS			
	(909) 985-2552 Office						ELEVATIONS & ROOF PLAN 'A'			
	(909) 985-2782 Fax						ELEVATIONS & ROOF PLAN 'B'			
LANDSCAPE ARCHITECT	Contact: KURT von HATTEN	TOTAL SITE AREA	9.24 GROSS ACRES +/- / 8.81 NET ACRES +/-	SETBACKS	FRONT, GARAGE FRONT, LIVING FRONT, VARIATION SIDE, INTERIOR SIDE, CORNER SEPARATION REAR HEIGHT	22'-0" 15'-0" 4'-0" 5'-0" 10'-0" 10'-0" 15'-0" 25'-0"	PLAN 2	ELEVATIONS & ROOF PLAN 'C'		
	PHILL MAY LANDSCAPE ARCHITECTURE 2532 WALLACE AVE. FULLERTON, CA 92831	PROJECT DENSITY	VB-NON SPRINKLERED				DRB2.0 DRB2.1 DRB2.2 DRB2.3	FLOOR PLANS		
	(909) 373-1957 Office	BUILDING TYPE	VB				DRB2.1 DRB2.2 DRB2.3	ELEVATIONS & ROOF PLAN 'A'		
	Contact: PHILIP S. MAY	CONSTRUCTION TYPE	VB-NON SPRINKLERED				DRB2.2 DRB2.3	ELEVATIONS & ROOF PLAN 'B'		
CIVIL ENGINEERING	(909) 373-1957 Office	NUMBER OF STORIES	TWO	DEFERRED SUBMITTALS	NEW RESIDENTIAL TRACT (NOT GATED) CONSISTING OF 3 FLOOR PLAN TYPES WITH 3 ELEVATION STYLES EACH		PLAN 3	ELEVATIONS & ROOF PLAN 'C'		
	Contact: PHILIP S. MAY	FIRE SPRINKLERS	YES				DRB3.0 DRB3.1 DRB3.2 DRB3.3	FLOOR PLANS		
	S.D. ENGINEERING & ASSOCIATES 242 E. AIRPORT DR., SUITE 212 SAN BERNARDINO, CA 92408	OCCUPANCY	DWELLING: R-3, GARAGE: U				DRB3.1 DRB3.2 DRB3.3	ELEVATIONS & ROOF PLAN 'A'		
	(909) 215-3451 Office	CODE	2019 California BUILDING Code 2019 California RESIDENTIAL Code 2019 California PLUMBING Code 2019 California MECHANICAL Code 2019 California ENERGY Code 2019 California GREEN BUILDING STANDARDS Code 2019 California FIRE Code				DRB3.2 DRB3.3	ELEVATIONS & ROOF PLAN 'B'		
Contact: SURESH DODDIAH							LANDSCAPE	ELEVATIONS & ROOF PLAN 'C'		
							L-1	COVER SHEET		
							L-2	PRELIMINARY LANDSCAPE PLAN 1		
							L-3	PRELIMINARY LANDSCAPE PLAN 2		
							L-4	PRELIMINARY LANDSCAPE PLAN 3		
							L-5	PRELIMINARY LANDSCAPE PLAN 4		
							L-6	SITE AMENITIES PLAN		



DESIGNED BY:
KVH DESIGN GROUP
165 E. 24th ST. #D
UPLAND, CA. 91784
(909) 985-2552

FOR:
MONTA VISTA ASSETS, INC.
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPLAR AVENUE
FONTANA, CA.

SHEET TITLE
COVER SHEET, PROJECT
INFORMATION & SITE PLAN

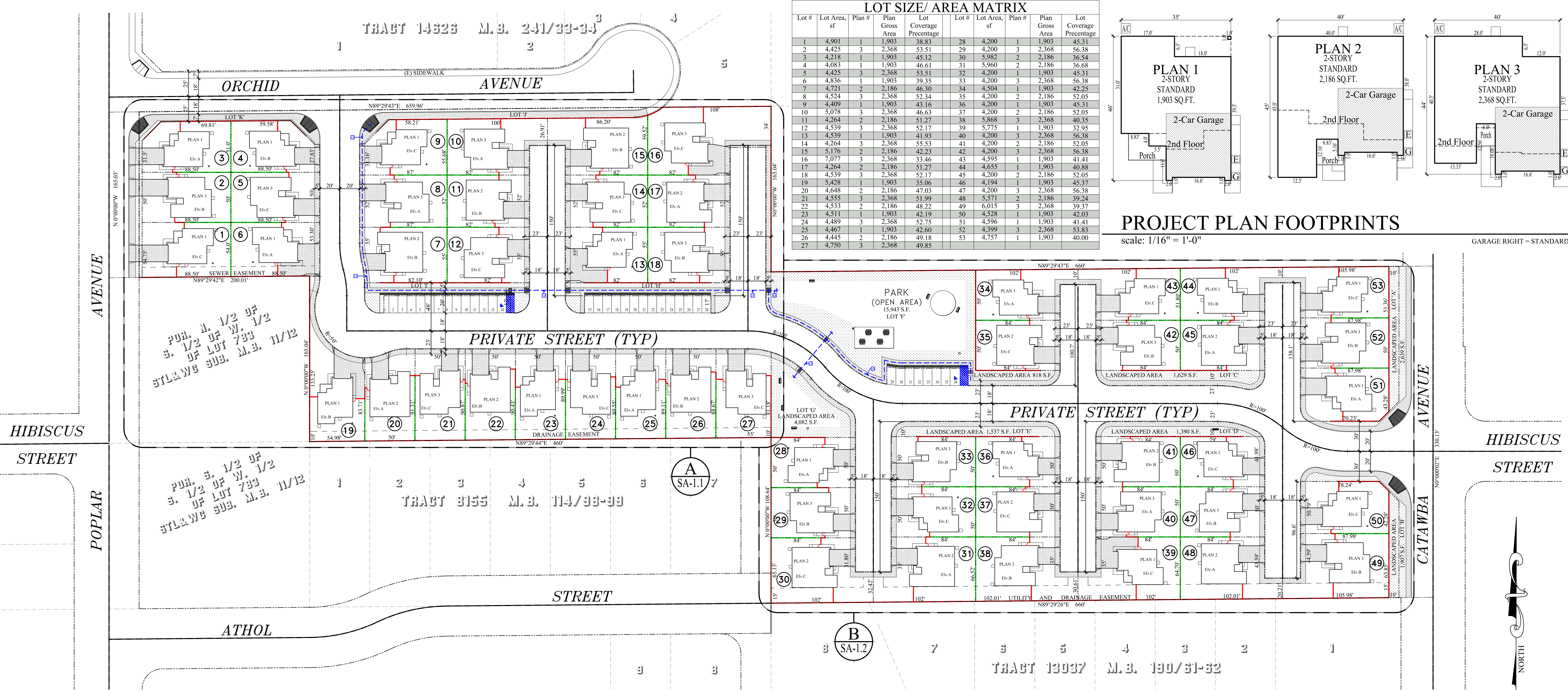
FONTANA
Bldg.Dept.Number:

DATE
02/27/2023

JOB
A20-006

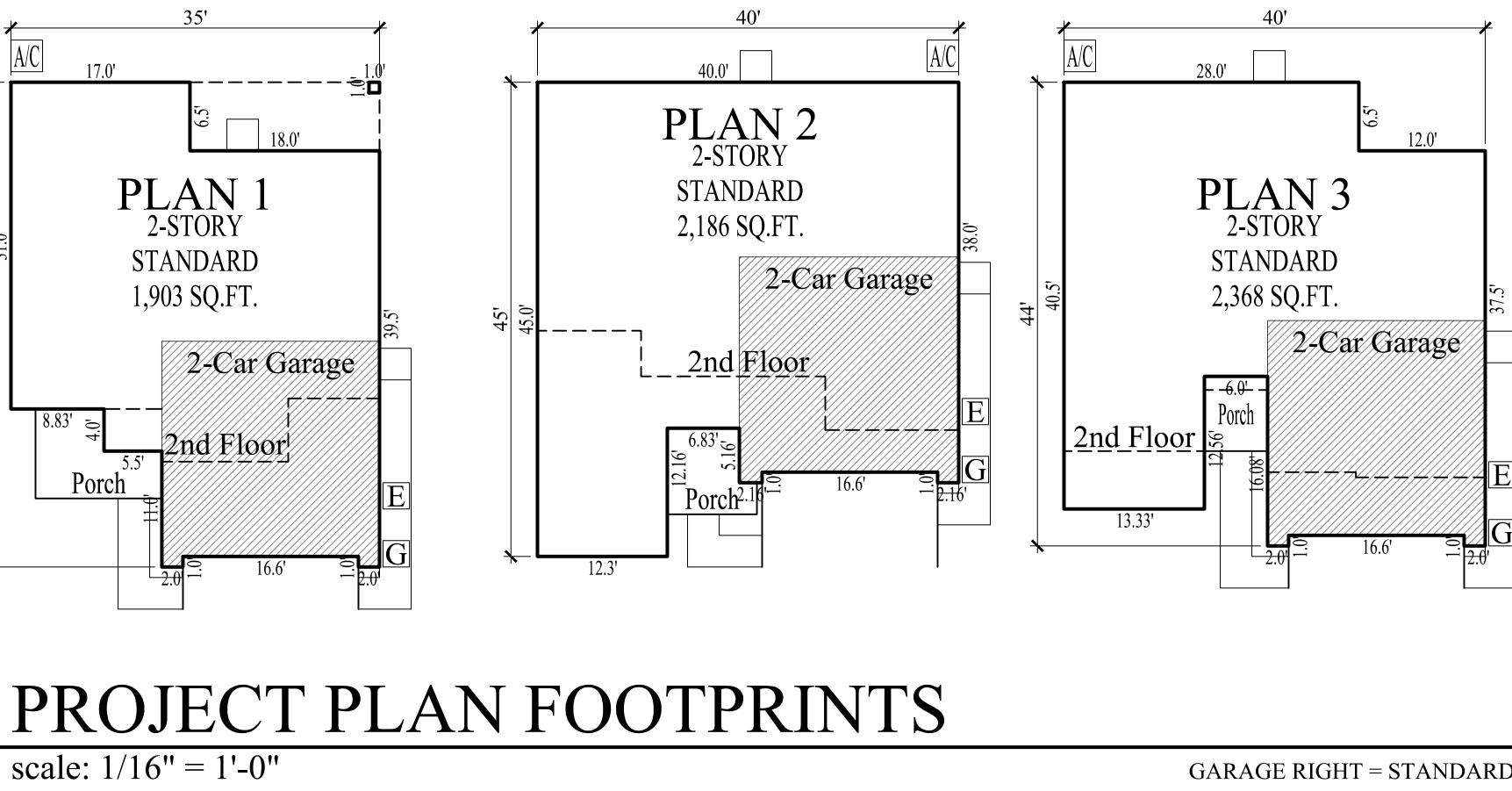
REVISIONS

SHEET
SA-1.0



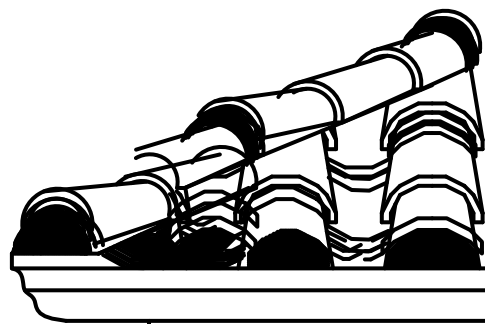
LOT SIZE/ AREA MATRIX

Lot #	Lot Area, sf	Plan #	Plan Gross Area	Lot Coverage Percentage	Lot #	Lot Area, sf	Plan #	Plan Gross Area	Lot Coverage Percentage
1	4,901	1	1,903	38.83	28	4,200	1	1,903	45.31
2	4,425	3	2,368	53.51	29	4,200	3	2,368	56.38
3	4,218	1	1,903	45.12	30	5,982	2	2,186	36.54
4	4,083	1	1,903	46.61	31	5,960	2	2,186	36.68
5	4,425	3	2,368	53.51	32	4,200	1	1,903	45.31
6	4,836	1	1,903	39.35	33	4,200	3	2,368	56.38
7	4,721	2	2,186	46.30	34	4,504	1	1,903	42.25
8	4,524	3	2,368	52.34	35	4,200	2	2,186	52.05
9	4,409	1	1,903	43.16	36	4,200	1	1,903	45.31
10	5,078	3	2,368	46.63	37	4,200	2	2,186	52.05
11	4,264	2	2,186	51.27	38	5,868	3	2,368	40.35
12	4,539	3	2,368	52.17	39	5,775	1	1,903	32.95
13	4,539	1	1,903	41.93	40	4,200	3	2,368	56.38
14	4,264	3	2,368	55.53	41	4,200	2	2,186	52.05
15	5,176	2	2,186	42.23	42	4,200	3	2,368	56.38
16	7,077	3	2,368	33.46	43	4,595	1	1,903	41.41
17	4,264	2	2,186	51.27	44	4,655	1	1,903	40.88
18	4,539	3	2,368	52.17	45	4,200	2	2,186	52.05
19	5,428	1	1,903	35.06	46	4,194	1	1,903	45.37
20	4,648	2	2,186	47.03	47	4,200	3	2,368	56.38
21	4,555	3	2,368	51.99	48	5,571	2	2,186	39.24
22	4,533	2	2,186	48.22	49	6,015	3	2,368	39.37
23	4,511	1	1,903	42.19	50	4,528	1	1,903	42.03
24	4,489	3	2,368	52.75	51	4,596	1	1,903	41.41
25	4,457	1	1,903	42.60	52	4,399	3	2,368	53.83
26	4,445	2	2,186	49.18	53	4,757	1	1,903	40.00
27	4,750	3	2,368	49.85					



SITE PLAN: KEY PLAN

scale: 1" = 50'-0"



DESIGNED BY:
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165 E. 24th ST. #D
UPLAND, CA. 91784
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FOR:
MONTE VISTA ASSETS, INC.
8628 HILLSIDE ROAD
UPLAND, CA. 91701
(951) 240-1742

PROJECT TITLE:
**FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPULAR AVENUE
FONTANA, CA.**

SHEET TITLE
PARTIAL SITE PLAN (West)

FONTANA
Bldg.Dept.Number:

DATE
02/27/2023

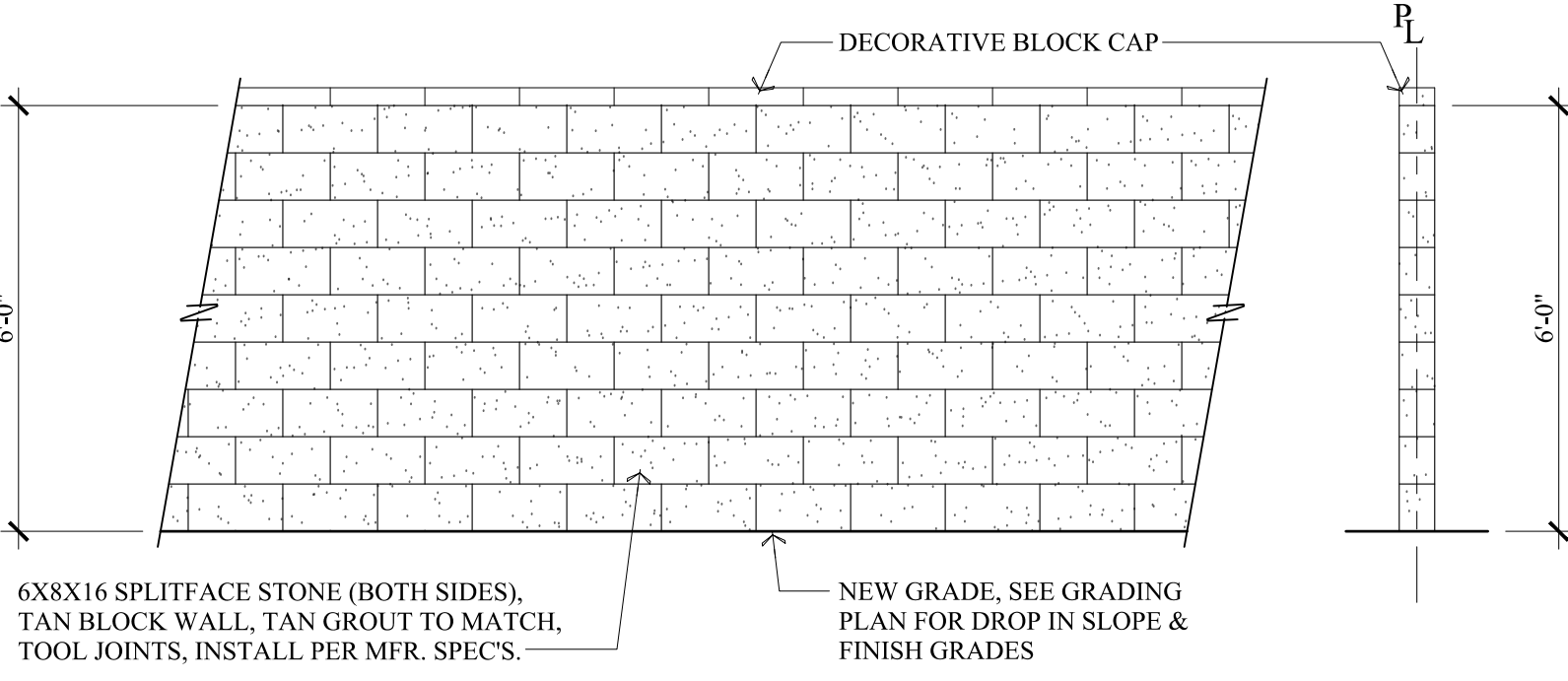
JOB
A20-006

REVISIONS

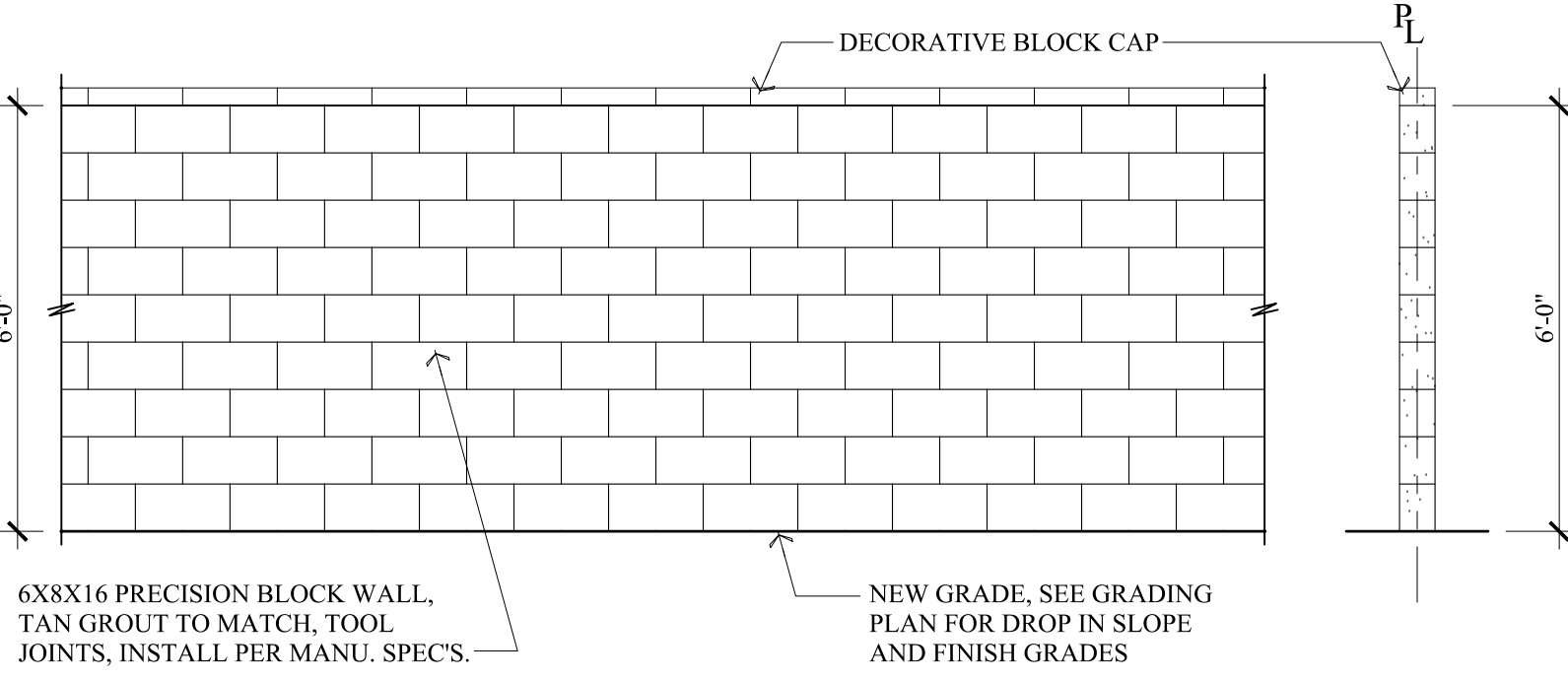
SHEET
SA-1.1

THE USE OF THESE PLANS & SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED & PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH REPRODUCTION, PUBLICATION OR REUSE BY ANY METHOD IN OR IN WHOLE OR IN PART WITHOUT THE EXPRESS CONSENT OF KURT VON HATTEN ENTERPRISES IS PROHIBITED. TITLE TO THE PLANS & SPECIFICATIONS REMAIN IN KURT VON HATTEN ENTERPRISES WITHOUT PREJUDICE. VISUAL CONTACT WITH PLANS & SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

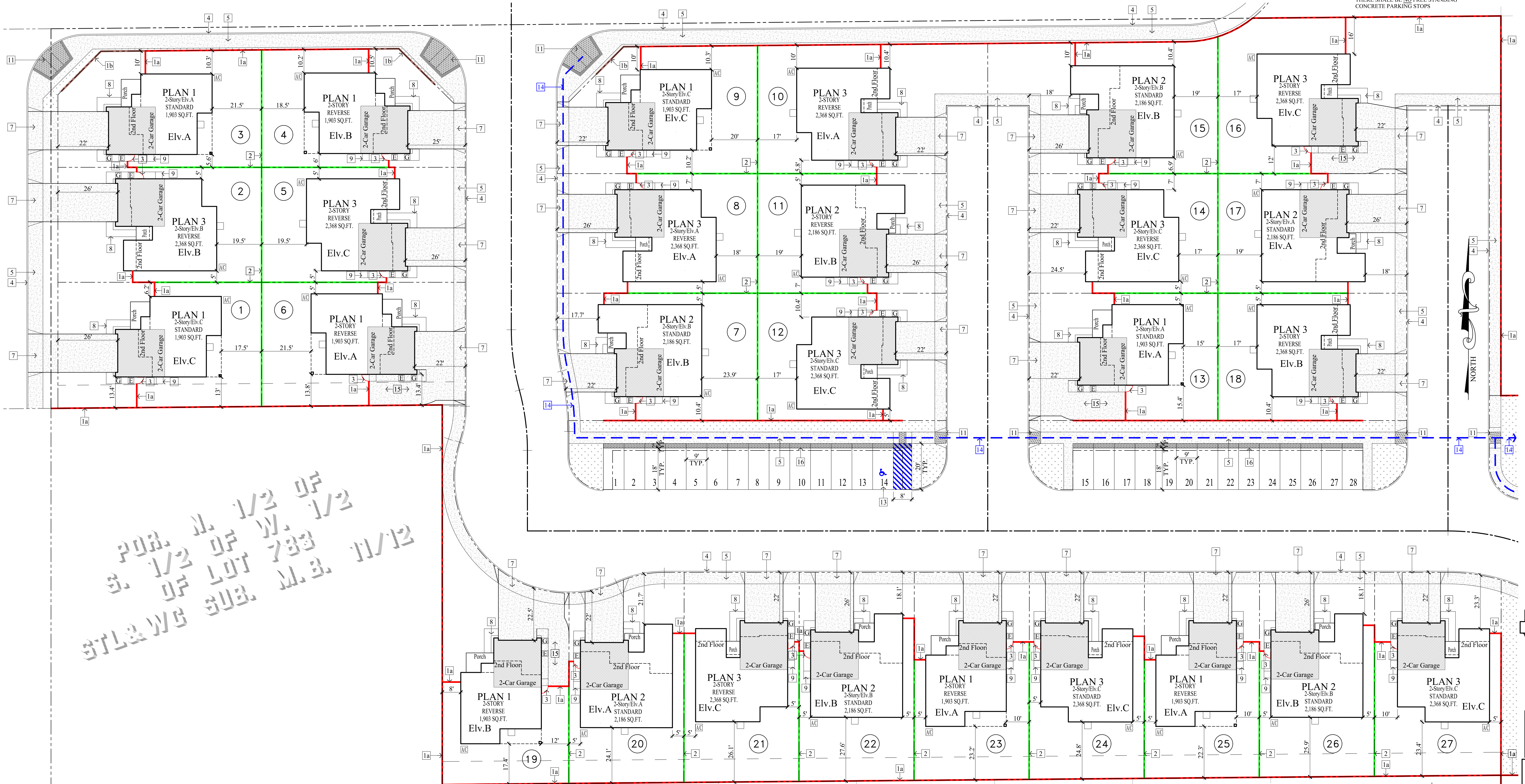
- LEGEND**
- NEW BLOCK 6'-0" TALL WALL, RE: 1/SA-1.1
 - NEW BLOCK 3'-6" TALL WALL, RE: 1/SA-1.1-SIM.
 - NEW 6'-0" TALL INTERIOR BLOCK WALL, RE: 2/SA-1.1
 - PROPERTY LINE (P)
- KEY NOTES**
- (a) NEW 6'-0" TALL PERIMETER BLOCK WALL, (b) NEW 3'-6" TALL PERIMETER BLOCK WALL, RE: 1/SA-1.1
 - NEW 6'-0" TALL INTERIOR BLOCK WALL, RE: 2/SA-1.1
 - NEW 3'-0" WIDE WHITE VINYL GATE
 - NEW CURB & GUTTER PER CIVIL PLANS
 - NEW 5'-0" SIDE WALK PER CIVIL PLANS
 - EXISTING SIDE WALK
 - NEW DRIVEWAY APPROACH & DRIVEWAY PER CIVIL DRAWINGS
 - CONCRETE FRONT PORCH & WALKWAY
 - CONCRETE STOOP w/ CONCRETE WALKWAY
 - Proposed 54 GANG MAIL BOX per POST MASTER
 - ADA ACCESSIBLE APPROACH
 - ADA PARKING SPACE
 - ADA VAN ACCESSIBLE PARKING SPACE
 - ADA PATH OF TRAVEL
 - RV PARKING AREA
 - 2'-0" DECORATIVE CONCRETE
- E ELECTRICAL METER LOCATION
G GAS METER LOCATION
W WATER METER LOCATION
- * THERE SHALL BE NO FREE STANDING CONCRETE PARKING STOPS



1 SITE WALL: PERIMETER
scale: 3/8"=1'-0"

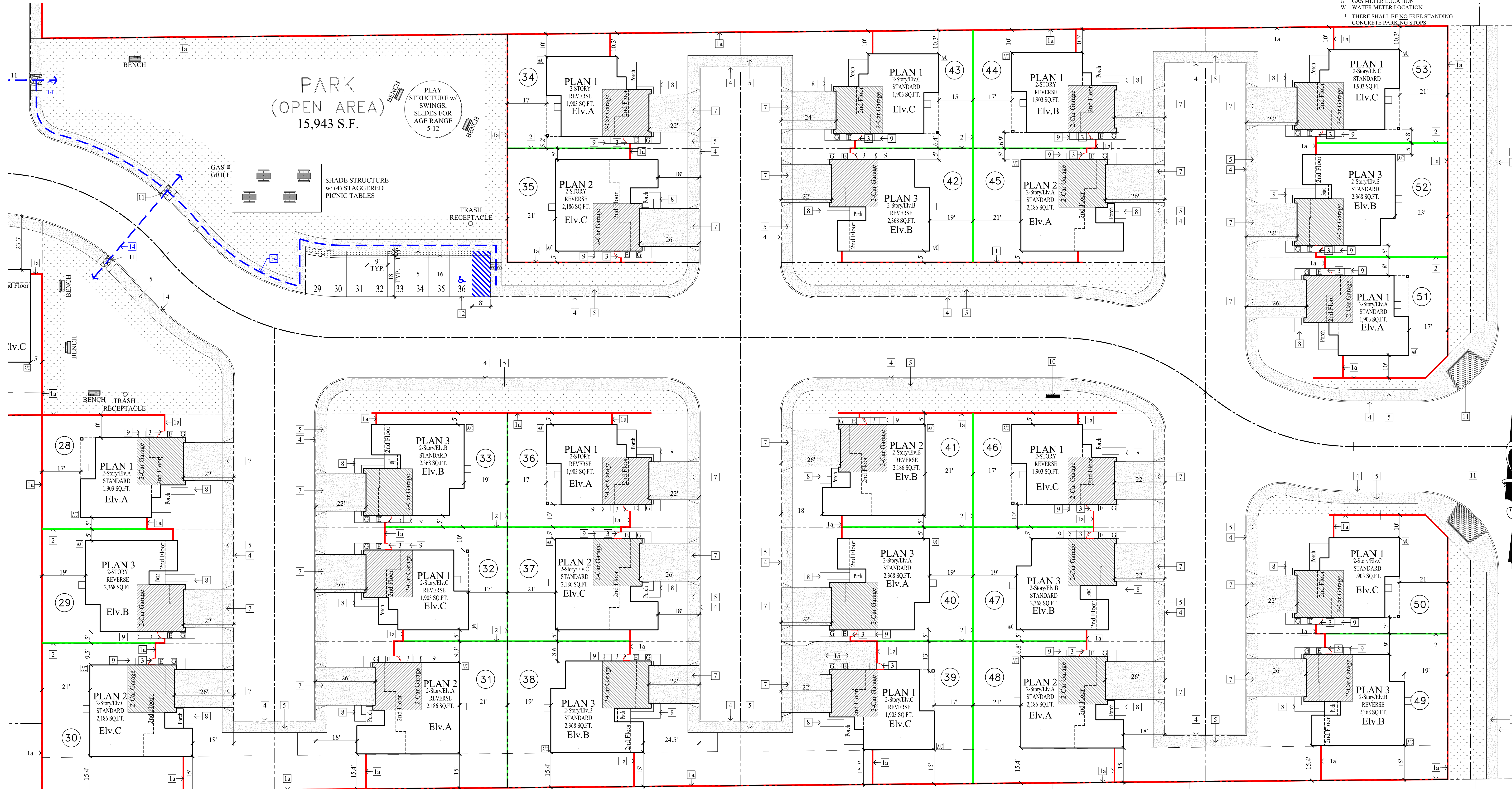


2 SITE WALL: INTERIOR
scale: 3/8"=1'-0"

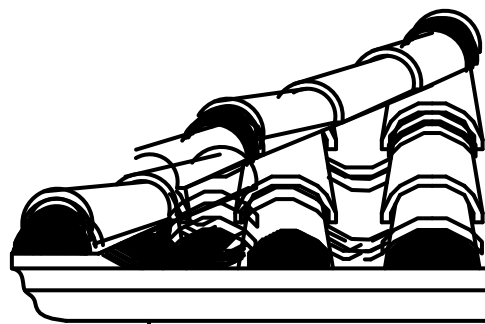


A PARTIAL SITE PLAN (West)
scale: 1" = 20'-0"

POR. N. 1/2 OF
S. 1/2 OF W. 1/2
OF LOT 783
31.8 WB SUB. M.B. 11/12



- LEGEND**
- NEW BLOCK 6'-0" TALL WALL, RE: 1/SA-1.1
 - NEW BLOCK 3'-6" TALL WALL, RE: 1/SA-1.1-SIM.
 - NEW 6'-0" TALL INTERIOR BLOCK WALL, RE: 2/SA-1.1
 - PROPERTY LINE (P)
- KEY NOTES**
- (a) NEW 6'-0" TALL PERIMETER BLOCK WALL, RE: 1/SA-1.1
 - (b) NEW 3'-6" TALL PERIMETER BLOCK WALL, RE: 1/SA-1.1
 - NEW 6'-0" TALL INTERIOR BLOCK WALL, RE: 2/SA-1.1
 - NEW 3'-0" WIDE WHITE VINYL GATE
 - NEW CURB & GUTTER PER CIVIL PLANS
 - NEW 5'-0" SIDE WALK PER CIVIL PLANS
 - EXISTING SIDE WALK
 - NEW DRIVEWAY APPROACH & DRIVEWAY PER CIVIL DRAWINGS
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 - ADA PARKING SPACE
 - ADA VAN ACCESSIBLE PARKING SPACE
 - ADA PATH OF TRAVEL
 - RV PARKING AREA
 - 2'-0" DECORATIVE CONCRETE
- E ELECTRICAL METER LOCATION
G GAS METER LOCATION
W WATER METER LOCATION
- * THERE SHALL BE NO FREE STANDING CONCRETE PARKING STOPS



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KHV DESIGN GROUP
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FOR:
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8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
**FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPULAR AVENUE
FONTANA, CA.**

SHEET TITLE
PARTIAL SITE PLAN (East)

FONTANA
Bldg.Dept.Number:

DATE
02/27/2023

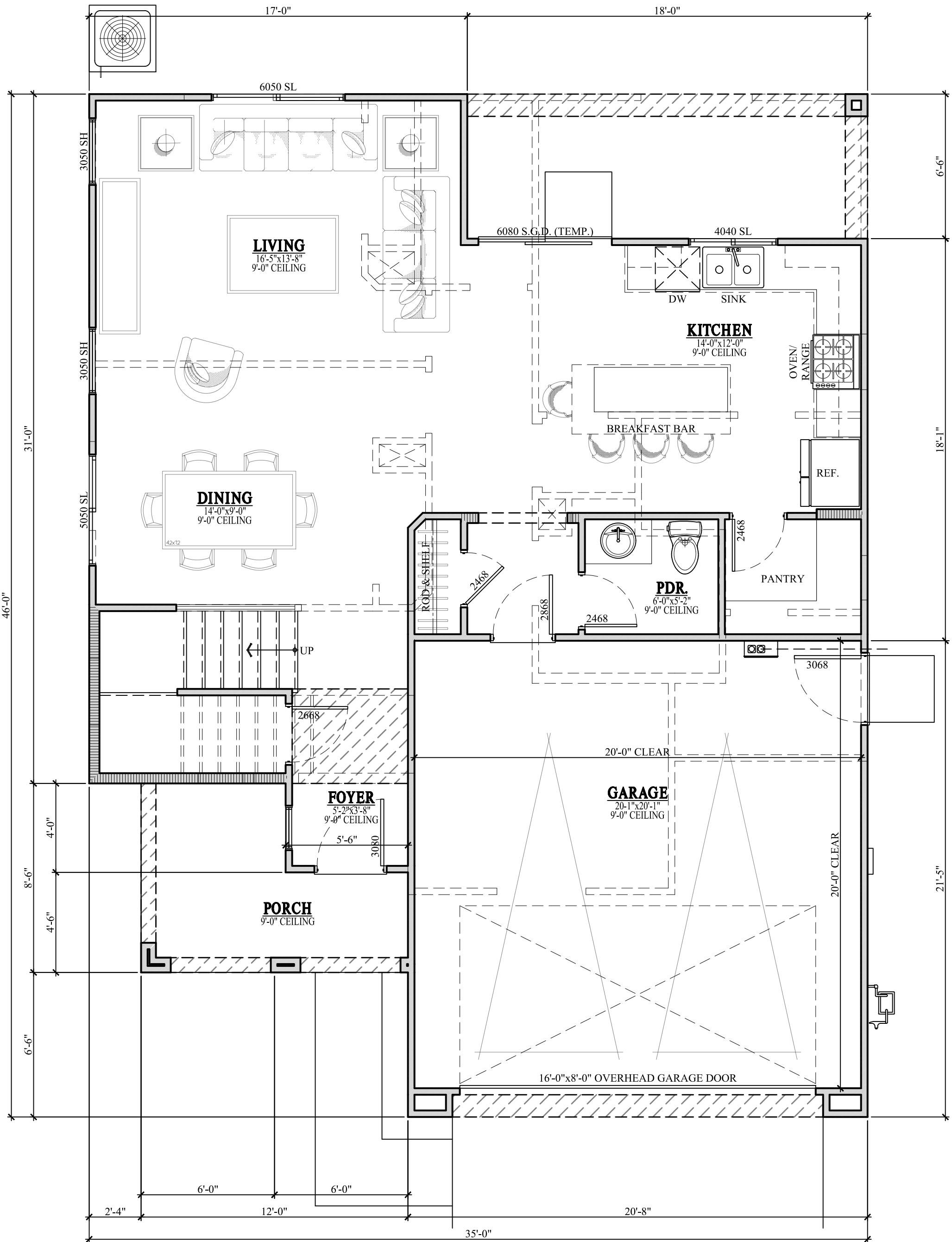
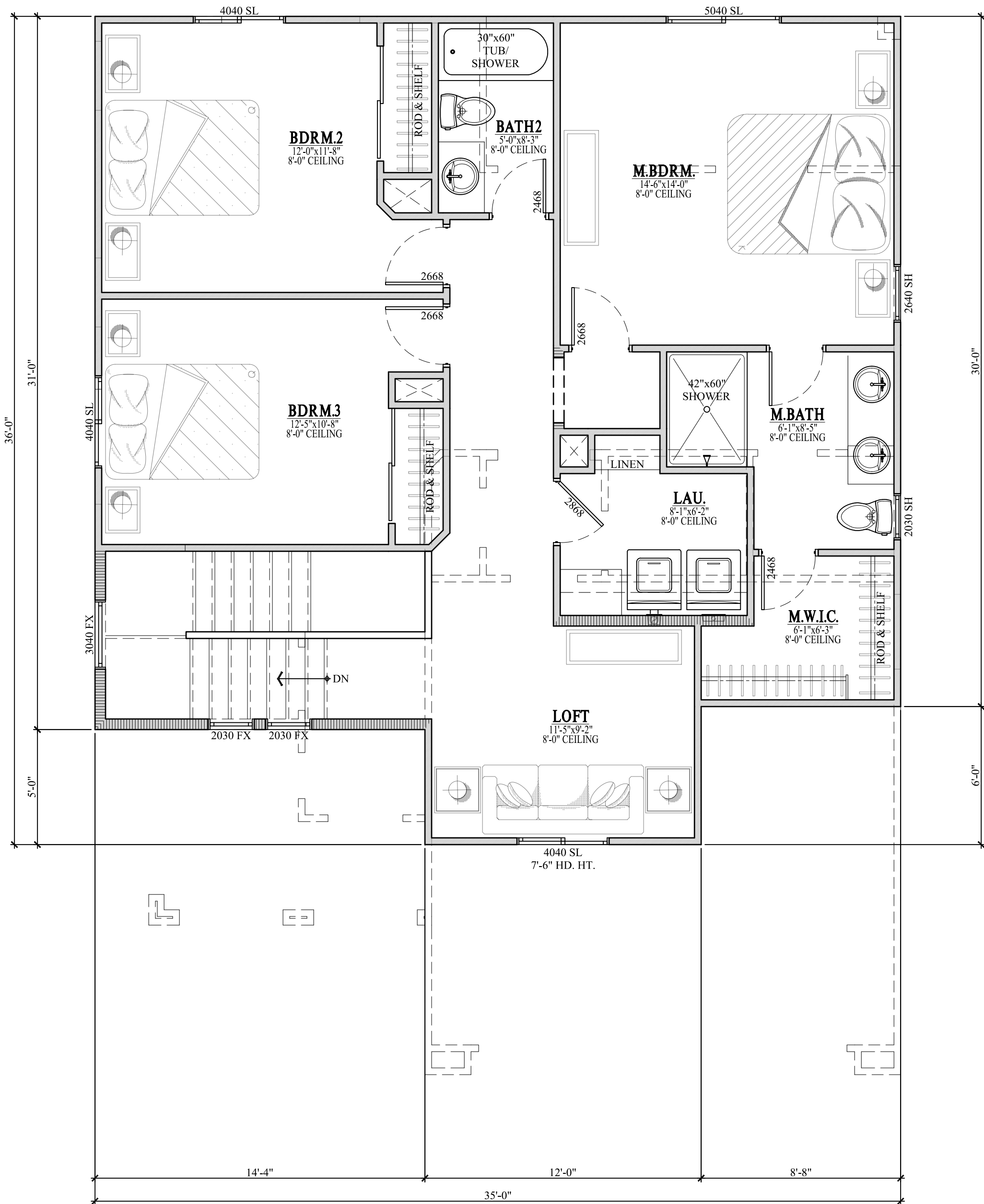
JOB
A20-006

REVISIONS

SHEET
SA-1.2

PARTIAL SITE PLAN (East)
scale: 1" = 20'-0"

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SQUARE FOOTAGES	
LIVING AREAS:	
FIRST FLOOR LIVING AREA:	860 SQ. FT.
SECOND FLOOR LIVING AREA:	1043 SQ. FT.
TOTAL LIVING AREA:	1,903 SQ. FT.
2-CAR GARAGE AREA:	419 SQ. FT.
PORCH AREA:	80 SQ. FT.

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ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
**FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPULAR AVENUE
FONTANA, CA.**

SHEET TITLE
FLOOR PLANS

FONTANA
Bldg. Dept. Number:

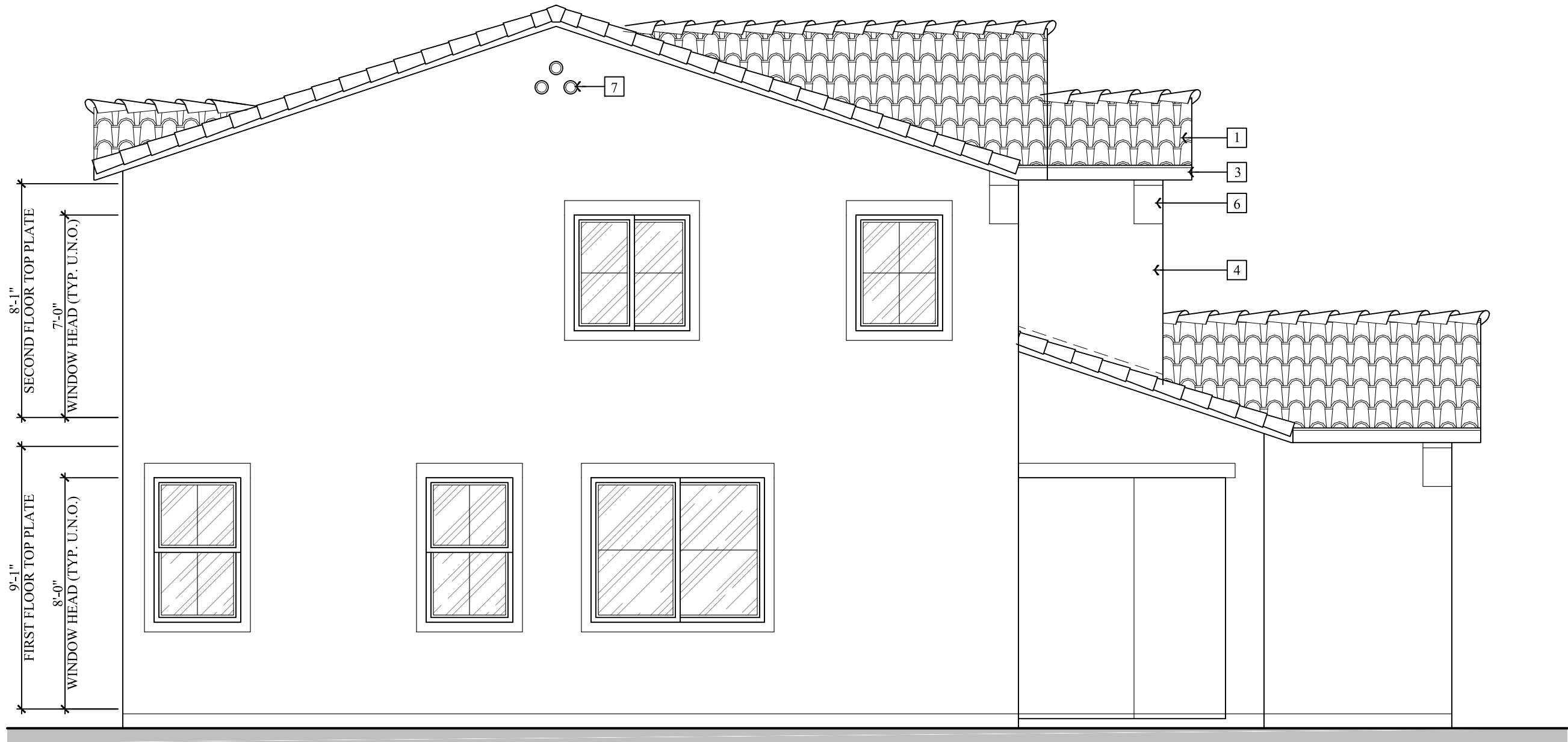
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JOB
A20-006

REVISIONS

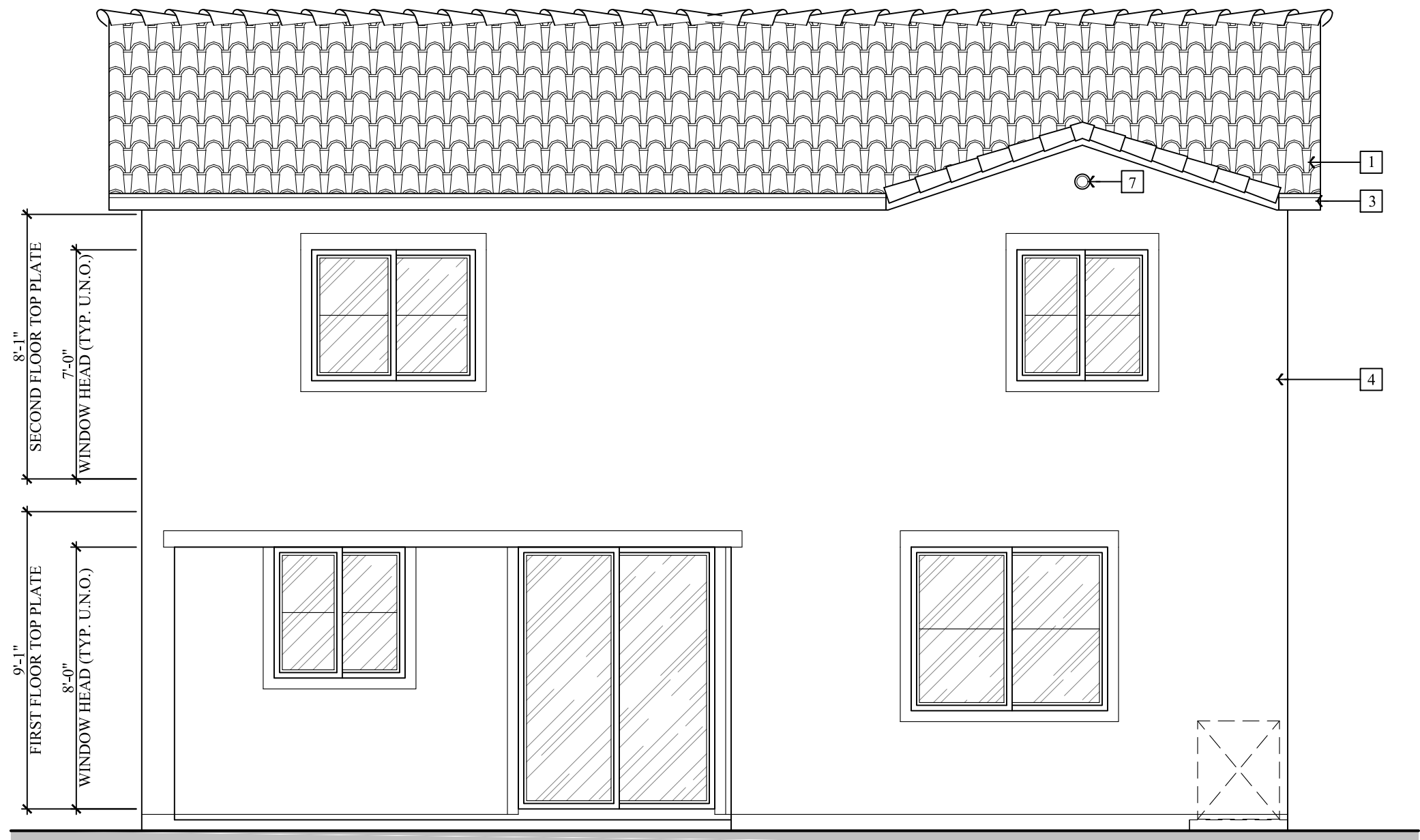
SHEET
DRB1
PLAN 01





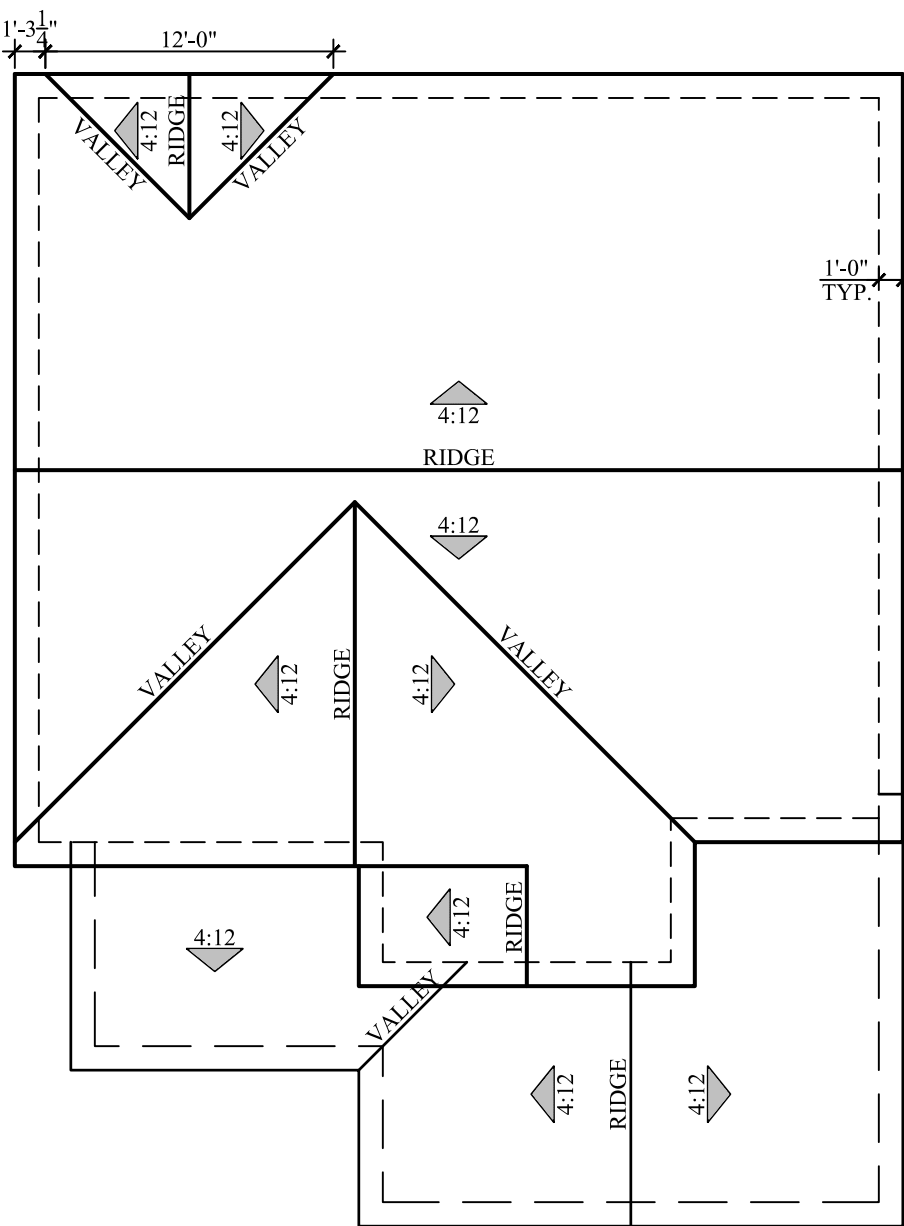
LEFT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



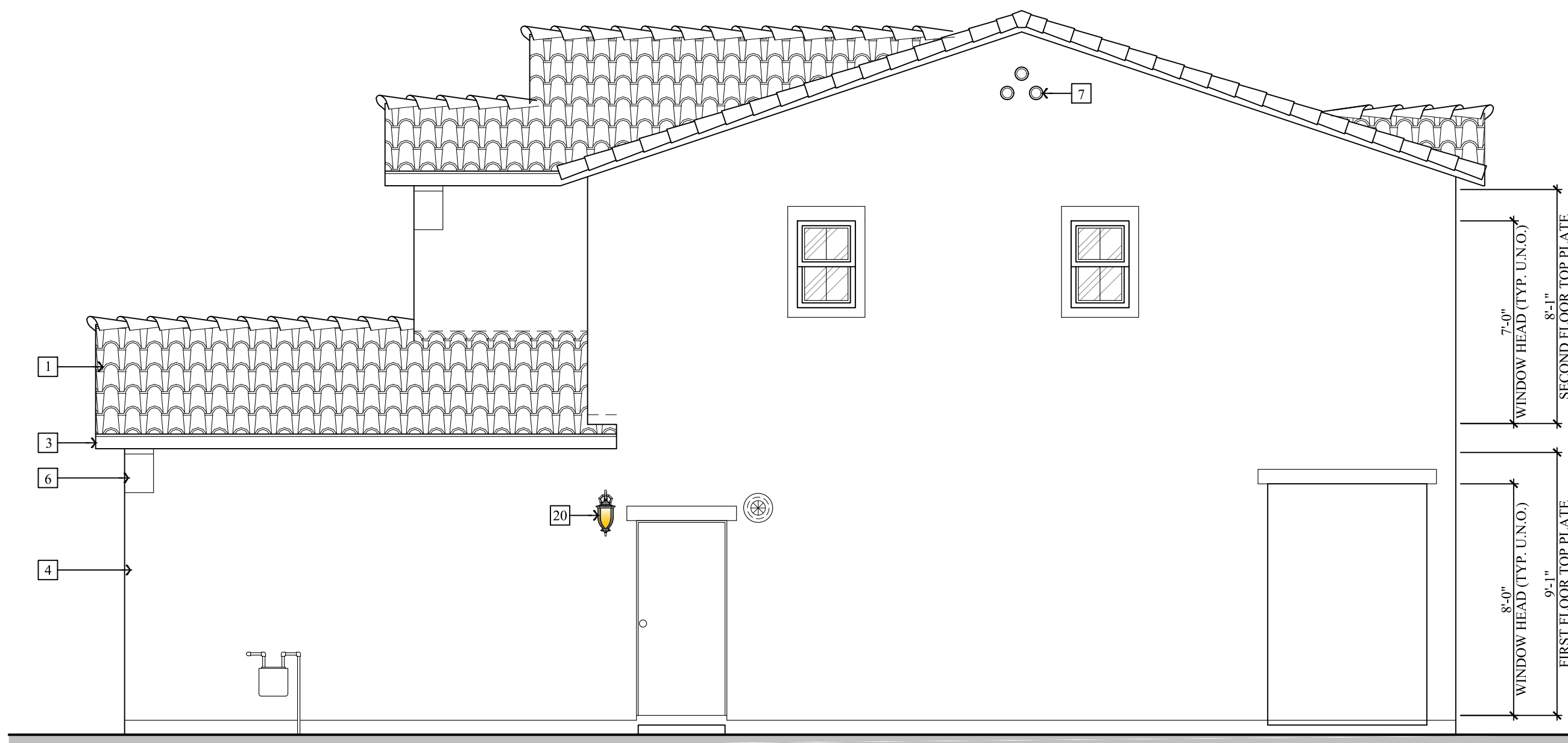
REAR ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



ROOF PLAN 'A'

scale: 1/8" = 1'-0"



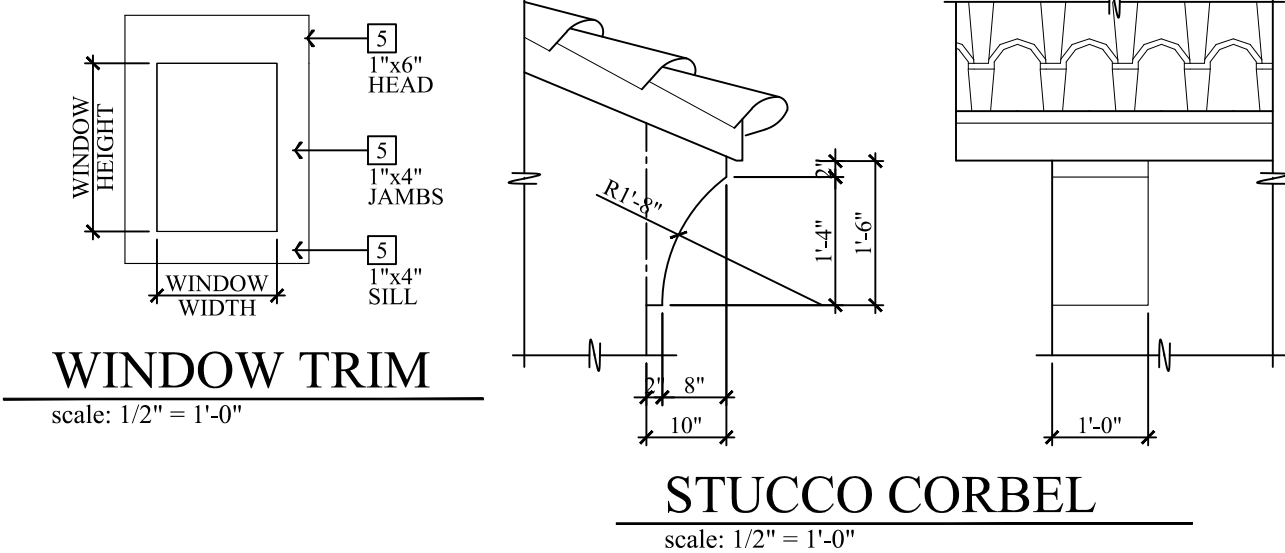
RIGHT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"

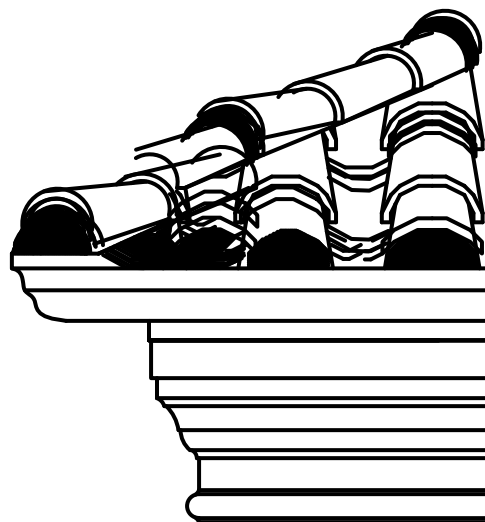


FRONT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



- ELEVATION NOTES
1. CONCRETE 'S' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
 2. CONCRETE 'FLAT' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
 3. 2x6 PAINTED FASCIA
 4. 3-COAT STUCCO FINISH
 5. STUCCO OVER FOAM TRIM or BAND
 6. STUCCO OVER SHAPED FOAM CORBEL
 7. DECORATIVE PIPE TILE VENT
 8. TEXTURED LAP SIDING WITH 6" REVEAL
 9. TEXTURED DIMENSIONAL TRIM, REFER TO ELEVATION FOR SIZE
 10. ROUGH SAWN OUTLOOKER WITH KICKER
 11. STUCCO OVER SHAPED FOAM CORBEL
 12. TEXTURED SHAKE SIDING
 13. TEXTURED BOARD WITH 2" BATTENS AT 16" O/C
 14. STONE VENEER WITH STUCCO OVER 3"D.x4"H. TRIM BAND
 15. DECORATIVE PLANK SHUTTER
 16. DECORATIVE RAISED PANEL SHUTTER
 17. DECORATIVE LOUVERED SHUTTER
 18. ENTRY DOOR, THERMA-TRU (a)S8200 (b)S897 (c)S810
 19. GARAGE DOOR, WAYNE DALTON, (a)COLONIAL (b)SONOMA (c)RANCH w/ TOP PANEL WINDOWS
 20. COACH LIGHT
 21. STUCCO RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL
 22. PANEL SIDING RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL
 23. DECORATIVE 8"x18" GABLE END VENT
 24. ILLUMINATED ADDRESS SIGN
- NOTES:
- REFER TO COLOR BOARD FOR MATERIAL COLORS, TEXTURES AND ELEVATION SPECIFIC DOOR STYLES
 - PROVIDE METAL CAP FLASHING ABOVE ALL HORIZONTAL PROJECTING PIECES OF TRIM
 - SLOPE TOP EDGE OF EXPOSED FOAM TRIM 1/8":12" AWAY FROM HOUSE
 - STUCCO CORNERS SHALL BE SQUARE
 - DIMENSIONS LISTED AS DEPTHxHEIGHT (i.e. 1"x6")
 - REFER TO DETAIL 18/AD-2 FOR WINDOW FLASHING
 - TEXTURED LAP SIDING, SHAKE SIDING SHALL BE JAMES HARDIE, ICC-ES REPORT #ESR-2290 or APPROVED EQUAL



DESIGNED BY:
KVH DESIGN GROUP
165 E. 24th ST. #D
UPLAND, CA. 91784
(909) 985-2552

FOR:
MONTE VISTA ASSETS, INC.
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPLAR AVENUE
FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'A'

FONTANA
Bldg. Dept. Number:

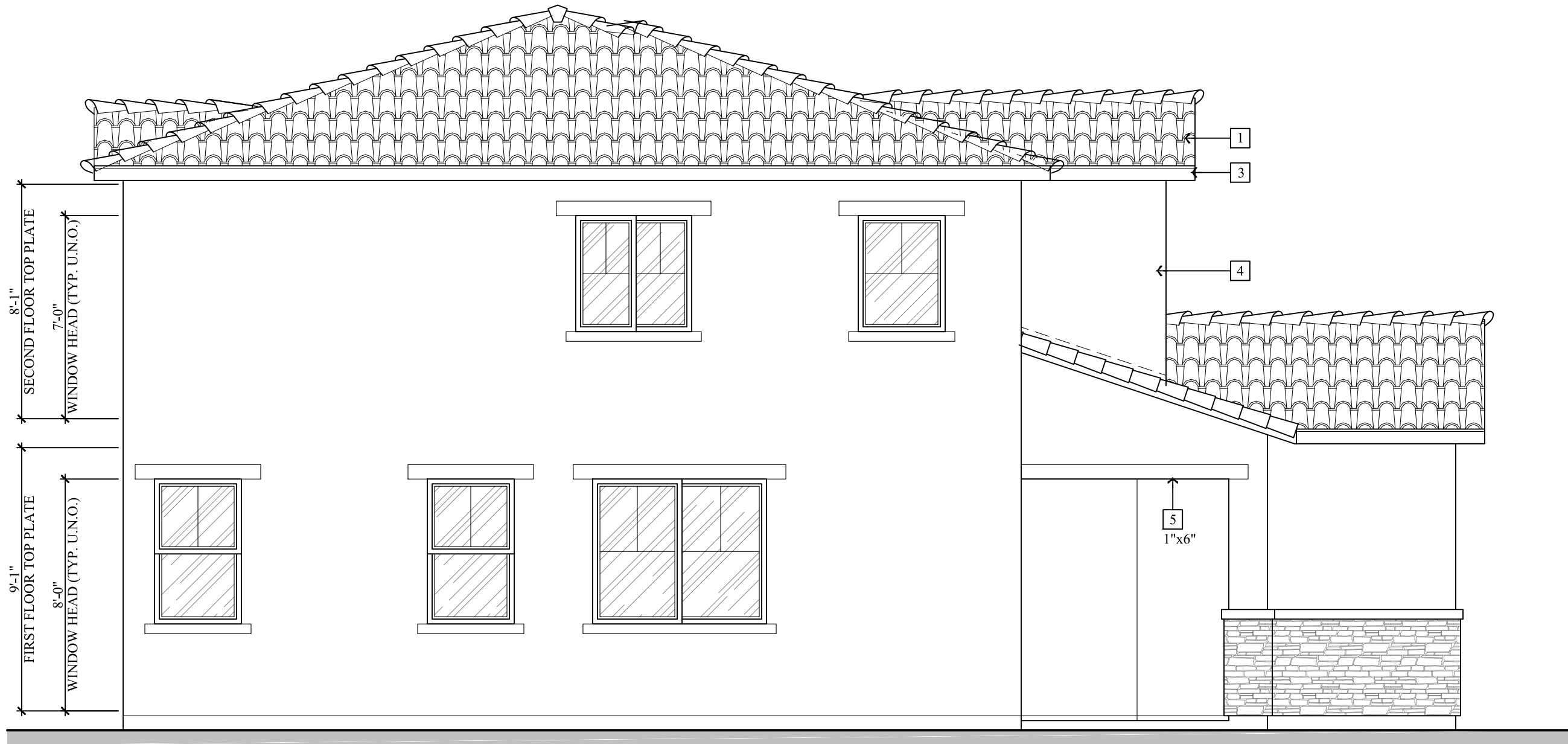
DATE
02/27/2023

JOB
A20-006

REVISIONS

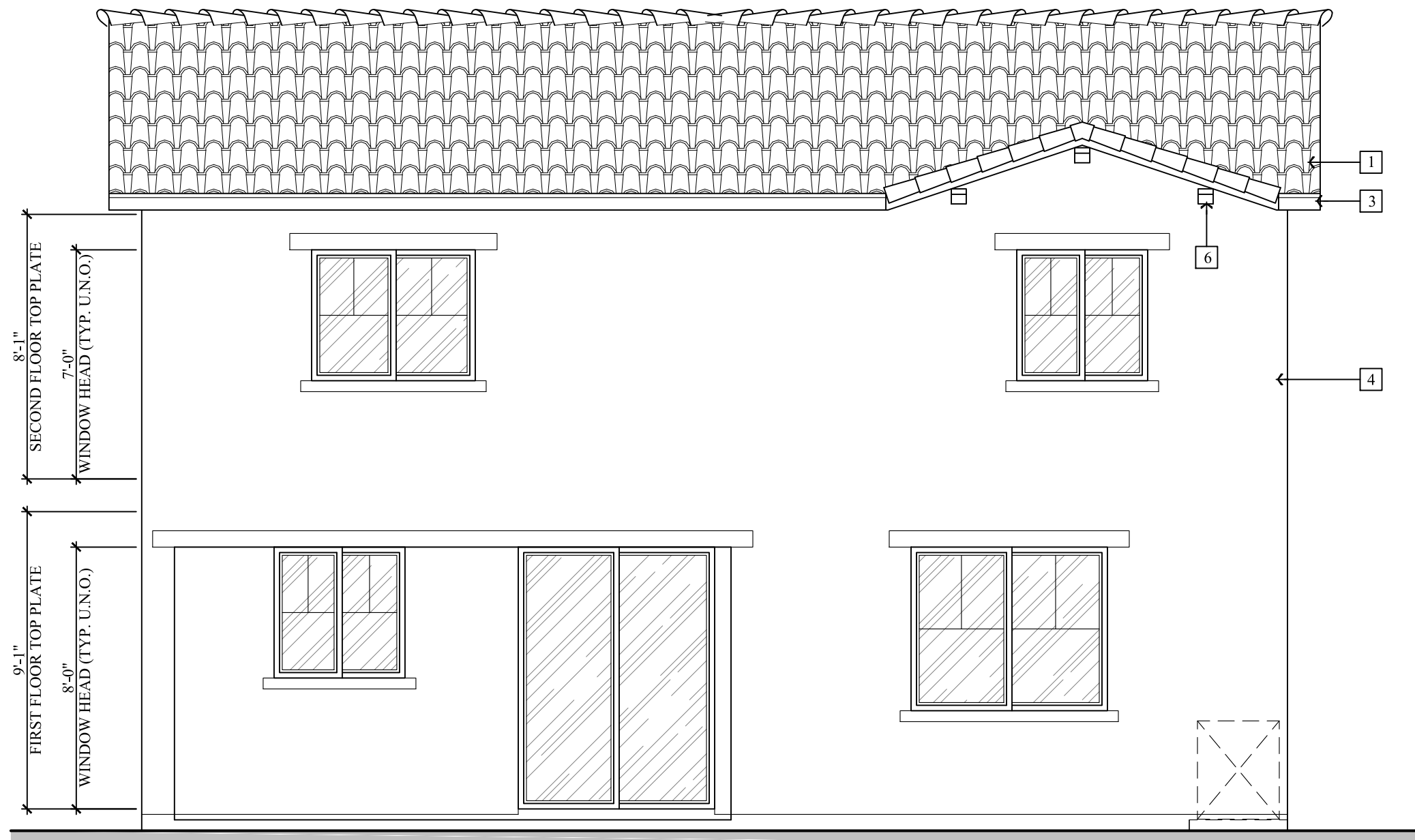
SHEET
DRB1.1
PLAN 01





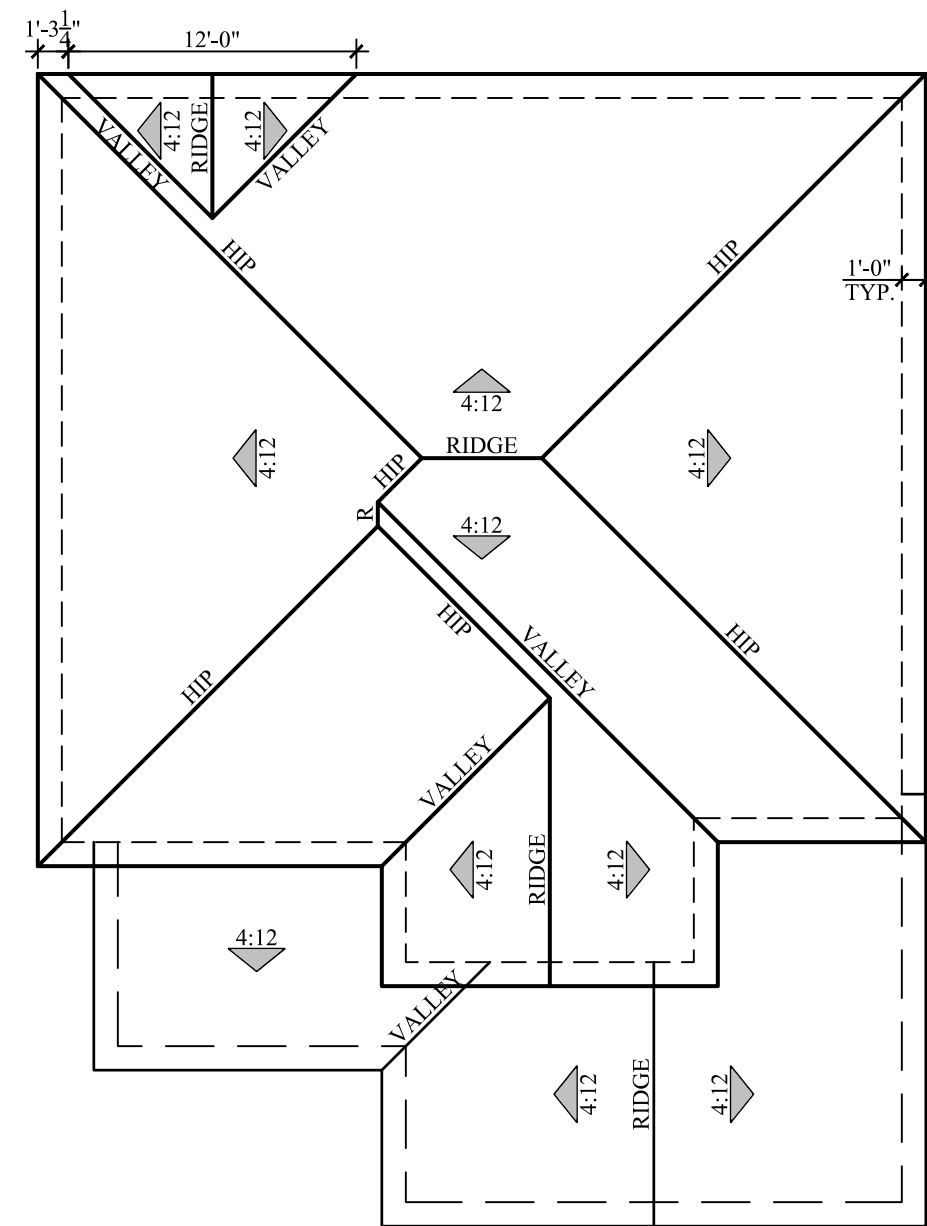
LEFT ELEVATION 'B' - TUSCAN

scale: 1/4" = 1'-0"



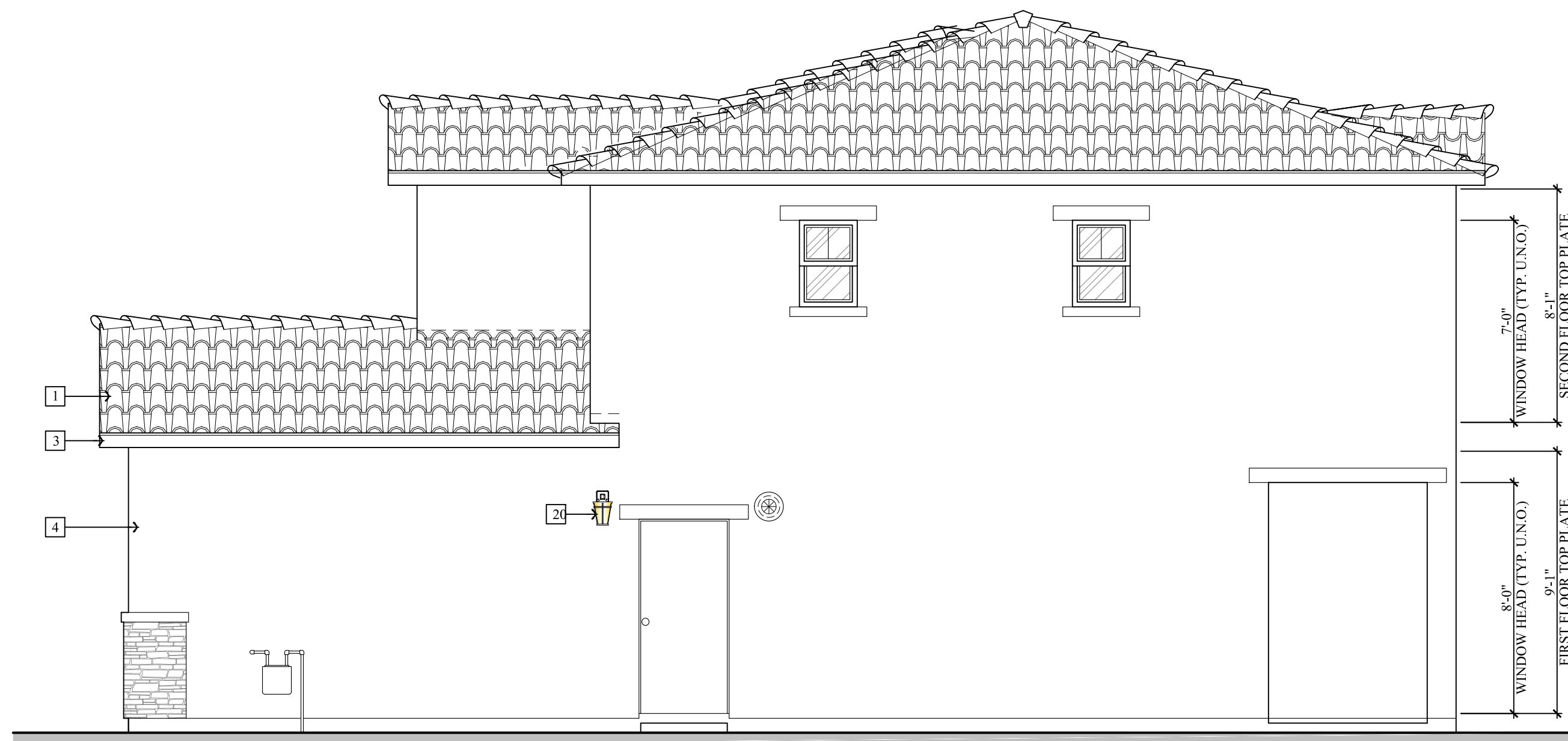
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scale: 1/4" = 1'-0"



ROOF PLAN 'B'

scale: 1/8" = 1'-0"



RIGHT ELEVATION 'B' - TUSCAN

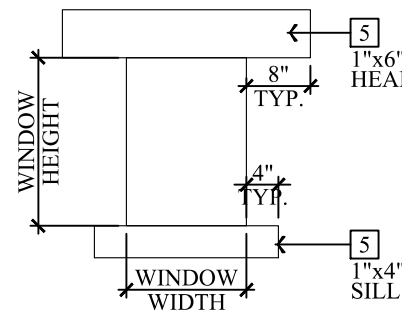
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FRONT ELEVATION 'B' - TUSCAN

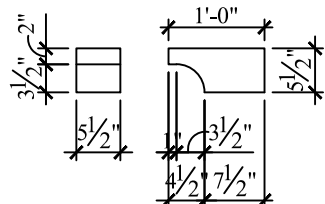
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ELEVATION NOTES	
1.	CONCRETE 'S' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
2.	CONCRETE 'FLAT' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
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8.	TEXTURED LAP SIDING WITH 6" REVEAL
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23.	DECORATIVE 8"x18" GABLE END VENT
24.	ILLUMINATED ADDRESS SIGN
NOTES:	
• REFER TO COLOR BOARD FOR MATERIAL COLORS, TEXTURES AND ELEVATION SPECIFIC DOOR STYLES	
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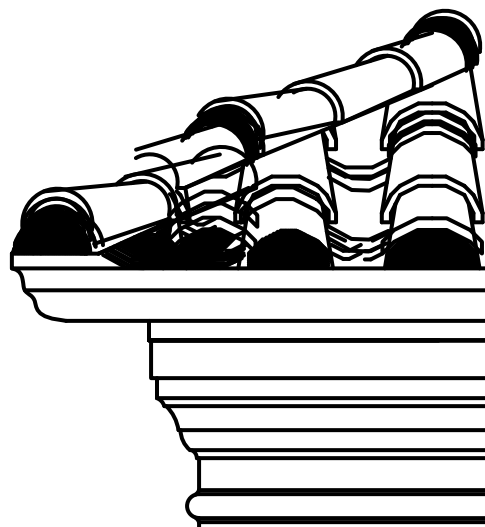
WINDOW TRIM

scale: 1/2" = 1'-0"



STUCCO CORBEL

scale: 1/2" = 1'-0"



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REVISIONS

SHEET
DRB1.2
PLAN 01





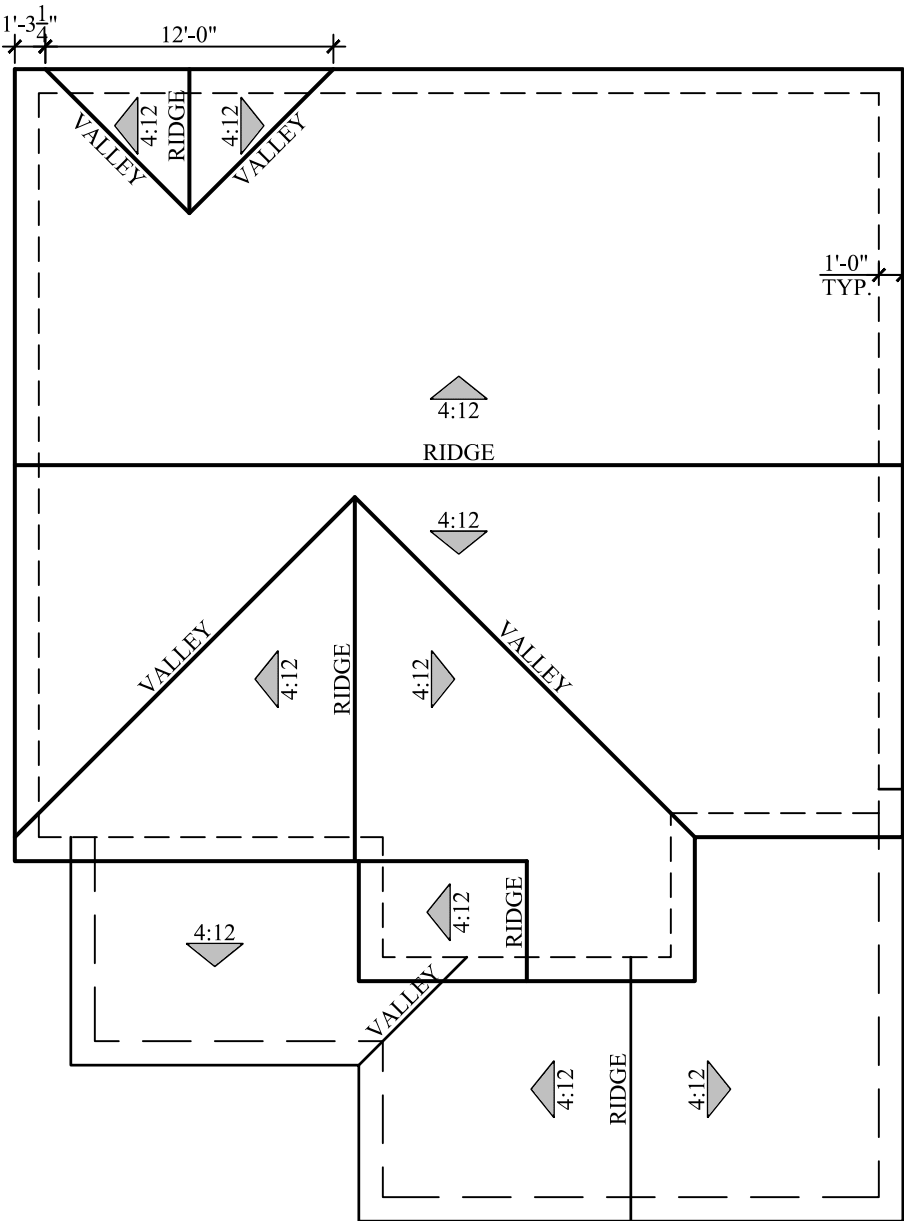
LEFT ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"



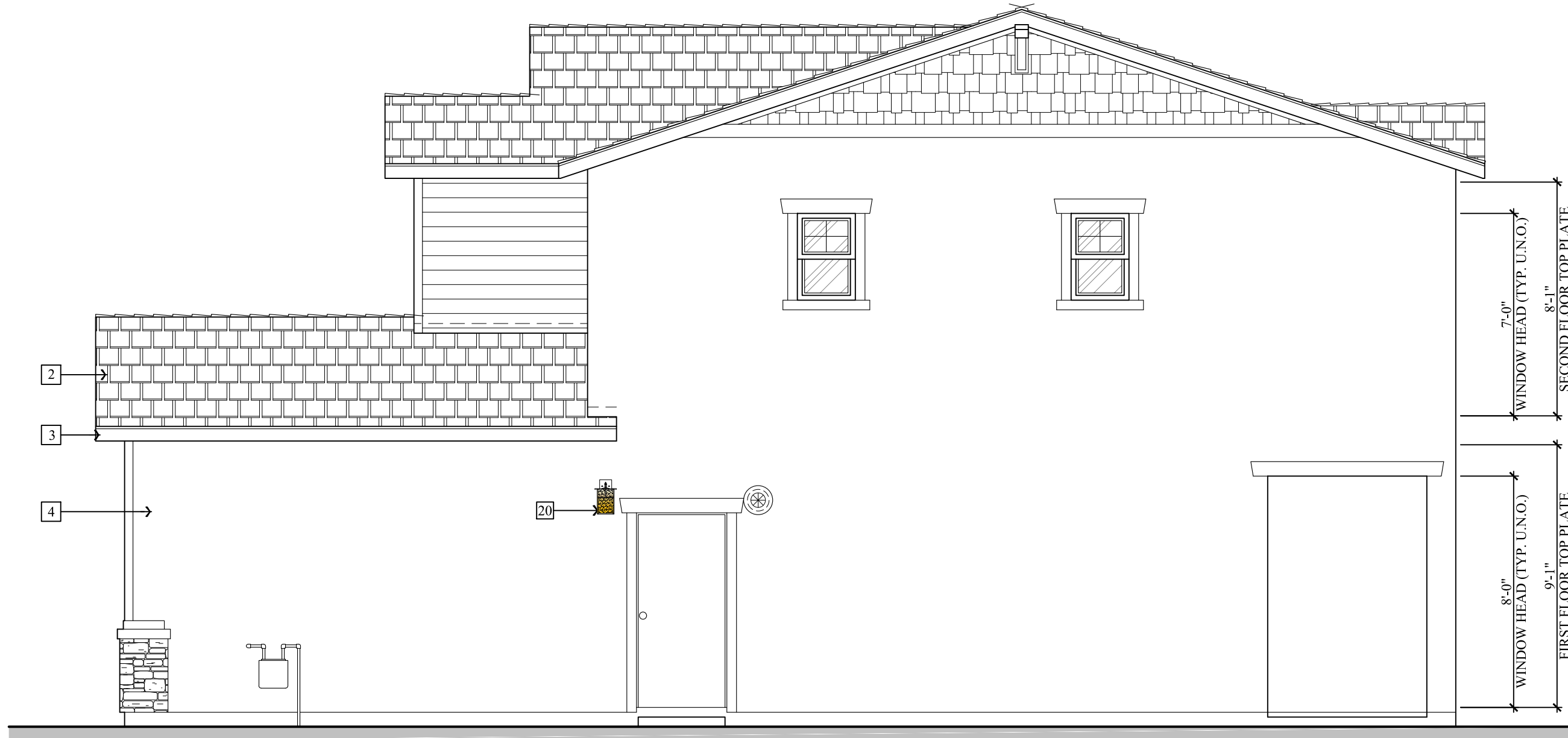
REAR ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"



ROOF PLAN 'C'

scale: 1/8" = 1'-0"



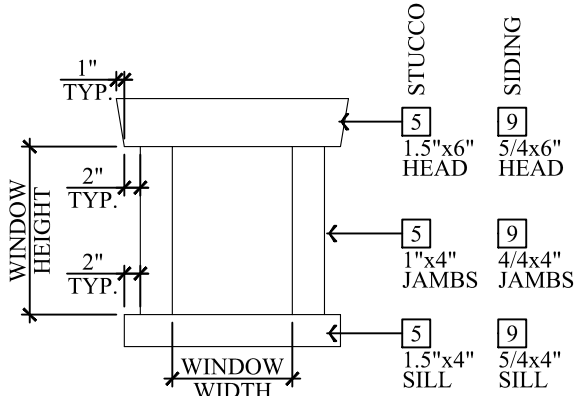
RIGHT ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"



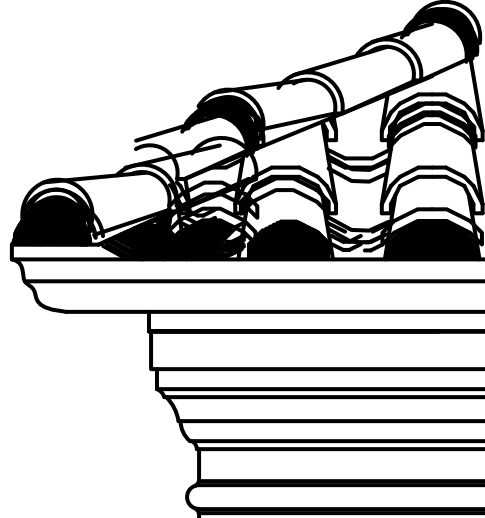
FRONT ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"



WINDOW TRIM

scale: 1/2" = 1'-0"



- | ELEVATION NOTES | |
|-----------------|--|
| 1. | CONCRETE 'S' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900 |
| 2. | CONCRETE 'FLAT' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900 |
| 3. | 2x6 PAINTED FASCIA |
| 4. | 3-COAT STUCCO FINISH |
| 5. | STUCCO OVER FOAM TRIM or BAND |
| 6. | STUCCO OVER SHAPED FOAM CORBEL |
| 7. | DECORATIVE PIPE TILE VENT |
| 8. | TEXTURED LAP SIDING WITH 6" REVEAL |
| 9. | TEXTURED DIMENSIONAL TRIM, REFER TO ELEVATION FOR SIZE |
| 10. | ROUGH SAWN OUTLOOKER WITH KICKER |
| 11. | STUCCO OVER SHAPED FOAM CORBEL |
| 12. | TEXTURED SHAKE SIDING |
| 13. | TEXTURED BOARD WITH 2" BATTENS AT 16" O/C |
| 14. | STONE VENEER WITH STUCCO OVER 3"D.x4"H. TRIM BAND |
| 15. | DECORATIVE PLANK SHUTTER |
| 16. | DECORATIVE RAISED PANEL SHUTTER |
| 17. | DECORATIVE LOUVERED SHUTTER |
| 18. | ENTRY DOOR, THERMA-TRU (a)S8200 (b)S897 (c)S810 |
| 19. | GARAGE DOOR, WAYNE DALTON, (a)COLONIAL (b)SONOMA (c)RANCH w/ TOP PANEL WINDOWS |
| 20. | COACH LIGHT |
| 21. | STUCCO RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL |
| 22. | PANEL SIDING RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL |
| 23. | DECORATIVE 8"x18" GABLE END VENT |
| 24. | ILLUMINATED ADDRESS SIGN |
- NOTES:
- REFER TO COLOR BOARD FOR MATERIAL COLORS, TEXTURES AND ELEVATION SPECIFIC DOOR STYLES
 - PROVIDE METAL CAP FLASHING ABOVE ALL HORIZONTAL PROJECTING PIECES OF TRIM
 - SLOPE TOP EDGE OF EXPOSED FOAM TRIM 1/8":12" AWAY FROM HOUSE
 - STUCCO CORNERS SHALL BE SQUARE
 - DIMENSIONS LISTED AS DEPTHxHEIGHT (i.e. 1"x6")
 - REFER TO DETAIL 18/AD-2 FOR WINDOW FLASHING
 - TEXTURED LAP SIDING, SHAKE SIDING SHALL BE JAMES HARDIE, ICC-ES REPORT #ESR-2290 or APPROVED EQUAL

DESIGNED BY:
KVH DESIGN GROUP
165 E. 24th ST. #D
UPLAND, CA. 91784
(909) 985-2552

FOR:
MONTE VISTA ASSETS, INC.
165 E. 24th ST. #D
UPLAND, CA. 91784
(951) 240-1742

PROJECT TITLE:
FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPULAR AVENUE
FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'C'

FONTANA

Bldg. Dept. Number:

DATE
02/27/2023

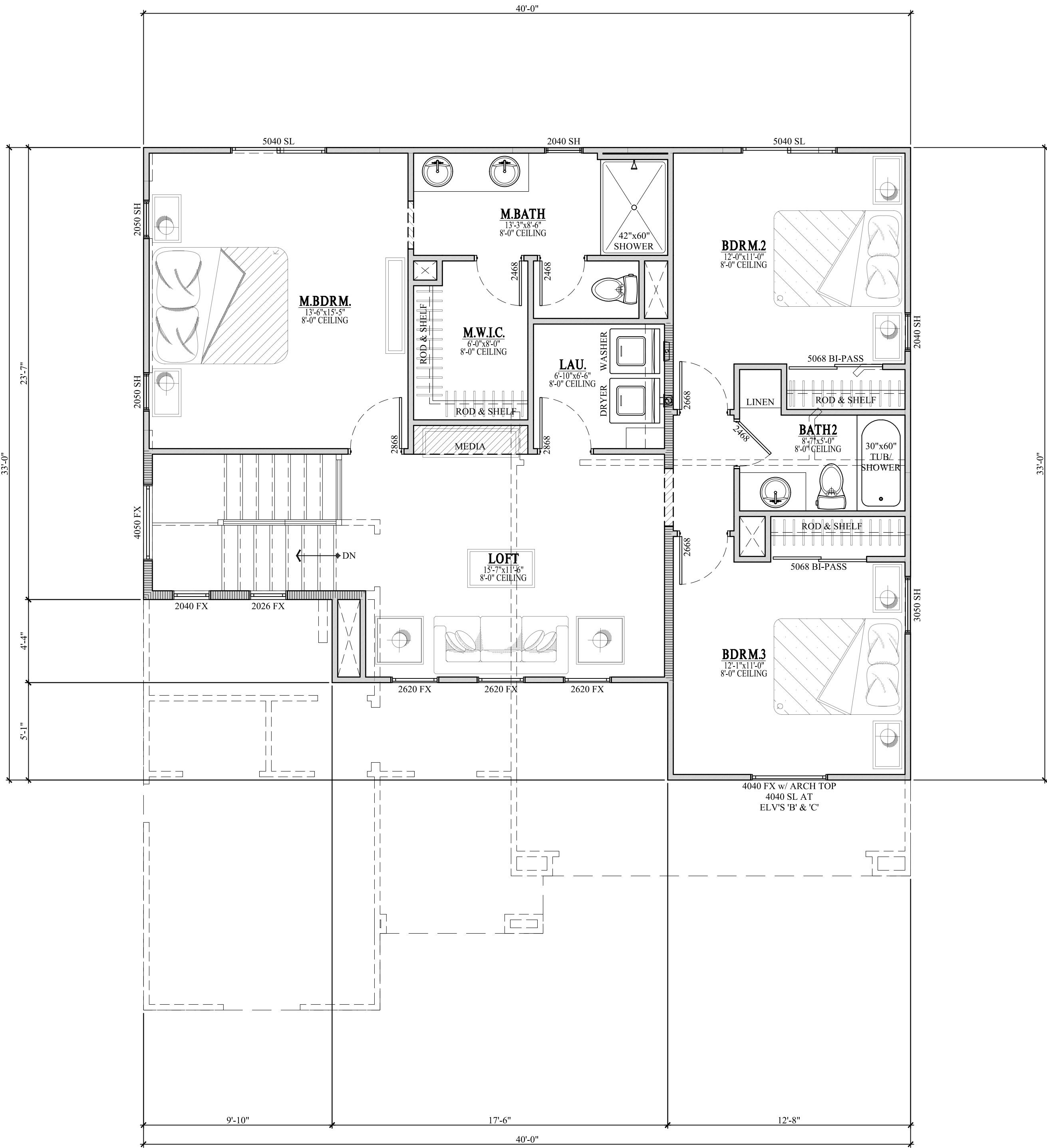
JOB
A20-006

REVISIONS

SHEET

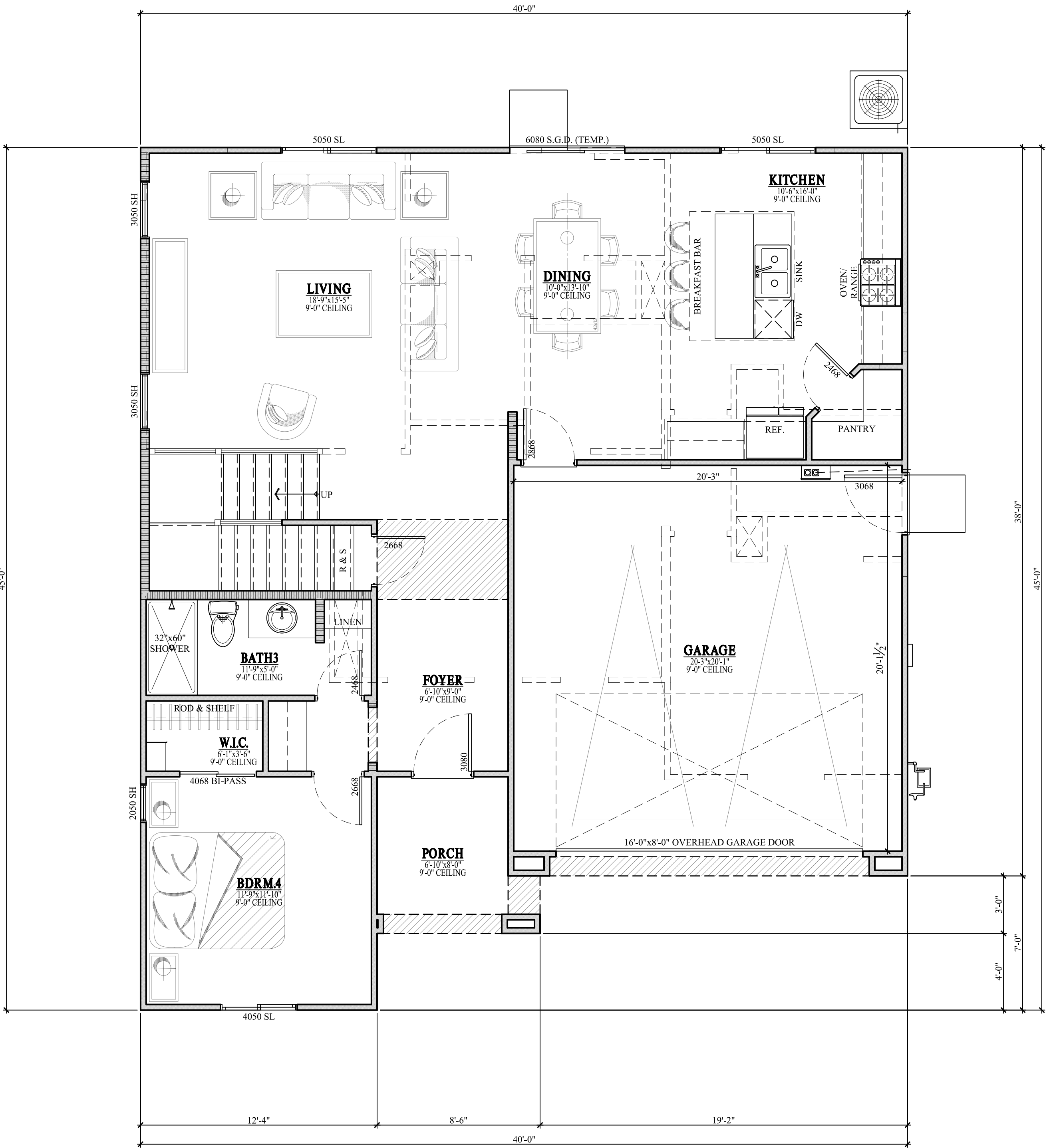
DRB1.3

PLAN 01



SECOND FLOOR PLAN

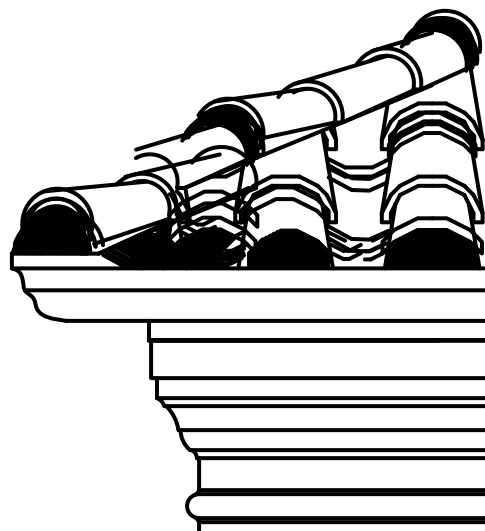
scale: 1/4" = 1'-0"



FIRST FLOOR PLAN

scale: 1/4" = 1'-0"

SQUARE FOOTAGES	
LIVING AREAS:	
FIRST FLOOR LIVING AREA:	1130 SQ. FT.
SECOND FLOOR LIVING AREA:	1056 SQ. FT.
TOTAL LIVING AREA:	2,186 SQ. FT.
2-CAR GARAGE AREA:	421 SQ. FT.
PORCH AREA:	62 SQ. FT.



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MONTE VISTA ASSETS, INC.
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

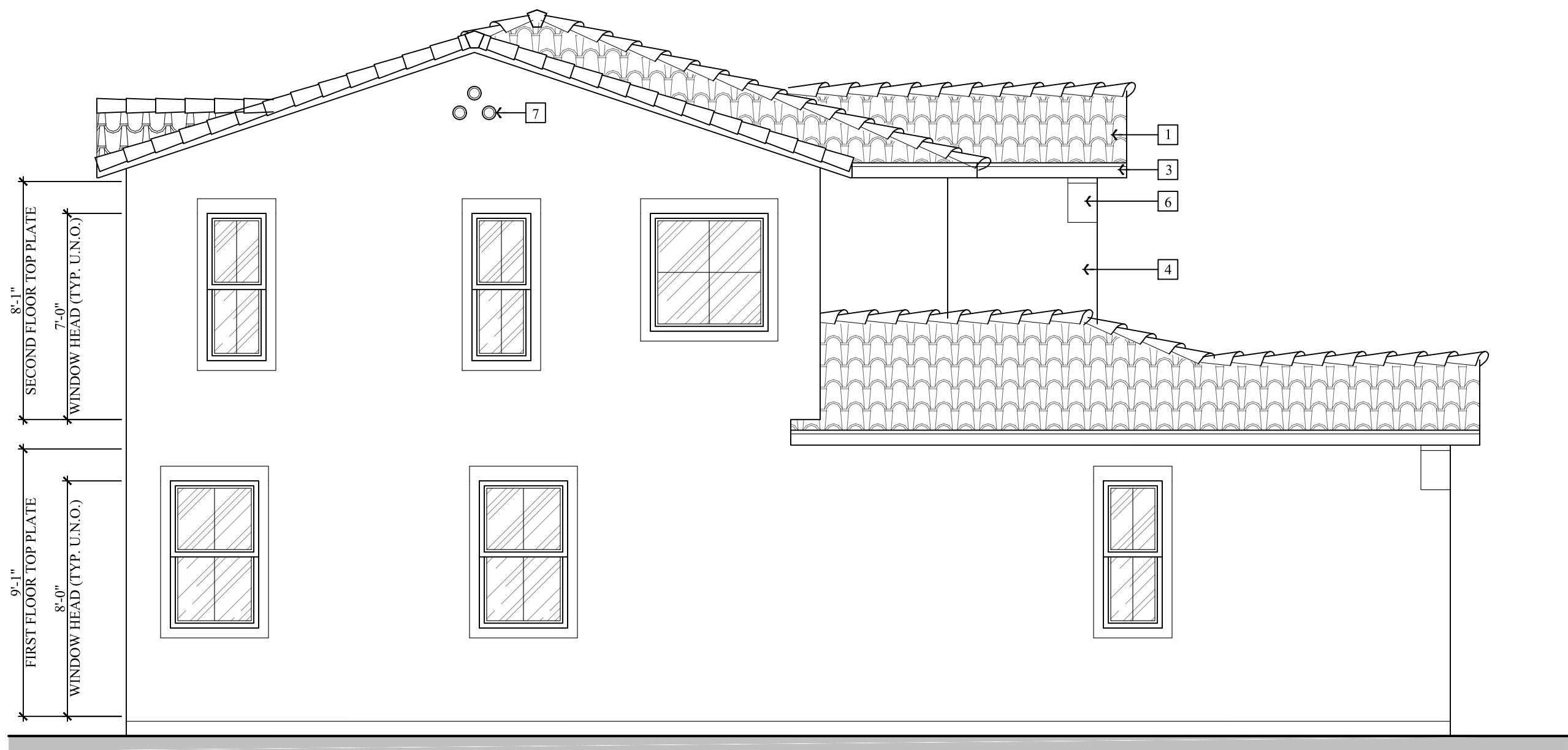
PROJECT TITLE:
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SINGLE FAMILY SUBDIVISION
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SHEET TITLE
FLOOR PLANS

FONTANA
Bldg. Dept. Number:
DATE
02/27/2023
JOB
A20-006
REVISIONS
SHEET
DRB2
PLAN 02

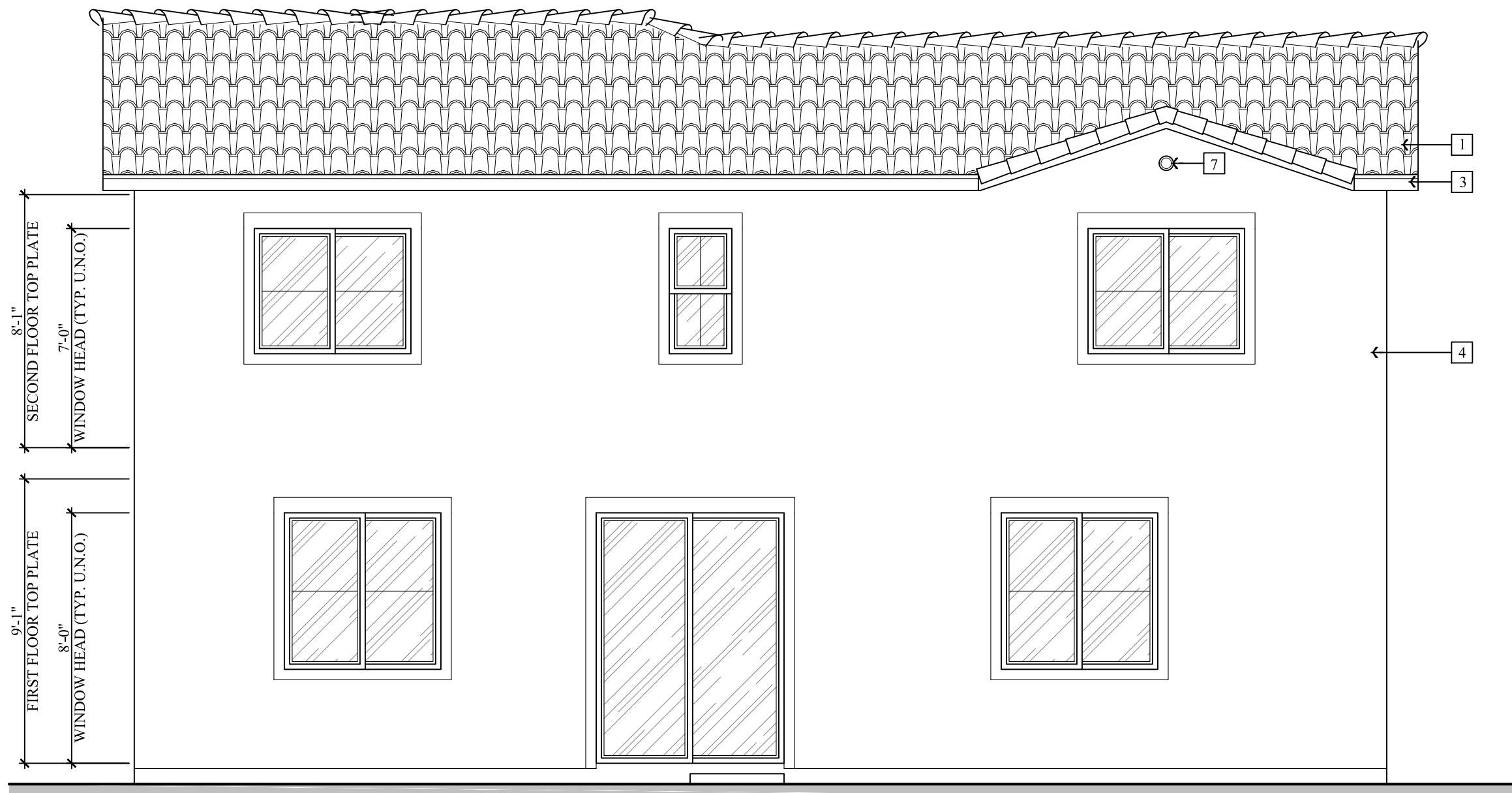
THE USE OF THESE PLANS & SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED & PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH REPRODUCTION, PUBLICATION OR REUSE BY ANY METHOD IN OR IN WHOLE OR IN PART WITHOUT THE EXPRESS CONSENT OF KURT VON HATTEN ENTERPRISES IS PROHIBITED. TITLE TO THE PLANS & SPECIFICATIONS REMAIN IN KURT VON HATTEN ENTERPRISES WITHOUT PREJUDICE. VISUAL CONTACT WITH PLANS & SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.





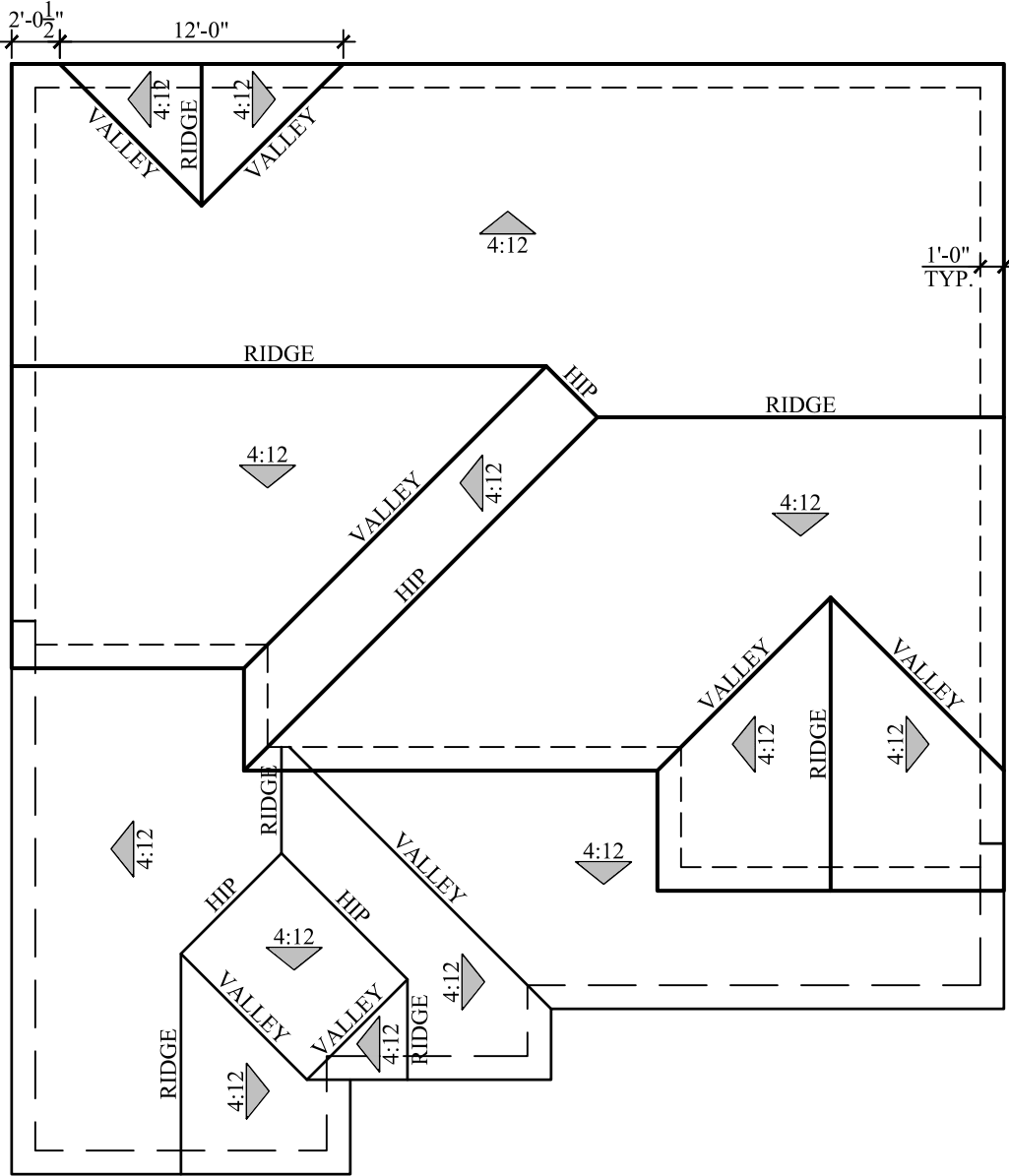
LEFT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



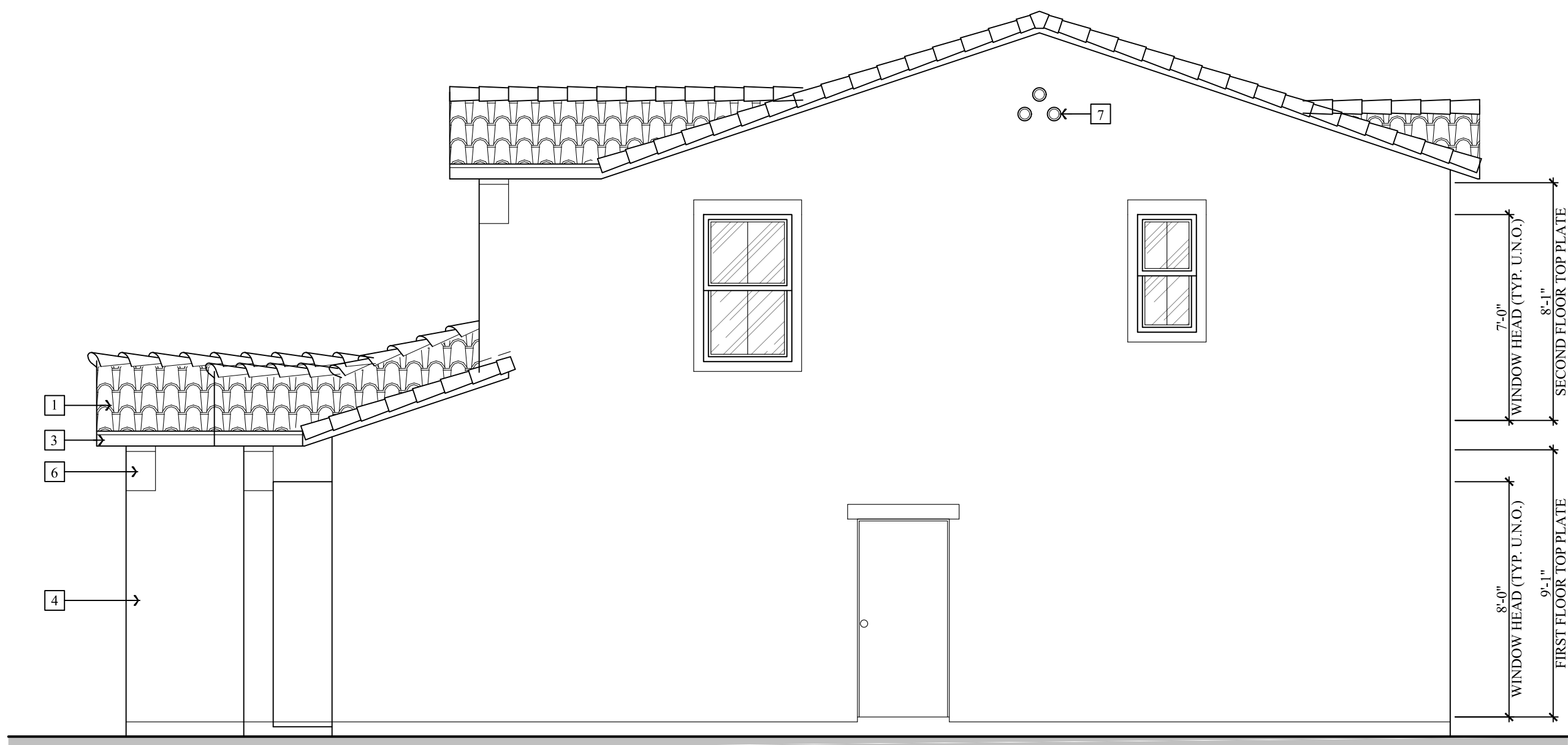
REAR ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



ROOF PLAN 'A'

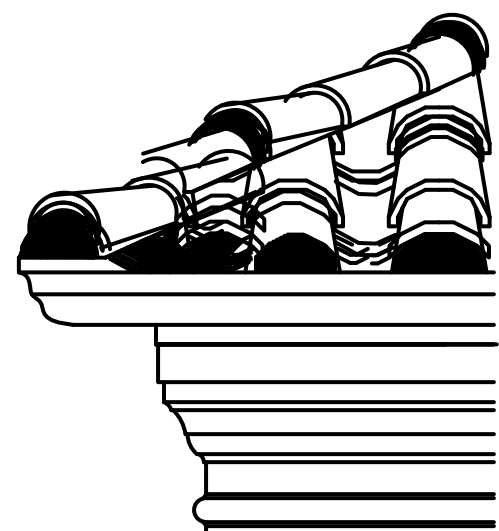
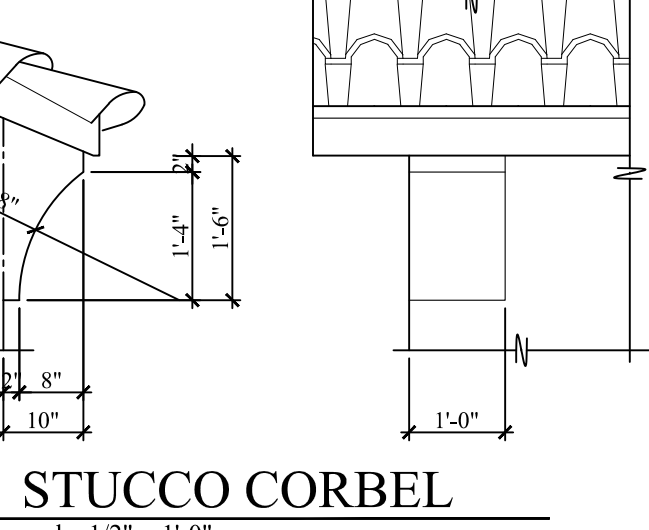
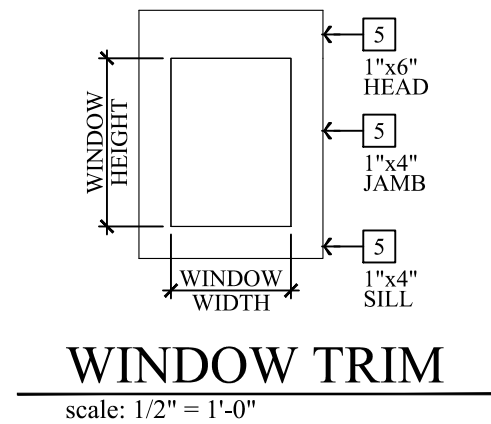
scale: 1/8" = 1'-0"



RIGHT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"

- | ELEVATION NOTES | |
|-----------------|--|
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| 5. | STUCCO OVER FOAM TRIM or BAND |
| 6. | STUCCO OVER SHAPED FOAM CORBEL |
| 7. | DECORATIVE PIPE TILE VENT |
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| 20. | COACH LIGHT |
| 21. | STUCCO RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL |
| 22. | PANEL SIDING RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL |
| 23. | DECORATIVE 8"x18" GABLE END VENT |
| 24. | ILLUMINATED ADDRESS SIGN |
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| • | REFER TO DETAIL 18/AD-2 FOR WINDOW FLASHING |
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(909) 985-2552

FOR:
MONTE VISTA ASSETS, INC.
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPULAR AVENUE
FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'A'

FONTANA
Bldg. Dept. Number:

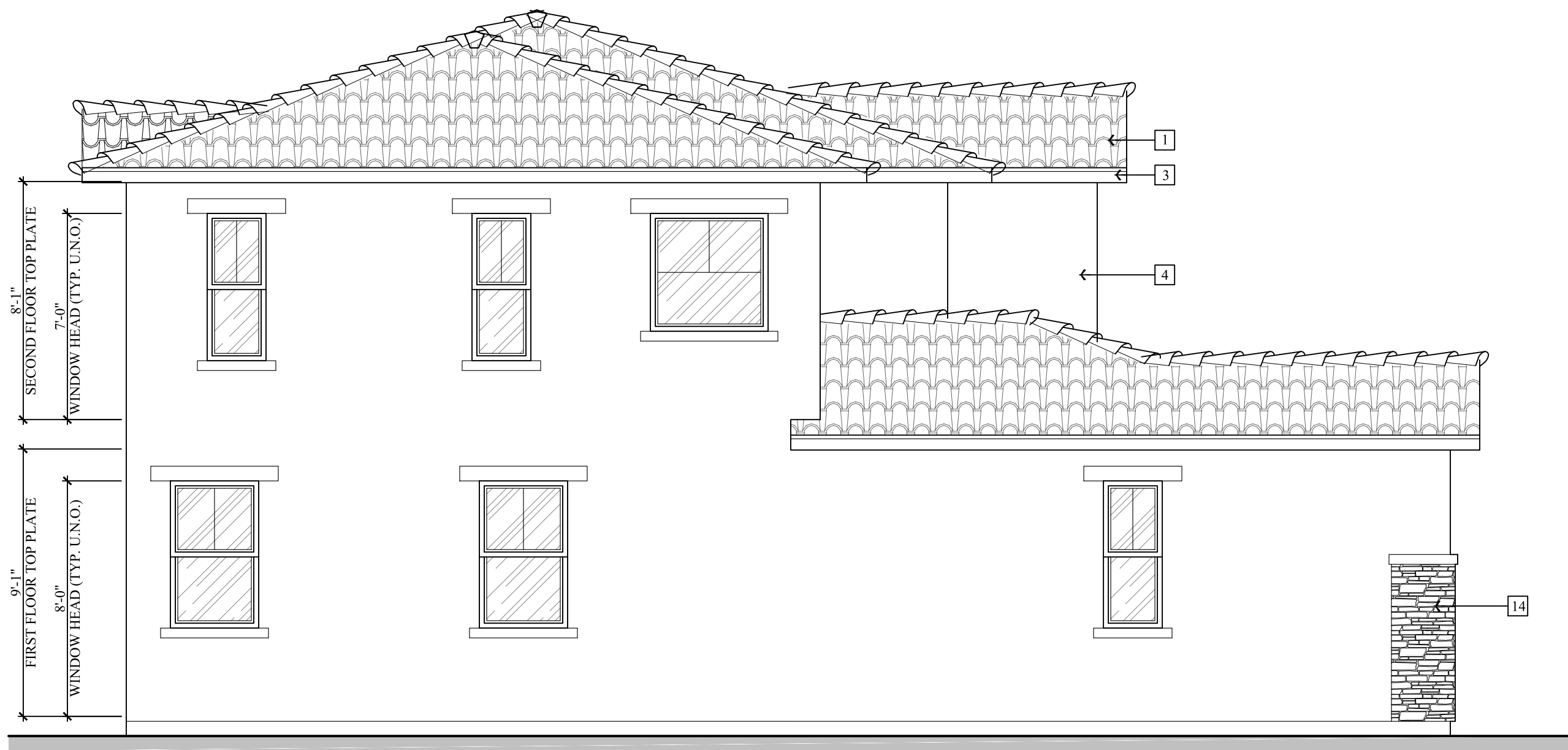
DATE
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JOB
A20-006

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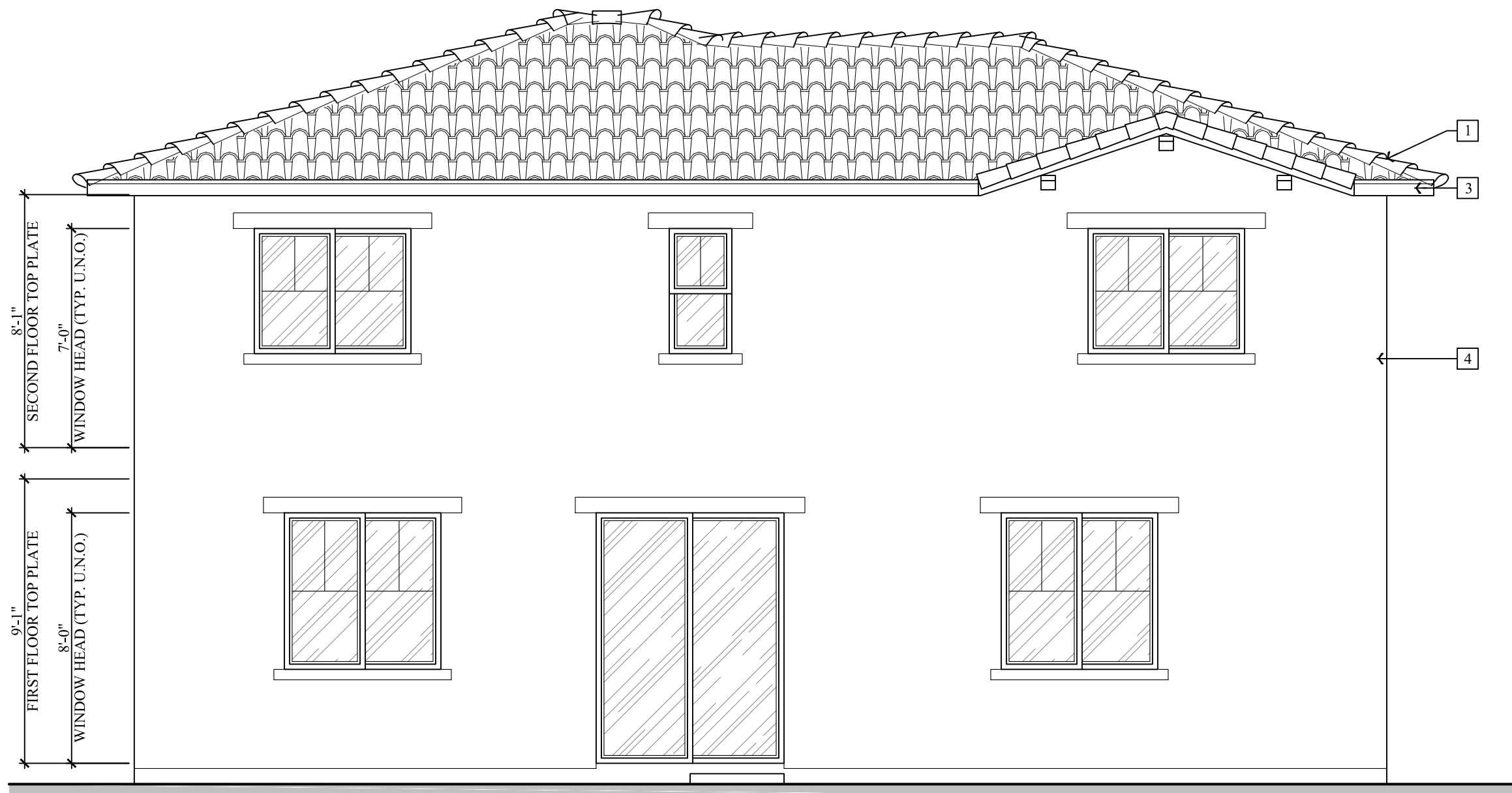
SHEET
DRB2.1
PLAN 02





LEFT ELEVATION 'B' - TUSCAN

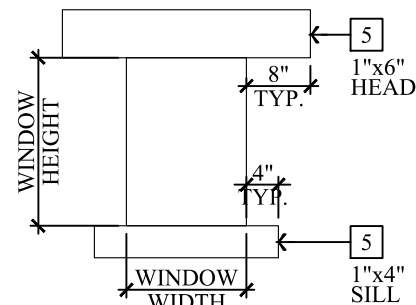
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REAR ELEVATION 'B' - TUSCAN

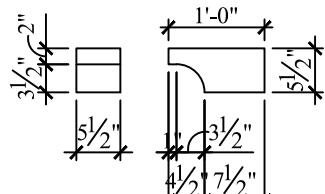
scale: 1/4" = 1'-0"

- | ELEVATION NOTES | |
|-----------------|--|
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| 6. | STUCCO OVER SHAPED FOAM CORBEL |
| 7. | DECORATIVE PIPE TILE VENT |
| 8. | TEXTURED LAP SIDING WITH 6" REVEAL |
| 9. | TEXTURED DIMENSIONAL TRIM, REFER TO ELEVATION FOR SIZE |
| 10. | ROUGH SAWY OUTLOOKER WITH KICKER |
| 11. | STUCCO OVER SHAPED FOAM CORBEL TRIM BAND |
| 12. | TEXTURED SHAKE SIDING |
| 13. | TEXTURED BOARD WITH 2" BATTENS AT 16" O/C |
| 14. | STONE VENEER WITH STUCCO OVER 3"D.x4"H. |
| TRIM BAND | |
| 15. | DECORATIVE PLANK SHUTTER |
| 16. | DECORATIVE RAISED PANEL SHUTTER |
| 17. | DECORATIVE LOUVERED SHUTTER |
| 18. | ENTRY DOOR, THERMA-TRU (a)S8200 (b)S897 (c)S810 |
| 19. | GARAGE DOOR, WAYNE DALTON, (a)COLONIAL (b)SONOMA (c)RANCH w/ TOP PANEL WINDOWS |
| 20. | COACH LIGHT |
| 21. | STUCCO RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL |
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| • | TEXTURED LAP SIDING, SHAKE SIDING SHALL BE JAMES HARDIE, ICC-ES REPORT #ESR-2290 or APPROVED EQUAL |



WINDOW TRIM

scale: 1/2" = 1'-0"



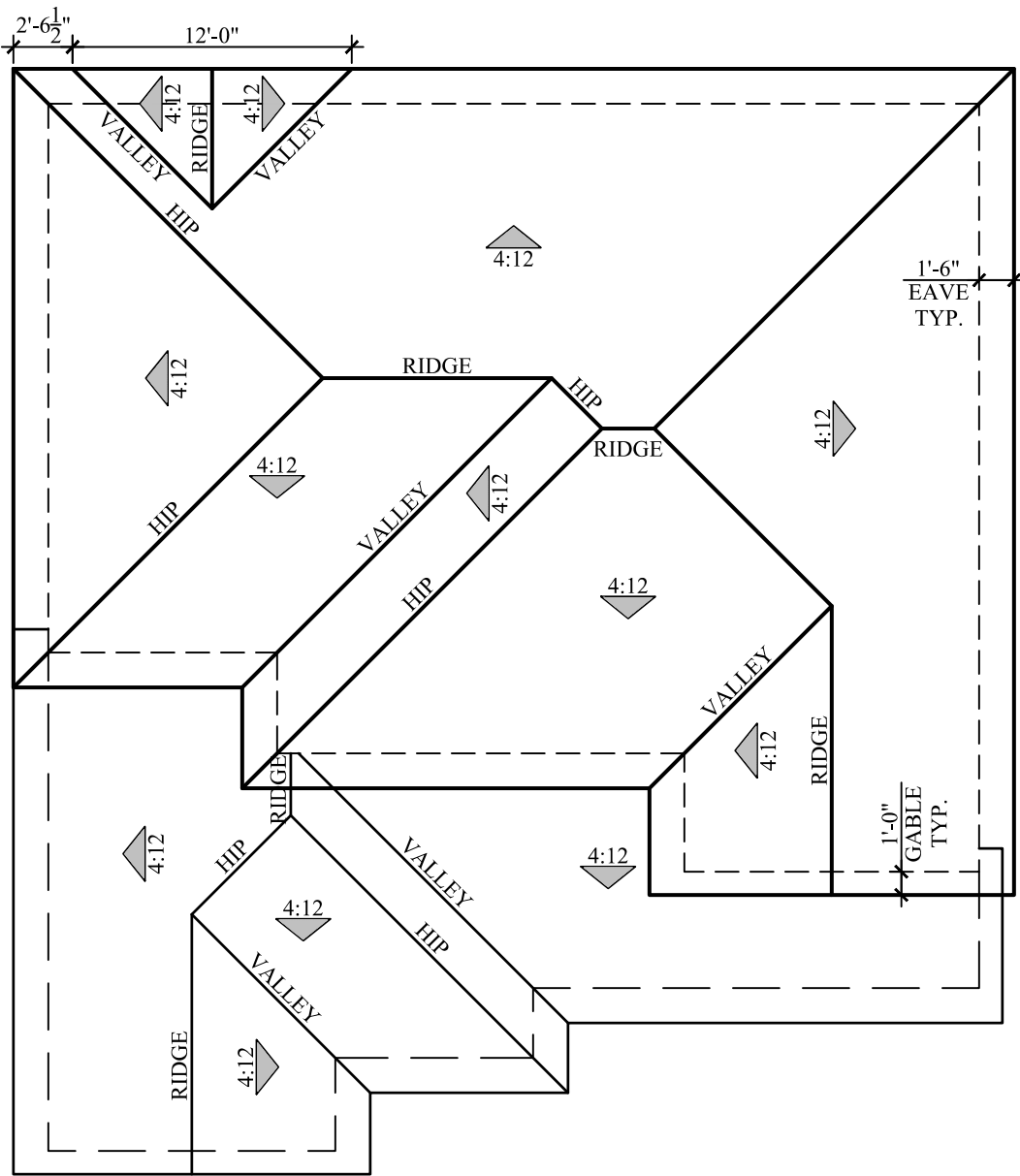
STUCCO CORBEL

scale: 1/2" = 1'-0"



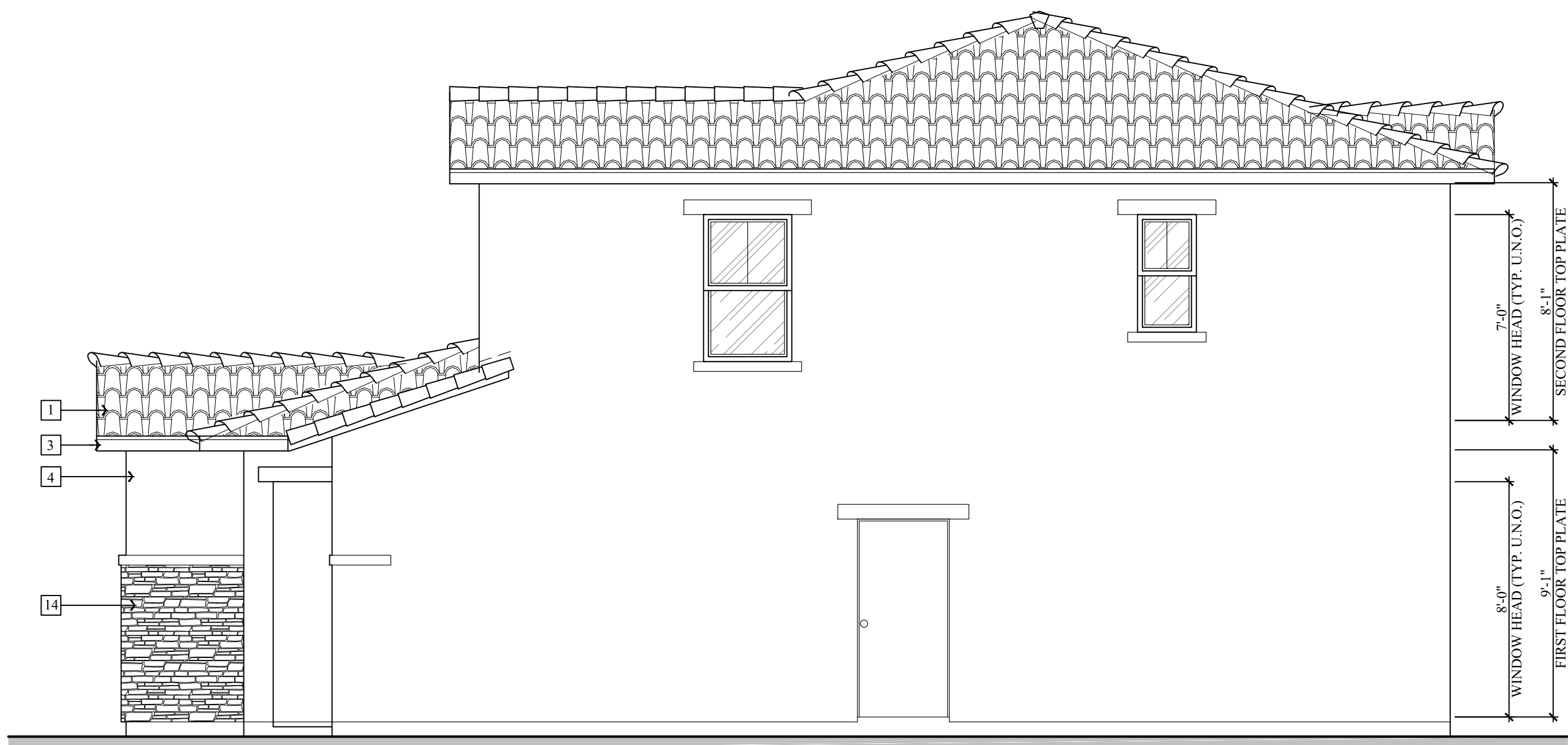
FRONT ELEVATION 'B' - TUSCAN

scale: 1/4" = 1'-0"



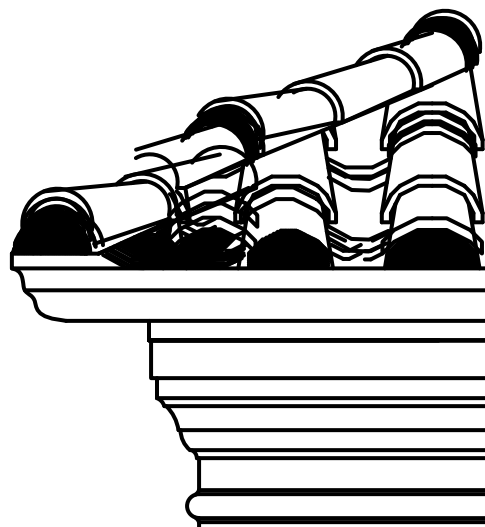
ROOF PLAN 'B'

scale: 1/8" = 1'-0"



RIGHT ELEVATION 'B' - TUSCAN

scale: 1/4" = 1'-0"



DESIGNED BY:
KVH DESIGN GROUP
165 E. 24th ST. #D
UPLAND, CA. 91784
(909) 985-2552

FOR:
MONTE VISTA ASSETS, INC.
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPULAR AVENUE
FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'B'

FONTANA
Bldg. Dept. Number:

DATE
02/27/2023

JOB
A20-006

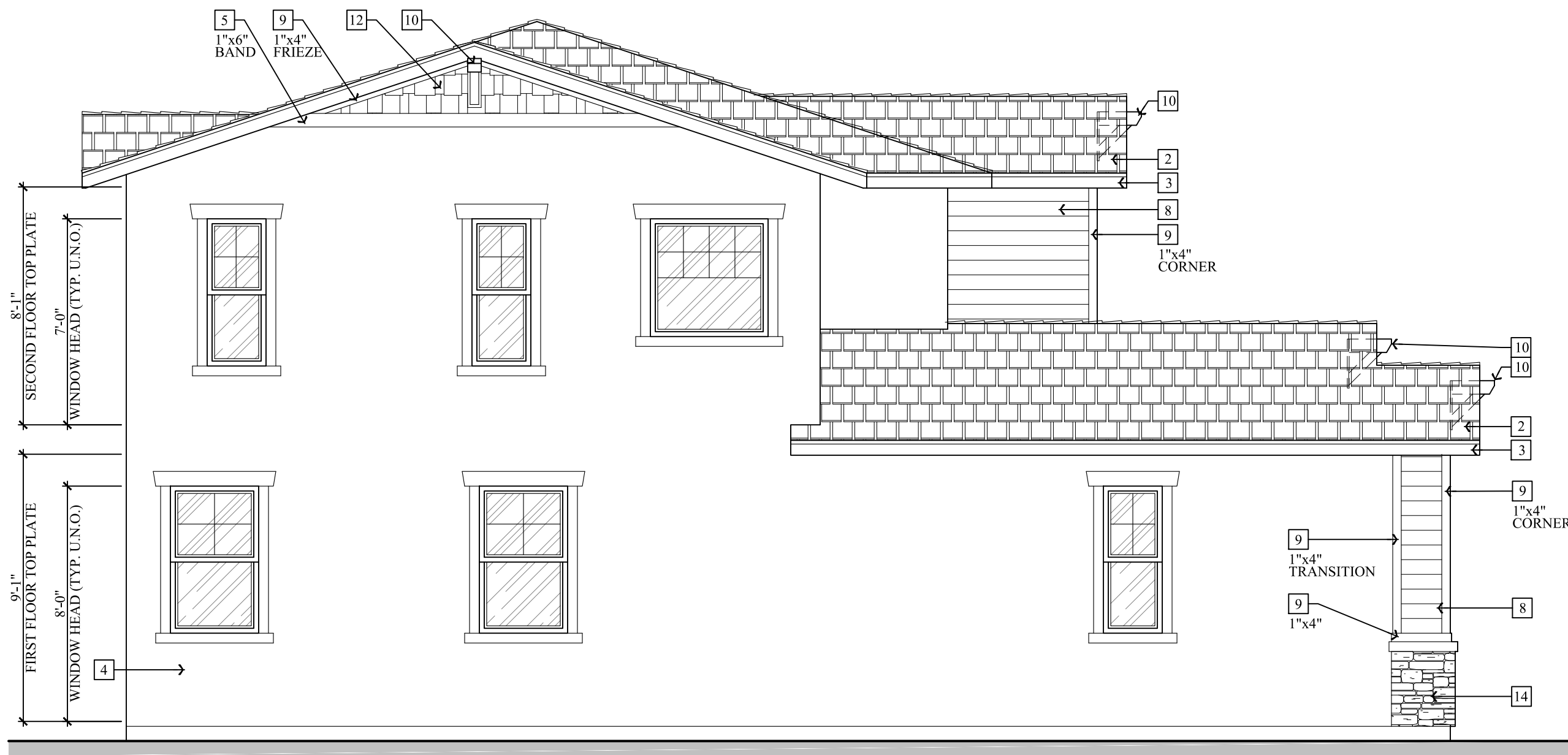
REVISIONS

SHEET

DRB2.2

PLAN 02

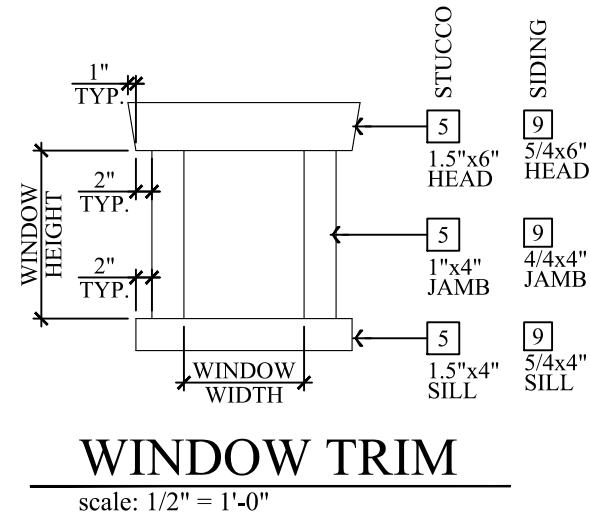




LEFT ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"

- ELEVATION NOTES
1. CONCRETE 'S' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
 2. CONCRETE 'FLAT' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
 3. 2x6 PAINTED FASCIA
 4. 3-COAT STUCCO FINISH
 5. STUCCO OVER FOAM TRIM OR BAND
 6. STUCCO OVER SHAPED FOAM CORBEL
 7. DECORATIVE PIPE TILE VENT
 8. TEXTURED LAP SIDING WITH 6" REVEAL
 9. TEXTURED DIMENSIONAL TRIM, REFER TO ELEVATION FOR SIZE
 10. ROUGH SAWN OUTLOOKER WITH KICKER
 11. STUCCO OVER SHAPED FOAM CORBEL
 12. TEXTURED SHAKE SIDING
 13. TEXTURED BOARD WITH 2" BATTENS AT 16" O/C
 14. STONE VENEER WITH STUCCO OVER 3"D.4"H. TRIM BAND
 15. DECORATIVE PLANK SHUTTER
 16. DECORATIVE RAISED PANEL SHUTTER
 17. DECORATIVE LOUVERED SHUTTER
 18. ENTRY DOOR, THERMA-TRU (a)S8200 (b)S897 (c)S810
 19. GARAGE DOOR, WAYNE DALTON, (a)COLONIAL (b)SONOMA (c)RANCH w/ TOP PANEL WINDOWS
 20. COACH LIGHT
 21. STUCCO RECESS, SLOPE SILL 1/8":12" AWAY FROM WINDOW WALL
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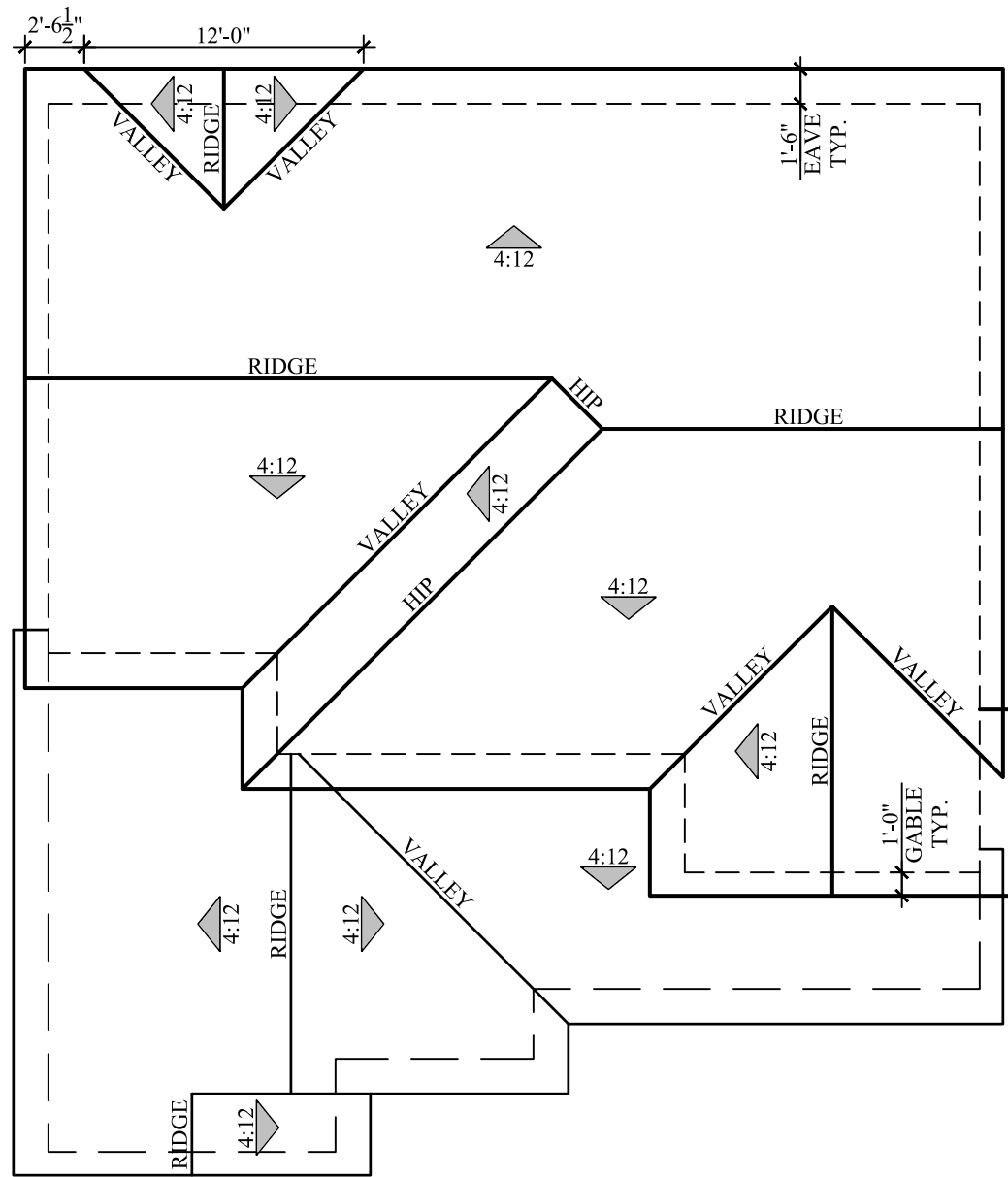
FRONT ELEVATION 'C' - CRAFTSMAN

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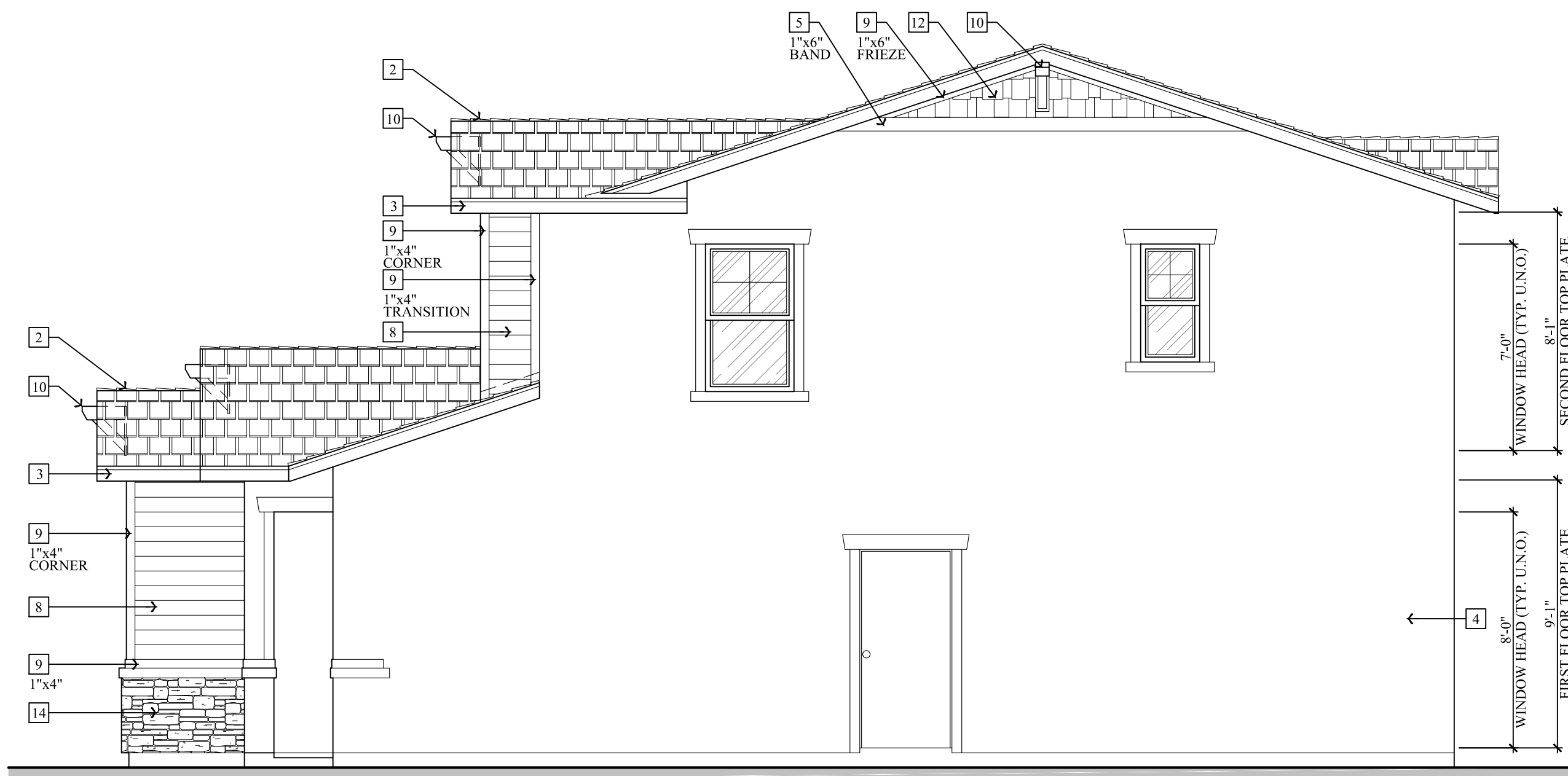
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scale: 1/4" = 1'-0"



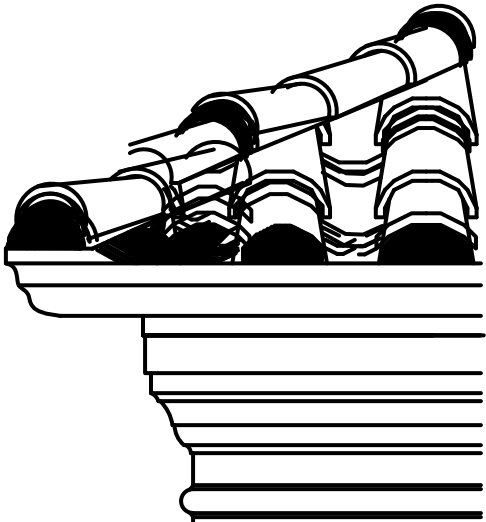
ROOF PLAN 'C'

scale: 1/8" = 1'-0"



RIGHT ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"



DESIGNED BY:
KVH DESIGN GROUP
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FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'C'

FONTANA
Bldg. Dept. Number:

DATE
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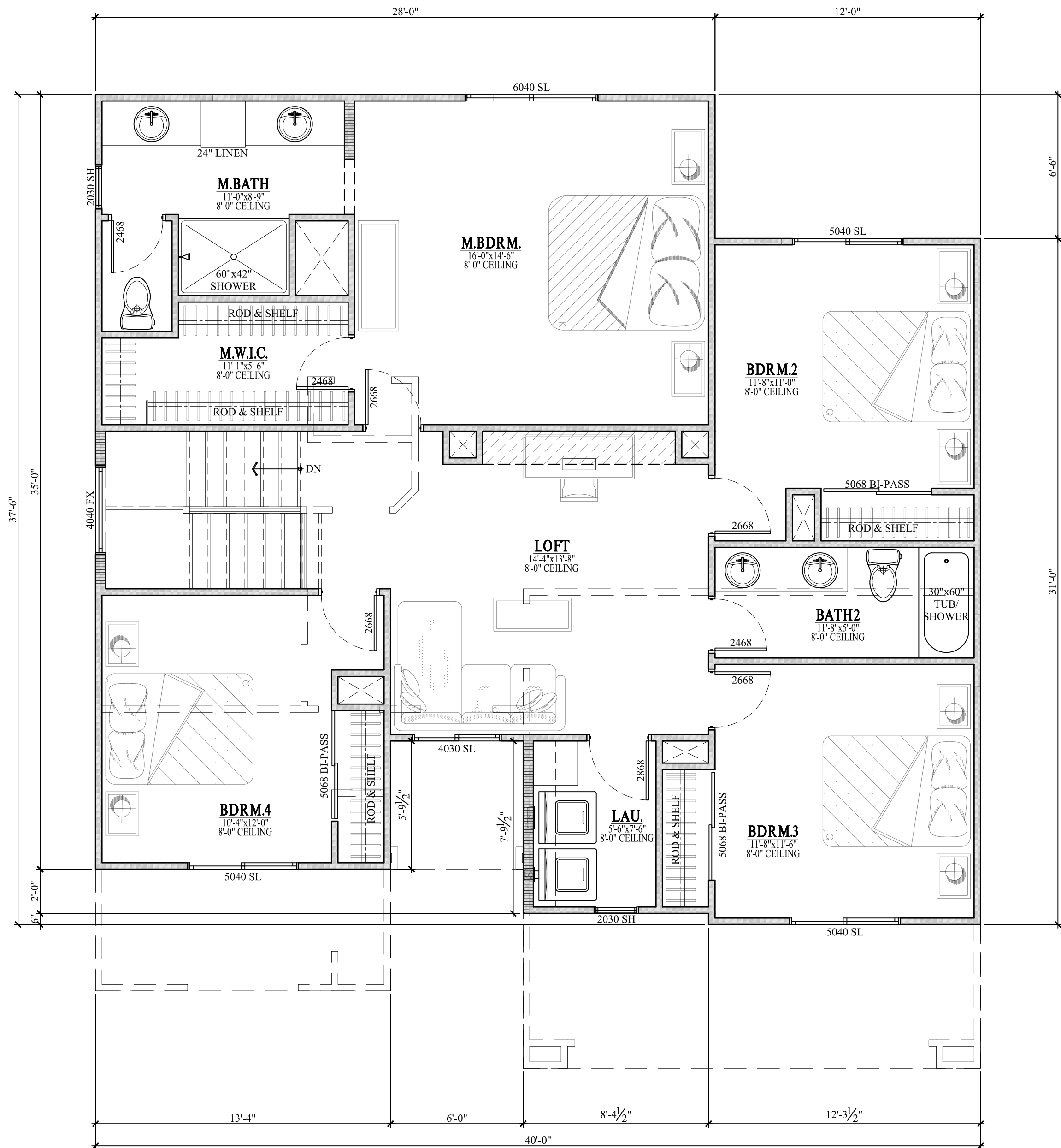
JOB
A20-006

REVISIONS

SHEET

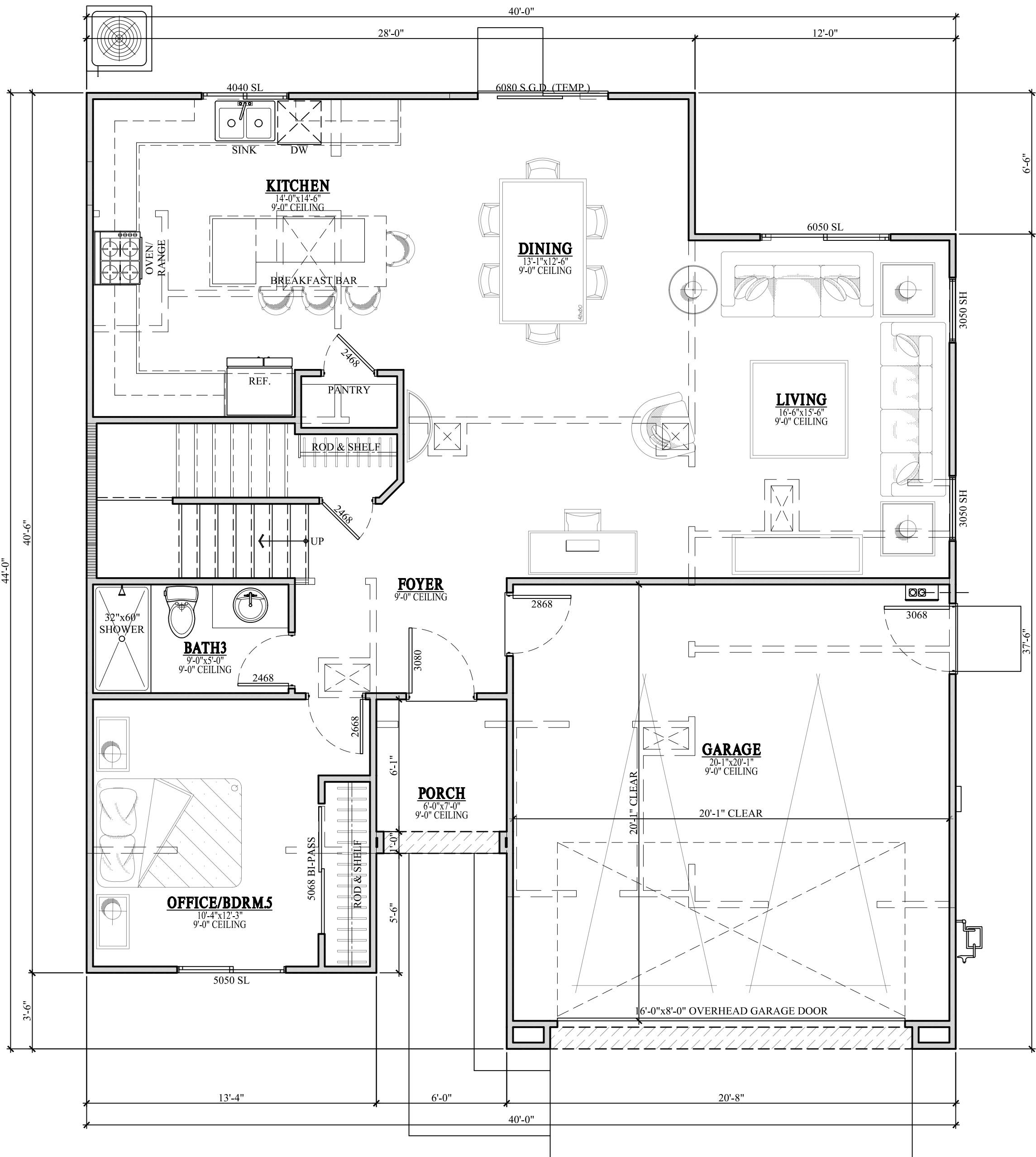
DRB2.3

PLAN 02



SECOND FLOOR PLAN

scale: 1/4" = 1'-0"



FIRST FLOOR PLAN

scale: 1/4" = 1'-0"

SQUARE FOOTAGES	
LIVING AREAS:	
FIRST FLOOR LIVING AREA:	1099 SQ. FT.
SECOND FLOOR LIVING AREA:	1269 SQ. FT.
TOTAL LIVING AREA:	2,368 SQ. FT.
2-CAR GARAGE AREA:	420 SQ. FT.
PORCH AREA:	78 SQ. FT.

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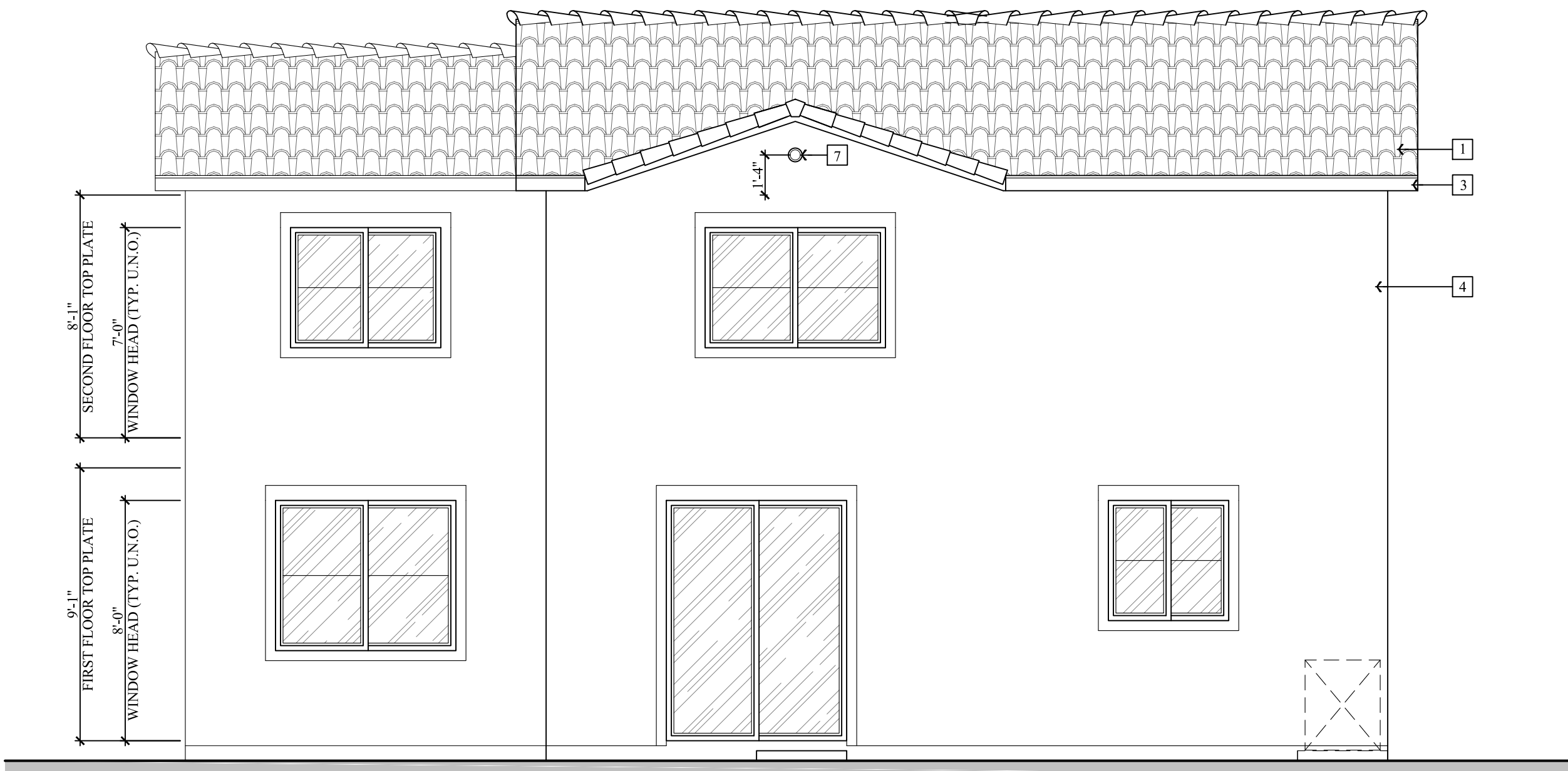
REVISIONS

SHEET
DRB3
PLAN 03

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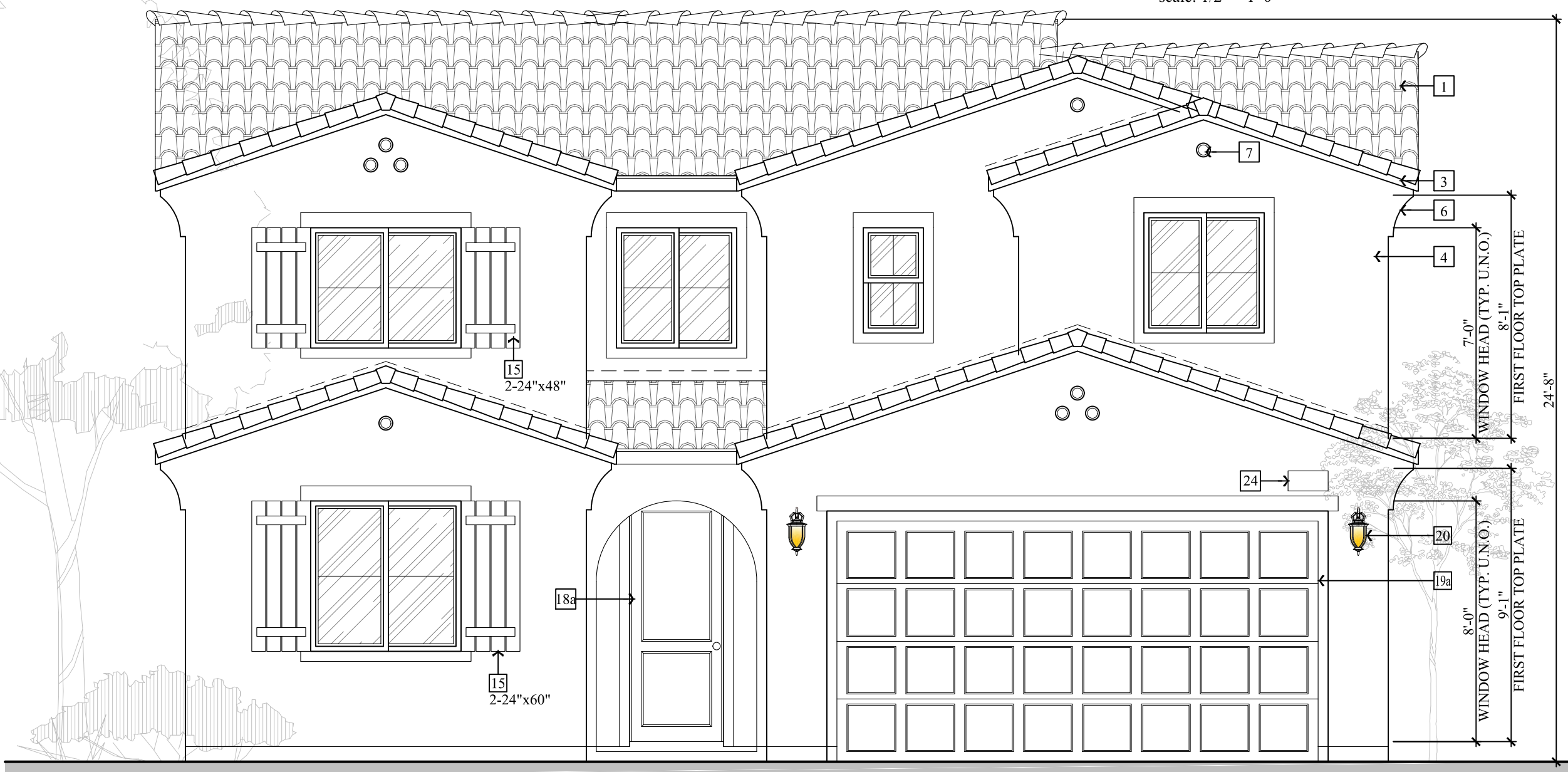
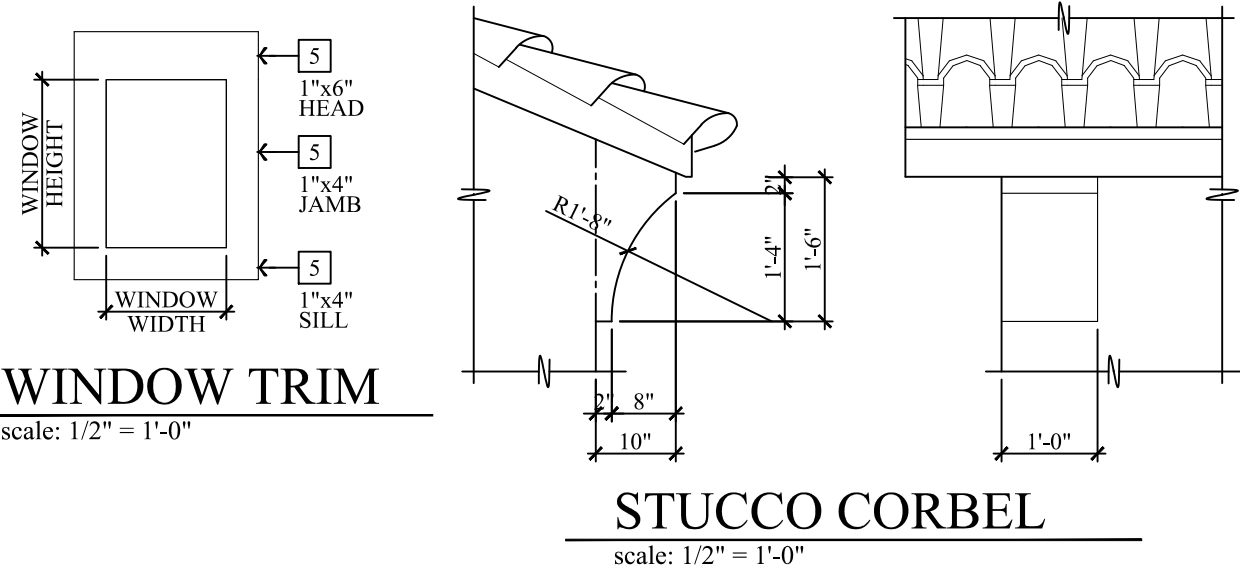




REAR ELEVATION 'A' - SPANISH

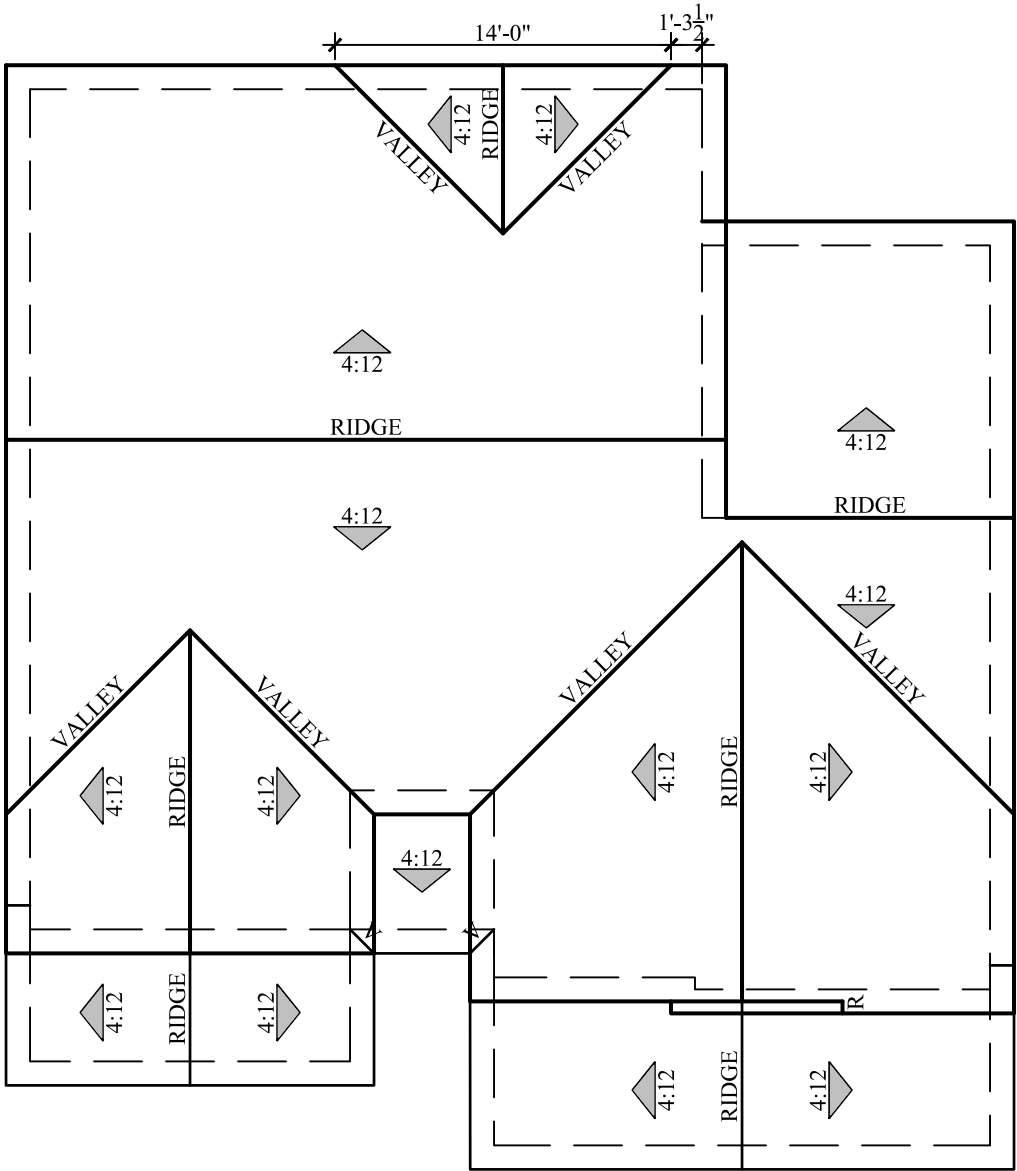
scale: 1/4" = 1'-0"

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 20. COACH LIGHT
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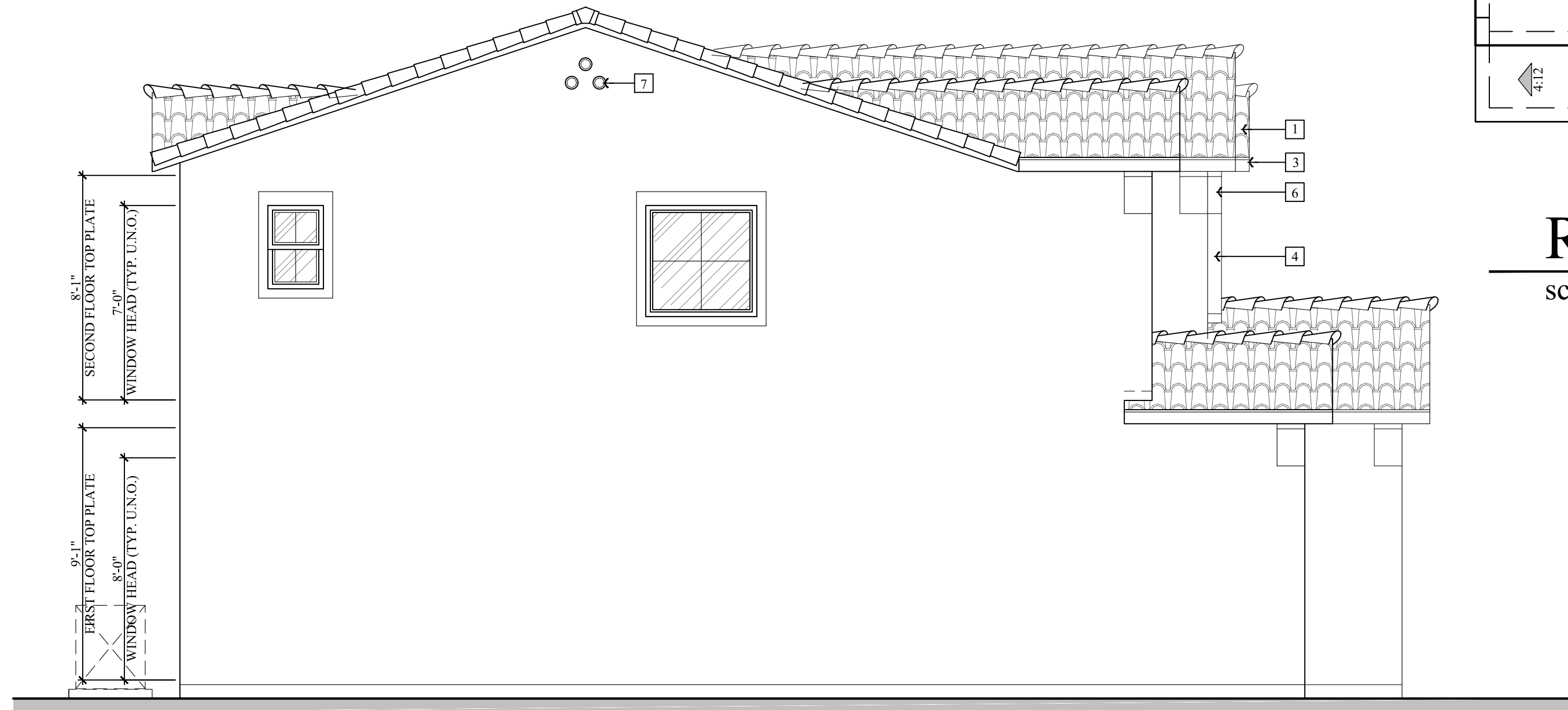
FRONT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



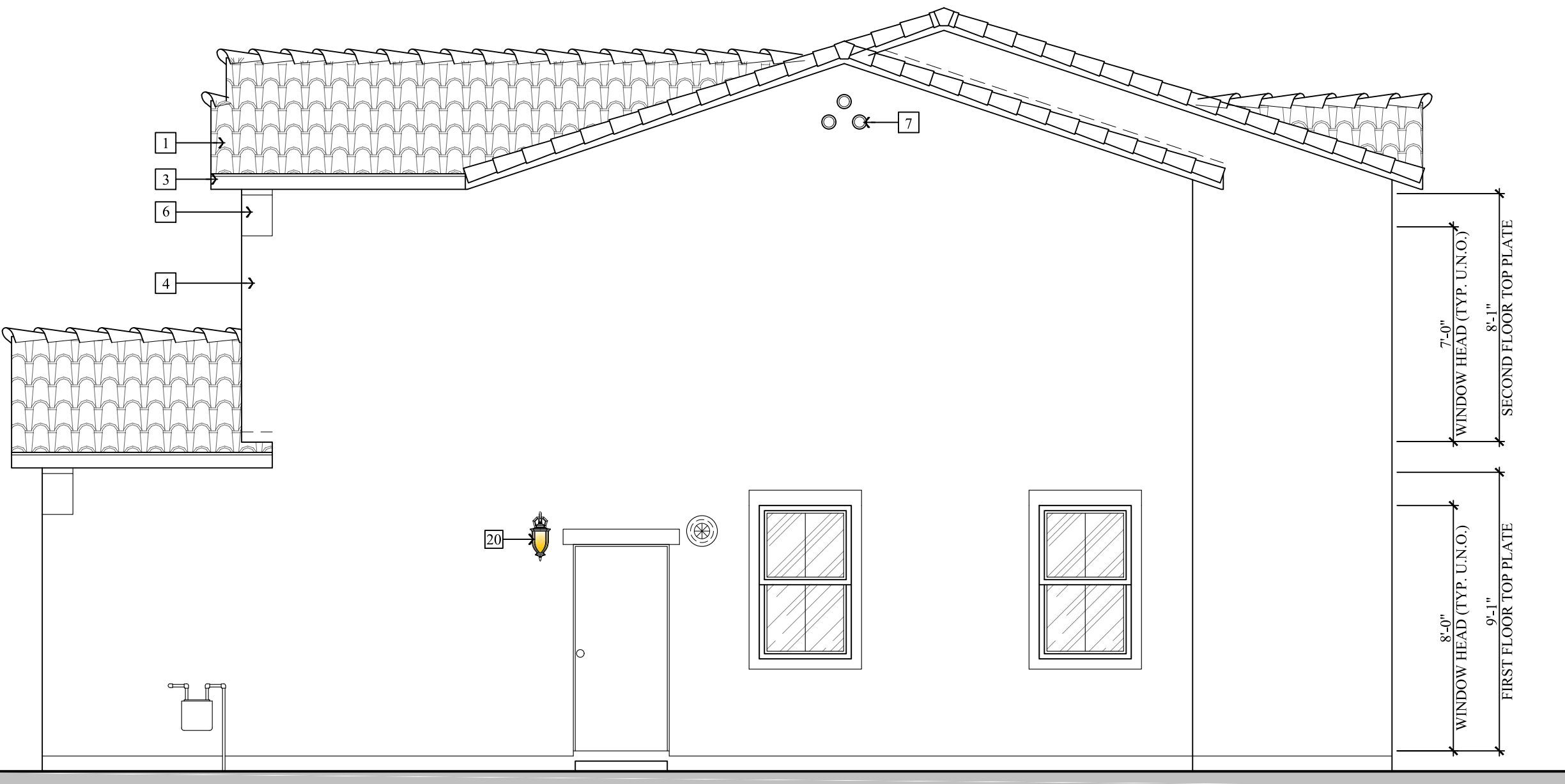
ROOF PLAN 'A'

scale: 1/8" = 1'-0"



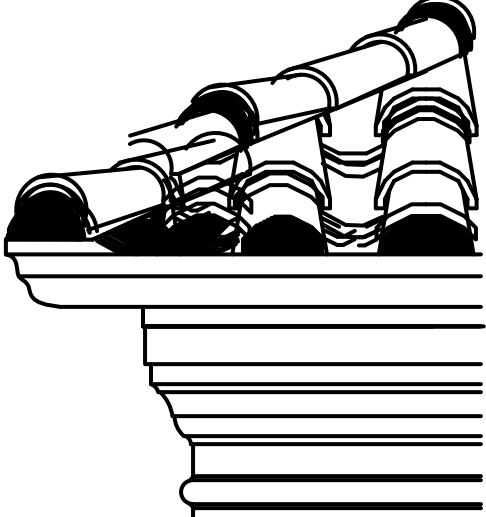
LEFT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



RIGHT ELEVATION 'A' - SPANISH

scale: 1/4" = 1'-0"



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(909) 985-2552

FOR:
MONTE VISTA ASSETS, INC.
8628 HILLSIDE ROAD
ALTA LOMA, CA. 91701
(951) 240-1742

PROJECT TITLE:
FONTANA 53
TRACT 20358 - 53 LOT
SINGLE FAMILY SUBDIVISION
POPLAR AVENUE
FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'A'

FONTANA
Bldg. Dept. Number:

DATE
02/27/2023

JOB
A20-006

REVISIONS

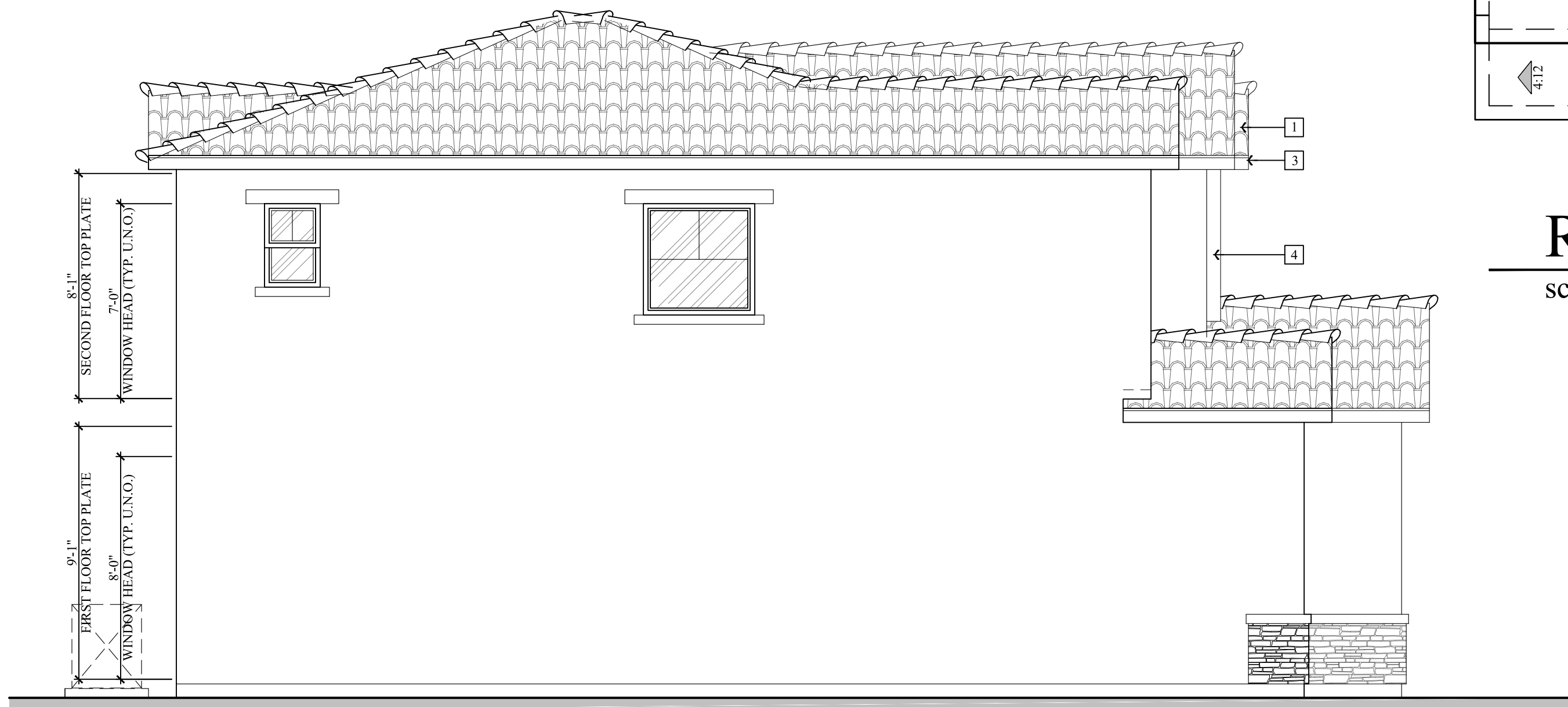
SHEET
DRB3.1
PLAN 03





REAR ELEVATION 'B' - TUSCAN

scale: 1/4" = 1'-0"



LEFT ELEVATION 'B' - TUSCAN

scale: 1/4" = 1'-0"

- ELEVATION NOTES
1. CONCRETE 'S' ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
 2. CONCRETE FLAT ROOFING TILE. EAGLE ROOFING PRODUCTS, ICC-ES REPORT #ESR-1900
 3. 2x6 PAINTED FASCIA
 4. 3-COAT STUCCO FINISH
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 8. TEXTURED LAP SIDING WITH 6" REVEAL
 9. TEXTURED DIMENSIONAL TRIM, REFER TO ELEVATION FOR SIZE
 10. ROUGH SAWN OUTLOOKER WITH KICKER
 11. STUCCO OVER SHAPED FOAM CORBEL
 12. TEXTURED SHAKE SIDING
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WINDOW TRIM

scale: 1/2" = 1'-0"

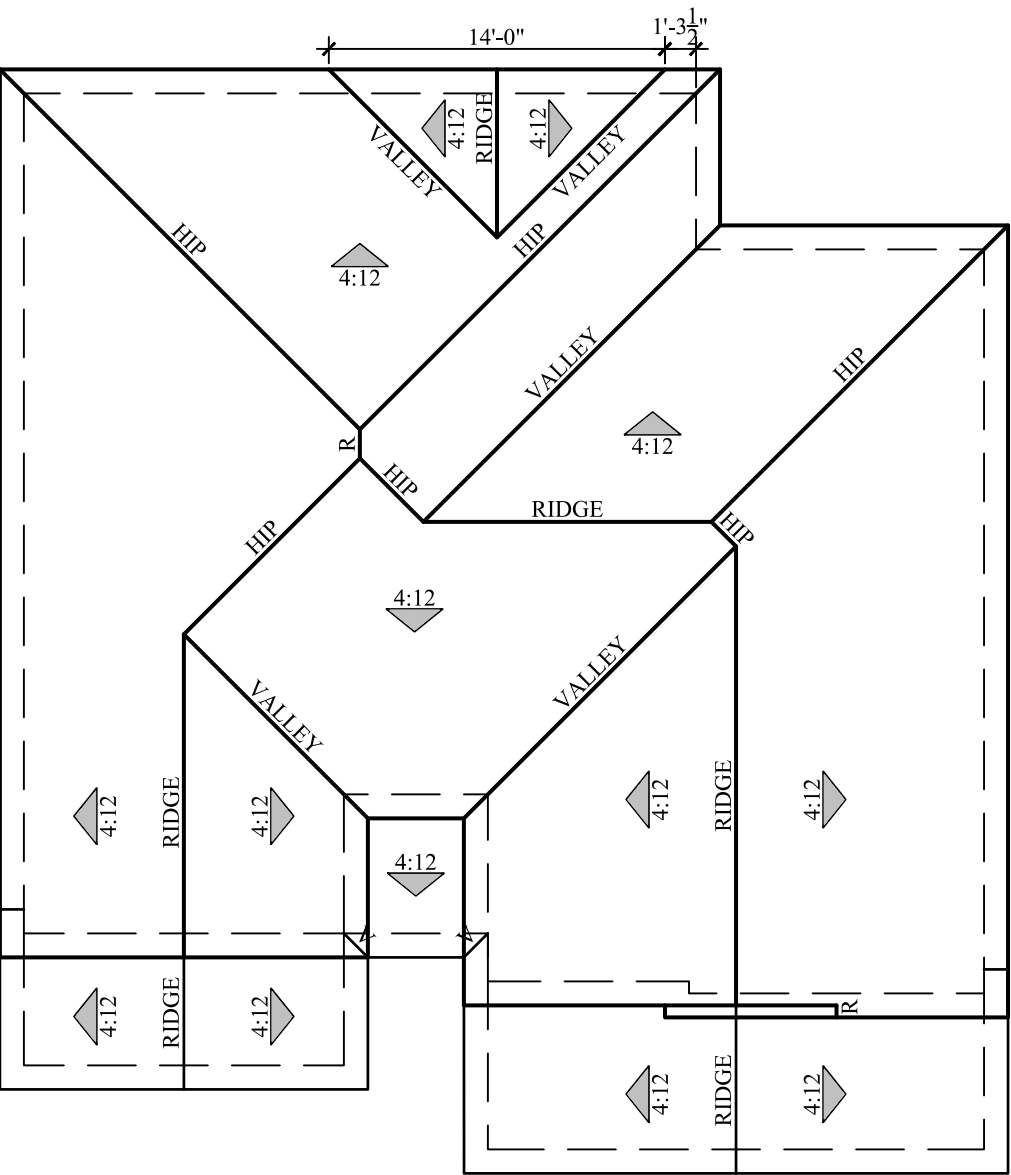
STUCCO CORBEL

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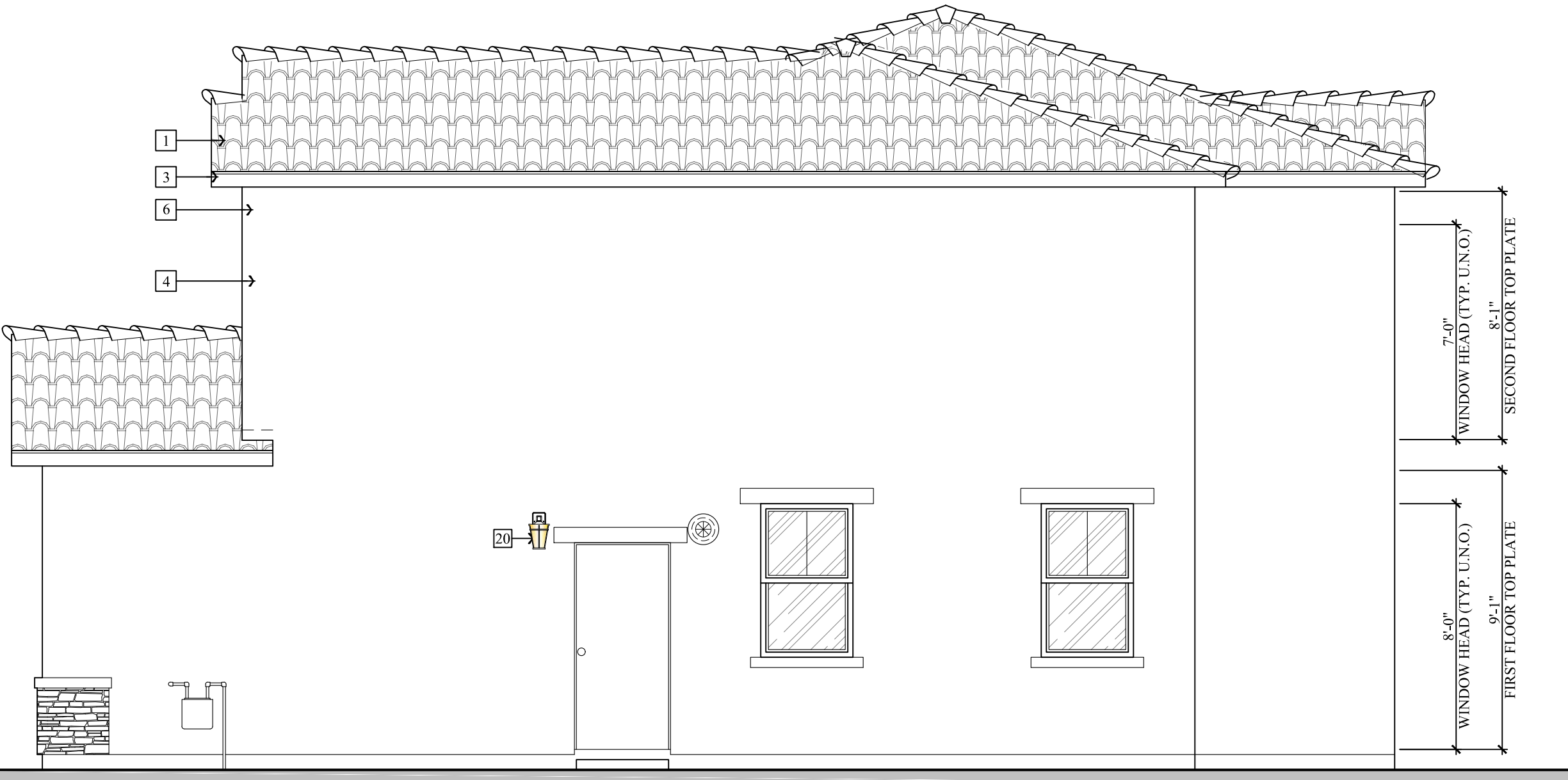
FRONT ELEVATION 'B' - TUSCAN

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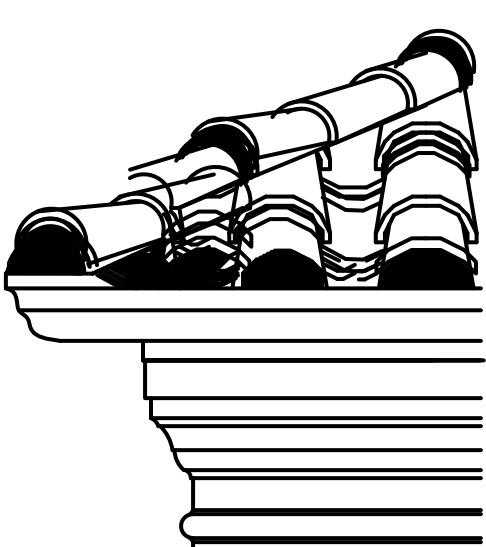
ROOF PLAN 'B'

scale: 1/8" = 1'-0"



RIGHT ELEVATION 'B' - TUSCAN

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FONTANA, CA.

SHEET TITLE
ELEVATIONS & ROOF PLAN 'B'

FONTANA
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JOB
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REVISIONS

SHEET
DRB3.2
PLAN 03

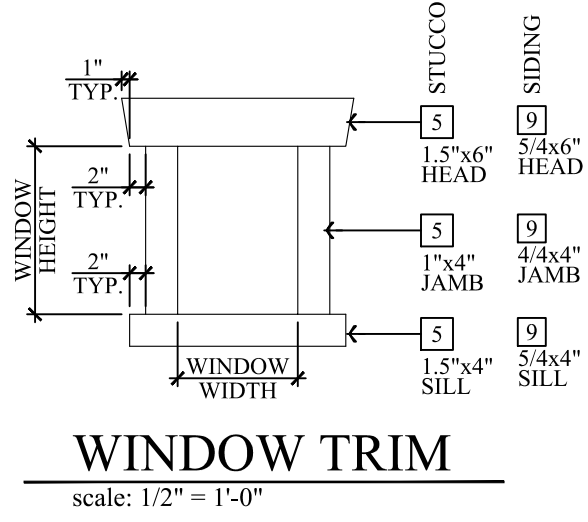




REAR ELEVATION 'C' - CRAFTSMAN

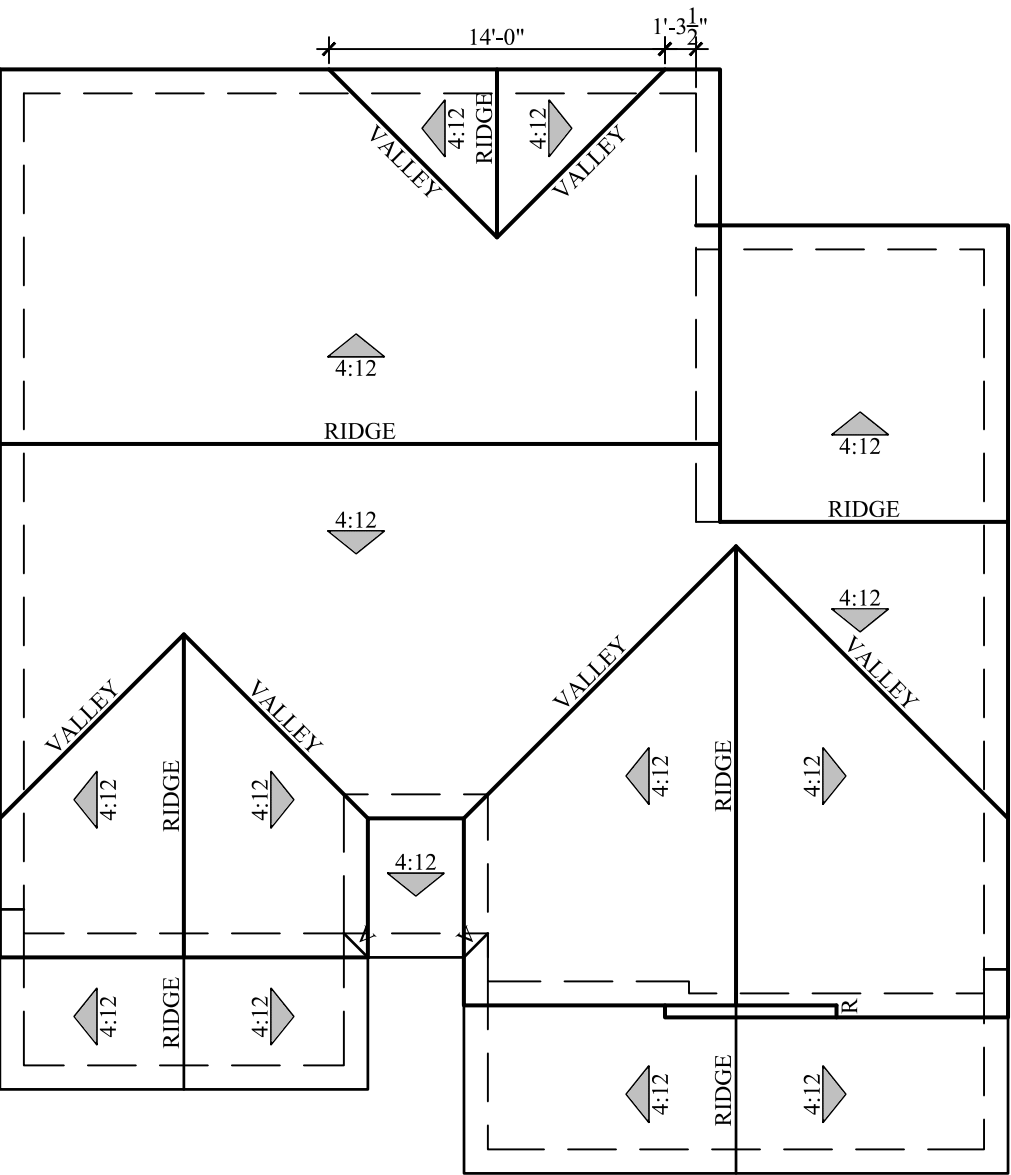
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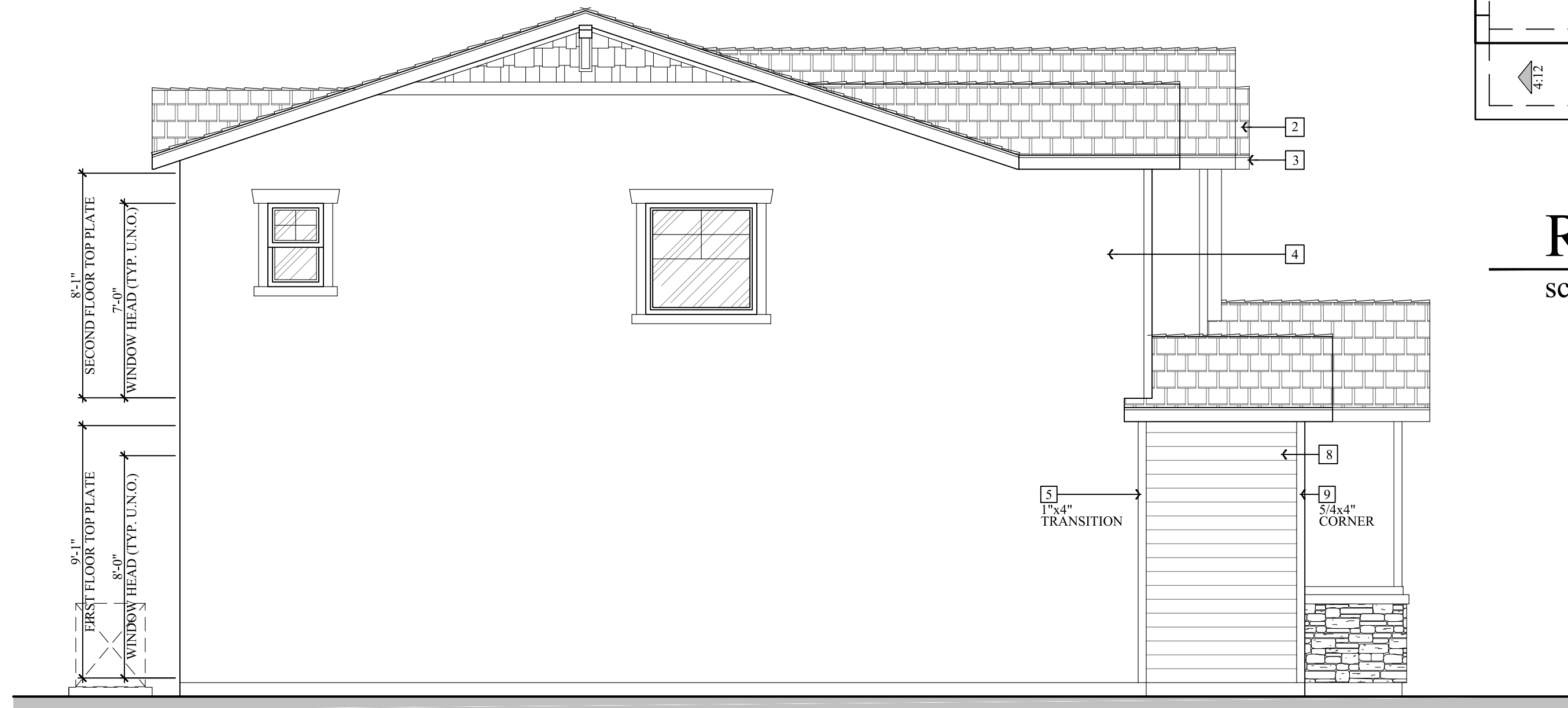
FRONT ELEVATION 'C' - CRAFTSMAN

scale: 1/4" = 1'-0"



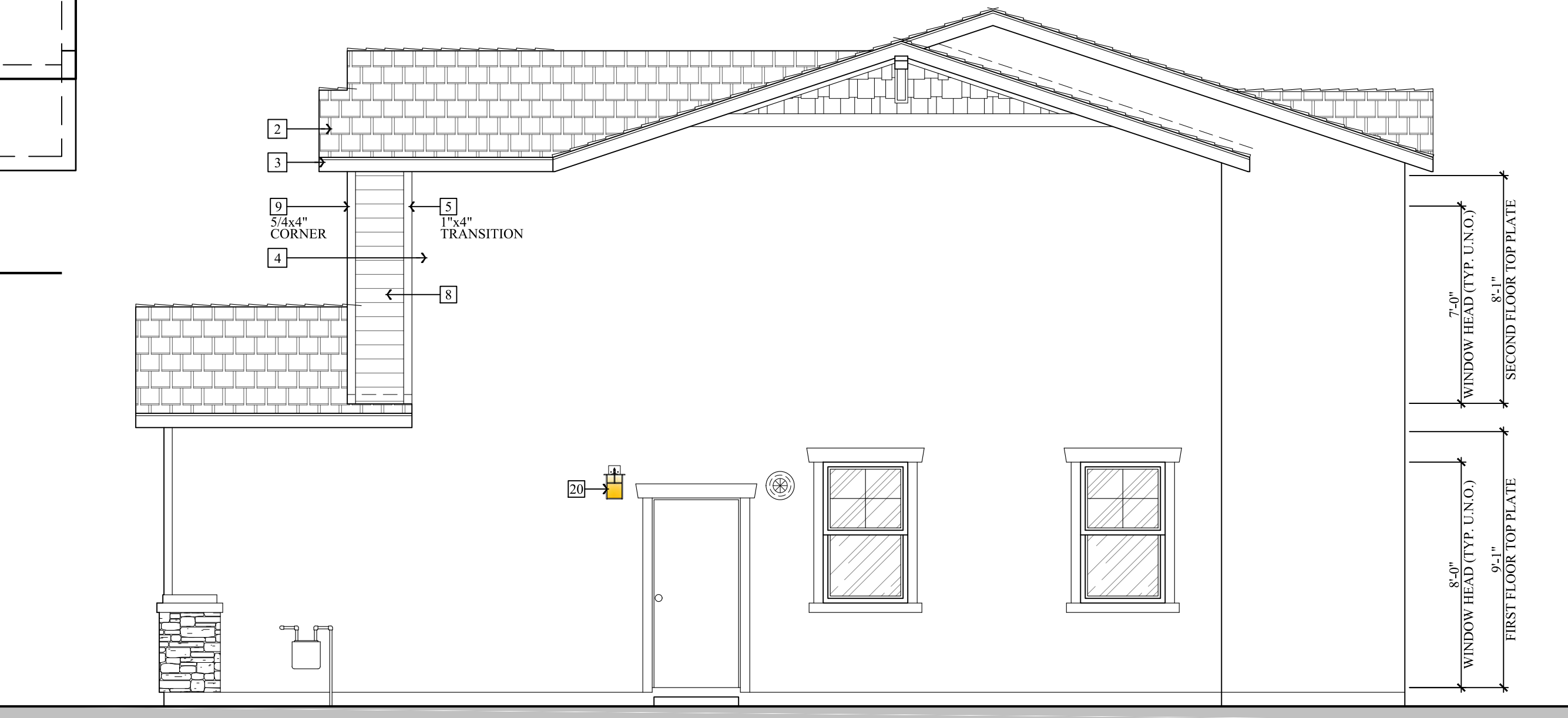
ROOF PLAN 'C'

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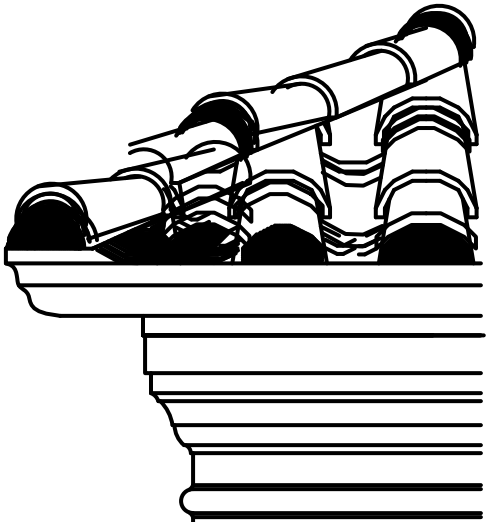
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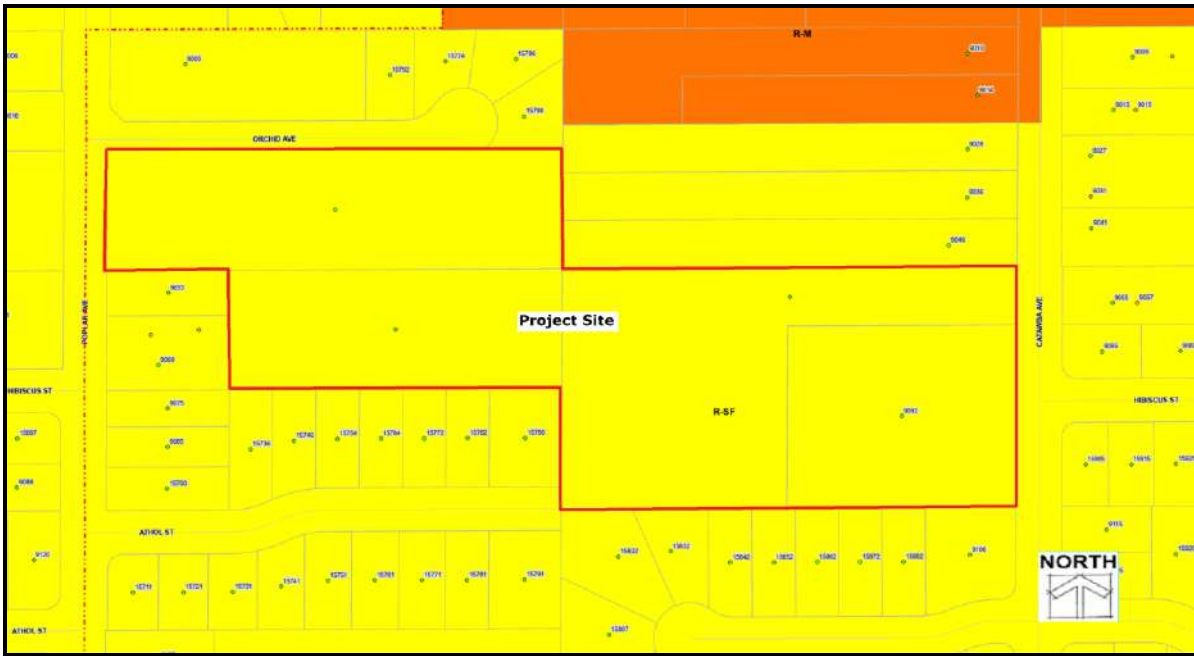
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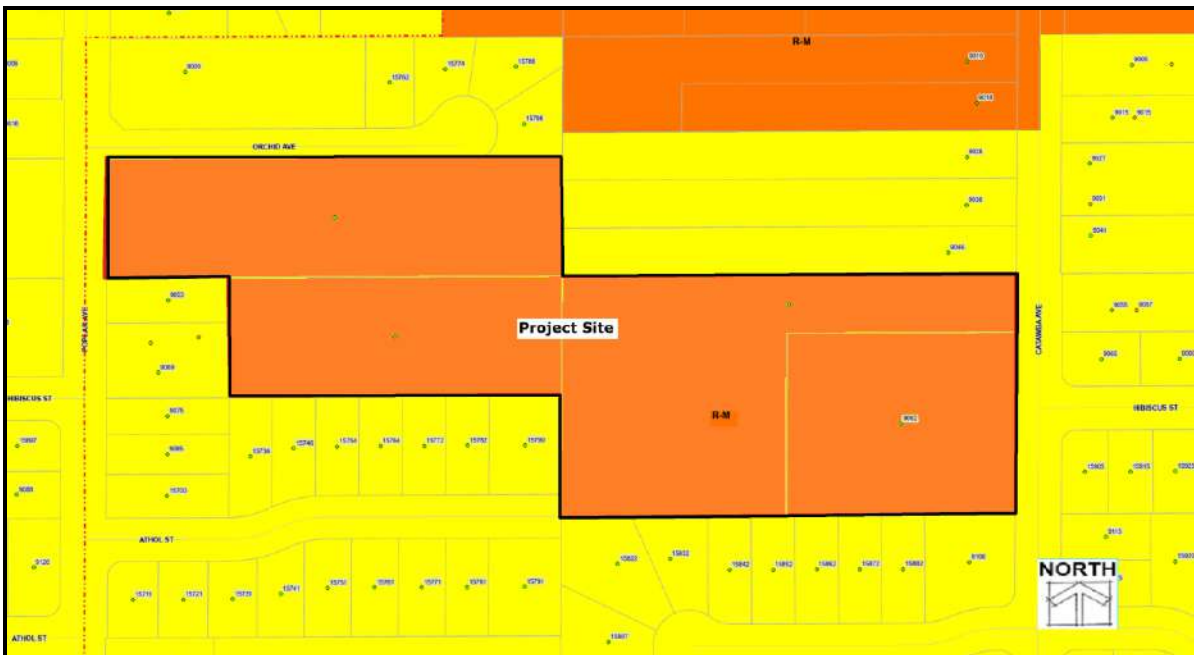
JOB
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REVISIONS

SHEET
DRB3.3
PLAN 03



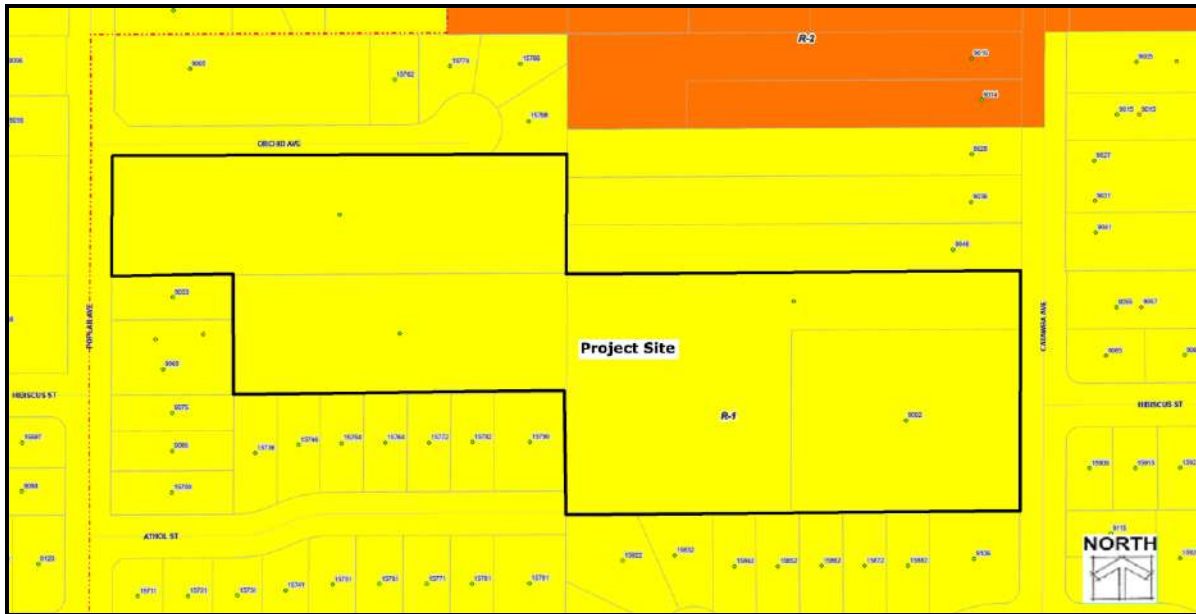
Existing General Plan Land Use Designation – Single-Family Residential (R-SF)



Proposed General Plan Land Use Designation – Medium-Density Residential (R-M)

GENERAL PLAN EXHIBIT

DATE: January 16, 2024
CASE: Master Case No. 20-073,
 General Plan Amendment No. 20-015,
 Zone Change No. 20-015,
 Conditional Use Permit 22-013,
 Tentative Tract Map No. (TTM) 20358, and
 Design Review No. 20-0280



Existing Zoning District – Single-Family Residential (R-1)



Proposed Zoning District – Medium-Density Residential (R-2)

ZONE CHANGE EXHIBIT

DATE: January 16, 2024
CASE: Master Case No. 20-073,
 General Plan Amendment No. 20-015,
 Zone Change No. 20-015,
 Conditional Use Permit 22-013,
 Tentative Tract Map No. (TTM) 20358,
 and

SHASTA POINT

PLANNED UNIT DEVELOPMENT (PUD)

MONTE VISTA HOMES

Shasta Point Planned Unit Development (PUD) is intended as a residential community in the City of Fontana. This community is intended to provide for a community living experience for residents in detached dwelling units with access to two landscaped common areas, one with a tot lot. This document establishes the architectural and development standards which will be applied to the Project. Implementation of these standard will ensure a consistent quality in design throughout the planned community.

Location and Setting

The Shasta Point Community is located at the Southeast corner of the intersection of Poplar Avenue and Orchid Avenue, in the City of Fontana (City), within San Bernardino County (County). The Project is conveniently located to shopping, schools, parks, and transportation corridors. The Project site is located approximately 3.6 miles South of State Route 210 (SR-210), approximately 6 miles East of the Interstate 15 (I-15), 2 miles North of the Interstate 10 (I-10), and approximately 11 miles West of Interstate 215 (I-215).

Overview of Development Plan

The PUD presents the project ideas and concepts, the various aspects of the development, and the standards and guidelines needed for successful implementation. The PUD is not a Specific Plan, as specified in California statutes. The PUD addresses the planning, architecture, landscape architecture. The PUD presents and describe the site plan and sets forth development standards and design guidelines. All figures in the PUD that provide building and parking footprints and locations are illustrative and are provided to gain an understanding of what could be developed under the PUD. It is important to note that the figure are conceptual and that a final plan may very provided it complies with the regulations in the PUD.

The planning, design, architecture, landscape architecture and graphics aspects of the PUD are described in each section. The Development Standards is a supplement to the City's zoning and planning documents for the new residential standards. The standards include setbacks, streets, building heights, and park/open spaces, parking, signage, and other standard for development.

Implementation

The Site is currently designated as R2, Medium Density Residential (5.1-12 dwelling units, per acre) up to 7.6 dwelling units per acre, for Single Family Detached in the General Plan. Project Density is 5.4 units per net/gross acre. The Project site is 9.24 Gross Acres, with 8.81 Net Acres.

Under the provisions of the Development Code, the project is being designed as a PUD. The PUD, Division 24 establishes the regulations and procedures for the approval of a PUD projects.

The Project PUD has been prepared to comply with the requirements in the Fontana MC, Chapter 30 Article II, Division 24. The PUD consists of the intent and purpose of the, permitted uses, and development regulations for the site. The development regulations of the PUD would include but not limited to maximum density, building setbacks, building height, distance between buildings, parking, walls/fences, landscaping, signs, access, and amenities.

The Project includes a PUD that would serve as the underlying standards and requirements and contain design and development standards, provisions, and procedures for the Project.

Project Description

The Project includes a PUD for the future development of a 53 lot community that includes 3 floor plans. There are 19 three (3) bedroom units and 34 (4) bedroom units. The floor plans vary in size, ranging from approximately 1,903 square feet (SF) to 2,368 SF. All units would be two-story high with Spanish, Tuscan, and Craftsman architectural styles.

The Project Site has been designed with street parking, driveway parking and garage parking. The site has been designed to accommodate 37 public parking spaces. The proposed density is 5.4 dwelling units per acre (du/ac). Access to the site would be located on Orchid Avenue and Catawba Avenue.

DEVELOPMENT PLAN

The Shasta Point Planned Unit Development will improve a previously undeveloped site in the City of Fontana with 53 detached single family units. Development of the Project will include architectural design, infrastructure improvements, circulation improvements, community design elements, and landscaping.

The purpose of these standards is to encourage a high-quality residential development. These standards establish flexible guidelines to encourage such development, ensure that it is of a minimum standard of appearance, and compatible with the neighborhoods. The specific objectives are:

- Allow flexibility in lot size and configuration, and facilitate residential development within acceptable densities;
- Provide clear development standards that promote compatibility between new and existing development; and
- Encourage efficient land use by facilitating compact single-family units.

Table 1 summarizes the City of Fontana R-2 development standards present within the entire Planned Unit Development. These development standards are based on those found in the Fontana Development and Zoning Code. However, in the event of discrepancies between the

development standards presented in this document and those in the Fontana Development and Zoning Code, this document will act as the primary regulatory document.

Table 1:

Table No. 30-434 Residential Development Standards		
	R-2	PUD
Maximum permitted number of dwelling units per adjusted gross acre	7.6 du/acre, detached	5.1 du/acre up to 7.6 du/ac
Lot Dimensions, Lot Size, and Lot Coverage		
Minimum width @ required front setback	50-foot	26-foot
Minimum width @ front P/L	50-foot	50-foot
Minimum depth	90-foot	82-foot
Minimum lot size (sq. ft.) (r)	5000 sq. ft.	4200 sq. ft., with an average of 5,445 sq. ft.
Maximum lot coverage (as a percent of adjusted gross acreage of total site)	50%	60%
Single-Family Minimum Dwelling Unit Sizes		
Minimum Dwelling unit size (sq.ft.), two story (e)	1200 sq. ft.	1903 sq. ft.
Maximum Building Heights		
Single-Family	35-foot	25-foot
Single-Family Setbacks Building to P/L		
Front (to Garage)	22-foot	22-foot
Side, Interior Two Story	5-foot	5-foot
Side, Corner lot	10-foot	10-foot
Rear	20-foot	15-foot
Single-Family Patio and Enclosed Patio Setbacks		
Rear	6-foot	6-foot

Side	5-foot	5-foot
Single-Family one-story open sided patios of 200 square feet and less. See Note (9)		
Rear	3-foot	N/A
Side	3-foot	N/A
Single-Family Balcony Setbacks		
Rear	6-foot	6-foot
Side	5-foot	5-foot

Notes

(9). *For one-story open sided detached patio covers of 200 square feet or less in R-1, R-2, and R-PC, the setback shall be no less than three feet to the rear property line and no less than three feet to the interior side property line.*

CIRCULATION

A circulation network will be created within the Planned Unit Development area which would bridge Poplar Avenue to Catawba Avenue. Internal roadways will include a private street with private alleys that will provide vehicular access to individual units and private driveways.

STREET LANDSCAPE TREATMENT

The street landscape treatment consists of a plant palette designed to complement the character of the Project. The shrubs, perennials, and vines are selections that will fare well through the seasons, within this climate zone. Trees are used as shade-creating elements of the streetscape, parking, and park areas.

UTILITY PLAN

Utility infrastructure improvements within the Planned Unit Development includes the placement of underground water, sanitary sewer, and stormwater facilities.

RESIDENTIAL DEVELOPMENT STRATEGY

The Planned Unit Development includes the creation of 19 three-bedroom and 34 four-bedroom detached homes. The three-bedroom units would be available in one floor plan and the four-bedroom units will be available in two floor plans. The three floor plans would range in size from 1,903 square feet to 2,368 square feet.

ARCHITECTURAL STYLES

The dwelling units would be developed based on three potential architectural styles; Spanish, Tuscan, and Craftsman. The three architectural styles differ in their façade materials, and

external aesthetic themes. However, all three of these architectural styles share similar floor plans.

BUILDING PLACEMENT

The Planned Unit Development would be developed in single family detached dwelling units arranged around a shared private alley ending in a private alley. Building setbacks shall be:

- Front, Garage: 22'-0"
- Front, Variation: 4'-0"
- Side: 5'-0"
- Side: 10'-0" Building Separation
- Rear: 15'-0"
- Height: 25'-0"

LANDSCAPE STANDARDS

The Landscape Plan supports and enhances the development and neighborhood experience. The open spaces have distinctive planting, landscape and amenity features, making them unique and enjoyable to the residents that surround the open spaces. The planting palette for the Project was chosen to establish a strong, memorable landscape to enhance the relationship to the agricultural historical past of the property, provide a sense of place, provide shade in the summer and protection from the occasional wind during the seasonal high winds. Intimate greenbelts and well landscaped pathways lead and invite residents to enjoy the central open space amenities / pocket parks or create a convenient walking path for evening exercise.

OPEN SPACE

Amenities

These amenities can include facilities including:

- Open lawn area
- Tot-lot with play structure centrally located with benches conveniently located for parents
- Benches
- Covered shade structures with picnic table seating
- Built-in Charcoal fueled Barbecue Grill
 - Homeowners to provide charcoal and associated materials

Trees accentuate the diverse, colorful landscape palette while providing shade from the sun.

WALLS

Community walls, made of block, shall be used to enhance design, privacy, and help to maintain boundaries of the open space areas in the development. Precise locations of the Community

walls are as shown on the project site plan and all final construction documents. The height and location shall be consistent with the requirements of the Development Code but shall not exceed approximately 96 inches / 8 feet in height.

This includes the walls that surround the development along the perimeter of the Project site and walls will be used to define private spaces around each dwelling unit, with vinyl gates.

The Community wall at the Perimeter of the Community shall be constructed of a tan decorative type block of a minimum of 6-foot and, if necessary, 9-foot maximum. The Community wall at the interior of the community, between the dwelling units, shall be a tan precision type block of a minimum of 6-foot and, if necessary 9-foot maximum.

RESOLUTION PC NO. 2024-003

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA RECOMMENDING THAT THE CITY COUNCIL OF THE CITY OF FONTANA ADOPT THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION, ADOPT A MITIGATION MONITORING REPORTING PROGRAM (MMRP), APPROVE GENERAL PLAN AMENDMENT NO. 20-015, APPROVE ZONING DISTRICT MAP AMENDMENT NO. 20-015, APPROVE CONDITIONAL USE PERMIT NO. 22-013, APPROVE TENTATIVE TRACT MAP NO. 20-006 (TTM No. 20358), APPROVE DESIGN REVIEW NO. 20-028 FOR THE DEVELOPMENT AND CONSTRUCTION OF A 53-LOT SINGLE-FAMILY RESIDENTIAL DETACHED UNIT PROJECT, WITH ON-SITE AND OFF-SITE IMPROVEMENTS ON A 8.8-GROSS ACRE SITE AT (APNS: 0233-122-28, -2960, and -63), AND DIRECT STAFF TO FILE THE NOTICE OF DETERMINATION.

WHEREAS, on September 19, 2006, Assessor Parcel Numbers (“APNs”) 0233-122-60, -63, -28, and -29 were incorporated into the City of Fontana (Annex 3048D); and

WHEREAS on August 26, 2020, the City of Fontana (“the City”) received applications from the applicant for a General Plan Amendment No. 20-015 (GPA No. 20-015), Zoning District Map Amendment No. 20-015 (ZCA No. 20-015), Conditional Use Permit No. 22-013 (CUP No. 22-013), Tentative Tract Map No. 20-006 (TTM No. 20358), and Design Review No. 20-028 (DRP No. 20-028) together referred to as Master Case No. 20-073 (MCN 20-073) from Monte Vista Assets, Inc. (“Applicant”) to construct a 53-lot subdivision for single-family residential detached units within a Planned Unit Development (“PUD”) on four (4) existing lots on the Southeast corner of Orchid Avenue and Poplar Avenue that continues to the east side of Catawba Avenue, which is approximately 8.8 adjusted gross acres, APNs: 0233-122-28, -29, -60, and -63 (the “Project Area”); and

WHEREAS, GPA No. 20-015 changes the designation of the project area on the General Plan land use map for Exhibit No. 15.8 in Chapter 15 of the City’s General Plan, from Single-Family Residential (R-SF) to Medium Density Residential (R-M); and

WHEREAS, ZCA No. 20-015 modifies the zoning for the “Project Area”, in the Zoning District Map from Single-Family Residential (R-1) to Medium Density Residential (R-2); and

WHEREAS, CUP No. 22-013 will establish the minimum requirements and specific site development standards permitted for the PUD on the 53-lot single-family residential detached dwelling project. The PUD will establish the allowed density, minimum lot sizes, minimum dwelling unit size, and setbacks for the project site; and

WHEREAS, TTM No. 20-006 (TTM No. 20358) will subdivide the four (4) parcels at the Project Area into 53 parcels for the development of a 53-lot subdivision. The lots range in size from 4,200 square feet to 7,077 square feet. The minimum lot size is 4,200 square feet, which is established by CUP No. 22-013; and

WHEREAS, DRP No. 20-028 provides for the development for a new 53 single-family detached residential dwelling unit project that encompasses three (3) floor plans at: 1,903 square feet; 2,186 square feet; and 2,368 square feet, along with three architectural styles are Spanish, Tuscan, and Craftsman which includes a recreational area totaling approximately 20,000 square feet, private streets for circulation throughout the site, on-site guest parking, and off-site improvements on Orchid Avenue, Poplar Avenue, and Catawba Avenue; and

WHEREAS, the Conditions of Approval have been prepared and are attached hereto as **Exhibit “A”** for [Tentative Tract Map No. 20-006 (TTM No. 20358)]; and

WHEREAS, the Conditions of Approval have been prepared and are attached hereto as **Exhibit “B”** for the (DRP No. 20-028 and CUP No. 22-013); and

WHEREAS, pursuant to the California Environmental Act (CEQA) and the 2019 Local Guidelines for Implementing CEQA, an Initial Study (IS), Mitigated Negative Declaration (MND), and Mitigation Monitoring and Reporting Program (MMRP) was prepared and circulated for public comment on October 26, 2023; it concluded that no significant impacts would be caused by the project; and

WHEREAS, the General Plan Amendment is consistent with the goals and policies of the Housing Element in the General Plan; and

WHEREAS, the City wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and

WHEREAS, all of the notices required by statute and the City Municipal Code have been given as required; and

WHEREAS, the owners of property within 660 feet of the project site were notified via public hearing notice mailer prior to the public hearing; and a notice of the public hearing was published in the local *Fontana Herald* Newspaper on December 22, 2023, posted at City Hall and at the project site; and

WHEREAS on January 16, 2024, a duly noticed public hearing on the MND, MMRP, GPA No. 20-015, ZCA No. 20-015, CUP No. 22-013, Tentative Tract Map No. 20-006 (TTM No. 20358), and DRP No. 20-028 was held by the Fontana Planning Commission (“Planning Commission”) to consider testimony and evidence presented with respect hereto; and,

WHEREAS the Planning Commission carefully considered all information, evidence and testimony pertaining to the project presented at its public hearing on January 16, 2024; and

WHEREAS all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are true, correct and incorporated herein by reference.

Section 2. CEQA. Based on the foregoing, the Planning Commission recommends that the Fontana City Council (“City Council”) adopts a resolution adopting the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Reporting Program approve GPA No. 20-015, CUP No. 22-013, TTM No. 20-006 (TTM No. 20358), , and DRP No. 22-028, and adopt an Ordinance approving ZCA No. 20-015 subject to the findings as indicated herein and the Conditions of Approval have been prepared and are attached hereto as **Exhibit “A and B”** and direct staff to file the Notice of Determination.

Section 3. General Plan Amendment Findings. The Planning Commission hereby makes the following findings for GPA No. 20-015 in accordance with Section 30-31 “Purpose” of the Fontana Zoning and Development Code:

Finding: **The purpose and intent is to keep an updated General Plan to reflect the current desires and needs of the citizens for the long-term growth of the City.**

Findings of Fact: The General Plan Land Use designation for the Project Area will be amended from Single-Family Residential (R-SF) to Medium-Density Residential (R-M), which will provide an opportunity for the City to gain additional residential units for more housing. This project will bring a variety of residential units to the City. The additional residential units will help contribute to the long-term growth of the City. Furthermore, the amendment is consistent with the goals and policies in the General Plan and reflects the current desires and needs of the citizens.

The proposed General Plan amendment is consistent with the goals and policies of the Housing Element in the General Plan. The project is consistent with the following goals of the Housing Element. ·

- Provide adequate housing to meet the needs of all residents in the City of Fontana.
- Provide a high standard of quality in existing affordable housing stock.

Furthermore, the project will meet the following policies of the Housing Element of the General Plan:

- Goal No.1, Policy No. 1.1, by providing a “Establish a range of rental and for sale housing opportunities in the city” and ·
- Goal No. 1, Policy No. 1.3 - “Promote the development and access to housing affordable to all income levels in Fontana”

The amendment will present an opportunity for development to be constructed at a higher density which will allow City to have a wider variety of housing types for residents. This amendment will increase the unit count and provide opportunity for attainable or market rate housing. Also, this amendment will assist the City of Fontana in meeting its Regional Housing Needs Assessment (RHNA) numbers. This change will increase the unit count from the existing maximum of 44 residential units (8.8 acres x 5.0 units/acre = 44 compared to 66 residential units (8.8 acres x 7.6 units/acre = 66). The proposed amendment will increase the potential residential units count by 22 units.

Section 4. **Zoning District Map Amendment Findings.** The Planning Commission hereby makes the following findings for ZCA No. 20-015 in accordance with Section 30-40 “Purpose” of the Fontana Zoning and Development Code:

Finding: **The Zoning and Development Code may be amended by changing the development standards (text) or zoning designation map boundaries of any zone whenever such an amendment is deemed necessary to protect or promote the public's health, safety, or general welfare or when modification is viewed as appropriate in the context of generally accepted planning principles, surrounding land uses, and the General Plan.**

Findings of Fact: The Zoning District Map Amendment will change the zoning for the Project Area from Residential-Single Family (R-1) to Medium-Density Residential (R-2). The proposed zoning district map amendment is appropriate and

generally accepted within the planning principles to allow a higher density within the area and allow compatibility with the surrounding land uses. The surrounding streets are adequate to provide for the future development of detached single-family housing. The project will bring long-term growth for the City and will promote and motivate additional growth around this area. The zone change will allow for the development of a detached single-family housing project that was reviewed by the City’s Planning, Fire, and Building Department. Additionally, this future development will be required to meet all Fire Code, Building Code, and Fontana Municipal Code standards. Therefore, the zone change will promote public's health, safety, or general welfare.

Section 5. Conditional Use Permit Findings. The Planning Commission hereby makes the following findings for CUP No. 22-013 in accordance with Section No. 30-150 “Findings for Approval” of the Fontana Zoning and Development Code:

Finding No. 1. The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning and Development Code, Municipal Code, General Plan, any applicable Specific Plan or Area Plan, and City regulations/standards.

Finding of Fact: The project is a 53-lot single-family residential development subdivision located on 8.8 acres. The amendments to the General Plan and Zoning Amendments will allow for development of the project. The proposed project will comply with the applicable building codes, zoning codes, and fire codes and other appropriate standards and will make for a safe, attractive, and well-designed project, meeting all development standards.

Finding No.2: The site is physically suited for the type, density, and intensity of the proposed use including access, utilities, and the absence of physical constraints and can be conditioned to meet all related performance criteria and development standards.

Findings of Fact: The project site is adequate in size, shape, and accessibility to meet the Zoning and Development Code requirements. With the amendment to the General Plan, the density will comply. The site will have two access points for entry into the subdivision.

Finding No. 3: Granting the permit would not be detrimental to the public interest, health, safety, convenience, welfare, or materially injurious to persons, property, or improvements in the vicinity in which the project is located.

Finding of Fact: There will be no adverse effects to the neighboring sites or their permitted uses. The project has been reviewed by the Planning Department, Engineering Department, Building and Safety Department, and County Fire Prevention for site circulation, access, and safety. Any possible adverse effects Biological Resources, Geology/Soils, Noise, Hazards & Hazardous Materials, and Tribal Cultural Resources are mitigated by the Conditions of Approval set forth herein and attached hereto as **Exhibit B**, to mitigate potential negative impacts. The project has been designed to be compatible with the surrounding uses while also providing a development that has been designed with features (architectural relief, added landscaping, street improvements, and lighting), to enhance the

character of the surrounding neighborhood.

Section 6. Tentative Tract Map Findings. The Planning Commission hereby makes the following findings for Tentative Tract Map No. 20-006 (TTM No. 20358) in accordance with Section 26-55:

Finding No. 1 **That the proposed map is consistent with the city's general plan and any applicable specific plan.**

Finding of Fact: With GPA No. 20-015, the tentative tract map meets the specifications of the General Plan. The project specifically meets General Plan Goal 2, which encourages development patterns that support high quality of life by promoting “interconnected neighborhoods with appropriate transitions between lower intensity and higher intensity land uses”.

Finding No. 2. **That the design or improvements of the proposed subdivision are consistent with the general plan and any applicable specific plan**

Finding of Fact: The project has been designed to be consistent with the General Plan, including any on-site and off-site improvements. The project has been designed with private streets for vehicle and pedestrian access which include off-site improvement on Orchid Avenue, Poplar Avenue, and Catawba Avenue. The project plans have been reviewed by the Planning Department, the Engineering Department, Building and Safety, and Fire Prevention Department which provides adequate circulation throughout the project site and the Conditions of Approval will ensure compliance with the City code and regulations.

Finding No. 3. **The site is physically suitable for the type and density of the development proposed.**

Finding of Fact: The project size, shape, and topography is suitable for this type and density of development. The subdivision is approximately 8.8 gross acres and accommodates 53 single-family lots, amenities, guest parking, and circulation improvements. The project site is currently vacant with existing single-family homes on all sides. The lot sizes are consistent with surrounding single-family developments. All street improvements will be constructed pursuant to applicable building, zoning, and fire code standards.

Finding No. 4. **The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or will not substantially and avoidably injure fish or wildlife or their habitat.**

Finding of Fact: The design of Tentative Tract Map No. 20-006 (TTM No. 20358) is not likely to cause substantial environmental damage nor substantially and unavoidably injure fish or wildlife or their habitat. The project will not have a significant effect on the environment with mitigation as a result of project implementation per CEQA. Technical studies were prepared for this project, which were incorporated into the Initial Study/Mitigated Negative Declaration, which was circulated to the public. A Mitigation Monitoring and Reporting Program has adequately identified any potential impacts associated with the project.

Finding No 5. **The design of the subdivision or type of improvement will not cause**

serious public health problems.

Finding of Fact: The design of Tentative Tract Map No. 20-006 (TTM No. 20358) will not cause public health problems. The project was evaluated to ensure there would be no impacts or mitigation measures required beyond those anticipated in the Initial Study/Mitigated Negative Declaration prepared for the project. Improvements for the project include connection to the public sewer, connection to the public storm drain, sidewalks, drainage, and under grounding of utilities and site grading to provide a safe and well-designed project for the area.

Finding No. 6. That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

Finding of Fact: The design of Tentative Tract Map No. 20-006 (TTM No. 20358), and associated public improvements, will not conflict with access easements acquired by the public. The Property will be accessed from either Orchid Avenue or Catawba Avenue. All internal streets will be private. Currently there are no other public access easements through or within the project site.

Section 7. Design Review Findings. The Planning Commission hereby makes the following findings for DRP No. 22-028 in accordance with Section No. 30-120 “Findings for Approval” for Design Review of the Zoning and Development Code:

Finding No. 1 The proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.

Findings of Fact: The project is to develop a PUD for a 53-lot single-family detached residential community, with private internal streets, landscaping, open space, and perimeter walls. The General Plan and Zoning Amendments will allow for this development. The site and building design comply with the criteria contained in the design review section of the City of Fontana’s Zoning and Development Code. As required, the project has high quality architecture, appropriate screening comprised of walls, and landscaping that will make for an aesthetically and desirable development for the area. With the requested associated general plan amendment that changes the land use designation from R-SF to R-M, the project will meet or exceed the criteria contained in the Design Review section of the City of Fontana’s Zoning and Development Code.

Finding No.2: The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desirable development promoting the public health, safety, and welfare of the community.

Findings of Fact: The project will result in the construction of a PUD of 53 single-family detached residential lots. The residential buildings will be built pursuant to all applicable building, zoning, and fire codes, in addition to the Conditions of Approval attached hereto and referenced herein as **Exhibit B**. The conditions imposed on the project will promote the public health, safety, and welfare of the occupants and, therefore, the community, resulting in a desirable development.

The project includes street improvements: sidewalks, drainage, grading, and perimeter walls to provide a safe and well-designed complex. The project has been reviewed by the Planning, Engineering, Building and Safety, and Fire Prevention Departments (“Departments”) for site circulation, access, and safety. The Departments have determined that the project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access provided the project complies with the Conditions of Approval.

Finding No. 3: **The proposal, in its design and appearance, is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.**

Findings of Fact: The development is aesthetically and architecturally pleasing and compatible with the surrounding area. The project includes three floor plans for the two-story single-family detached dwellings with three architectural styles of homes, Spanish, Tuscan, and Craftsman. Individual two-car garages will be provided for each dwelling. The dwelling units are arranged around a shared private alley ending in a private alley. Several landscaped open spaces areas are included within the development to include a variety of trees, shrubs, perennials, and ground cover and well landscaped pathways for residents. All landscaped areas shall adhere to the city design guidelines. The site includes a park with a shade structure and picnic tables, and a tot lot area. There will be street landscape treatments along Orchid Avenue and Catawba Avenue. The project site is 8.8 gross acres and is physically suitable in size and shape to support the proposed project. Applicable building, zoning, and fire codes will make for a safe, attractive, and well-designed project.

Finding No. 4 **The site improvements are appropriate and will result in a safe, well designed facility**

Finding of Fact: The project site improvements are appropriate and will result in a safe, well-designed development not only to the project site but to the surrounding neighborhood. The subdivision is designed with appropriate pavement, curbs, gutters, sidewalks, and driveways. Project features include undergrounding of utilities and perimeter walls for safety and privacy. The project has been reviewed by Planning, Engineering, Building and Safety and Fire Departments. The Departments have determined that the project meets or exceeds the standards of the Zoning and Development Code and will result in a safe, well-designed facility provided the project complies with the Conditions of Approval. The character of the surrounding neighborhood reflects residential uses consisting primarily of detached single-family homes.

Section 8. Approval. Based on the foregoing, the Planning Commission recommends that the City Council adopts the following:

A resolution adopting the Initial Study/Mitigated Negative Declaration, approving the Mitigation Monitoring Reporting Program, and directing staff to file the Notice of Determination;

A resolution adopting GPA No. 20-015 to amend Exhibit 15.8 in Chapter 15 (Land Use, Zoning, and Urban Design) of the General Plan by changing the land use designation from Single-Family Residential (R-SF) to Medium Density Residential (R-M) for the Project Area;

An Ordinance adopting ZCA No. 20-015 to amend the zoning map (Zoning District Map) from Single-Family Residential (R-1) to Medium Density Residential (R-2) for the Project Area;

A resolution adopting CUP No. 22-013 to establish the minimum lot sizes, project density, and setbacks for the project site and specific site development standards under a Planned Unit Development for the 53-lot single-family residential detached dwelling project subject to the Conditions of Approval attached hereto as **Exhibit "B"** and incorporated herein;

A resolution adopting Tentative Tract Map No. 20-006 (TTM No. 20358) to subdivide four (4) parcels (approximately 8.8 acres) into 53 parcels for the development of a 53-lot subdivision, subject to the Conditions of Approval attached hereto as **Exhibit "A"** and incorporated herein; and

A resolution adopting DRP No. 20-028 for site and architectural review of a new 53-lot single-family detached residential project subject to the Conditions of Approval attached hereto as **Exhibit "B"** and incorporated herein.

Section 9. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

Section 10. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 11. Effective Date. This Resolution shall become effective immediately upon adoption.

Section 12. Severability. If any provision of this Resolution or the application of any provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on the 16th day of January 2024.

City of Fontana

Cathline Fort, Chairperson

ATTEST:

I, Ralph Thrasher, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 16th day of January 2024, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Ralph Thrasher, Secretary

EXHIBIT "A"



FONTANA
CALIFORNIA

**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 20-073 **DATE:** January 16, 2024
Tentative Tract Map No. 20-006 (TTM No. 20358)

LOCATION: The project site is an undeveloped site located on the Southeast corner of Orchid Avenue and Poplar Avenue and continues to the east side of Catawba Avenue, approximately 8.8 adjusted gross acres, APNs: 0233-122-28; -29, -60, -63.

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicants proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding the city shall have the right to retain legal counsel. The applicant shall be responsible for and reimburse the city for such legal fees and costs, in their entirety, including actual attorney fees, which may be incurred by the city in defense of such action or proceeding. This indemnification shall also include but not be limited to, damages, fees and or costs awarded against the city, if any, and cost of suit attorney's fees, and other costs awarded against the city liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the city and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the city would not have approved this project if the city were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, the applicant shall not sue the city for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Tentative Tract Map shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site,

and successful completion of the first Building and Safety Division inspection, has commenced within this period.

3. The applicant/developer shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of Planning. A note to this effect shall be placed on the map prior to recordation of the final map.
4. There shall be no combination wall over three (3) feet of retaining and six (6) feet freestanding wall; the maximum height of any combination shall not exceed nine (9) feet.
5. Solid masonry walls of a minimum of six (6) feet in height measured from finished grade shall have a decorative cap and shall be required at all rear and side property lines.

EXHIBIT “B”



**CITY OF FONTANA
CONDITIONS OF APPROVAL
REVISED BY PLANNING COMMISSION**

PROJECT: Master Case No. (MCN) 20-073
Design Review (DRP) No. 20-028
Conditional Use Permit (CUP) 22-013

DATE: January 16, 2024

LOCATION: The project site is an undeveloped site located on the Southeast corner of Orchid Avenue and Poplar Avenue and continues to the east side of Catawba Avenue, approximately 8.8 adjusted gross acres, APNs: 0233-122-28; -29, -60, -63.

PLANNING DEPARTMENT:

1. The rights and privileges granted by this project shall not become effective, nor shall the applicant commence the use for which this project is granted, until both of the following have occurred:
 - A. All requirements of the Fontana City's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
2. The applicant shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in

connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

Except as required under applicable State and Federal law, the City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or an part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

3. This project shall comply with all applicable provisions, regulations and development standards of the Fontana Zoning and Development Code, including Section 30-326 Development Standards.
4. Historic Archaeological Resources
 - A. Upon discovery of any tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project while evaluation takes place.
 - B. Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.
 - C. Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.
5. The construction contractor shall always use the following source controls:
 - A. Construction shall be limited to 7:00 am to 6:00 pm on weekday, 8:00 am to 5:00 pm on Saturdays, and no construction on Sundays and holidays unless it is approved by the Building Inspector for cases that are considered urgently necessary as defined in Section No. 18-63(7) of the Municipal Code. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating

potential practical for their intended use. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.

- B. Have only necessary equipment onsite.
- C. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - 1. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - 2. Temporarily enclose localized and stationary noise sources.
 - 3. Store and maintain equipment, building materials, and waste materials as far as practical from as many sensitive receivers as practical.
- 6. Any foam treatment used for architecture treatments and/or projections located on the first floor shall be covered with concrete or similar durable material a minimum of ¼ inch thick, or as determined by the Director of Planning.
- 7. The applicant shall post a publicly visible sign on the project site with the telephone number and 24-hour point of contact for dust, noise and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have authority to commit additional assets to control dust, or respond to construction complaints after hours, on weekends and on holidays. Construction shall be limited to 7:00 am to 6:00 pm on weekdays, 8:00 am to 5:00 pm on Saturdays, and no construction on Sundays and Holidays.
- 8. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions, signed by the property owner or legal representative, shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
- 9. The current development fees must be paid prior to issuance of ~~building/construction permits~~ **the Certificate of Occupancy. (Modified at Planning Commission meeting January 16, 2024)**
- 10. After the fifteen (15) day appeal period, the applicant shall remove the notice of Filing sign from the project site. The applicant may request a refund of the \$300 sign deposit. The request shall be submitted to the Planning Department.

ENGINEERING LAND DEVELOPMENT:

- 11. The project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with the master sanitary sewer plan or as approved by the City Engineer.
- 12. The applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.

13. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

14. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

PRIOR TO MAP RECORDATION

15. Applicant shall provide a ~~Land Improvement~~ **Subdivision** Agreement, with accompanying security. The agreement shall be executed on City-provided forms. **(Modified at Planning Commission meeting January 16, 2024)**

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

16. The Applicant shall record ~~tentative~~ **Final** map as required for the development. **(Modified at Planning Commission meeting January 16, 2024)**
17. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

*PRIOR TO **FINAL** CERTIFICATE OF OCCUPANCY*

(Modified at Planning Commission meeting January 16, 2024)

18. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
19. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
20. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).

PRIOR TO FINAL ACCEPTANCE OF PROJECT

21. Applicant/Design Engineer to provide the City of Fontana with As-Built/Record Drawings for all public improvement plans.
22. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
23. Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in

accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).

24. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. The contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
25. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
26. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

BUILDING & SAFETY:

27. The applicant shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
28. The applicant shall comply with the requirements of the South Coast Air Quality Management District (909-396-2000). SCAQMD requirements shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
29. The applicant shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
30. The applicant shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.
31. The applicant shall comply with the following grading requirements:
 - A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may,

however, cross under a sidewalk if an approved drainage structure is used.

- D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
- E. No water course or natural drainage shall be obstructed.
- F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
- G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
- H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.

The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.

- I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - 1. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.); and
 - 2. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.); and
 - 3. All proposed drainage structures; and
 - 4. Any proposed and/or required walls or fencing.
- 32. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 33. The following items (as applicable) shall be completed by the applicant and submitted to Building & Safety prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector
- 34. If hazardous substances are used and/or stored, the applicant shall provide a technical opinion and report, identifying and developing methods of protection from the hazards presented by the hazardous materials, may be required. This report shall be prepared by a qualified person, firm, or corporation and submitted

to Building & Safety. This report shall also explain the proposed facility's intended methods of operation and list all of the proposed materials, their quantities, classifications, and the effects of any chemical (material) inter-mixing in the event of an accident or spill.

SAN BERNARDINO COUNTY FIRE DEPARTMENT:

35. **Jurisdiction.** The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
36. **Fire Access Road Width.** Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code sec 503, SBCFD Standard 503.1
37. **Turnaround.** An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12 % grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code sec 503, SBCFD Standard 503.1
38. **Street Signs.** Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. California Fire Code sec. 505, SBCFD Standard 505.1
39. **Fire Lanes.** The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCFD Standard 501.
40. **Water System Commercial.** Prior to map recordation, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix B of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet shall be provided. All fire hydrants shall be spaced no more than three hundred (300) feet apart as measured along vehicular travel-ways. California Fire Code sec 508, SBCFD Standard 508.1

41. The Fire Flow for this project shall be: 3375 GPM for a 2-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 102,330 sq.ft. structure.
42. **Hydrant Marking.** Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCFD Standard 508.5.2.
43. **Water System Certification.** The applicant shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the jobsite.
44. **Combustible Protection.** Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code sec 508, SBCFD Standard 508.1
45. **Fire Sprinkler-NFPA #13.** An automatic fire sprinkler system complying with NFPA 13 and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The plans shall include hydraulic calculations and manufacturer specification sheets. The required fees shall be paid at the time of plan submittal. SBCFD Standard 903.
46. **Fire Alarm, Waterflow Monitoring.** A water flow monitoring fire alarm system complying with the California Fire Code, NFPA and all applicable codes is required or fire sprinkler systems with twenty (20) sprinkler heads or more. A fire alarm contractor shall submit three (3) sets of detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. California Fire Code sec. 907, SBCFD Standard 907 FA-M.
47. **Fire Extinguishers.** Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. California Fire Code sec. 906.
48. **Key Box.** An approved Fire Department key box is required. The key box shall be provided with a tamper switch and shall be monitored by a Fire Department approved central monitoring service. SBCFD Standard 506
49. **Security Gates.** In commercial, industrial, and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. SBCFD Standard 503.1.2
50. **Material Identification Placards.** The applicant shall install, in all locations deemed appropriate by the Fire Department, approved material identification placards on the outside of all buildings and/or storage tanks that store hazardous or flammable materials. Additional placards shall be required inside

the buildings when chemicals are segregated into separate areas. Standard 2703.5.

51. **Secondary Access.** The development shall have a minimum of 2 points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCFD Standard 503.1

END OF CONDITIONS OF APPROVAL

NOTICE OF DETERMINATION

TO: X County Clerk, County of
San Bernardino

____ Office of Planning and Research

FROM: City of Fontana
Planning Department
8353 Sierra Avenue
Fontana, CA 92335

SUBJECT: Filing of Notice of Determination in Compliance with Section 21152 of the Public Resources Code.

Project Title: Master Case No. 20-073, General Plan Amendment No. 20-015; Zoning Amendment No. 20-015; Conditional Use Permit No. 22-013; Tentative tract Map No. 20358 (TTM No. 20-006); and Design Review No. 20-028.

State Clearinghouse Number: N/A

Project Location: The project site is located at the southwest corner of Orchid Avenue and Poplar Avenue and continues to Catawba Avenue (APNs: 0233-122-60, -63, -28, -29) (8.8 acres)

Project Description: The applicant, Monte Vista Assets, LLC, requested and received, City Council approval for General Plan Amendment No. 20-015, Zoning Amendment No. 20-015, Conditional Use Permit No. 22-013, Tentative Parcel Map No. 20358 (TTM No. 20-006), and Design Review No. 20-028 for development of a 53-lot single family residential detached unit subdivision and additional site improvements.

This is to certify that the City of Fontana approved the above described project on January 16, 2024 and made the following determinations:

1. The project will not have a significant effect on the environment.
2. Based on CEQA guidelines, The environmental impacts associated with the project were previously analyzed and an Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program (MND) were prepared and adopted by the Planning Commission on January 16, 2024. Per Section 15162 of the California Environmental Quality Act and per Section 6.04 of the City of Fontana 2019 Local Guidelines for Implementing the California Environmental Quality Act
3. Mitigation measures were made a condition of the approval of the project.
4. A Statement of Overriding Considerations was not adopted for this project.
5. Findings were made pursuant to the provisions of CEQA.
6. The location and custodian of the documents which comprise the record of proceedings for the Negative Declaration are specified as follows: Custodian:
City of Fontana, Planning Department
8353 Sierra Avenue, Fontana, CA 92335

Salvador Quintanilla
Senior Planner

Date Received for Filing

ATTACHMENT NO. 8



NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION AND NOTICE OF PUBLIC HEARING

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

MASTER CASE NO. 20-073, GENERAL PLAN AMENDMENT NO. 20-015, ZONING DISTRICT MAP AMENDMENT NO. 20-015, CONDITIONAL USE PERMIT NO. 22-013, TENTATIVE TRACT MAP NO. 20358 (TTM No. 20-006), AND DESIGN REVIEW NO. 20-028

The applicant, Monte Vista Assets, LLC., is requesting approval of a General Plan Amendment to amend the land use designation, a Zoning District Map Amendment to amend the zoning designation, a Tentative Tract Map for the subdivision of four parcels, a Conditional Use Permit for a Planned Unit Development, and Design Review for the site and architectural review to construct a 53-lot single-family residential detached unit complex. The subdivision will include site improvements of parking, landscaping, and other associated on-site and off-site improvements on an 8.8-acre.

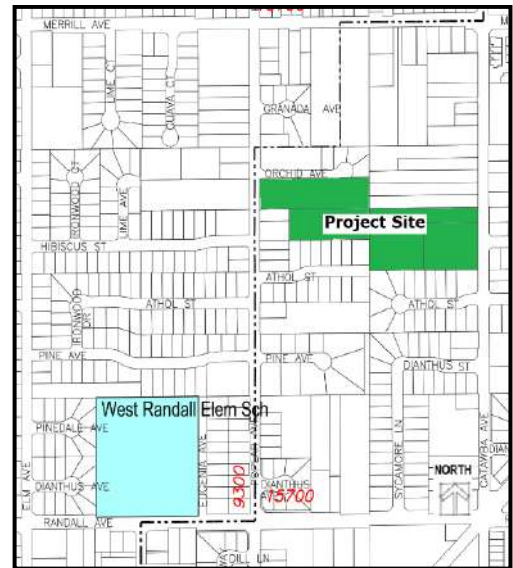
Environmental Determination: A Mitigated Negative Declaration (MND) has been prepared pursuant to Section 15070 of the California Environmental Quality Act and per Section 6.04 of the 2019 Local Guidelines for Implementing the California Environmental Quality Act.

Location: The project site is located on the southeast corner of Orchid Avenue and Poplar Avenue and on the west side of Catawba Avenue. (APNs: 0233-122- 60, -63, -28, -29)

Date of Hearing: January 16, 2024

Place of Hearing: City Hall Council Chambers
8353 Sierra Avenue
Fontana, CA 92335

Time of Hearing: 6:00 PM



Should you have any questions concerning this project, please contact **Jon Dille Associate Planner**, at (909) 350-6681 or email him at jdille@fontanaca.gov.

The period for comment regarding the mitigated negative declaration for this project is from December 22, 2023, to January 11, 2024. The initial study and proposed mitigated negative declaration are available for review at City Hall (8353 Sierra Avenue Fontana, CA 92335) and online at <https://www.fontanaca.gov/2137/Environmental-Documents>. Please submit your comments via email to **Jon Dille, Associate Planner**, at jdille@fontanaca.gov.



The project site is not listed as a hazardous waste site described in any lists as enumerated under Section 65962.5 of the Government Code.

ANY INTERESTED PARTY MAY APPEAR AND PRESENT ANY INFORMATION WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION IN THE PLANNING DEPARTMENT, CITY HALL.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish: December 22, 2023