

Proposed 48 Units + 12 ADU For:
SA Golden Investments Inc.
 7227 Oleander Ave., Fontana, CA 92336

Project Info

APPLICANT: SA GOLDEN INVESTMENTS, INC.
 saberawad3346@gmail.com

PROJECT ADDRESS: 7227 OLEANDER AVE., FONTANA, CA 92336

ARCHITECT: SA ARCHITECTS & ENGINEERS, INC.
 8471 LAUREL AVE., OFC.
 FONTANA, CA 92335

CONTACT: AHMAD AHAD
 ahmadawad@saae.us
 (909) 685-5092

APN: 0240-052-47-0000

ZONING: R-1

OVERLAY: R-4

OCCUPANCY: GROUP R-2 / U

CONSTRUCTION: TYPE V-B

PROJECT DESCRIPTION: PROPOSED (2) 24-UNIT APARTMENT + 6 ADU BUILDINGS, COMMON AMENITIES OF TRELLIS WITH SEATING, OPEN LAWN, & 500SF FITNESS FACILITY.

BUILDING TYPE: MULTIPLEX

FRONTAGE TYPE: DOORVARD

ARCHITECTURAL STYLE: MODERN

LOT SIZE: 82,982 SQ FT (1.9 ACRES)

MINIMUM DENSITY: 24 UNITS/ACRE
 (1.9 ACRES X 24 UNITS)

MAXIMUM DENSITY: 39 UNITS/ACRE
 (1.9 ACRES X 39 UNITS)

PROPOSED UNIT COUNT: 48 UNITS + 12 ADUS
 (1.9 ACRES X 26 UNITS)

MAXIMUM HEIGHT: 55 FEET

PROPOSED BUILDING HEIGHT: 40 FEET 6 INCHES

LOT COVERAGE: 24,988 SQ. FT. (30.1%)

MAX. COVERAGE ≤ 70%

NET LOT SIZE: 57,994 SQ. FT. (100.0%)

HARDSCAPE AREA: 46,244 SQ. FT. (79.7%)

TOTAL LANDSCAPE AREA: 11,750 SQ. FT. (20.3%)
 (% AND SQ. FT. FOR ENTIRE SITE)

ARCHITECTURAL STYLE: MODERN/CONTEMPORARY

REQUIRED PUBLIC OPEN SPACES: 24,895 SQ. FT.
 PUBLIC OPEN SPACE ≥ 30%

PROVIDED PUBLIC OPEN SPACES: 48,785 SQ. FT. (58.8%)

REQUIRED PRIVATE OPEN SPACES: 4,150 SQ. FT.
 PRIVATE OPEN SPACES ≥ 5%

PROVIDED PRIVATE OPEN SPACES: 5,610 SQ. FT. (6.8%)

PARKING SUMMARY:

REQUIRED PARKING SPACES: 84 SPACES

**1.75 SPACE / UNITS 550SF+
 (48 UNITS X 1.75 SPACES)**

TOTAL PROVIDED PARKING: 91 TOTAL PROVIDED PARKING
 (FOR ENTIRE PROJECT) (INCLUDES 3 ADA PARKING PER CBC)

BICYCLE SPACES REQUIRED: 12 SPACES

1 SPACE / 4 UNITS (48 UNIT)

LONG TERM: 10 SPACES

SHORT TERM: 2 SPACES

BICYCLE REPAIR STATION: 1 EACH
 (1 BICYCLE REPAIR STATION WHEN 25+ BICYCLE SPACES PER SEC. 30-393.)

**AREA SCHEDULE TYPE A (6)
 (ONE BEDROOM)**

FLOOR AREA 716 SQ. FT.

TOTAL CONDITIONED AREA 716 SQ. FT.

BALCONY 100 SQ. FT.

TOTAL NON-CONDITIONED AREA 100 SQ. FT.

**AREA SCHEDULE TYPE A.1 (12)
 (ONE BEDROOM)**

FLOOR AREA 655 SQ. FT.

TOTAL CONDITIONED AREA 655 SQ. FT.

BALCONY 100 SQ. FT.

TOTAL NON-CONDITIONED AREA 100 SQ. FT.

**AREA SCHEDULE TYPE B (12)
 (TWO BEDROOM)**

FLOOR AREA 967 SQ. FT.

TOTAL CONDITIONED AREA 967 SQ. FT.

BALCONY 100 SQ. FT.

TOTAL NON-CONDITIONED AREA 100 SQ. FT.

**AREA SCHEDULE TYPE C & ADU (12)
 (TWO BEDROOM)**

FLOOR AREA 949 SQ. FT.

TOTAL CONDITIONED AREA 949 SQ. FT.

BALCONY 100 SQ. FT.

TOTAL NON-CONDITIONED AREA 100 SQ. FT.

**AREA SCHEDULE TYPE D (18)
 (THREE BEDROOM)**

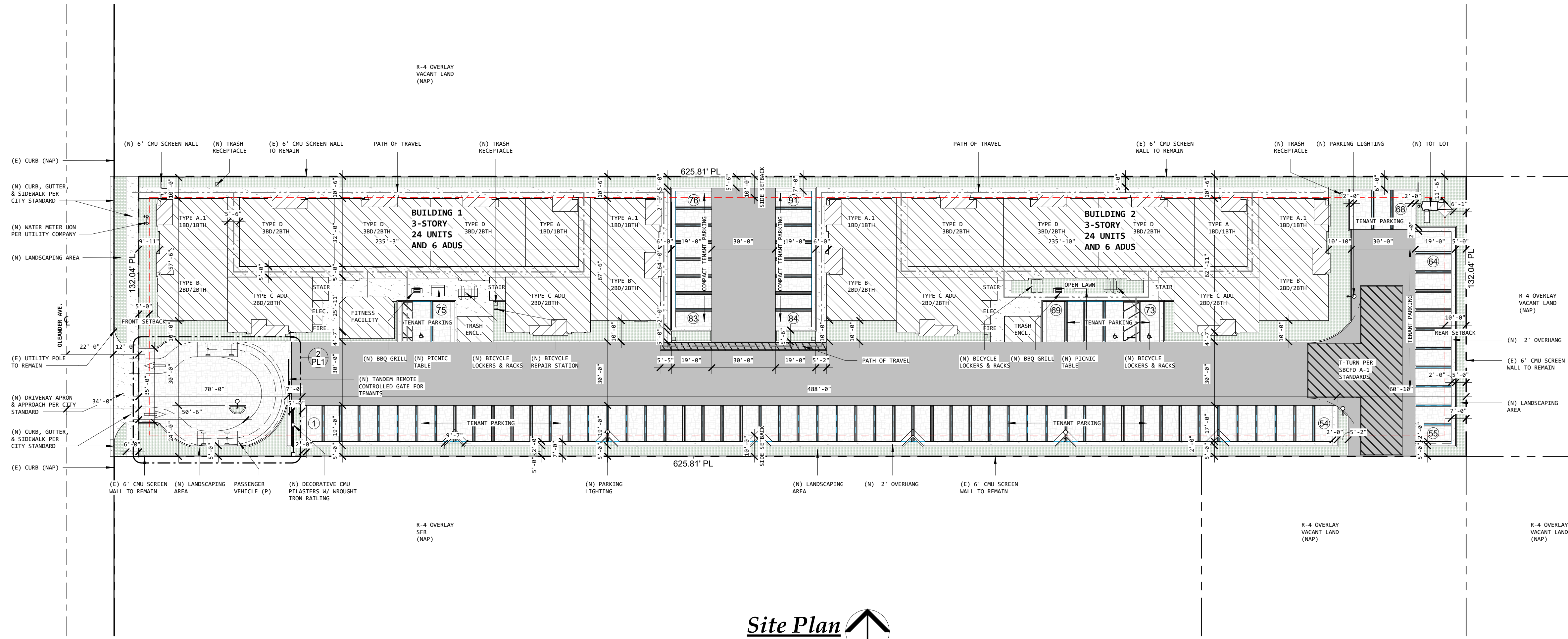
FLOOR AREA 1360 SQ. FT.

TOTAL CONDITIONED AREA 1360 SQ. FT.

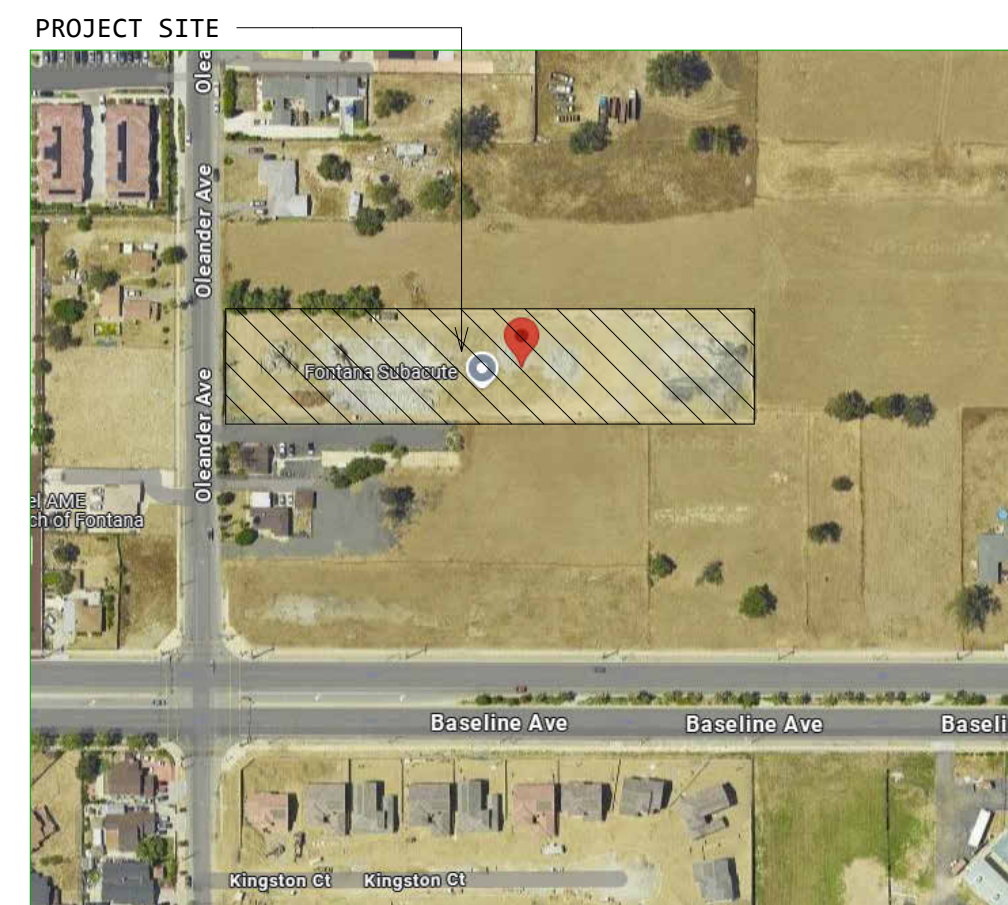
BALCONY 100 SQ. FT.

TOTAL NON-CONDITIONED AREA 100 SQ. FT.

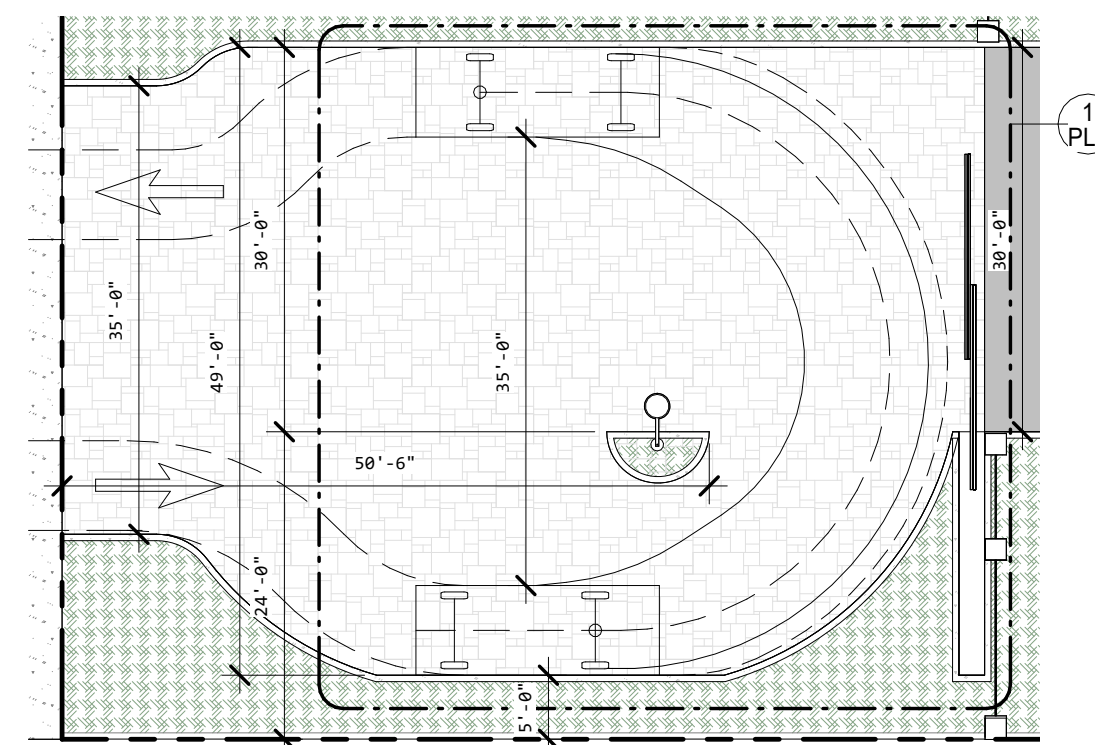
BUILDING SQUARE FOOTAGE: 29,814 SQ. FT. (EACH BUILDING)
 (59,628 SQ. FT. BOTH BUILDINGS)



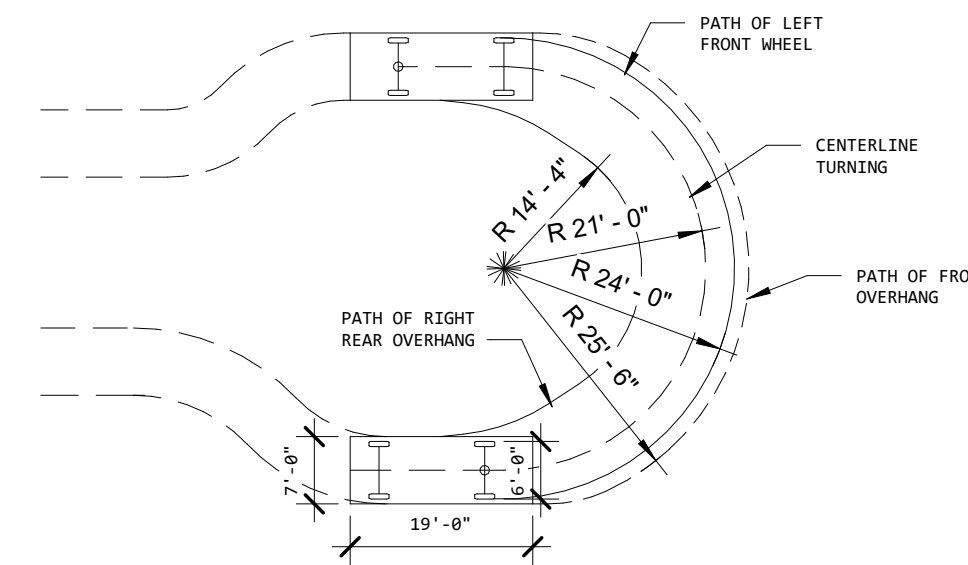
Site Plan
 1" = 30'-0"



Vicinity Map



Entrance Plan
 1: 180



DESIGN SPEED: 5 MPH

BASED ON AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, 7TH EDITION, 2018)

DIMENSIONS AND VEHICLE TURNING RADIUS ARE IN ACCORDANCE WITH AASHTO STANDARDS.

Turning Path - Passenger Car
 1" = 20'-0"

- NOTES:**
- WALL SHALL BE 6'-0" FROM FINISH FLOOR TO TOP OF WALL.
 - EACH TRASH ENCLOSURE WILL HOLD 3 TRASH BINS

Sequence of Drawings - DR	
Number	Description

PL1	Cover Sheet
PL1.1	Site Facilities
PL2	Floor plan - Typ. Unit Plans
PL3	Bldg. 1 & 2 Floor plans
PL3.1	Bldg. 3 & Roof Floor plans
PL4	Elevations
PL5	Preliminary Landscaping Plan
PL6	Preliminary Lighting Plan
PL7	Wall & Fence Plan

E-1.1	General Notes and Legend
E-2.1	Site Lighting Plan
E-2.2	Photometric Plan



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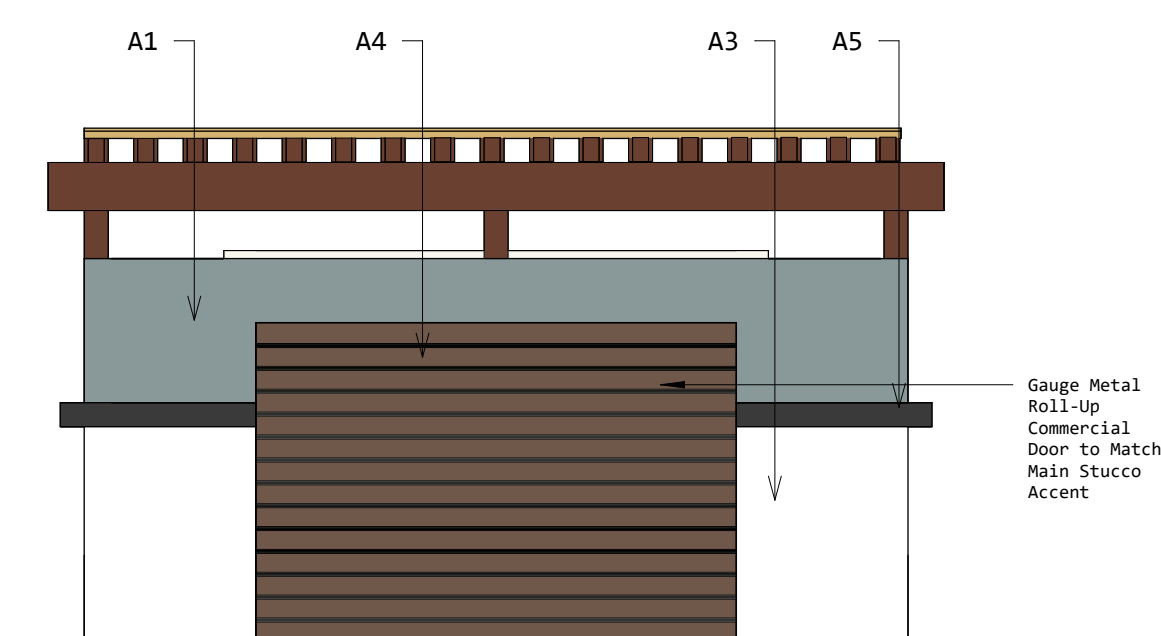
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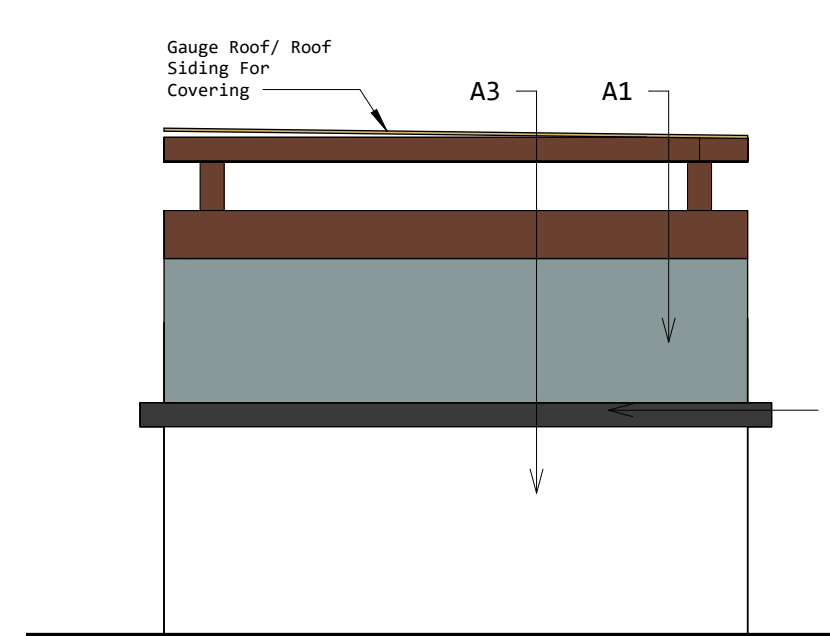
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Cover Sheet

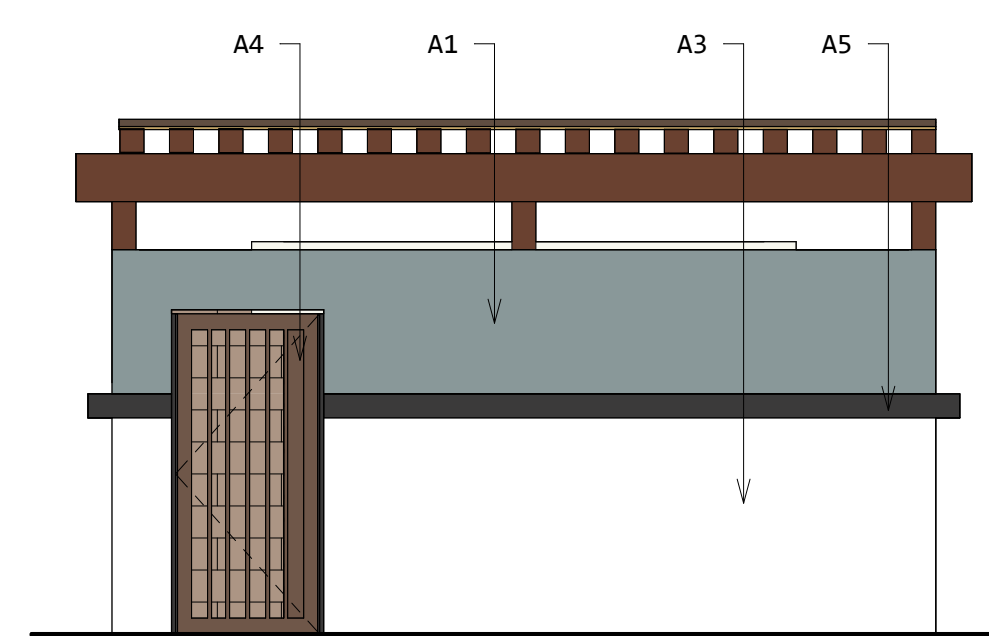
PL1



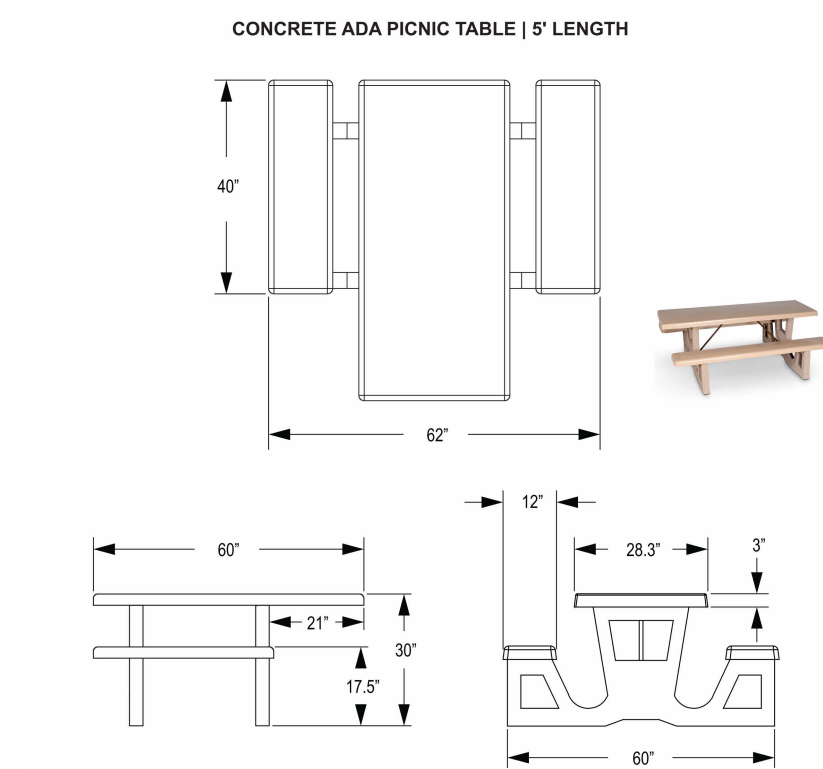
Trash Encl. (Front)
1/4" = 1'-0"



Trash Encl. (Side)
1/4" = 1'-0"

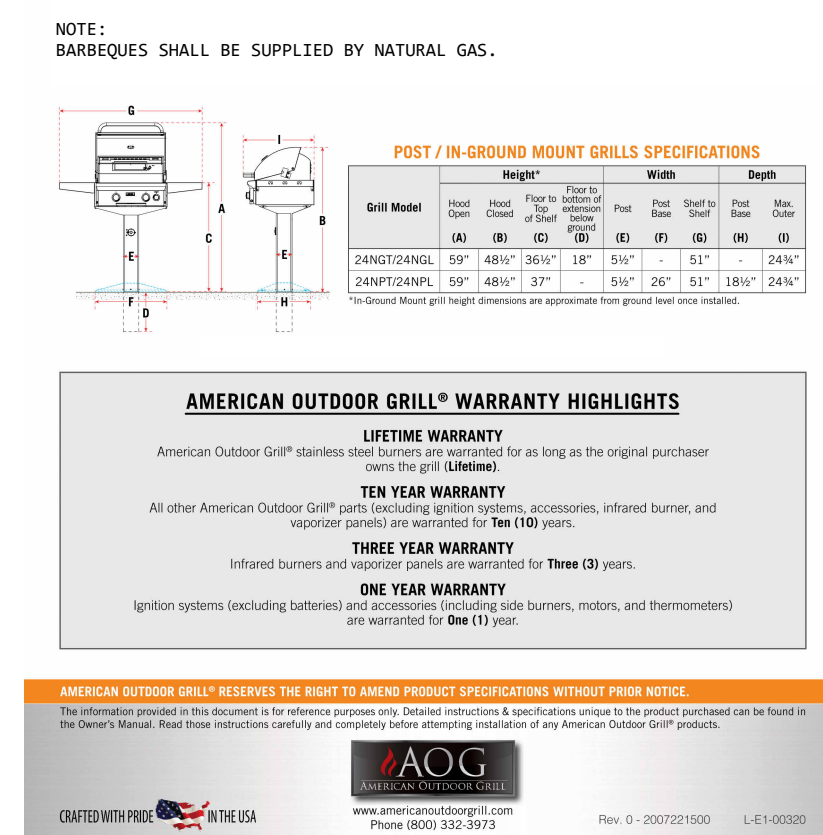


Trash Encl. (Rear)
1/4" = 1'-0"

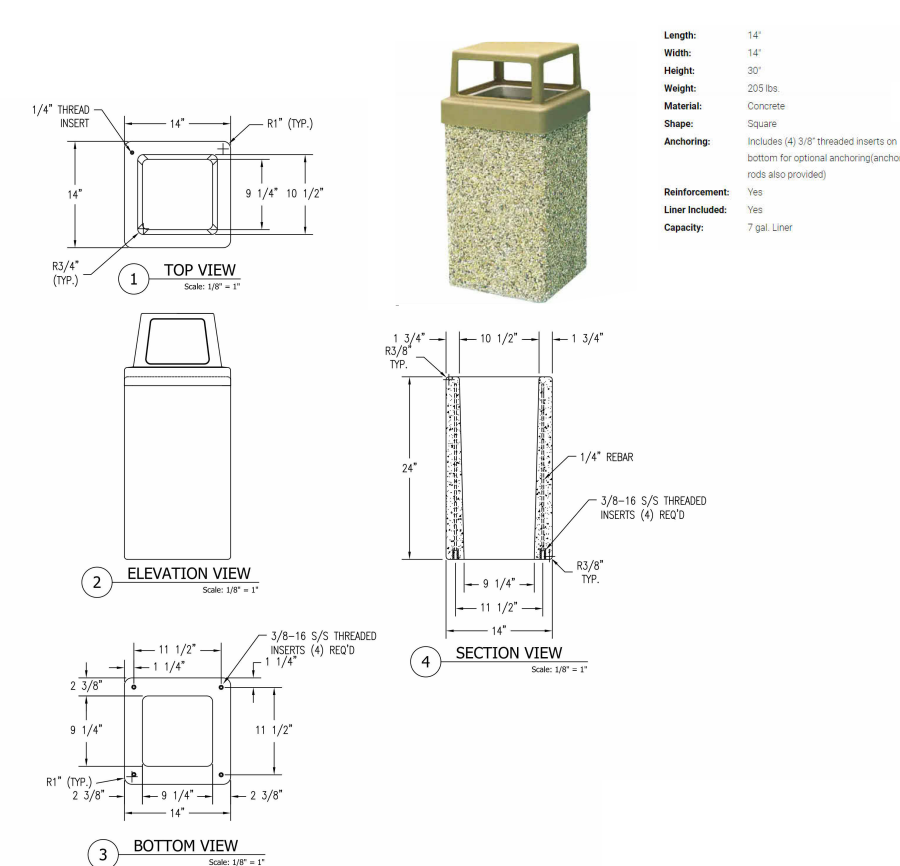


Concrete Seating Detail

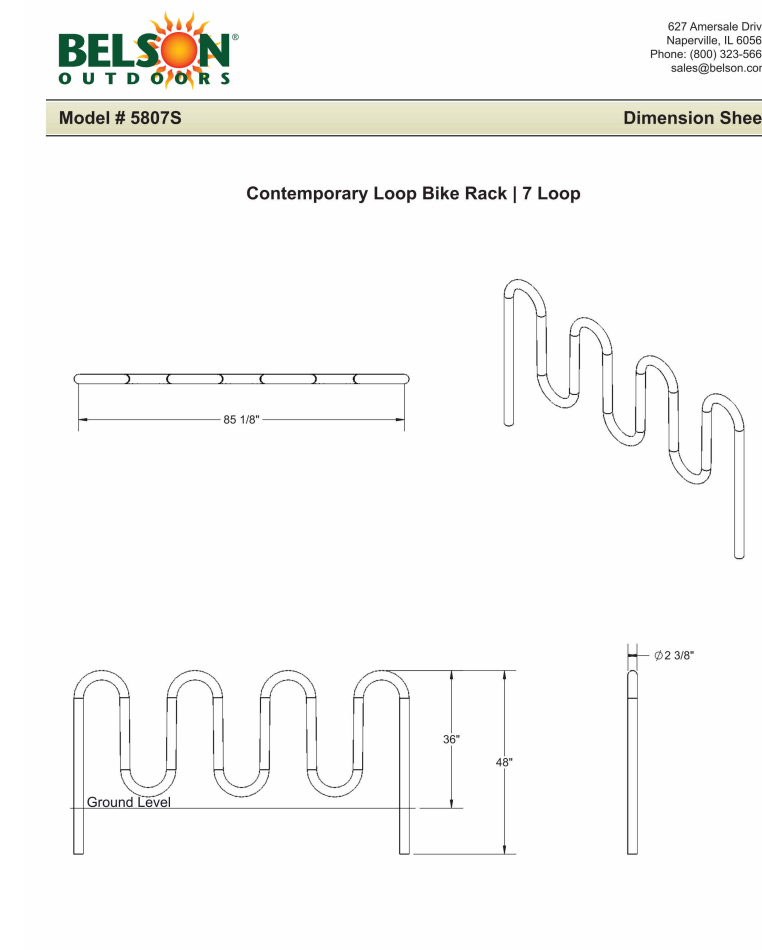
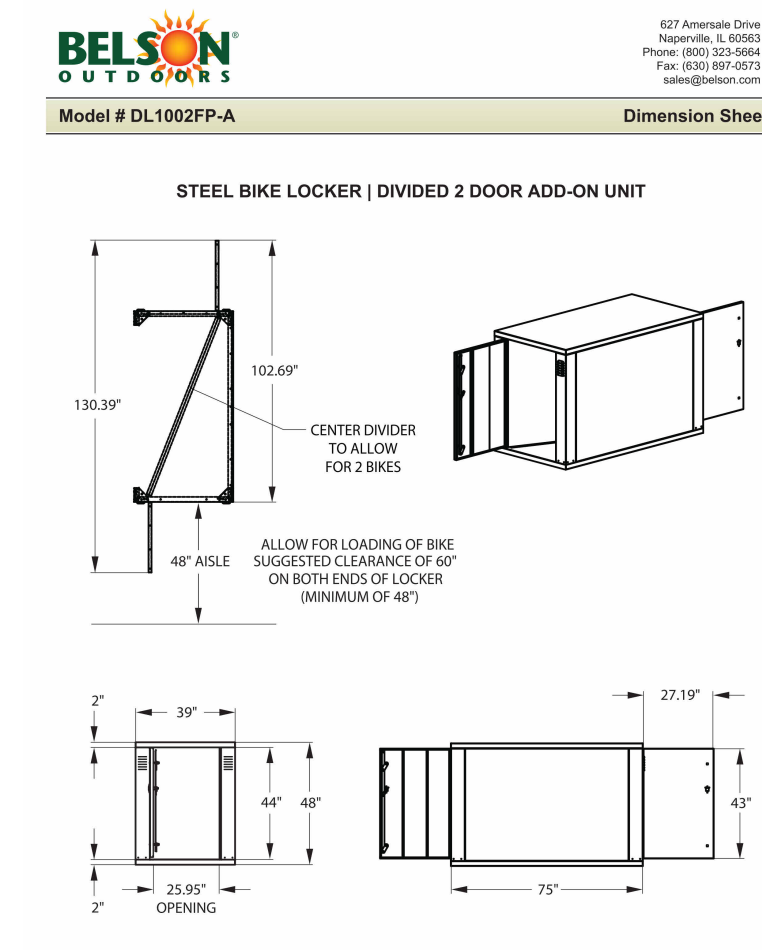
Portable, Post Mount & In-Ground Mount Specifications #AOG



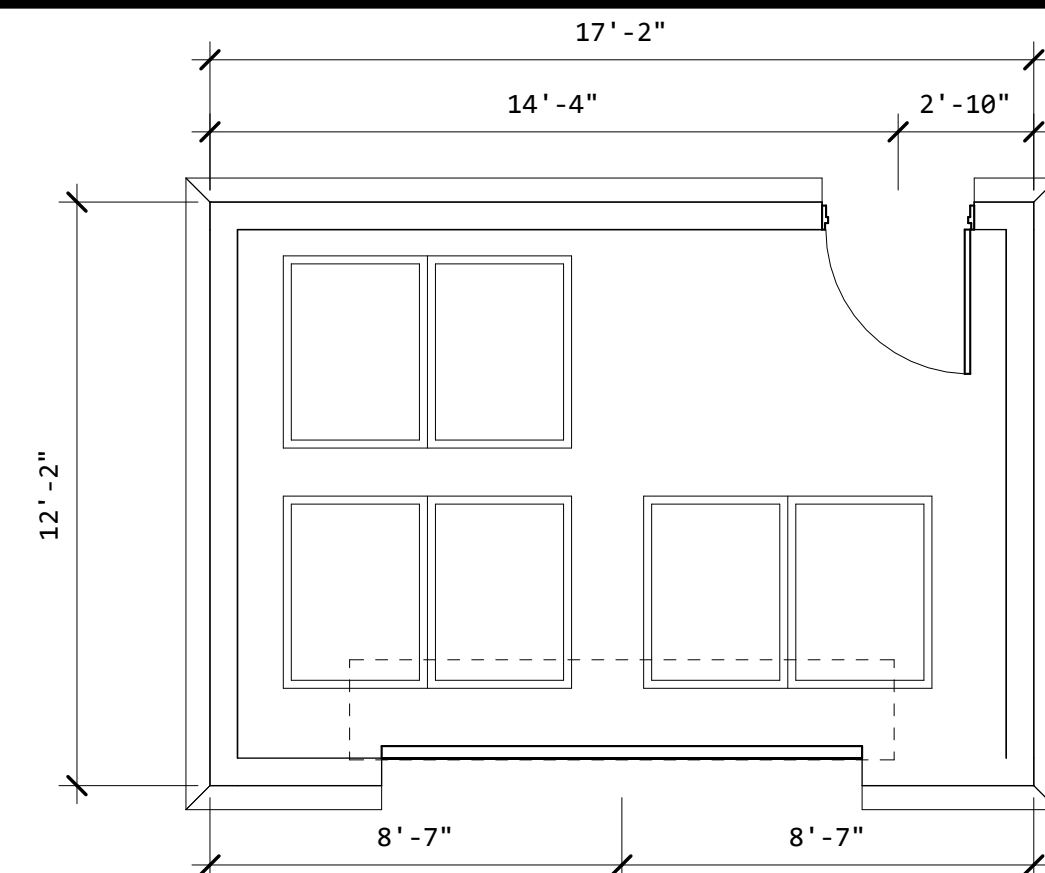
Barbeque Grill



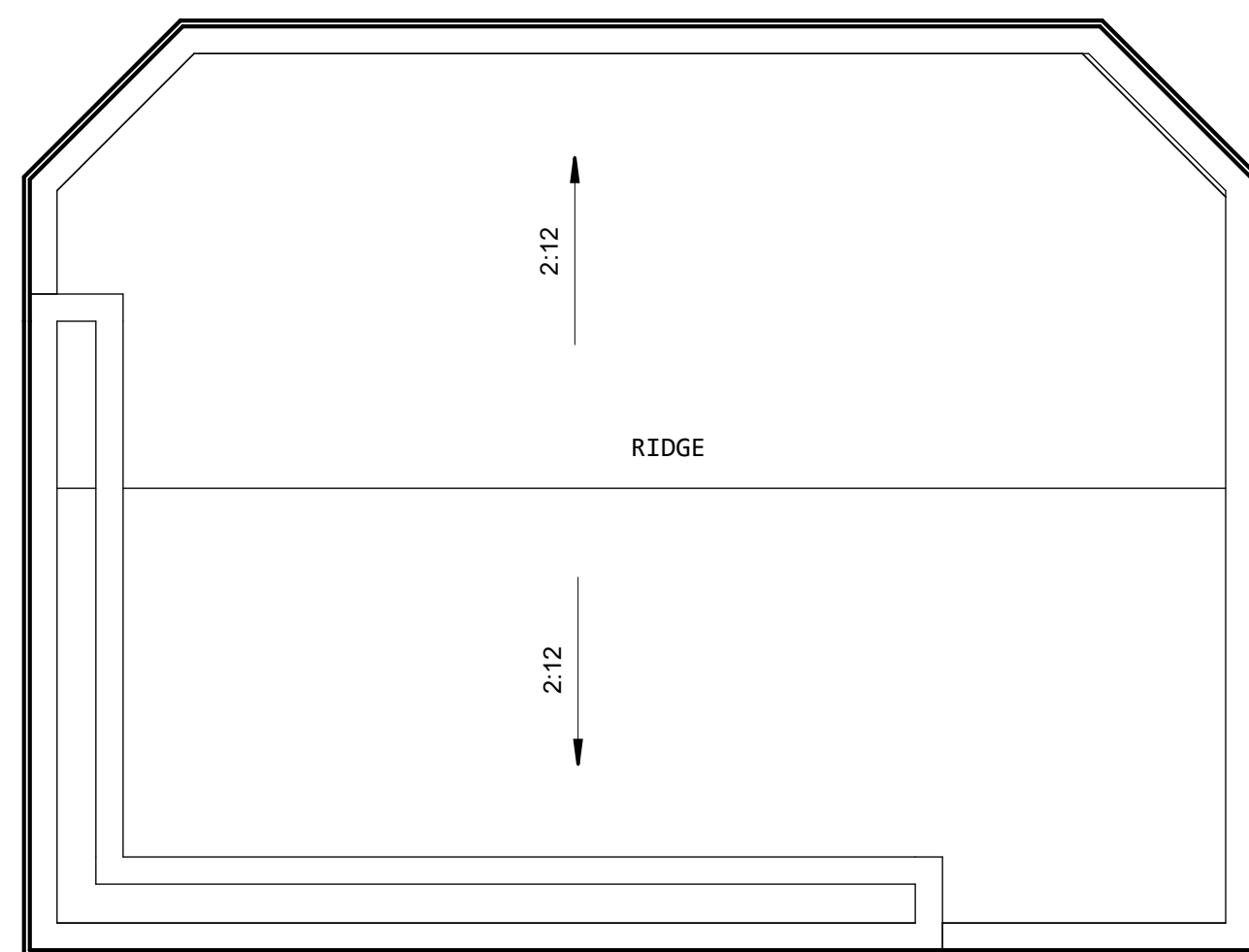
Trash Receptacle



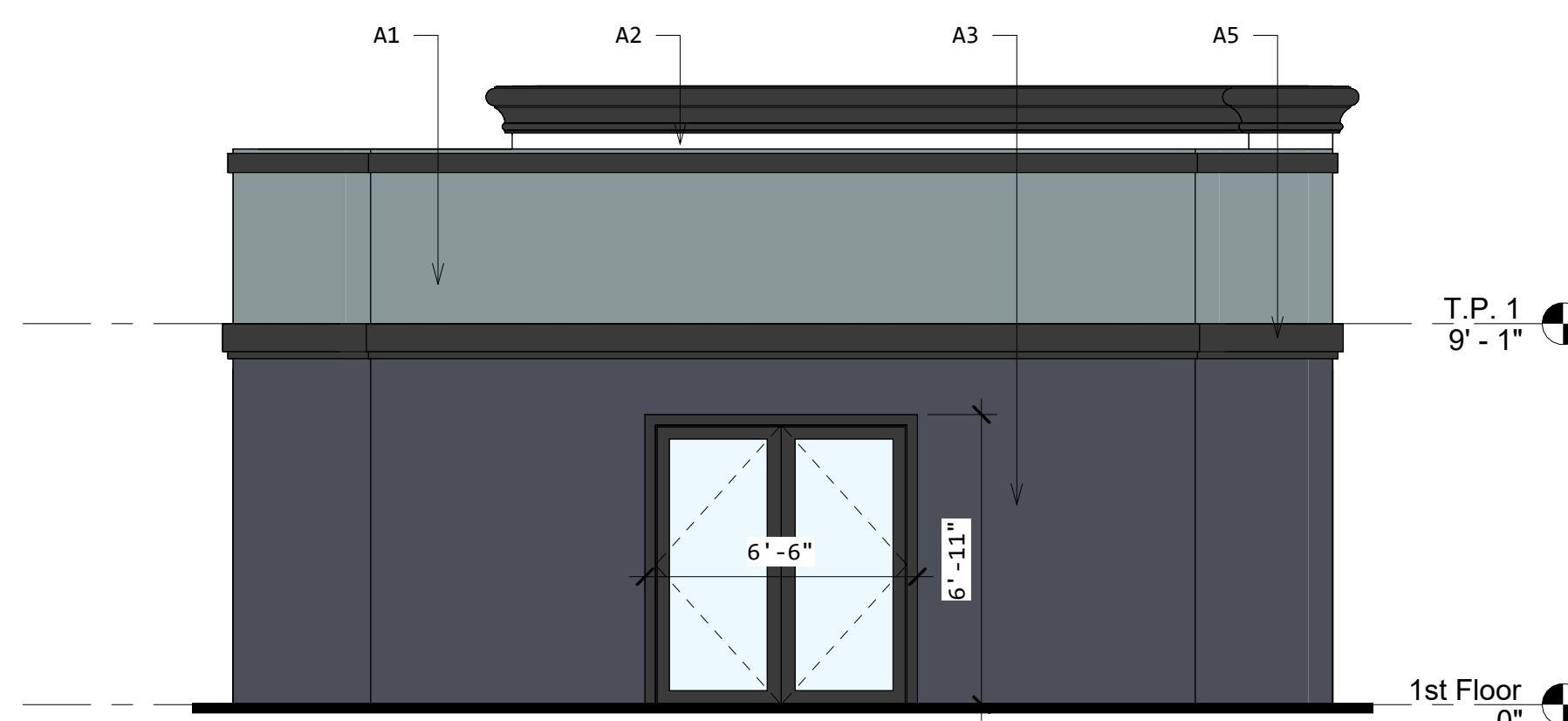
Bicycle Racks & Lockers



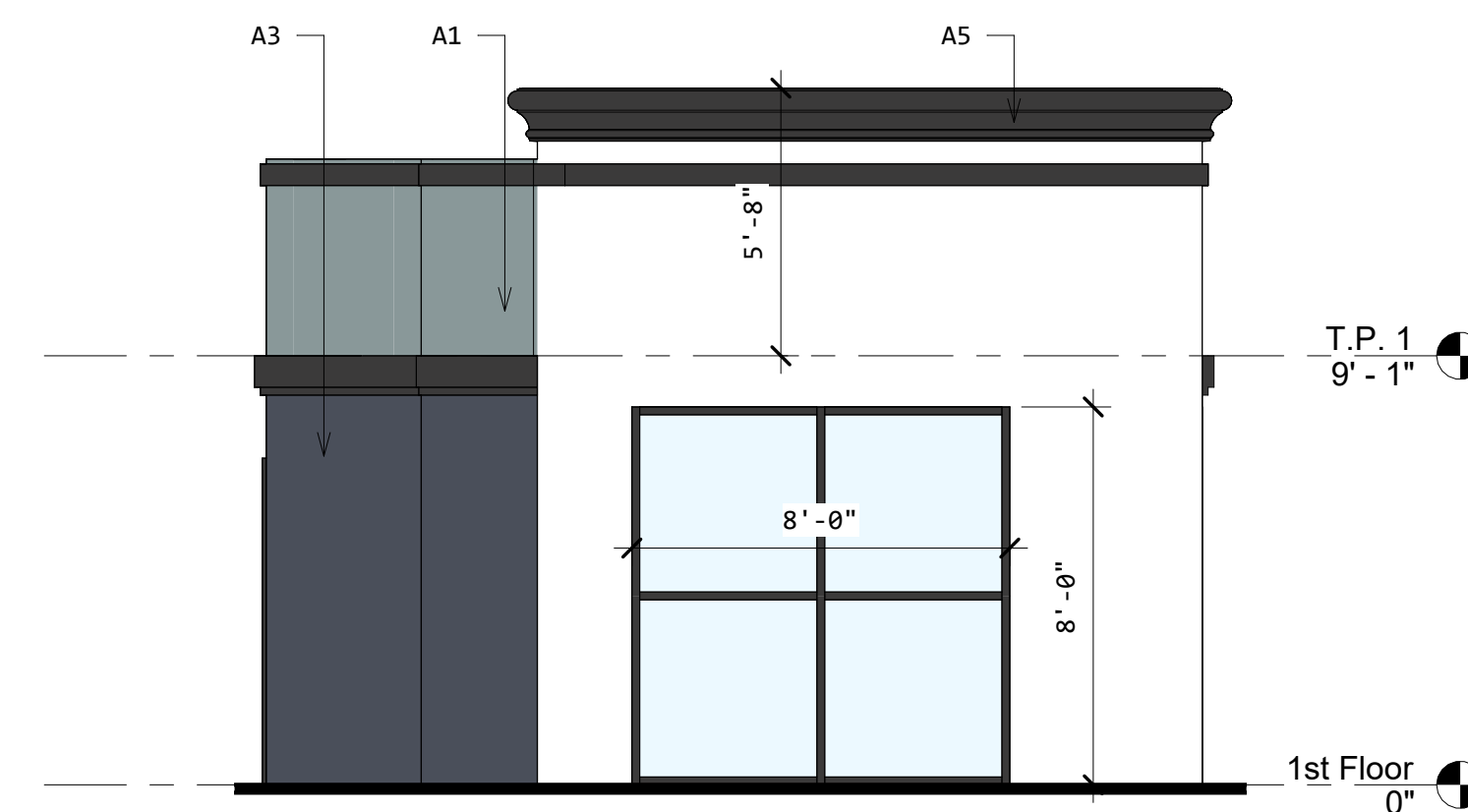
Floor Plan - Trash Enclosure
1/4" = 1'-0"



Roof Plan - Fitness Facility
1/4" = 1'-0"

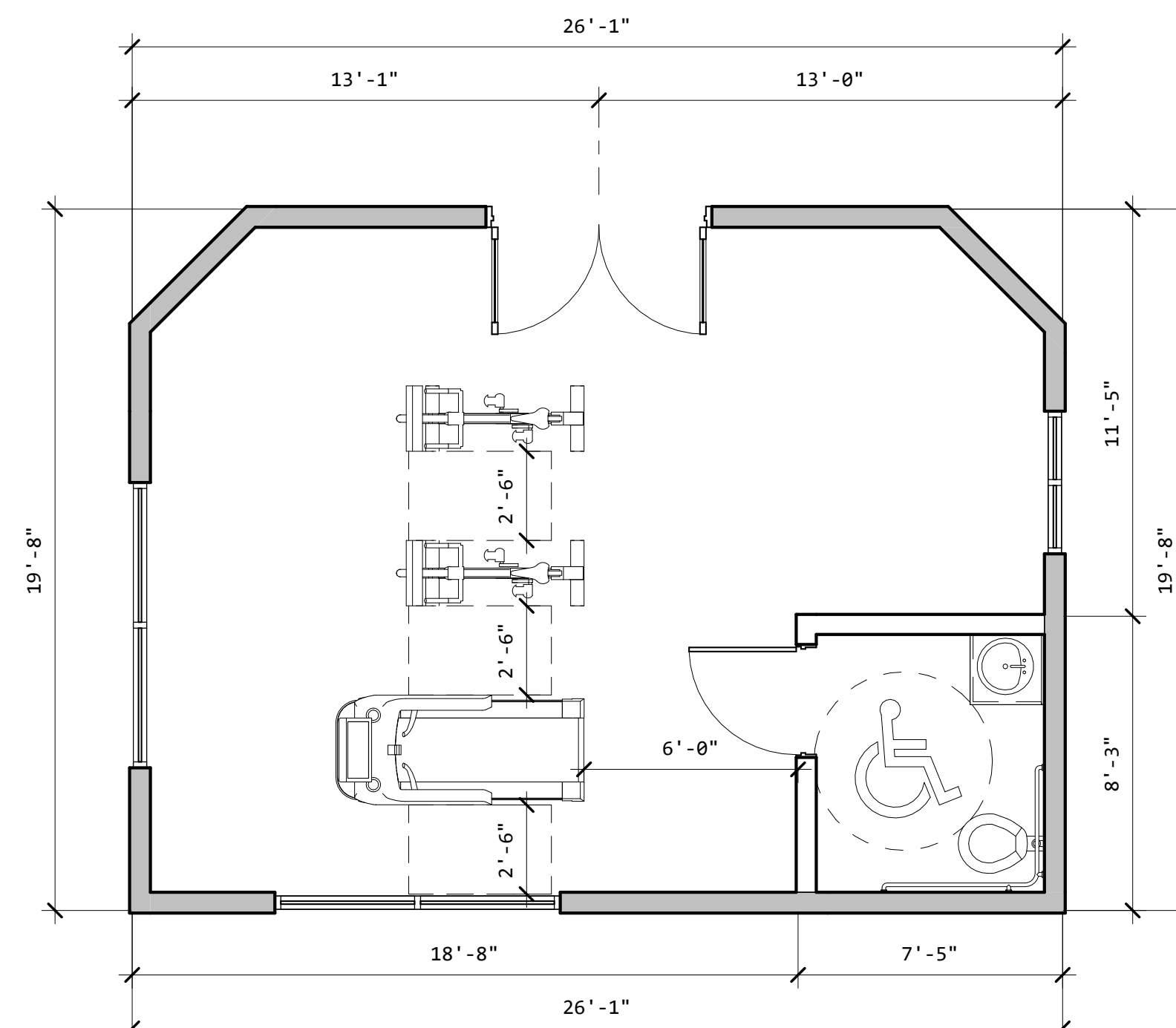


North Elevation
1/4" = 1'-0"

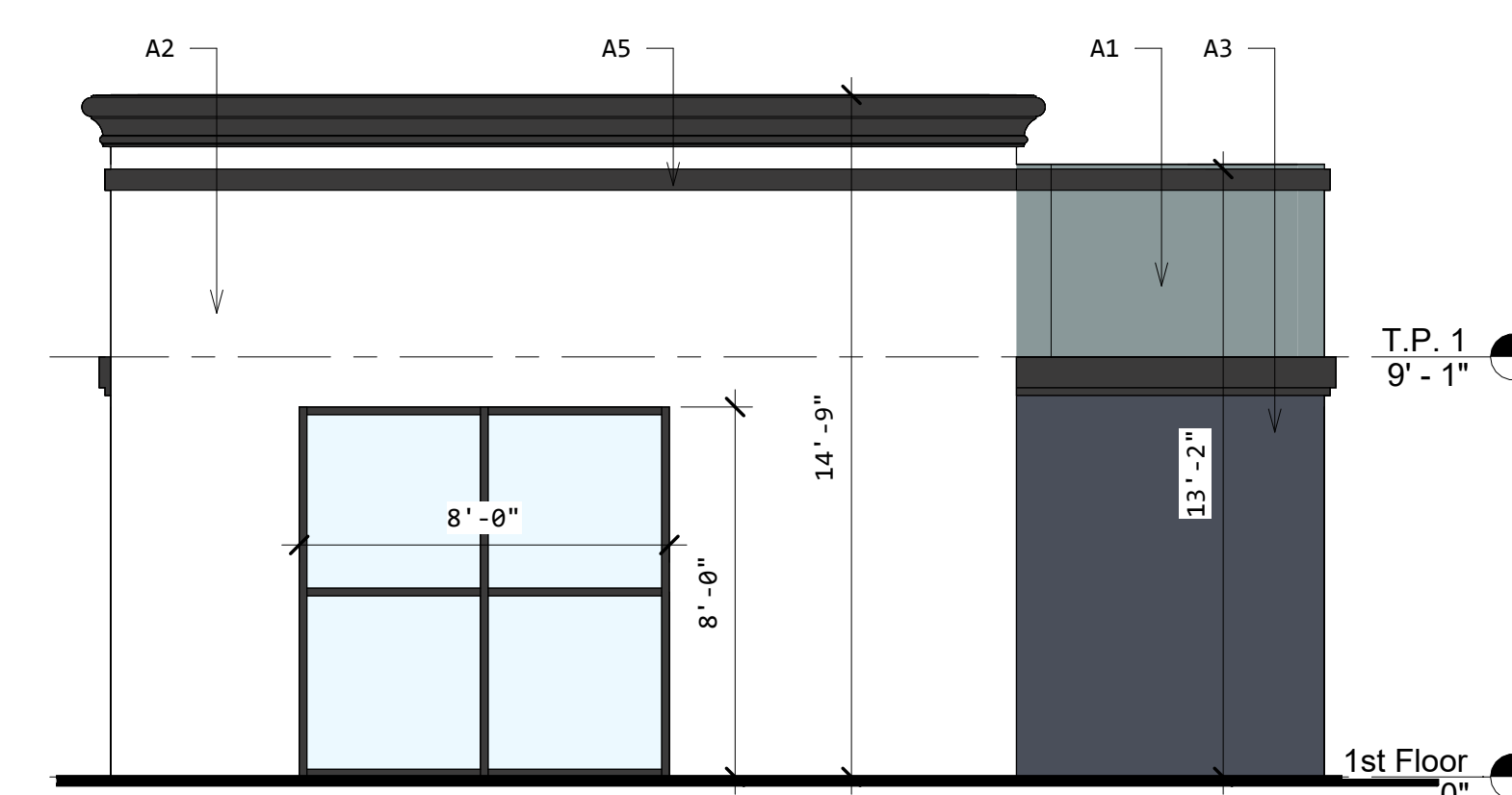


West Elevation
1/4" = 1'-0"

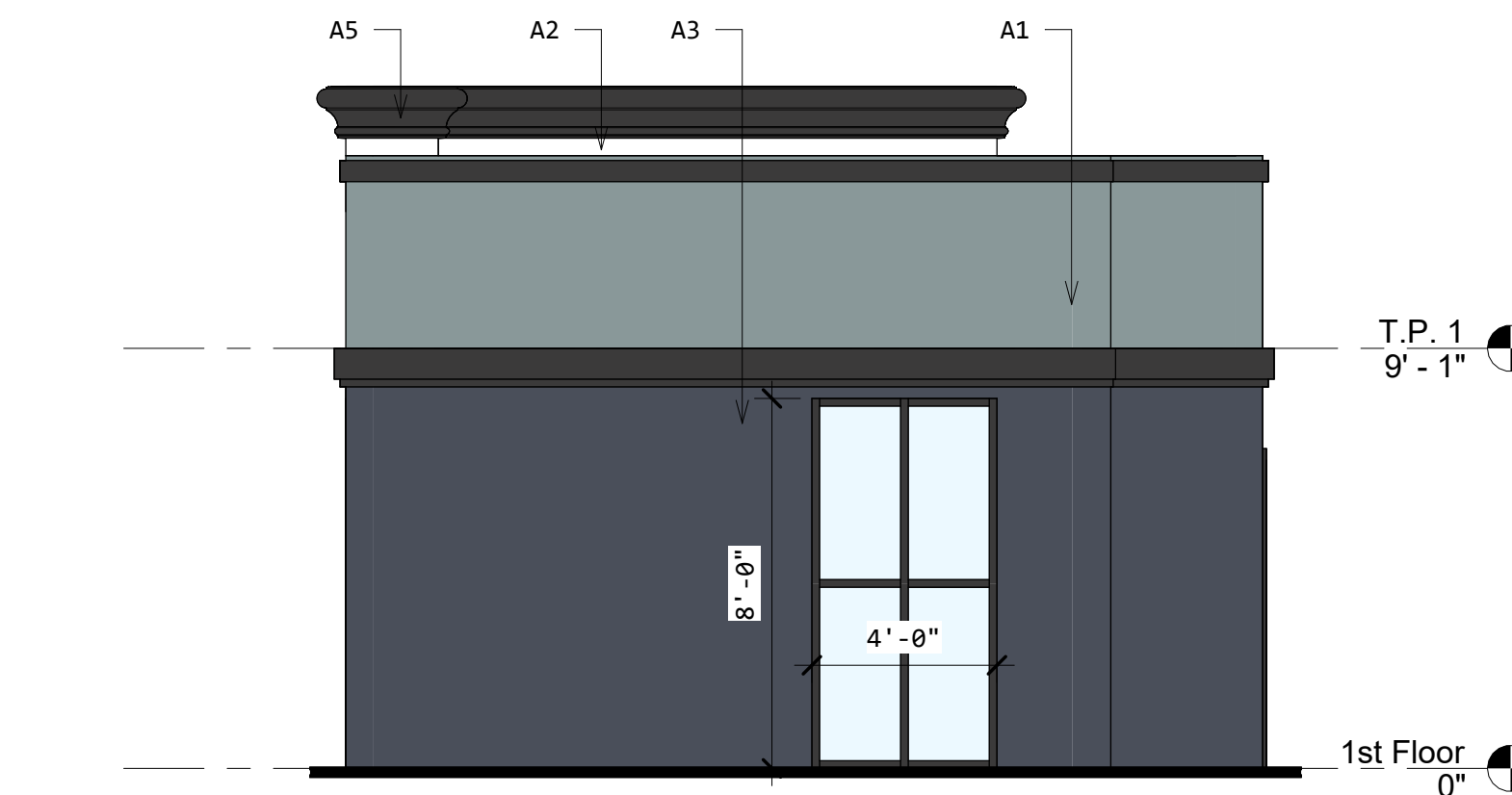
Attachment 2



Floor Plan - Fitness Facility
1/4" = 1'-0"



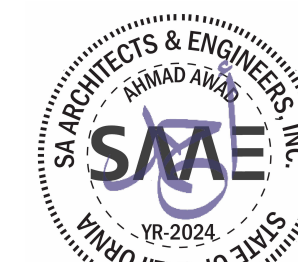
South Elevation
1/4" = 1'-0"



East Elevation
1/4" = 1'-0"

SA ARCHITECTS + ENGINEERS

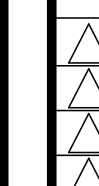
25-0047



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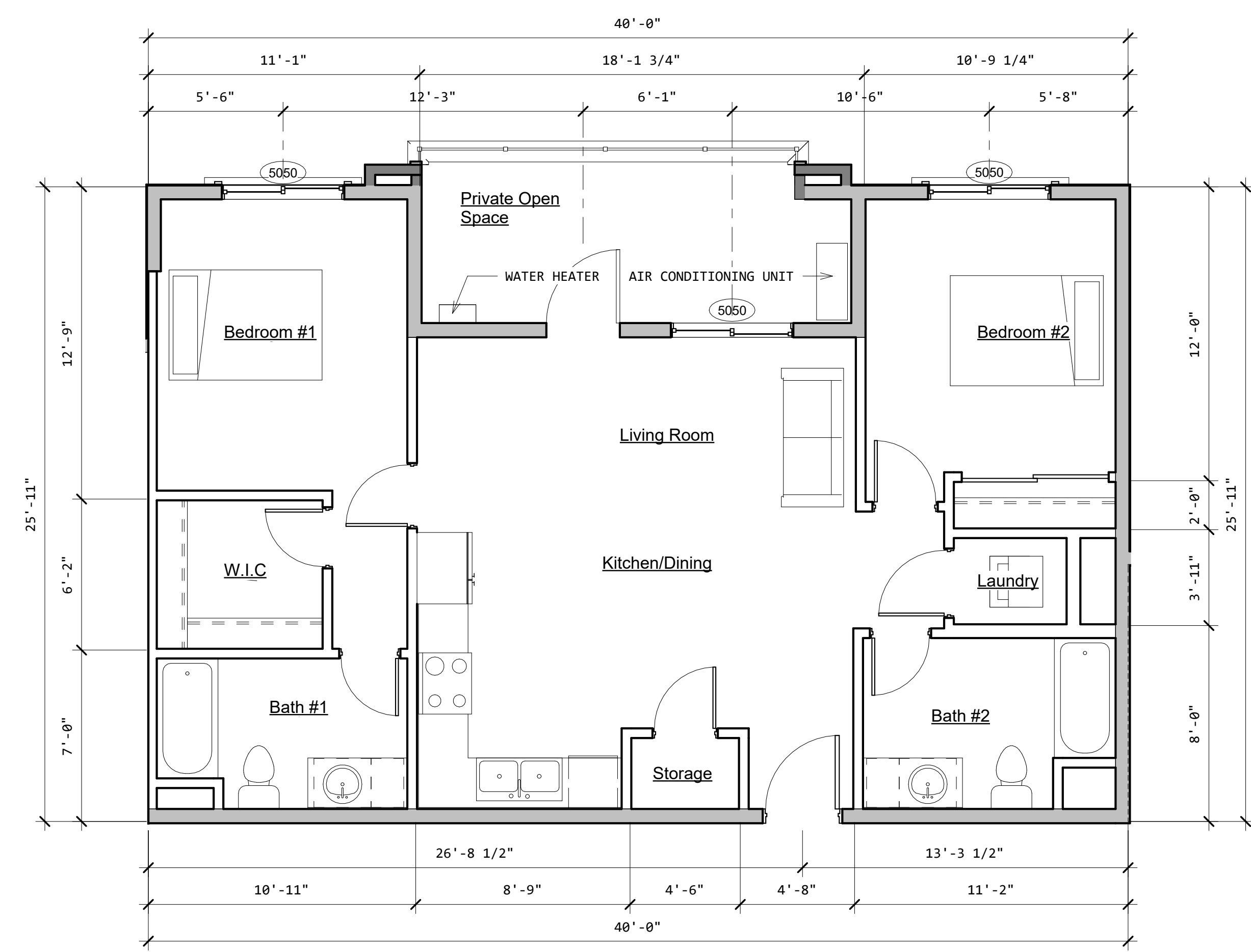


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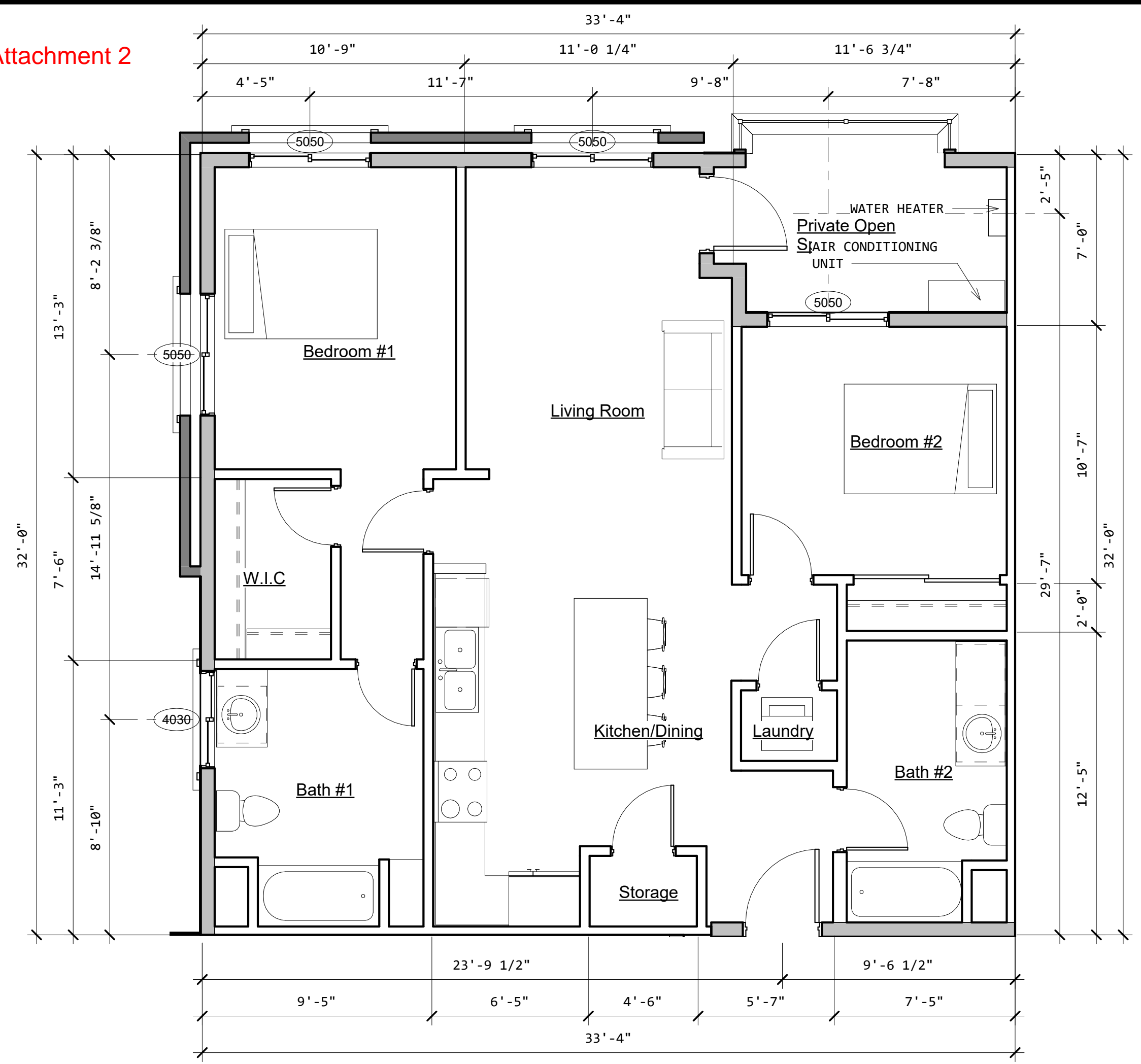
Site Facilities

PL1.1

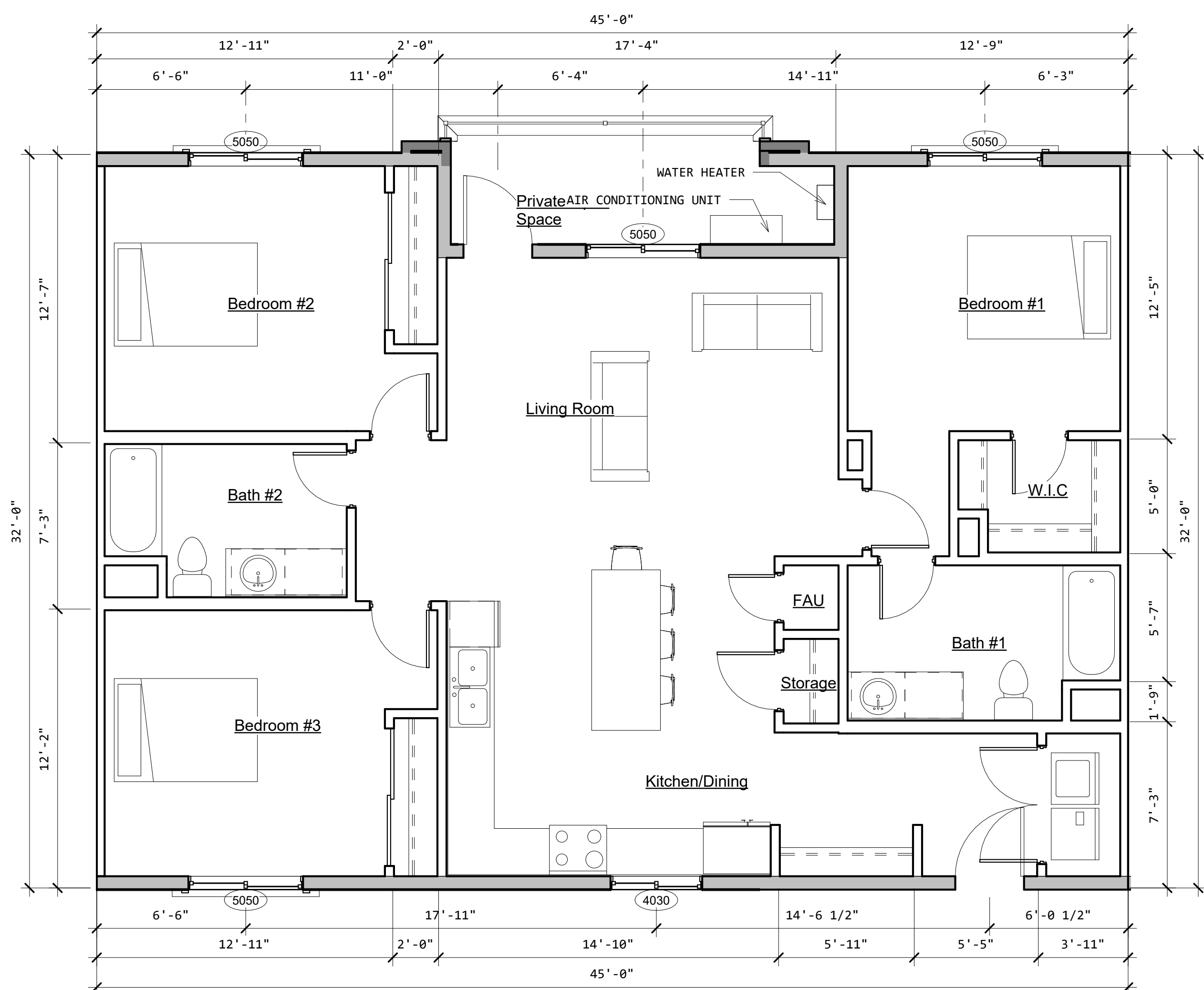
Attachment 2



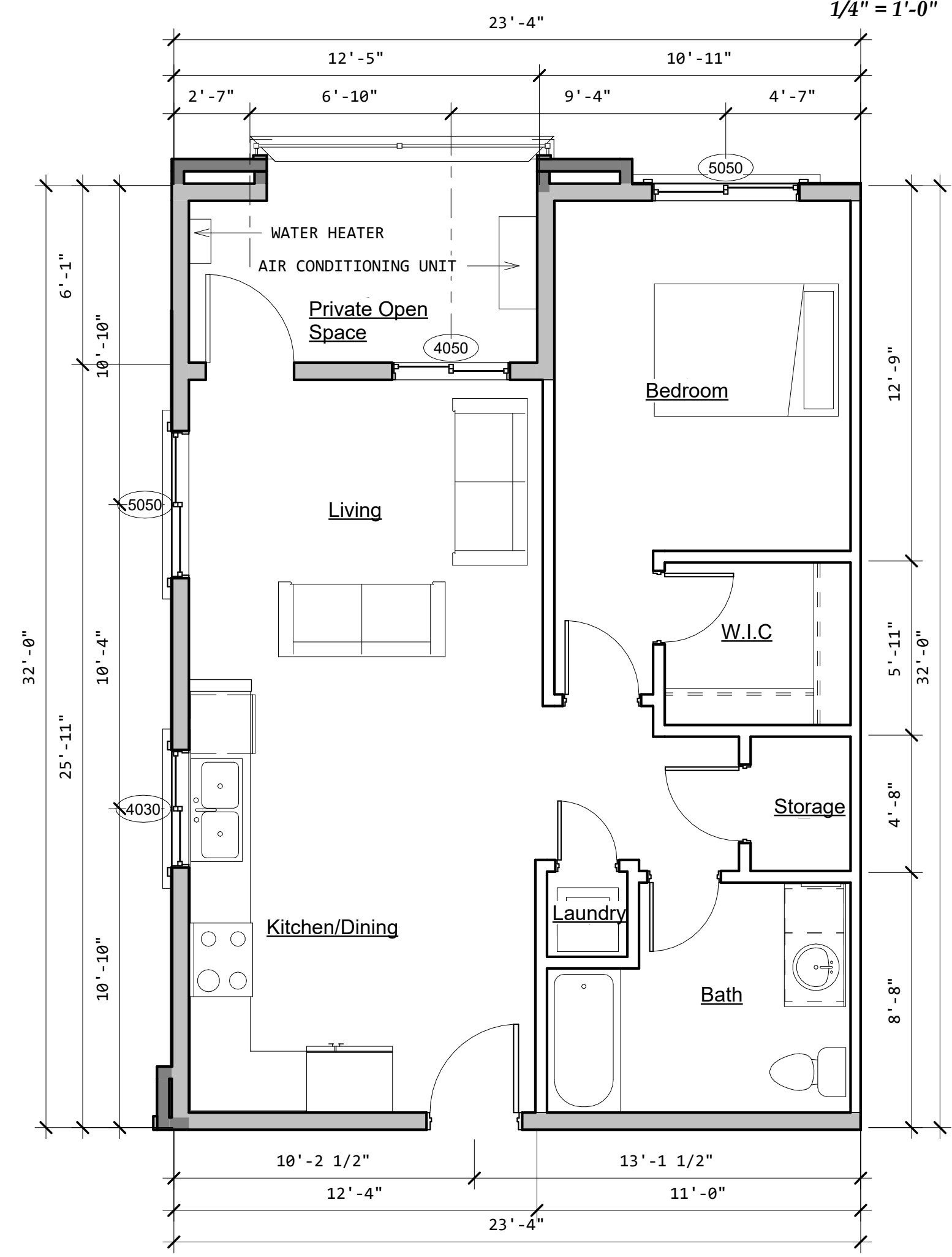
Floor Plan - Typ Unit C
1/4" = 1'-0"



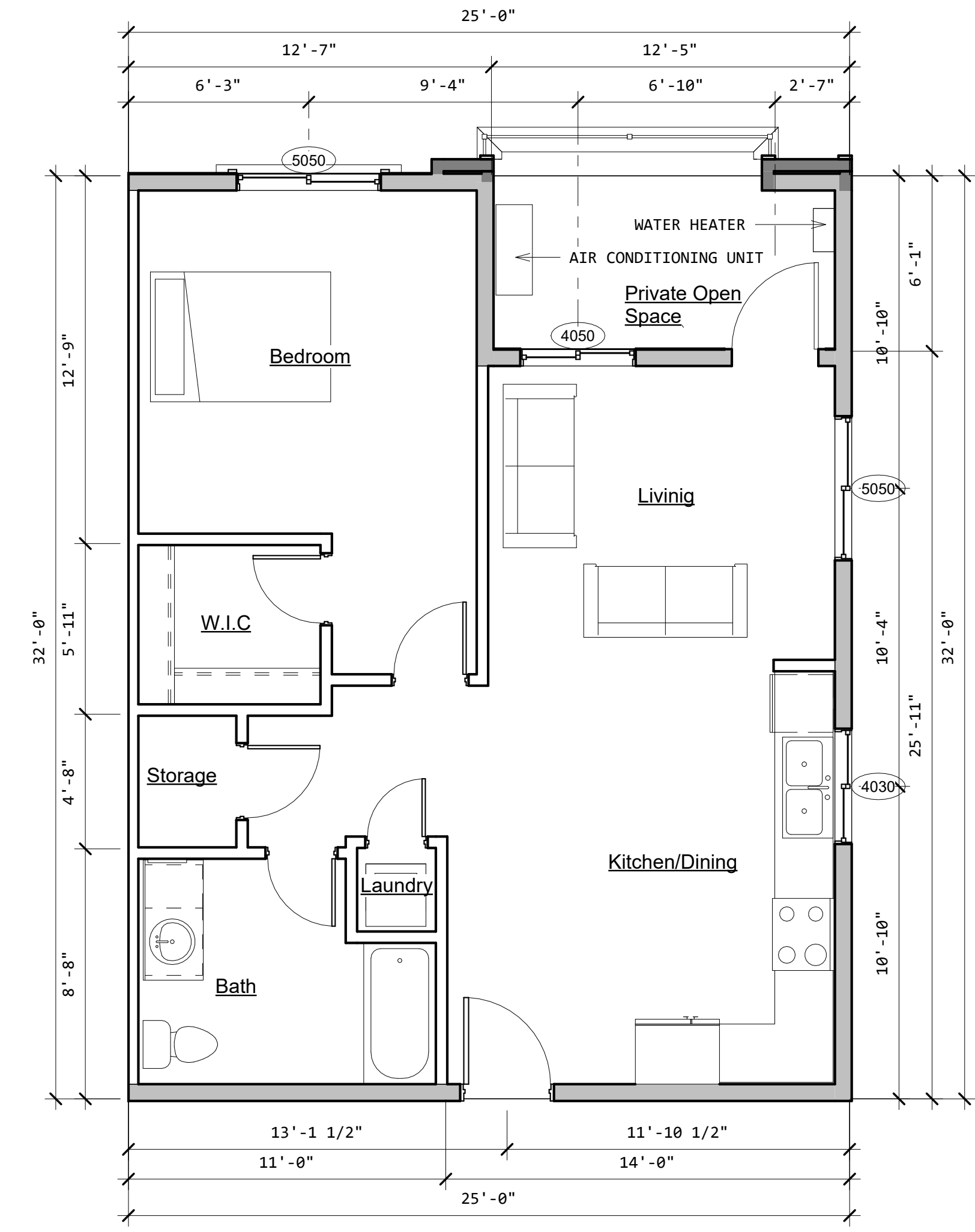
Floor Plan - Typ Unit B
1/4" = 1'-0"



Floor Plan - Typ Unit D
1/4" = 1'-0"

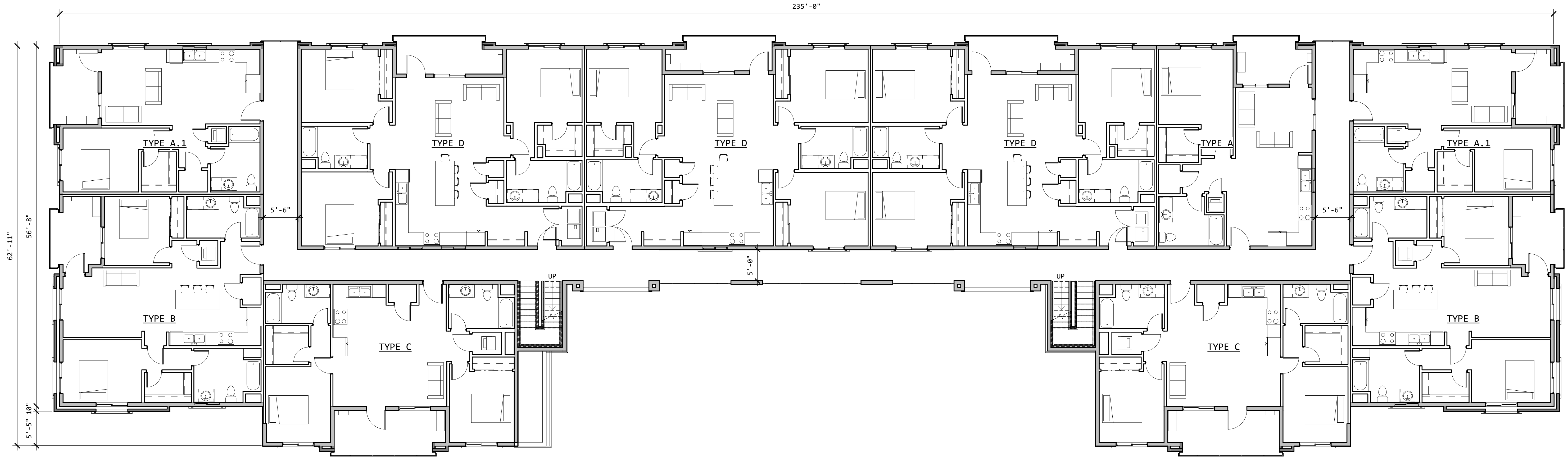


Floor Plan - Typ Unit A.1
1/4" = 1'-0"

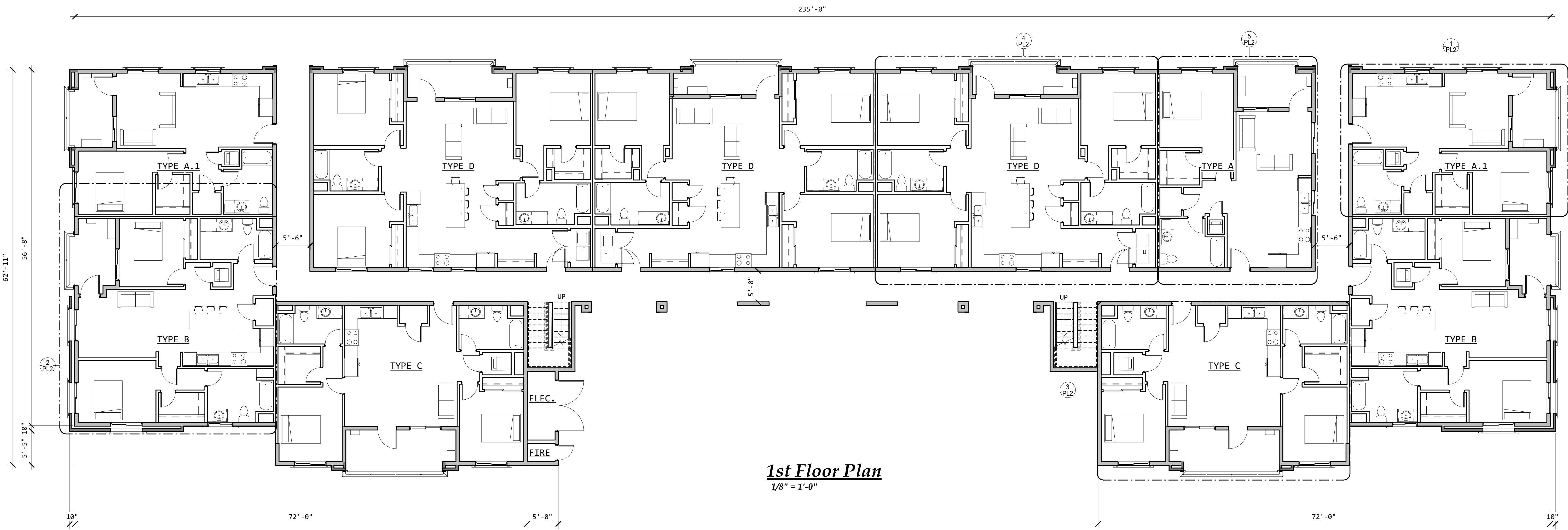


Floor Plan - Typ Unit A
1/4" = 1'-0"

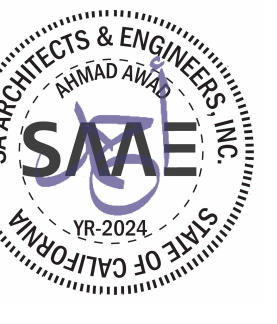
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2nd Floor Plan
1/8" = 1'-0"



1st Floor Plan
1/8" = 1'-0"



25-0047

Proposed 48 Units + 12 ADU

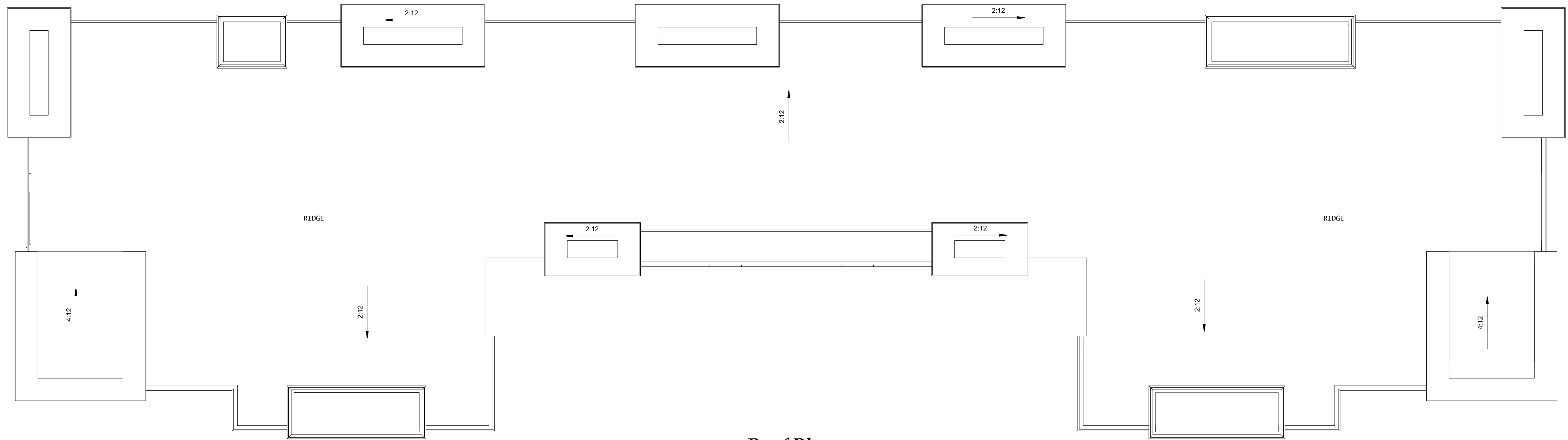
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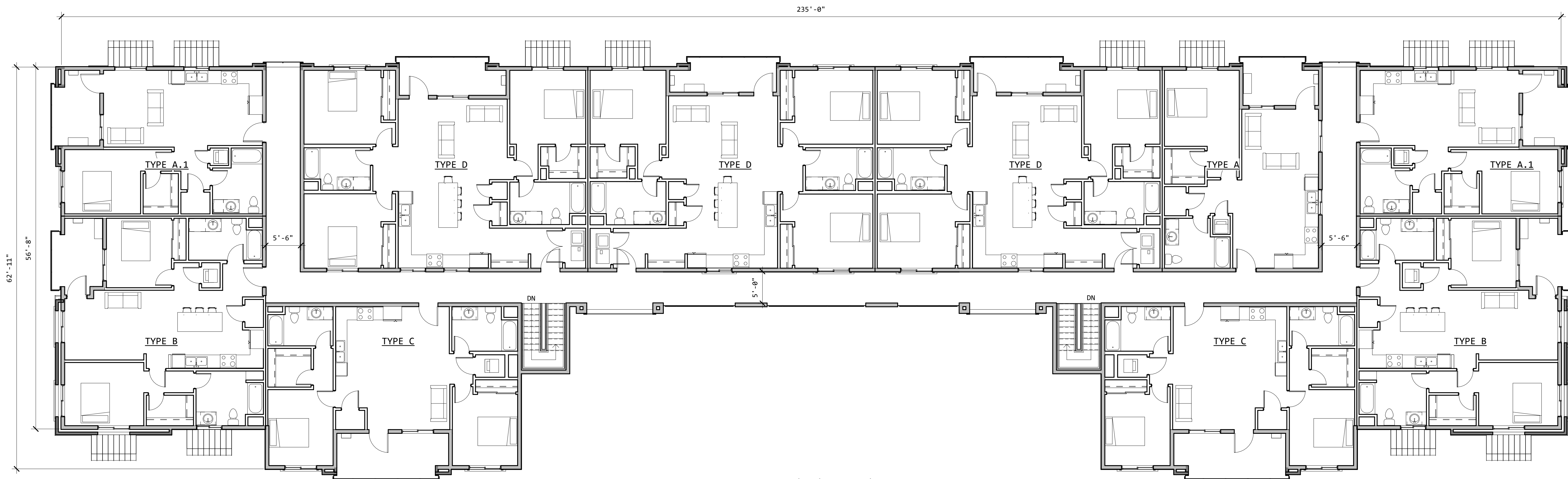
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Bldg. 1 & 2 Floor plans

PL3



Roof Plan
1/8" = 1'-0"



3rd Floor Plan
1/8" = 1'-0"



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Bldg. 3 & Roof Floor plans

PL3.1



25-0047

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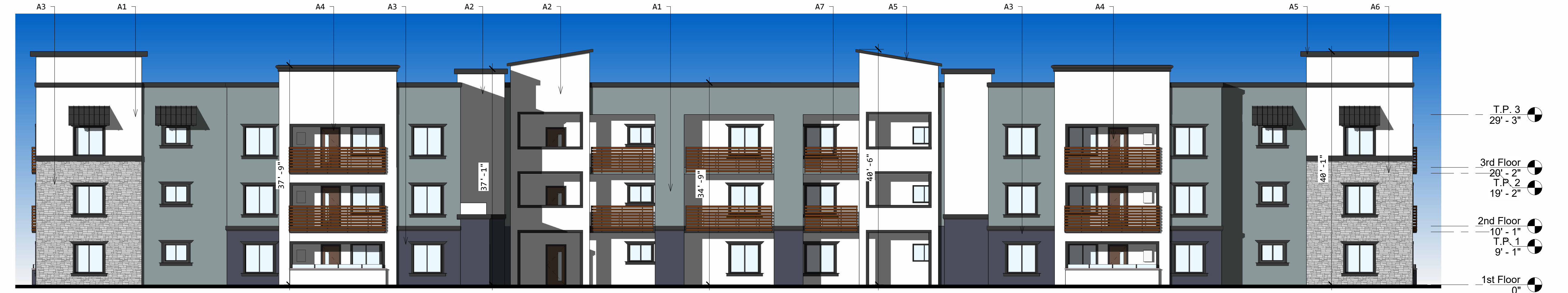
Elevations

PL4

Attachment 2



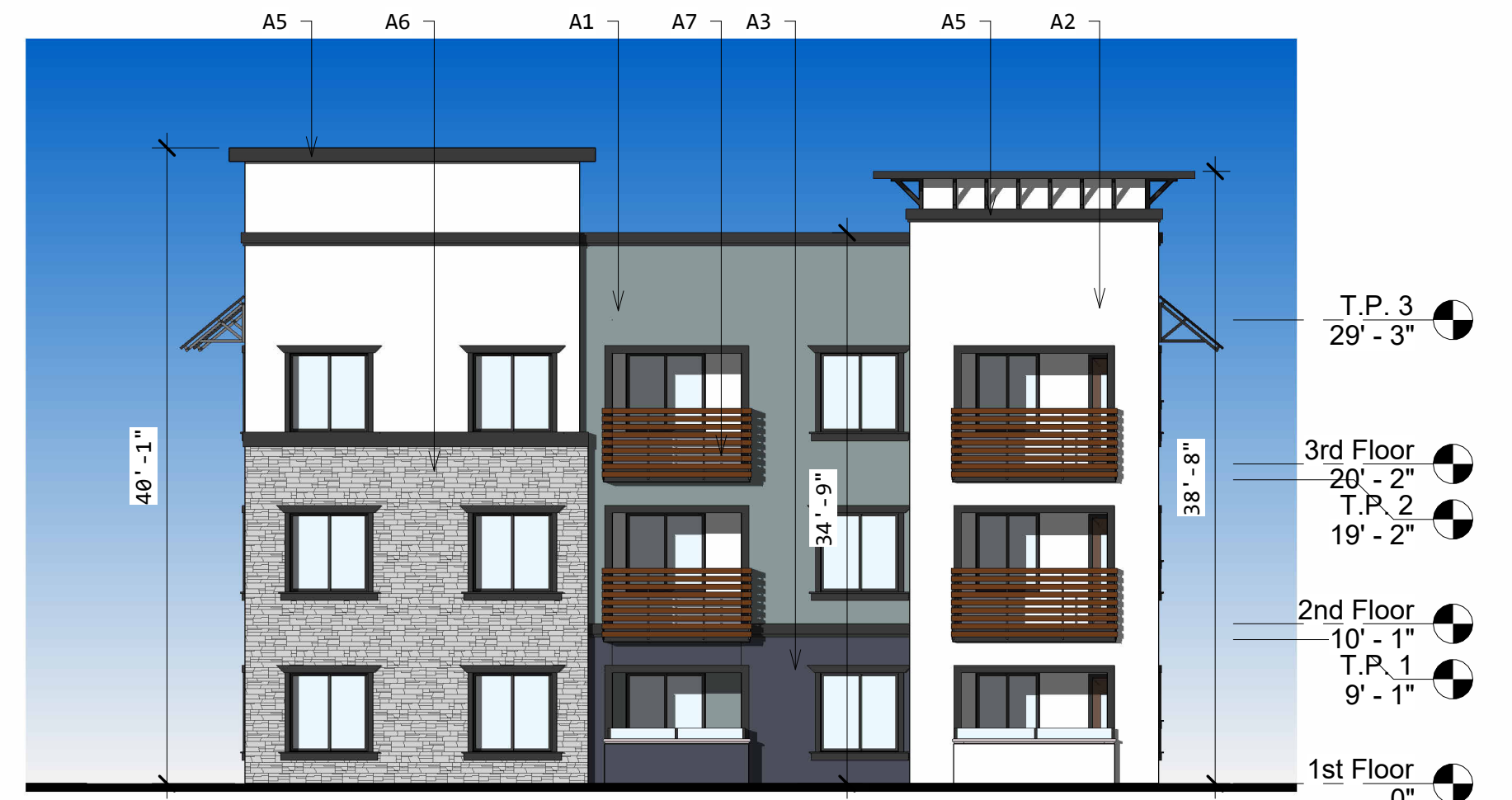
North Elevation
 1" = 10'-0"



South Elevation
 1" = 10'-0"



West Elevation
 1" = 10'-0"



East Elevation
 1" = 10'-0"



Material Legend

Mark	Material	Manufacturer	Material Color	Product #
A1	MAIN COLOR	DUNN EDWARDS	"COLD AND RAINY"	DESS36
A2	ACCENT ONE COLOR	DUNN EDWARDS	"WARM WHITE"	DEW380
A3	ACCENT TWO COLOR	DUNN EDWARDS	"BLACK PEARL"	DEA186
A4	ENTRY	DUNN EDWARDS	"DEEP BROWN"	DE6077
A5	TRIM, AWNING	DUNN EDWARDS	"BLACK"	DEA002
A6	STONE VENEER	ELORADO STONE	"SIDEWALK"	EUROPEAN LEDGE
A7	ALUMINUM RAILING (WOOD FINISH)	GEOLAM	"ROSEWOOD"	SOLEO 6036

NOTE
 ALL MECHANICAL EQUIPMENT WILL BE SHIELDED FROM THE PUBLIC VIEW

Plant Legend

SYMBOL	BOTANICAL / COMMON NAME	CONTAINER	WATER USE	HEIGHT	WIDTH
	LAGERSTROEMIA INDICA X FAURIEI 'ZUNI' ZUNI CRAPE MYRTLE EDISON FRIENDLY	24" BOX LOW BRANCHING	MOD.	9'-12'	
	MAGNOLIA GRANDIFLORA 'LITTLE GEM' LITTLE GEM DWARF SOUTHERN MAGNOLIA	36" BOX STANDARD	MOD.	20'-25' 10'-15'	
	BUXUS MICROPHYLLA BOXWOOD	1 GALLON 2'-4'	MOD.	3'-4'	
	LANTANA X 'MONI' CONFETTI SPREADING LANTANA	1 GALLON LOW	LOW	2'-3' 6'-8'	
LOW GROWING SHRUBS AND GROUNDCOVERS					
	CARISSA MACROCARPA 'TOMLINSON' TOMLINSON NATAL PLUM	5 GALLON 3'	MOD.	2'-3'	
	ROSA X 'NOALESA' FLOWER CARPET RED ROSE	1 GALLON 1 GALLON	MOD.	2'-3' MOD. 2'-3'	

NOTE: ALL PLANTERS TO RECEIVE 3" LAYER SHREDDED BARK MULCH, EXCEPT WHERE OTHERWISE SHOWN

PLANTING QUANTITY REQUIREMENTS

FINAL PLANTING PLAN TO REFLECT FOLLOWING QUANTITIES:

REQUIRED TREES: (1) TREE / 300 SF, MIN. 24" BOX AND 20% TO BE 36" BOX
REQUIRED SHRUBS: (3) SHRUBS / PER TREE, 50% TO BE 5-GALLON AND 50% TO BE 1-GALLON

NET LOT SIZE: 57,994 SQ. FT. (100%)

HARDSCAPE AREA: 46,244 SQ. FT. (79.7%)
TOTAL LANDSCAPE AREA: 11,750 SQ. FT. (20.3%)
(% AND SQ. FT. FOR ENTIRE SITE)

REQUIRED TREE QUANTITY: 40 TREES REQUIRED
PROVIDED TREE QUANTITY: 50 TREES PROVIDED
NUMBER OF 24" BOX: 35 TREES 24" BOX
NUMBER OF 36" BOX: 15 TREES 36" BOX (20% MIN.)

REQUIRED SHRUB QUANTITY: 120 SHRUBS REQUIRED
PROVIDED SHRUB QUANTITY: 150 SHRUBS PROVIDED
NUMBER OF 1-GALLON: 75 SHRUBS 1-GALLON (50% MIN.)
NUMBER OF 5-GALLON: 75 SHRUBS 5-GALLON (50% MIN.)

NOTE:
WITHIN ALL RESIDENTIAL ZONES, NO STRUCTURE, ACCESSORY STRUCTURE, FEATURE, WALL, FENCE, OR LANDSCAPING FEATURE TREES SHALL BE LOCATED WITHIN THE DRIVEWAY CORNER CUT-OFF AREA WHICH SHALL BE A SAFETY AREA, AND SHALL HAVE A CLEAR LINE OF SIGHT FOR A MOTORISTS AND/OR PEDESTRIAN CLEAR OF ANY VISUAL OBSTRUCTIONS MEASURING OVER 30 INCHES FROM THE STREET LEVEL.

PRELIMINARY WATER USE CALCULATIONS

Reference Eto 55.6 Conservation Factor 0.55 (residential)

Maximum Allowable Water Allocation Equation:
MAWA = (Eto) [0.62] [(ETAF x LA) + ((1-ETAF)xSLA)]

Eto	0.62	ETAF	LA	1-ETAF	SLA	MAWA
55.6	0.62	0.55		0.45	0	

Estimated Total Water Use Equation:
ETWU = Eto x 0.62 x ETAF x LA

ETWU

HYDROZONE MATRIX

ZONE	HYDROZONE BASIS	S.F.	%TOTAL	PLANT TYPE	PLANT FACTOR	IRRIGATION EFFICIENCY	Eto	0.62	ETAF	LA	ETWU	IRRIGATION METHOD
	LOW/MOD SHRUBS		99%	LOW/MOD	0.40	0.81	55.60	0.62	0.49			Dripline
	MOD TREES		1%	MOD	0.40	0.81	55.60	0.62	0.49			Dripline
TOTAL LANDSCAPE AREA:												ETWU:

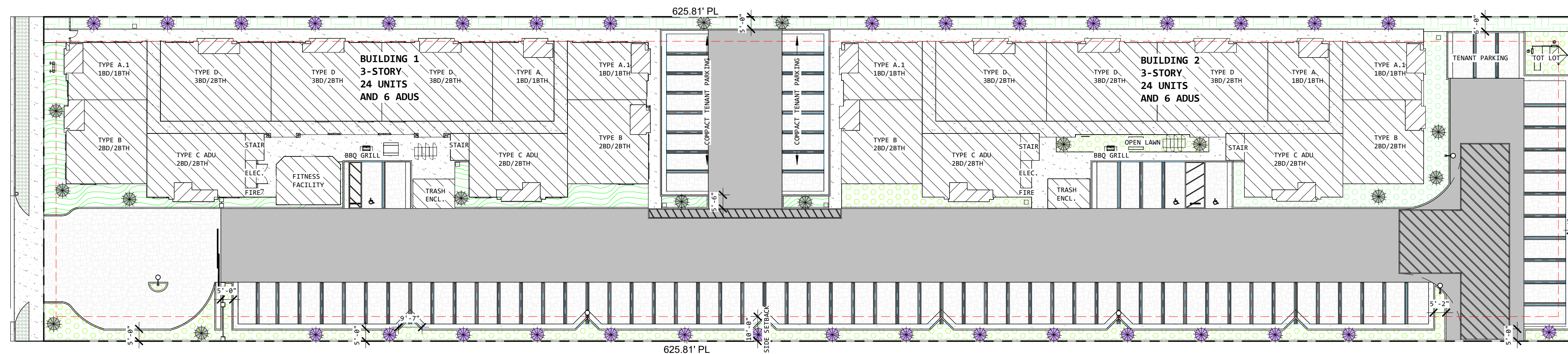
LANDSCAPE TO BE INSTALLED WITH LOW-VOLUME IRRIGATION AND AUTOMATIC WEATHER-SENSING IRRIGATION CONTROLLER

Volume Unit Conversions

Units	Equivalent				
	Liters (L)	Gallons (gal)	Cubic Feet (ft ³)	Cubic Meters (m ³)	Acre-Feet (ac-ft)
Liters	1	0.2642	3.531 x 10 ⁻²	0.0001	8.106x10 ⁻⁷
Gallons	3.785	1	0.1337	3.785 x 10 ⁻³	3.068x10 ⁻⁶
Cubic Feet	28.32	7.481	1	2.832 x 10 ⁻³	2.296x10 ⁻⁶
Cubic Meters	1,000	264.2	35.31	1	8.106x10 ⁻⁴
Acre-Feet	1.233 x 10 ⁶	3.259 x 10 ⁵	4.356 x 10 ⁴	1.233	1

Flow Rate/Discharge Unit Conversions

Units	Equivalent				
	Gallons per Minute (gpm)	Liters per Second (L/s)	Acre-Feet per Day (ac-ft/day)	Cubic Feet per Second (ft ³ /s)	Cubic Meters per Day (m ³ /day)
Gallons per Minute	1	6.309 x 10 ⁻²	4.419 x 10 ⁻³	2.228 x 10 ⁻³	5.45
Liters per Second	15.85	1	7.005 x 10 ⁻²	3.351 x 10 ⁻²	86.4
Acre-Feet per Day	226.3	14.28	1	0.5042	1,234
Cubic Feet per Second	448.8	28.32	1.983	1	2.447
Cubic Meters per Day	1.369 x 10 ⁶	8.64 x 10 ⁷	6.051 x 10 ⁶	3.051 x 10 ⁶	1



Site Plan
1" = 30'-0"

25-0047



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Preliminary Landscaping Plan

PL5

25-0047



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Preliminary Lighting Plan

PL6

01 WARELIGHT INDUSTRIAL AND COMMERCIAL LIGHTING MFR SINCE 2003



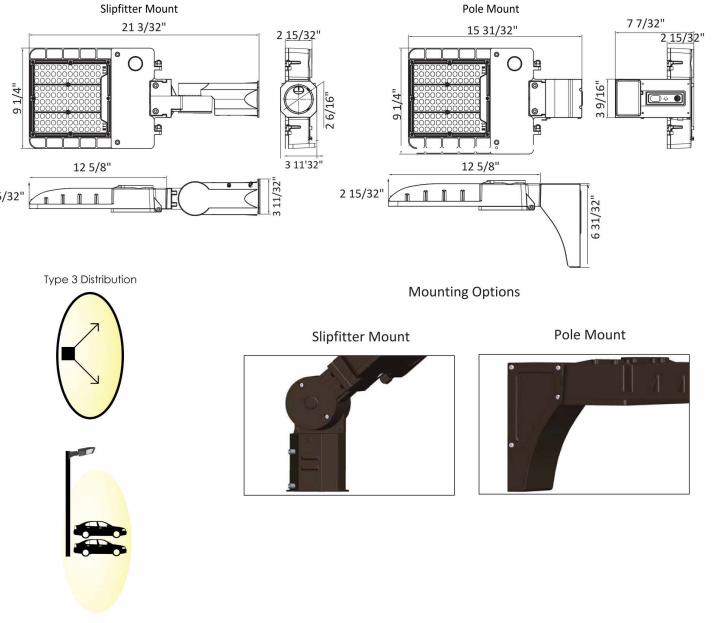
PROJECT NAME: _____
CATALOG NUMBER: _____
NOTES: _____
FEATURE SCHEDULE: _____

The Warelight Small Area Light features a rugged one-piece, die-cast aluminum housing that secures the thermally conductive LED panel and electrical chamber. The housing is low profile and completely sealed against moisture and the environment.

Features:

- Voltage: 120-277V
- Lumens:
 - 40W = 5500
 - 70W = 9000
 - 100W = 13500
- CRI: 92
- CCT: 5000K
- Life: 100,000 hours
- Distribution Type:
 - 8-Inch Square Pole Mount
 - 8-Inch Square Pole Mount
- Listings: cULus, Wet Location Listed
- 5 year warranty

01 WARELIGHT INDUSTRIAL AND COMMERCIAL LIGHTING MFR SINCE 2003



SKU	Dimensions	Weight	Lumens
WL-SAL-40W-SK-T3-B-DMV	DMV - 8.5" x 8.5"	7.57 lb	5500
WL-SAL-70W-SK-T3-B-DMV	12.5" x 14.9 5/8" W x 2 1/2 1/2" H	7.88 lb	9000
WL-SAL-100W-SK-T3-B-DMV		8.23 lb	13500

Series	Output	CCT	Distribution Type	Finish	Mounting	Accessories (Optional)
WL-SAL-40W	40W	5000K	T3 - Type B Distribution	Black	8-Inch Square Pole Mount	8-Inch Square Pole Mount
WL-SAL-70W	70W	5000K	T3 - Type B Distribution	Black	8-Inch Square Pole Mount	8-Inch Square Pole Mount
WL-SAL-100W	100W	5000K	T3 - Type B Distribution	Black	8-Inch Square Pole Mount	8-Inch Square Pole Mount

Lighting Supplier Since 2003
Warehouse Lighting.com
2700 South 181st St
New Berlin, WI 53151
Phone: 888-454-4840
info@warehouse-lighting.com

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02 WARELIGHT INDUSTRIAL AND COMMERCIAL LIGHTING MFR SINCE 2003



PROJECT NAME: _____
CATALOG NUMBER: _____
NOTES: _____
FEATURE SCHEDULE: _____

Warelight LED Wall Pack

Features:

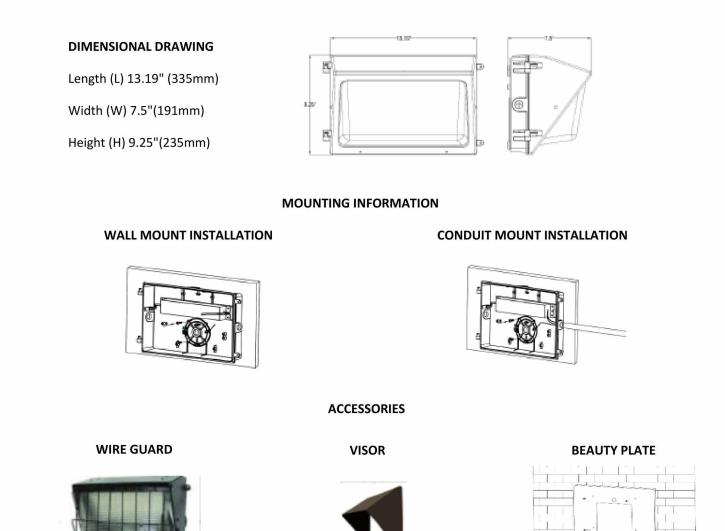
- Polycarbonate glass reflector, non-yellowing
- Die-cast aluminum body
- 0-50V dimming standard
- ETL, DLC Listed
- 6-1/8" x 12-1/2" brackets
- 120-277V
- 0-10V
- CCT: 3000K (3000, 4000 and 5000 available on factory special order)
- Life: 50,000 hours
- Warranty: 5 Years

Applications:

- Building facade
- Corporates
- Loading areas
- Entrances
- Parking areas

FIELD INSTALLED ACCESSORIES:

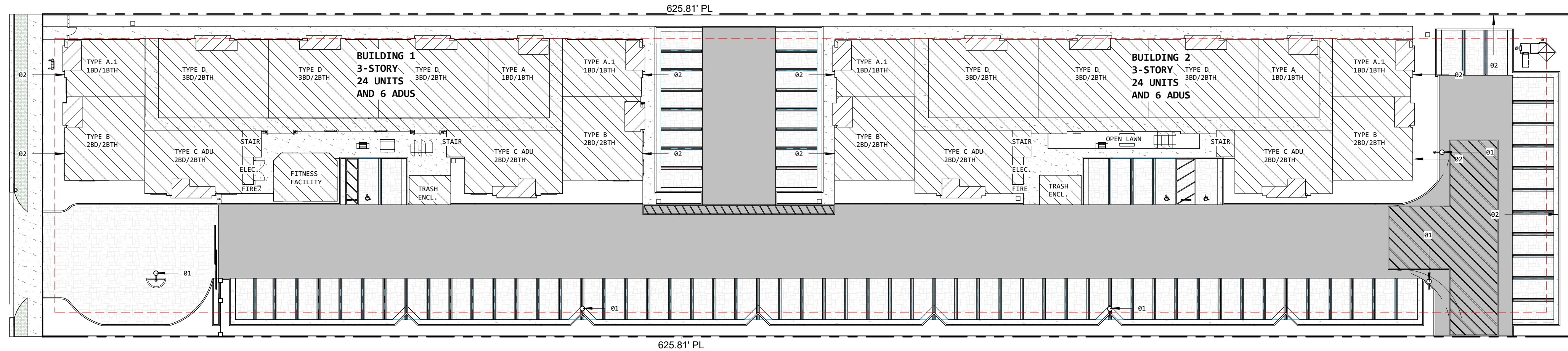
- Wire Guard
- Visor
- Beauty Plate
- Photo Cell



MODEL	WATTAGE	CCT	LUMENS	DLC	VOLTAGE	DIMMING	GENERATION
WL-WP-40W-40K-MV-100-02	40W	4000K	5700	PL1000000000	120-277V	0-10V	02
WL-WP-40W-50K-MV-100-02	40W	5000K	5960	PL1000000000	120-277V	0-10V	02
WL-WP-40W-40K-MV-100-02	40W	4000K	6030	PL1000000000	120-277V	0-10V	02
WL-WP-40W-50K-MV-100-02	40W	5000K	6090	PL1000000000	120-277V	0-10V	02
WL-WP-70W-50K-MV-100-02	70W	5000K	8910	PL1000000000	120-277V	0-10V	02
WL-WP-100W-50K-MV-100-02	100W	5000K	11670	PL1000000000	120-277V	0-10V	02
WL-WP-100W-50K-MV-100-02	100W	5000K	12480	PL1000000000	120-277V	0-10V	02

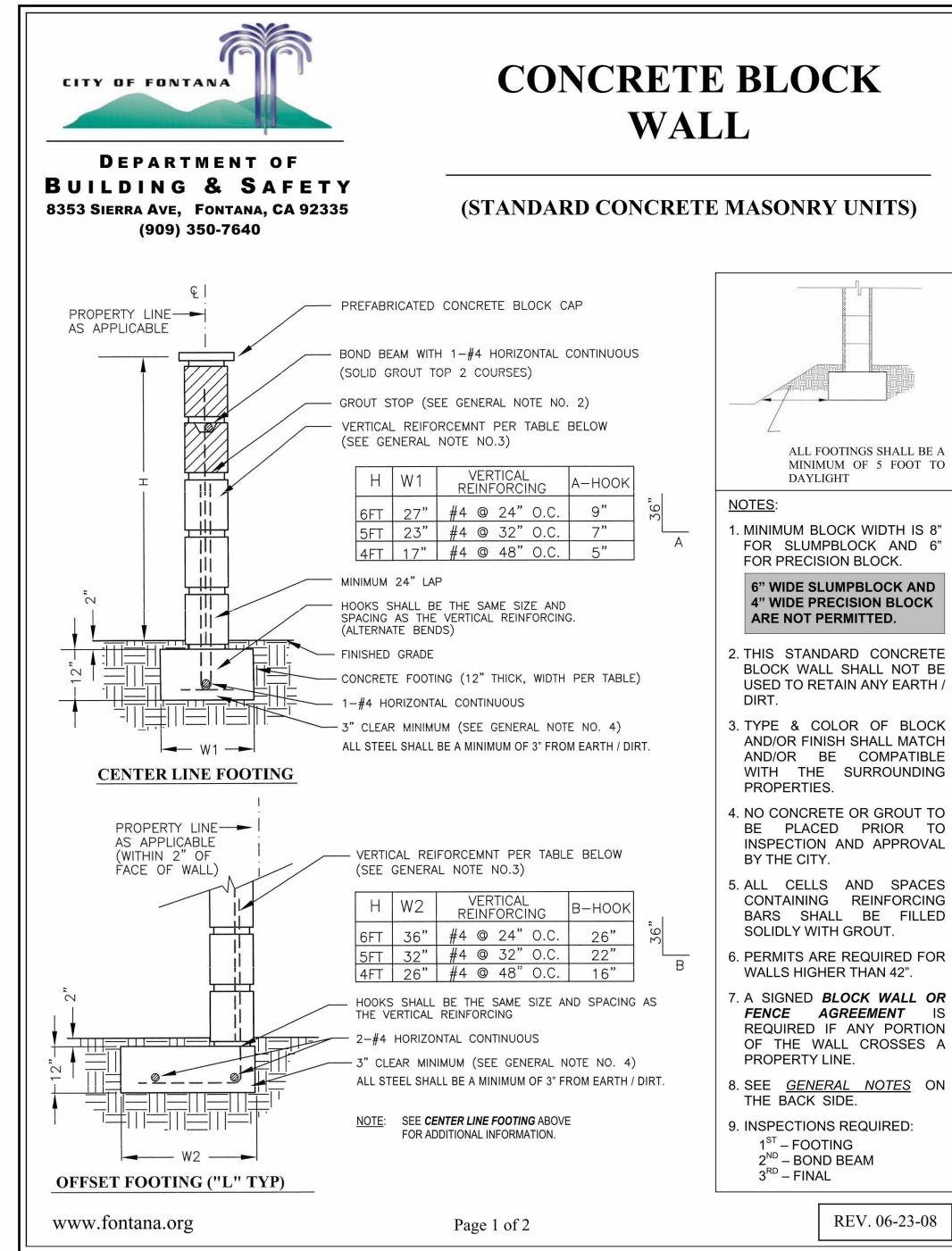
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Lighting Plan
1" = 30'-0"

NOTE: FOOT CANDLE LIGHTING SHALL BE INCORPORATED AT ALL ENTRANCES, EXITS, PEDESTRIAN PATHS, AND PARKING LOTS AS INDICATED ON PLAN AND PER CITY OF FONTANA STANDARDS.



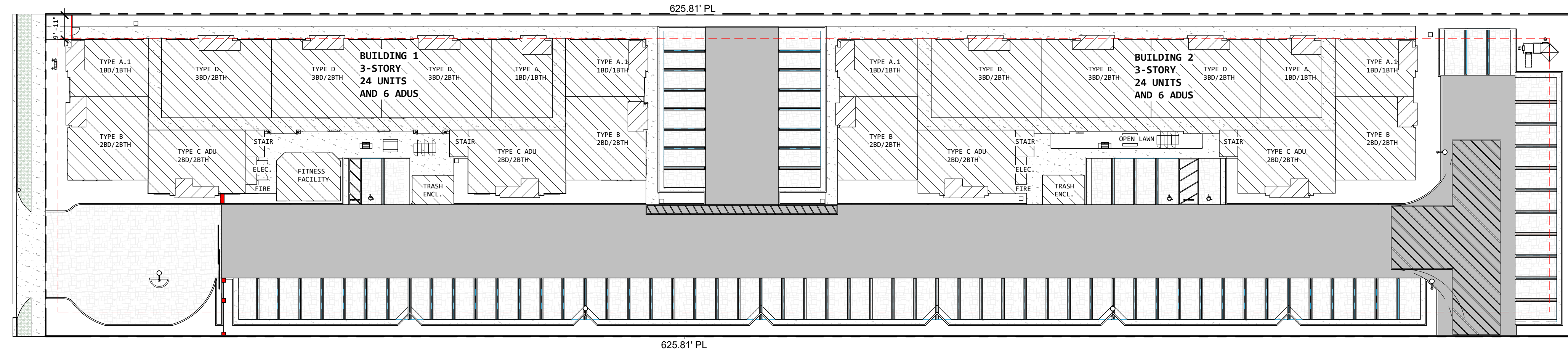
(STANDARD CONCRETE BLOCK WALL)

GENERAL NOTES:

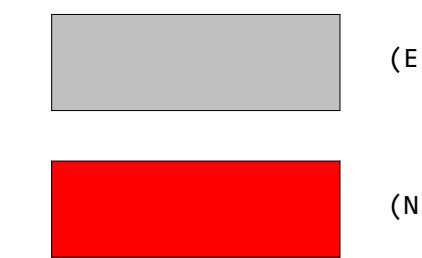
- 6" wide Slumpblock and 4" wide Precision Block are not permitted.
- Grout stop shall be completely omitted at all calls containing vertical reinforcement.
- Reinforcement shall be placed prior to inspection and grouting, with vertical reinforcement located in the center of the call. All reinforcement shall be free from loose rust and other coatings that would inhibit reinforcing bond, and shall be secured against displacement prior to the placement of concrete or grouting by wire positioners or other suitable devices at intervals not exceeding 200 bar diameters nor 10 feet. Reinforcing steel shall, as a minimum, be Grade 40.
- All reinforcing steel shall be a minimum of three (3) inches from earth/solid/it in order to provide a minimum of three (3) inches of concrete cover.
- Footings shall be level. If ground slopes, footing shall be stepped so that the top and bottom of the footing are level. All excavations shall be clean and contain no loose earth or other foreign materials. Concrete used in the footings shall, as a minimum, have a compressive strength of 2,500 psi at 28 days.
- All materials shall be stored in a manner such that deterioration or intrusion of foreign materials is prevented and that the material will be capable of meeting applicable requirements at the time of mixing or placement. Masonry materials shall be stored so that at the time of use the materials are clean and structurally suitable for the intended use. Concrete masonry units shall not be wetted unless otherwise approved.
- The method of measuring material for mortar and grout shall be such that proportions of the materials can be controlled. The mortar shall be sufficiently plastic and units shall be placed with sufficient pressure to extrude mortar from the joint and produce a tight joint. Mortar or grout which has hardened or stiffened due to hydration of the cement shall not be used, but under no case shall mortar be used two and one-half hours (2-1/2 Hrs), nor grout used one and one-half hours (1-1/2 Hrs), after the initial mixing water has been added to the dry ingredients at the job site.
- The initial bed joint thickness shall not be less than 1/4 inch nor more than 1 inch; subsequent bed joints shall be not less than 1/4 inch nor more than 5/8 inch in thickness. All head and bed joints shall be filled solidly with mortar for a distance in from the face of the unit not less than the thickness of the shell. (If required, head joints may be omitted in the first course for weep holes.)
- Surfaces to be in contact with mortar or grout shall be clean and free from deleterious materials.
- Prior to grouting, the grout space shall have vertical continuity and shall be clean so that all spaces to be filled with grout do not contain mortar projections greater than 1/2 inch, mortar droppings or other foreign material. All calls and spaces containing reinforcing bars shall be filled solidly with grout. Grout, as a minimum, shall have a compressive strength of 2,000 psi at 28 days.
- If any portion of the wall, including the footing, is to extend across a property line, written permission from the adjacent property owner is required. (Notarization of the signature of the adjacent property owner may be required.)
- Inspections Required:**
 - 1st - Footing
 - 2nd - Bond Beam
 - 3rd - Final

(No concrete or grout shall be placed prior to inspection and approval.)

Page 2 of 2

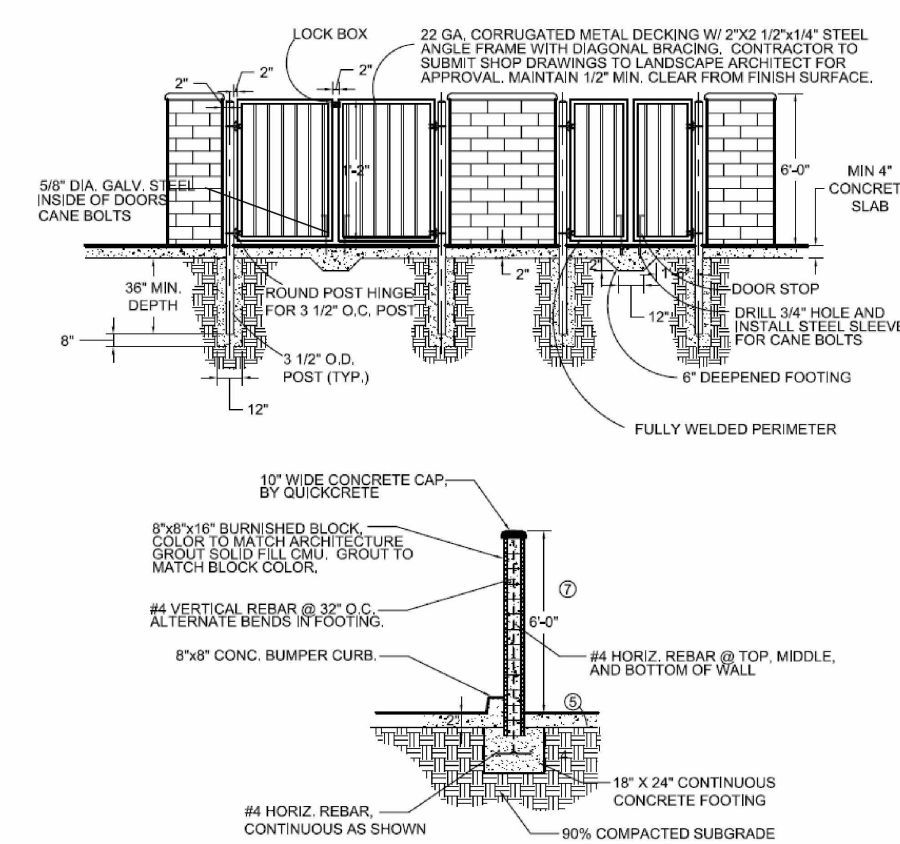


Wall & Fence Legend

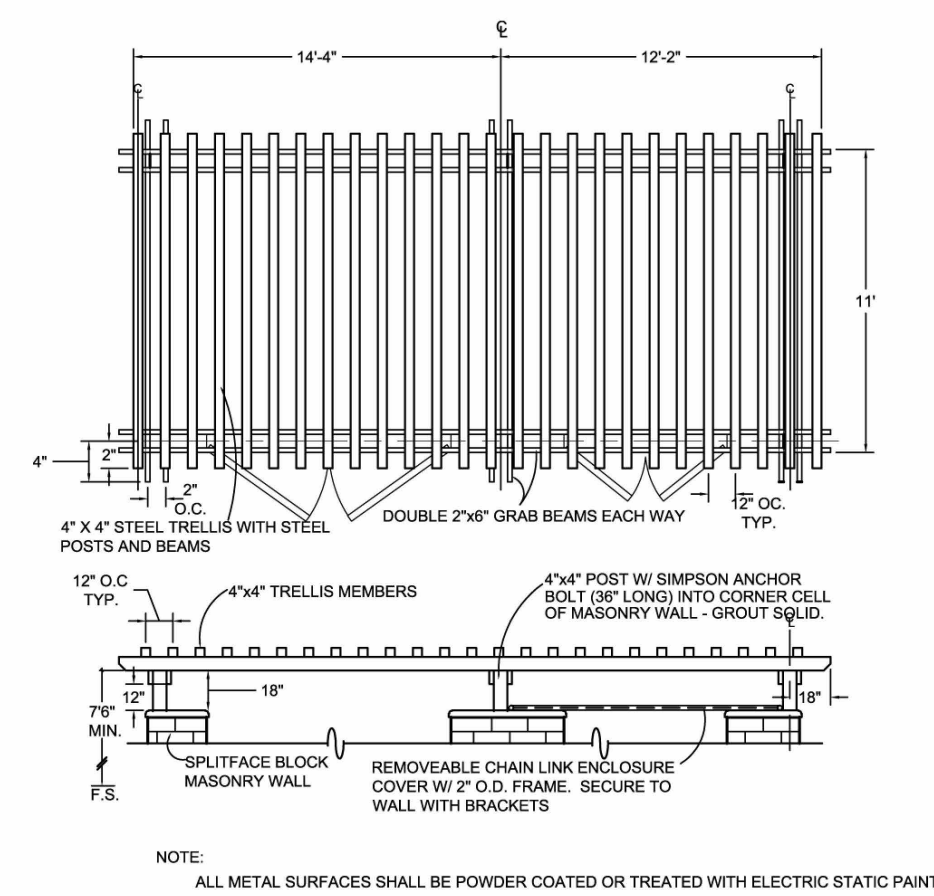


Wall & Fence Plan
1" = 30'-0"

TRASH ENCLOSURES CITY OF FONTANA



TRASH ENCLOSURES CONT



NOTE
WALL SHALL BE 6'-0" FROM FINISH FLOOR TO TOP OF WALL.

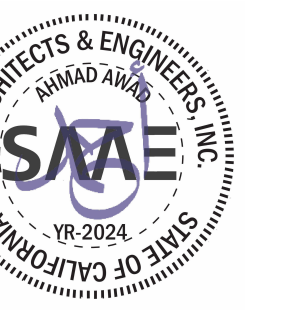
BLOCKWALL BREAKDOWN:

(E) 6' CMU SCREEN WALL: 1393 LF

*ALL CMU BLOCKS SHALL BE ANGELUS TAN (BROWN)



SA ARCHITECTS + ENGINEERS



25-0047

Proposed 48 Units + 12 ADU

For:
SA Golden Investments Inc.
7227 Oleander Ave.,
Fontana, CA 92336

15 Apr. 2026

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Wall & Fence Plan

PL7

GENERAL NOTES

- THE ELECTRICAL DRAWINGS, SPECIFICATIONS AND GENERAL NOTES DESCRIBE THE INTENDED SCOPE OF WORK AND THE DOCUMENTS SHALL BE USED FOR THE PURPOSE OF BIDDING, BUILDINGS DEPARTMENT REVIEW, AND TO SECURE THE NECESSARY CONSTRUCTION PERMIT ONLY. CONTRACTOR SHALL PROVIDE CONSTRUCTION DRAWINGS AND OBTAIN WRITTEN APPROVAL OF ALL INSPECTION AUTHORIZED GOVERNMENTAL AGENCIES AND UTILITY COMPANIES PRIOR TO START OF AFFECTED WORK. ELECTRICAL INSTALLATION SHALL COMPLY WITH NATIONAL ELECTRICAL CODE (LATEST VERSION) ADAPTED BY THE JURISDICTION AND ANY LOCAL SUPPLEMENT.
- CONTRACTOR SHALL PROVIDE CONSTRUCTION AND SHOP DRAWINGS BASED ON THESE DRAWINGS, SPECIFICATIONS AND ADDITIONAL DESIGN CRITERIAS FURNISHED BY OWNER AND SUBMIT TO ARCHITECT. CONTRACTOR SHALL SUBMIT ALL DEFERRED APPROVAL CONSTRUCTION DRAWINGS TO ALL GOVERNMENTAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION INCLUDING POLICE AND FIRE DEPARTMENT FOR THEIR REVIEW AND APPROVAL OF DRAWINGS FOR CONSTRUCTION.
- CONTRACTOR SHALL VISIT JOB SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND INSTALLATION WORK. CONTRACTOR'S BID SHALL NOT BE LIMITED TO THE WORK SHOWN ON THE PLANS AND SPECIFICATIONS. ALL PREMIUM OVERTIME COSTS, UTILITY CHARGES, COST FOR TEMPORARY UTILITY SERVICES, ALTERATION, DEMOLITION AND EXTENSION WORKS, PLANCHECK/INSPECTION FEES, MISCELLANEOUS CONTINGENCY COSTS, ETC., SHALL BE INCLUDED IN THE BID.(THE CONTINGENCY COST SHALL NOT BE LESS THAN 25% OF OVERALL ELECTRICAL BID. CONTRACTOR SHALL IDENTIFY THE CONTINGENCY AMOUNT IN THE BID DOCUMENT.)
- ALL EQUIPMENT SHOWN IS NEW, CONTRACTOR FURNISHED AND INSTALLED, UNLESS OTHERWISE NOTED. IF CONTRACTOR PROPOSED TO SUBSTITUTE FOR EQUIPMENT SPECIFIED, HE SHALL SUBMIT HIS REQUEST FOR CONSIDERATION TO THE OWNER AND ENGINEER PRIOR TO THE BID IN WRITING. ALL SUBSTITUTIONS MUST BE REVIEWED BY THE ENGINEER. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ANY CHANGE RESULTING FROM HIS PROPOSED SUBSTITUTIONS WHICH AFFECT OTHER PARTS OF HIS OWN WORK OR SUBSTITUTIONS WHICH AFFECT OTHER PARTS OF HIS OWN WORK OR THE WORK OF OTHER CONTRACTORS.
- THE ELECTRICAL DRAWINGS, CONDUIT RUNS, WRINGS AND ELECTRICAL INFORMATIONS ARE DIAGRAMMATIC ONLY. DO NOT SCALE THE ELECTRICAL DRAWINGS TO DETERMINE THE LOCATION OF EQUIPMENT OR OUTLETS. ALL RECEPTACLES AND OUTLETS MOUNTING HEIGHTS AND EXACT LOCATION SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS ELEVATIONS PRIOR TO ROUGH-IN WORK.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL LIGHTING FIXTURES, CEILING MOUNTED OUTLETS AND EQUIPMENTS. THE PORTIONS OF THE CEILING SYSTEMS MAY BE INACCESSIBLE. THEREFORE, THE CONTRACTOR SHALL STRATEGICALLY LOCATE ACCESS BOXES, ETC., WHICH SHALL BE READILY ACCESSIBLE. ALL LIGHTING FIXTURE WIRING, BALLASTS, J-BOXES, ETC. SHALL BE ACCESSIBLE FROM FIXTURE OPENING. PROVIDE AN ADDITIONAL JUNCTION BOX (SIZE AS REQUIRED) WHERE THE NUMBER OF CONDUCTORS EXCEEDS THE MAXIMUM ALLOWED FOR A GIVEN JUNCTION POINT OR OUTLET.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY TYPES OF CEILING SYSTEM AND TO FURNISH APPROVED LIGHTING FIXTURES OF THE TYPE REQUIRED FOR MOUNTING IN RELATED TO FURNISH APPROVED LIGHTING FIXTURES OF THE TYPE REQUIRED FOR MOUNTING IN RELATED CEILINGS. FIXTURES SHALL BE COMPLETED WITH NECESSARY MOUNTING HARDWARE AND ACCESSORIES. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE LABELED FOR USE IN SUCH LOCATIONS.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS, CEILINGS, FLOORS, ETC., TO MAINTAIN THE FIRE RATING. FURNISH AND INSTALL FIRE RATED ENCLOSURE FOR ALL EQUIPMENTS PENETRATING INTO FIRE RATED ENVELOPES, SPACES ETC. ALL RECESSED LIGHTING FIXTURES, PANELBOARDS, SWITCHES, ETC., MOUNTED IN FIRE RATED STRUCTURES SHALL BE ENCLOSED WITH AN APPROVED ENCLOSURE CARRYING THE SAME FIRE RATING AS THE STRUCTURE.
- NOT USED.
- ALL FINAL CONNECTIONS TO OWNER FURNISHED EQUIPMENT SHALL BE MADE BY THE CONTRACTOR UNLESS OTHERWISE NOTED. VERIFY ELECTRICAL CHARACTERISTICS AND U.L. LISTING PRIOR TO CONNECTION. THE CONTRACTOR SHALL VERIFY THE LOAD INPUT VOLTAGE OF ALL EQUIPMENT PRIOR TO INSTALLATION. ACCEPTING ANY EQUIPMENT RESULT IN LOAD INCREASE SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- ELECTRICAL OUTLETS ON OPPOSITE SIDES OF FIRE RATED WALLS AND PARTITIONS MUST BE SEPARATED BY DISTANCE OF 24 IN. HORIZONTALLY, IN ACCORDANCE WITH I.B.C. SEC. 711.3.2. OPENINGS IN FIRE RATED WALLS GREATER THAN 16 SQ. IN. MUST BE FIRE STOPPED.
- ALL CONDUCTORS AND CURRENT CARRYING DEVICES SHALL BE COPPER DUAL RATED THHN/THWN 600 VOLT 75' MINIMUM INSULATION UNLESS OTHERWISE NOTED. USE PROPER TEMPERATURE RATING OF CONDUCTORS BASED ON THE AMBIENT AIR OR SOIL TEMPERATURE WHERE CONDUCTORS ARE BEING USED. HIGHER AMPACITY CONDUCTOR AND LARGER RACEWAY SHALL BE PROVIDED TO OFFSET THE AMPACITY CORRECTION FACTORS AS INDICATED IN NEC TABLE 310 AND ELSEWHERE IN CODE. ALL BUSSING SHALL BE COPPER. NMC CABLE MAY BE USED WITHIN THE DWELLING TYPE OCCUPANCY PER NEC 334.10 IF APPROVED BY AHJ.
- DO ALL DRILLING, CUTTING, CHANNELING AS REQUIRE TO ELECTRICAL WORK AND INDICATED OR HEREIN SPECIFIED. ALL HOLES, CURBS, ETC., IN FLOORS, CEILINGS AND WALLS SHALL BE PATCHED, UNLESS INDICATED OTHERWISE. PAINT ALL EXPOSED ELECTRICAL RACEWAYS, CABINETS, ENCLOSURES AND FITTING TO MATCH IN COLOR ADJACENT SURFACES IN FINISHED AREAS.
- EMERGENCY LIGHTINGS AND EXIT SIGNS SHALL BE PROVIDED PER C.B.C. 2010 AND SHALL BE DESIGN TO PROVIDE MINIMUM REQUIRE FOOTCANDLES AND LUMENS. PROVIDE ADDITIONAL EMERGENCY ILLUMINATION AS REQUIRED BY INSPECTION AUTHORITIES HAVING JURISDICTIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE BRACED OR ANCHORED TO RESIST A HORIZONTAL FORCE ACTING IN ANY DIRECTION USING THE SMAGNA AND PPIQ CRITERIA. [INCLUDE OSHPD NOTES FOR HEALTH CARE FACILITY]
- BRANCH CONTROL CIRCUITING AND WIRE COUNT MAY NOT BE INDICATED ON THESE PLANS. CONTRACTOR IS RESPONSIBLE TO COMPLETE THE BRANCH CIRCUIT WIRING IN ACCORDANCE WITH PLAN NOTES AND AS PERMITTED BY AUTHORITY. CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS AS A PART OF RECORD DRAWING SUBMITTAL TO ARCHITECT AND AUTHORITY HAVING JURISDICTION (AHJ).
- ALL EXISTING UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THESE DRAWINGS ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK ON THE UTILITIES OR STRUCTURE.
- COORDINATE ALL PHASES OF CONSTRUCTION AND OBTAIN APPROVAL OF WORK SCHEDULE, SHUTDOWN, CUTOVER, OVERTIME WORK, ETC. WITH BUILDING ENGINEER OR OWNER. PROVIDE ALL TEMPORARY SERVICE, STANDBY GENERATOR, 24 HOURS FIRE WATCH, ETC. AS REQUIRED TO MAINTAIN UNINTERRUPTED FACILITY OPERATION DURING CONSTRUCTION WORK.
- THE CONTRACTOR AGREE THAT, IN ACCORDANCE WITH GENERALLY CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AT ALL TIME. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

SYMBOLS AND NOTES

SYMBOLS	DESCRIPTION
EM	EMERGENCY LIGHT WITH 90 MINUTE BATTERY PACK UP OR UNIT MOUNTED EMERGENCY INVERTER.
○	LIGHTING FIXTURE OUTLET J-BOX ABOVE EACH FIXTURE ON STRUCTURE PROVIDE 6' OF 90' FIXTURE WIRES FROM J-BOX TO EACH FIXTURE.
⊗	SELF CONTAINED EXIT SIGN WITH 90 MINUTES BATTERY BACKUP, PROVIDE LOW LEVEL EXIT SIGN AS REQUIRED BY FIRE DEPARTMENT OR U.B.C.
A NOTES:	1. FIXTURE TYPE TO BE SELECTED BY ARCHITECT AND OWNER'S APPROVED. 2. FIXTURE SHALL HAVE MINIMUM 60 LUMENS/WATT EFFICIENCY REQUIRED BY CALIFORNIA ENERGY COMMISSION (C.E.C.) 3. BALLAST AND LAMP SHALL BE ENERGY SAVING TYPE CERTIFIED BY CALIFORNIA ENERGY COMMISSION (C.E.C.)
\$	SINGLE POLE TOGGLE SWITCH 20 AMP, 120 V
\$3	THREE WAY SWITCH 20 AMP, 120 V
\$4	FOUR WAY SWITCH 20 AMP, 120 V
\$M	MOTOR SWITCH H.P. RATED
⊕	CONTINUOUS DIMMING SWITCH, 20 AMP, U.O.N.
⊖	GARAGE GATE SWITCH
◇	MOUNTING HEIGHTS ARE: 15" TO 48" FOR FORWARD REACH OR 9" TO 54" FOR SIDE REACH, AFF. HEIGHT FOR ADA BETWEEN 36"-48" AFF AS REQUIRED.
⊕	SIMPLEX RECEPTACLE, 208V, 1ø, 20A (OR AS NOTED). VERIFY EXACT NEMA CONFIGURATION PER EQUIPMENT
⊕	DUPLEX RECEPTACLE 20A,115V +18" AFF. GROUNDING TYPE.
⊕	GFCI CONVENIENCE OUTLET, 20A/115V, +18" AFF OR AS NOTED.
⊕	1/2HOT / 1/2 SWITCHED RECEPTACLE WITH JUMPER REMOVED
⊕	DOUBLE DUPLEX RECEPTACLE 20 AMP GROUNDING TYPE
⊕	CEILING MOUNTED DUPLEX RECEPTACLE, SAME AS ABOVE
⊕	CEILING MOUNTED DEVICES FOR CASH POODS AND PRODUCT ISLAND. REFER TO ARCHITECTURAL FOR EXACT LOCATION
⊕	FLOOR TYPE DUPLEX RECEPTACLE 20A GROUNDING TYPE
⊕	P.O.S. DATA OUTLET TO DATA TERMINAL AND TELEPHONE OUTLET WITH 3/4" CONDUIT TO TEL BACKBOARD
⊕	P.O.S. DATA OUTLET WITH 3/4" CONDUIT TO DATA TERMINAL
⊕	TELEPHONE OUTLET WITH 3/4" CONDUIT TO TELEPHONE BACKBOARD
⊕	HEIGHT AS REQUIRED FOR ADA BETWEEN 15"-48" AFF
⊕	CLOSED CIRCUIT TELEVISION ANTENNA OUTLET
⊕	AUTOMATIC CARBON MONOXIDE-SENSING DEVICES
⊕	SMOKE DETECTOR
⊕	MOTOR
⊕	CEILING EXHAUST FAN
⊕	JUNCTION BOX IN (OR ABOVE) CEILING SPACE OR IN WALL.
B NOTES:	◇ SUBSCRIPT LETTER NEXT TO THE ABOVE SYMBOLS INDICATES DEVICE CONTROLLED. ◇ DEVICES AND COVER PLATE COLOR AS SELECTED BY ARCHITECT, SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF OUTLET, UNLESS NOTED. ◇ CONVENIENCE RECEPTACLES IN BATHROOM, LAUNDRY ROOM WITHIN 6 FT FROM SINK, IN KITCHEN AREAS AND EXTERIOR LOCATIONS SHALL BE GROUND FAULT TYPE (GFCI)
⊕	BREAKER
⊕	SWITCH AND FUSES
⊕	DISCONNECT SWITCH.
⊕	DISCONNECT SWITCH WITH MAGNETIC STARTER. FUSE SIZE AS SHOWN.
⊕	TRANSFORMER WITH COPPER WINDINGS
⊕	SWITCHBOARD WITH COPPER BUSSING
⊕	PANELBOARD WITH COPPER BUSSING
⊕	TELEPHONE CABINET WITH BACK BOARD
C NOTES:	1. BREAKERS, SWITCHES, FUSES, METER SOCKETS, AND CURRENT CARRYING DEVICES SHALL BE DESIGNED TO WITHSTAND MAXIMUM AVAILABLE FAULT CURRENT (AFC) ESTABLISHED BY SERVING UTILITY. 2. SWITCHBOARDS AND PANELBOARDS BUSSING SHALL BE TIN PLATED COPPER BRACED TO WITH STAND MAXIMUM AVAILABLE FAULT. TRANSFORMER SHALL BE ENERGY SAVING TYPE WITH COPPER WINDING.
A-1,3,5	CONDUIT HOME RUN TO SOURCE INDICATING PANEL "A" CIRCUITS #1, 3 & 5
---	CONDUIT RUN CONCEALED IN CEILING SPACE OR IN WALL
---	CONDUIT RUN BELOW FLOORS OR IN GRADE
---	3/4"C-2#12+#12G U.O.N.
---	3/4"C-3#12+#12G
---	3/4"C-4#12+#12G
#10	3/4"C-2#10+#12G
— T —	TELEPHONE CABLES IN 3/4" CONDUIT MINIMUM.
— TV —	TELEVISION ANTENNA CABLES IN 1" CONDUIT MINIMUM.
— D —	DATA/COMMUNICATION CABLES IN 3/4" CONDUIT MINIMUM.
D NOTES:	1. ALL CONDUIT SHALL BE RIGID STEEL OR EMT. FLEXIBLE CONDUIT SHALL BE LIMITED TO 72" FOR FINAL CONNECTION TO LIGHTING FIXTURES OR MOTORS, INCLUDING GROUNDING CONDUCTOR. P.V.C. CONDUIT MAY BE USED ONLY FOR UNDERGROUND, RE-SIZE CONDUIT AS REQUIRED TO INCLUDE GROUNDING CONDUCTOR. MINIMUM CONDUIT STRAP USE TWO (2) HOLE TYPE. 2. TELEPHONE AND TELEVISION CABLES MAY BE PREWIRED BY LOCAL TEL/COMM/CABLE T.V. COMPANY WITHOUT CONDUIT. 20 AMP MECHANICALLY HELD (TWO WIRES CONTROL) RELAY CONTROLLING CKT. INDICATED WITH PROGRAMMABLE TIME SWITCH CONTROLLING COIL. ASSIGN CONTROL CHANNEL AND DURATION.
⊕	NIGHT LIGHT CONTROLLED BY TIME SWITCH DUSK TO DAWN EXTERIOR SECURITY LIGHT CIRCUIT
EL	EVENING LIGHT CONTROLLED BY TIME SWITCH DUSK TO BUSINESS CLOSING TIME OR PRE SET EXTERIOR LIGHTING CKT
EM	EMERGENCY LIGHTING FIXTURE. PROVIDE UNSWITCHED HOT WIRE AS NOTED.
(E)	EXISTING
EG, E.G.	EQUIPMENT GROUNDING
UON, UNO	UNLESS OTHERWISE NOTED
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
DC	DEDICATED CIRCUIT
+48"	INDICATES MOUNTING HEIGHT FROM FINISHED FLOOR TO CENTER OF DEVICE
MAFC	MAXIMUM AVAILABE FAULT CURRENT FROM UTILITY AND INCLUDES FACILITY MOTOR CONTRIBUTION.
ASCC	AVAILABLE SHORT CIRCUIT CURRENT, CALCULATED.
F.V.	FIELD VERIFY./FIELD VERIFY LOCATION.

PANELBOARD, SWITCHBOARD AND DISTRIBUTION SYSTEMS NOTES:

- METER, SERVICE AND DISTRIBUTION SECTIONS OF MAIN SWBD TO BE 100% RATED FOR CURRENT CARRING AND 100% RATED FOR SHORT CIRCUIT DUTY FOR AVAILABLE FAULT FROM UTILITY. THE SHOP DRAWING OF THE METERING AND UTILITY INCOMING SECTIONS SHALL BE REVIEWED AND APPROVED BY THE SERVING UTILITY COMPANY.
- PANEL BOARD SHALL HAVE FLUSHED LOCKABLE DOOR KEY ALIKE TO MATCH FACILITY MASTER KEY AND ALL ELECTRICAL CABINETRIES.
- ELECTRICAL CONTRACTOR SHALL VERIFY FINAL PANEL LOCATIONS WITH THE OWNER / ARCHITECT AND GET THEIR APPROVALS BEFORE INSTALLATION.
- ALL CIRCUIT BREAKER ON THE PANELBOARD SHALL HAVE PADLOCK OFF DEVICE & ALL CIRCUIT BREAKERS FEEDING ESSENTIAL LOAD SHALL HAVE LOCK ON DEVICE INDICATED BY (+). THE CIRCUIT BREAKERS SHALL BE BOLT-ON TYPE RATED TO WITHSTAND AVAILABLE SHORT CIRCUIT CURRENT (ASCC) AT THE TERMINOUS.
- PROVIDE TOP CONTROL SECTION BEHIND SEPARATE LOCKABLE DOOR FOR MOUNTING TIME SWITCHES, RELAYS, EMC CONTROL DEVICES AS REQUIRED OR AS SHOWN. PROVIDE SHOCK MOUNT FOR MOUNTING ANY MECHANICALLY HELD ELECTRONICALLY OPERATED CONTRACTORS FOR SOUND AND VIBRATION LIMITATIONS.
- PROVIDE NAMEPLATE IDENTIFICATION TO BE MOUNT ABOVE DOOR & CIRCUIT DIRECTORY HOLDER FRAMED WITH PLASTIC COVER MOUNTED BEHIND THE DOOR. ADHESIVE TYPE PLASTIC ENVELOPE ATTACHED BEHIND THE DOOR IS NOT ACCEPTABLE TYPE OF DIRECTORY CARD HOLDER.
- PANEL BOARD & DISTRIBUTION SWITCHBOARD SHALL BE WITH COPPER BUSSING SIZES AS INDICATED WITH 200% RATED NEUTRALS BUSSING FOR SUPPLYING COMPUTER LOAD. PROVIDE EQUIPMENT & ISOLATED GROUND BUSESSES. TRANSFORMER SHALL BE ENERGY EFFICIENT TYPE WITH COPPER WINDINGS.
- PROVIDE NEMA 3R ENCLOSURE WITH GASKET LOCKABLE DOOR FOR ALL PANELBOARD EXPOSED TO WEATHER. PANELBOARD LOCATED IN SUN LIGHT SHALL BE WITH AMBIENT COMPENSATED OVERCURRENT DEVICES.
- PANELBOARD LOCATED ANY DAMP LOCATION IN BUILDING SHALL HAVE GASKET DOOR.
- CIRCUIT INDICATED BY (r) ARE TIMESWITCH & RELAY CONTROLLED.
- BUILDING STEEL, UFER, COLD WATER PIPE & DRIVEN GROUNDING RODS BONDING TO BE UTILIZED FOR COMPLETE GROUNDING ELECTRODE SYSTEM & SUPPLEMENTS PER NEC 250 C., GROUNDING. THE BONDING TO BUILDING NATURAL GAS PIPING MAY REQUIRED BY THE AHJ.

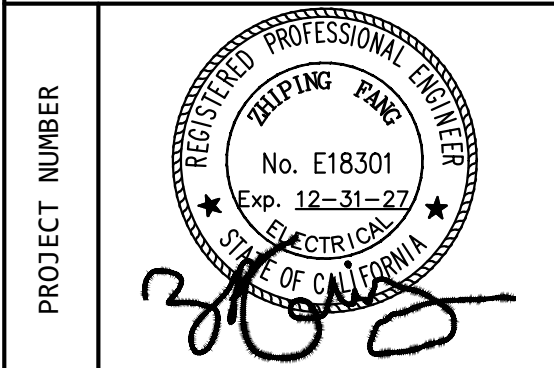
MATERIAL AND INSTALLATION NOTES

ALL WORK AND MATERIAL SHALL CONFORM TO THE RULES OF THE LATEST GOVERNING ELECTRICAL CODE AND INSTALLATION SHALL BE OF THE LATEST INDUSTRY STANDARDS OF WORKMANSHIP. ALL MATERIALS SHALL BE NEW AND LISTED BY UNDERWRITERS LABORATORY (U.L.).

- CONDUITS
CONDUIT SHALL BE EMT OR RIGID STEEL UNLESS OTHERWISE NOTED ON PLAN. FLEXIBLE STEEL CONDUIT SHALL BE MANUFACTURED IN ACCORDANCE WITH UL-1, USED ONLY FOR SHORT MOTOR CONNECTION OR FOR THE EQUIPMENT REQUIRING VIBRATION ISOLATION, AND LENGTH IS LIMITED TO 72" MAXIMUM. PVC CONDUIT MAY BE USED ONLY FOR UNDERGROUND. PROVIDE GROUND IN ALL CONDUITS PER REQUIREMENTS.
THE USE OF MC CABLE SHALL BE IN ACCORDANCE WITH NEC 330.10(a) & 330.12.
THE USE OF FMT SHALL BE IN ACCORDANCE WITH NEC 360.10 & 360.12.
- RECEPTACLES
PROVIDE RECEPTACLES OF SPECIFICATION GRADE TO MATCH HEAT PUMP CORD SET. UNLESS OTHERWISE NOTED RECEPTACLES SHALL BE 20A, 250 V.A.C.. COVER PLATES SHALL BE SPECIFICATION GRADE 10" MIN. THICKNESS. LABEL ALL RECEPTACLES.
- CONDUCTORS
PROVIDE COPPER CONDUCTORS, #12 AWG MINIMUM UNLESS OTHERWISE SPECIFIED ON PLAN. USE CONDUCTORS WITH THHN/THWN 600 VOLTS INSULATION, UNLESS OTHERWISE NOTED. PROVIDE APPROPRIATE CONDUCTOR TEMPERATURE RATING PER NEC TABLE 310.15. CEC.
- EQUIPMENT GROUNDING
PROVIDE EQUIPMENT GROUND PER NEC 250.118 OR PER NEC TABLE 250.122.

SHORT CIRCUIT COMPLIANCE NOTES

- MAXIMUM AVAILABLE FAULT CURRENT:
SERVING UTILITY COMPANY'S LETTER OR DATA INDICATES THAT THE MAXIMUM AVAILABLE FAULT CURRENT (MAFC) WILL NOT EXCEED THE VALUE SHOWN ON SINGLE LINE DIAGRAM. THE VALUE SHOWN AS "MAFC" INCLUDES FACILITY MOTOR CONTRIBUTION.
- ALL CURRENT CARRING DEVICES SHALL BE U.L. LISTED FULLY RATED AND BRACED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT AT ITS TERMINUS
- SERIES/COMBINATION SHORT CIRCUIT RATING MAY BE USED BY THE CONTRACTOR WHEN;
a. THE SUM OF THE MOTOR FULL-LOAD CURRENTS ARE NOT GREATER THAN 1 % OF THE INTERRUPTING RATING OF THE LOWER-RATED BREAKER.
b. THE OVERCURRENT DEVICE COMBINATIONS ARE LISTED UNDER U.L. 67 STANDARD.
c. THE INSTALLATION COMPLIES WITH NATIONAL ELECTRICAL CODE (N.E.C.) ARTICLE 110-9, 110-22 AND OTHER APPLICABLE SECTIONS.
- APPLICABLE SERIES/COMBINATION RATED EQUIPMENT ENCLOSURES SHALL BE CLEARLY MARKED "CAUTION - SERIES COMBINATION SYSTEM RATED _ (AS NOTED ON SINGLE LINE DIAGRAM) AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED." IN COMPLIANCE WITH NEC SECTION 110-22. END-USE EQUIPMENT SHALL ALSO BE MARKED WITH THE HIGHER SERIES COMBINATION INTERRUPTING RATING AS PER NEC SECTION 240-83(c).
- ELECTRICAL SERVICE GEAR:
VENDOR/MANUFACTURER/CONTRACTOR SHALL PROVIDE SHORT CIRCUIT STUDY AND PROTECTIVE DEVICE COORDINATIONS. AS SHOP DRAWING SUBMITTAL FOR REVIEW TO THE ENGINEER OF RECORD PRIOR TO PURCHASE OF ANY ELECTRICAL GEARS FOR THE PROJECT.



PROJECT NUMBER

54 UNITS + 6 ADU

7227 OLEANDER AVE
FONTANA, CA 92336

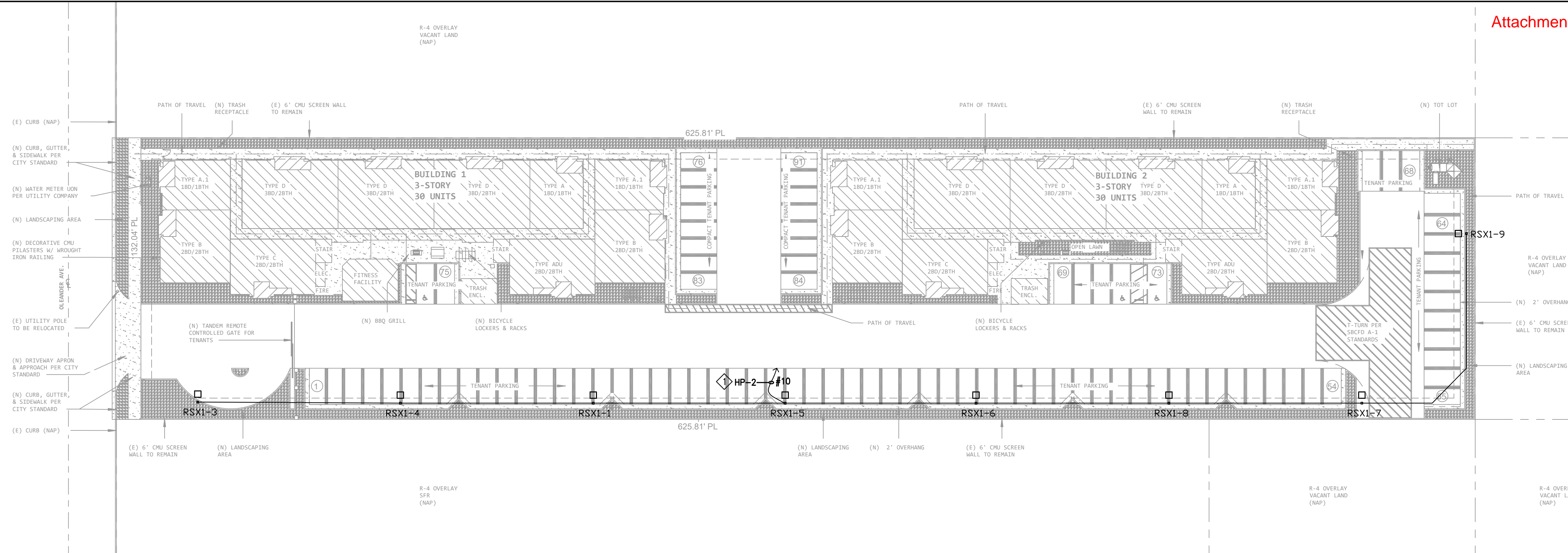
PROJECT NAME

ADDRESS

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GENERAL NOTES AND LEGEND

E-1.1



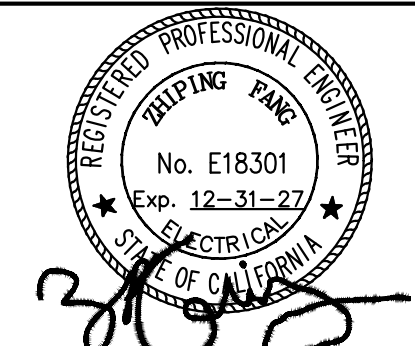
SITE LIGHTING PLAN
SCALE: 1" = 30'-0"

Schedule							
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF Wattage
□	RSX1	8	RSX1 LED P2 40K R3	LED Pole Light Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R3 Distribution, WITH BUILT-IN MOTION AND PHOTO SENSORS	1	9843	72.95

SHEET KEYNOTES

1 VERIFY EXISTING CONDITIONS BEFORE ROUGH-IN. CONTRACTOR TO FIELD VERIFY EXISTING 208/120V HOUSE PANE CONDITIONS AND USE CIRCUIT HP-2 FOR THE SITE LIGHTING AS SHOWN.

SA ARCHITECTS + ENGINEERS



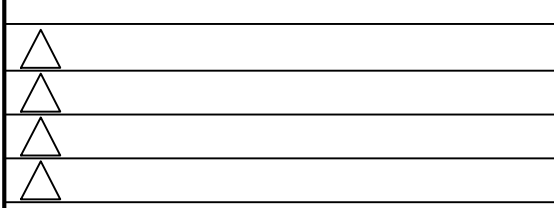
PROJECT NUMBER

54 UNITS + 6 ADU

7227 OLEANDER AVE
FONTANA, CA 92336

PROJECT NAME

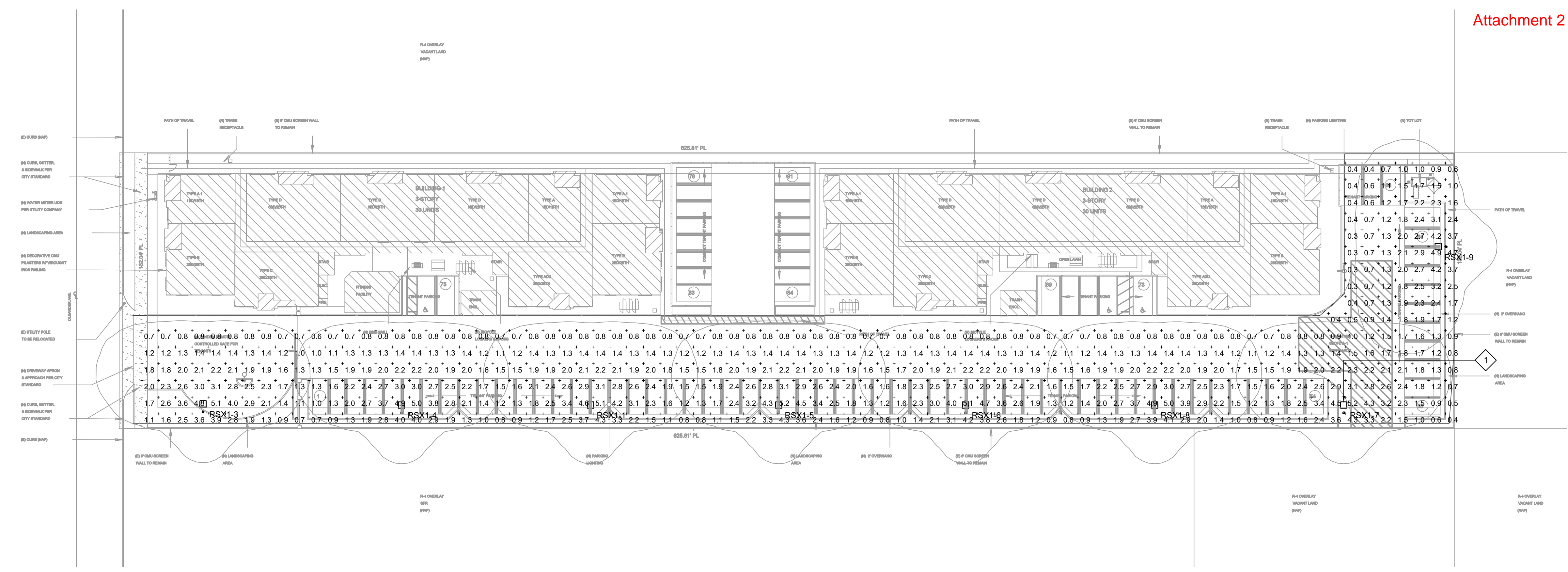
ADDRESS



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SITE LIGHTING PLAN

E-2.1



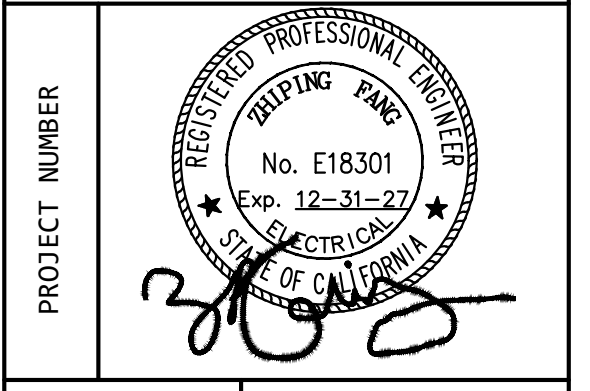
PHOTOMETRIC PLAN
SCALE: NTS

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.8 fc	5.2 fc	0.2 fc	26.0:1	9.0:1

Schedule								
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
□	RSX1	8	RSX1 LED P2 40K R3	RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R3 Distribution, WITH BUILT-IN MOTION AND PHOTO SENSORS	1	9843	1	72.95

SHEET KEYNOTES

1. FIXTURE MOUNTING HEIGHT 18' AFF. TYPICAL.



PROJECT NUMBER: **54 UNITS + 6 ADU**

PROJECT NAME: **7227 OLEANDER AVE FONTANA, CA 92336**

ADDRESS:

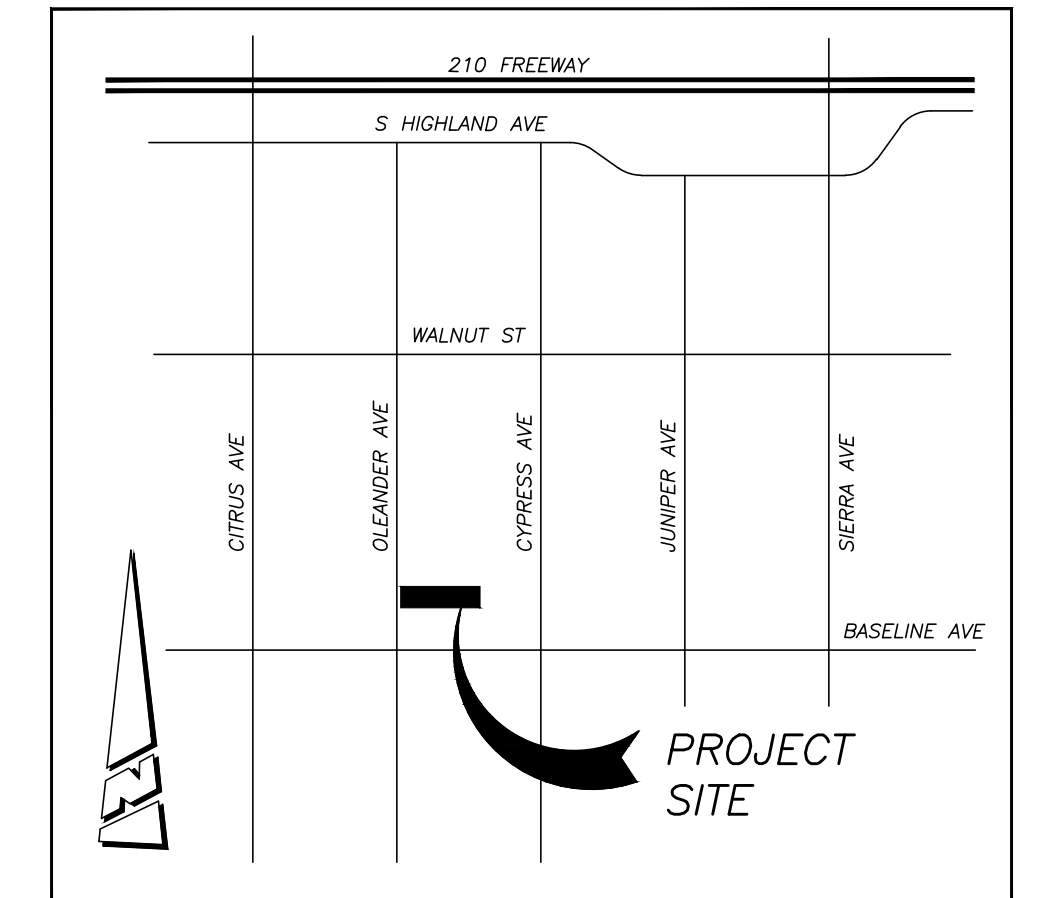
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PHOTOMETRIC PLAN

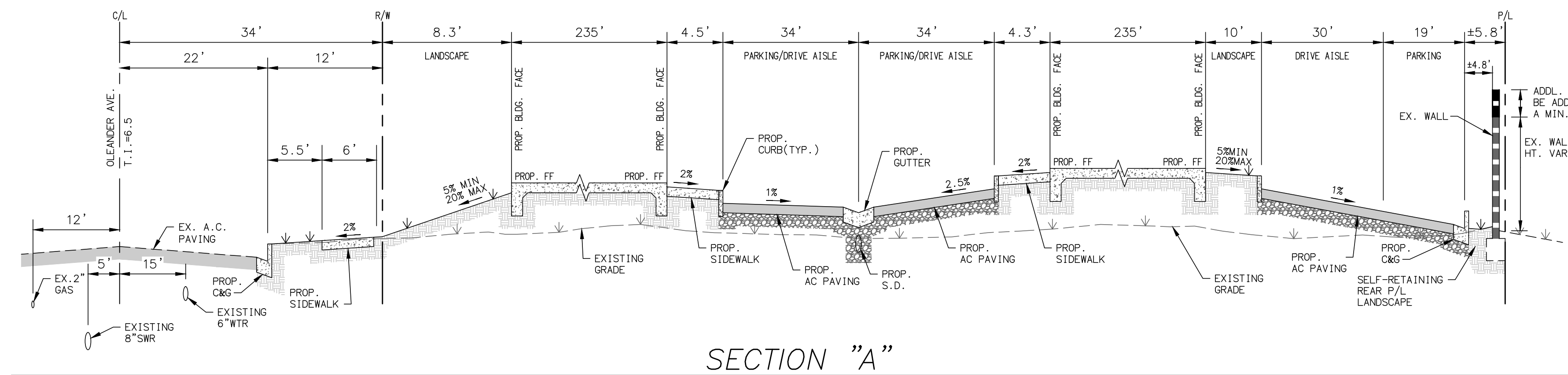
E-2.2

LEGEND:

- LANDSCAPING
- CONCRETE/PCC
- UNDERGROUND INFILTRATION
- A.C. PAVEMENT
- ROOF SURFACE

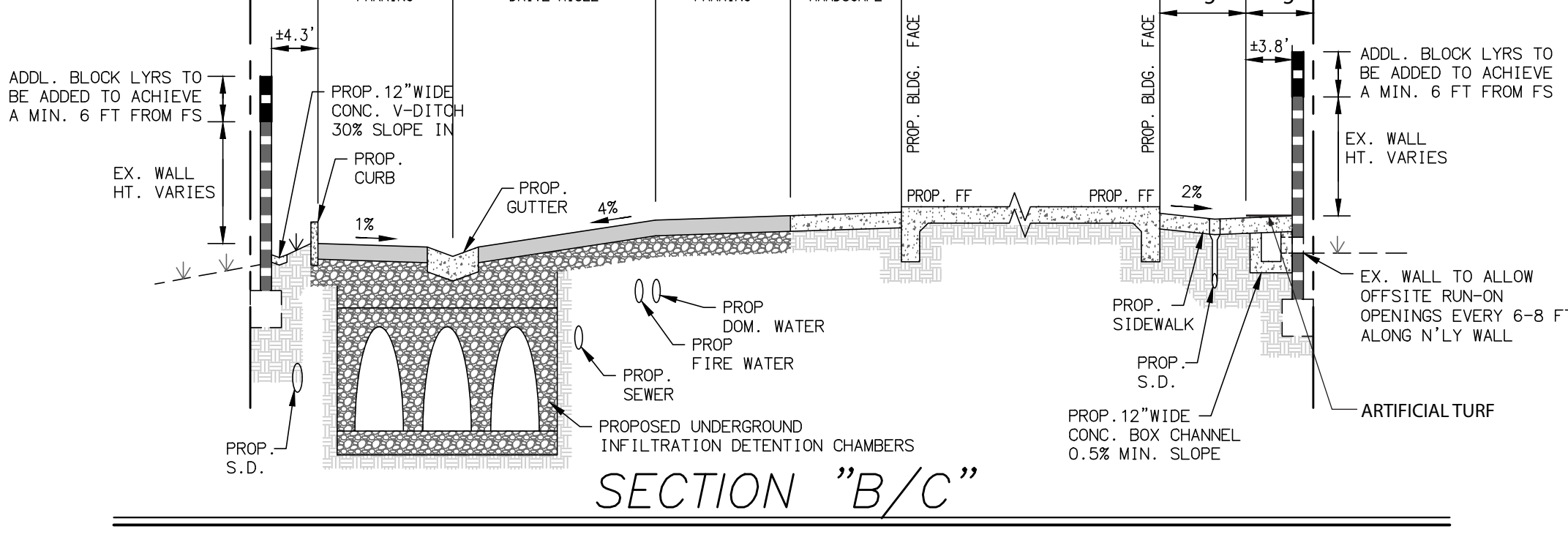
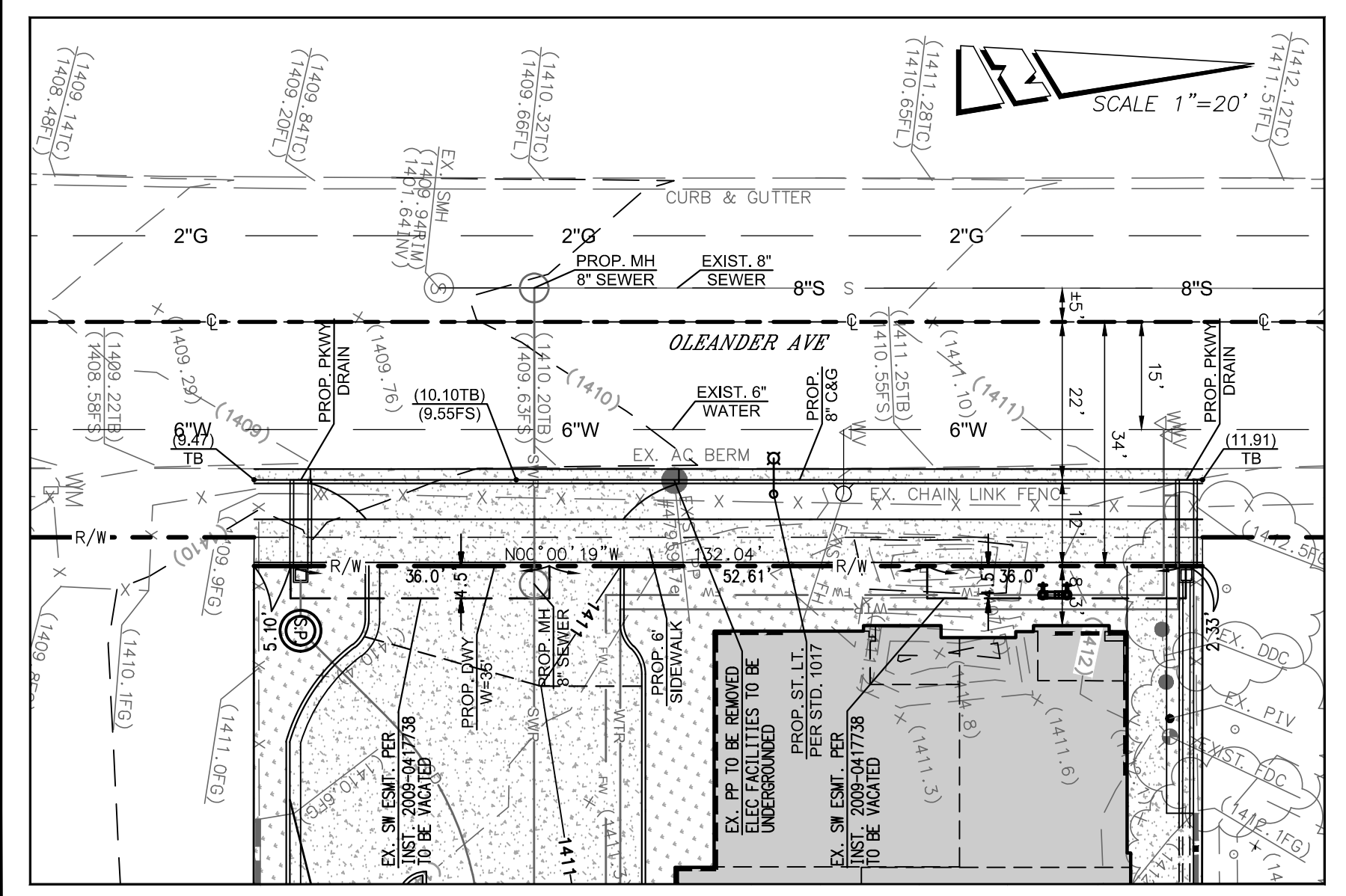
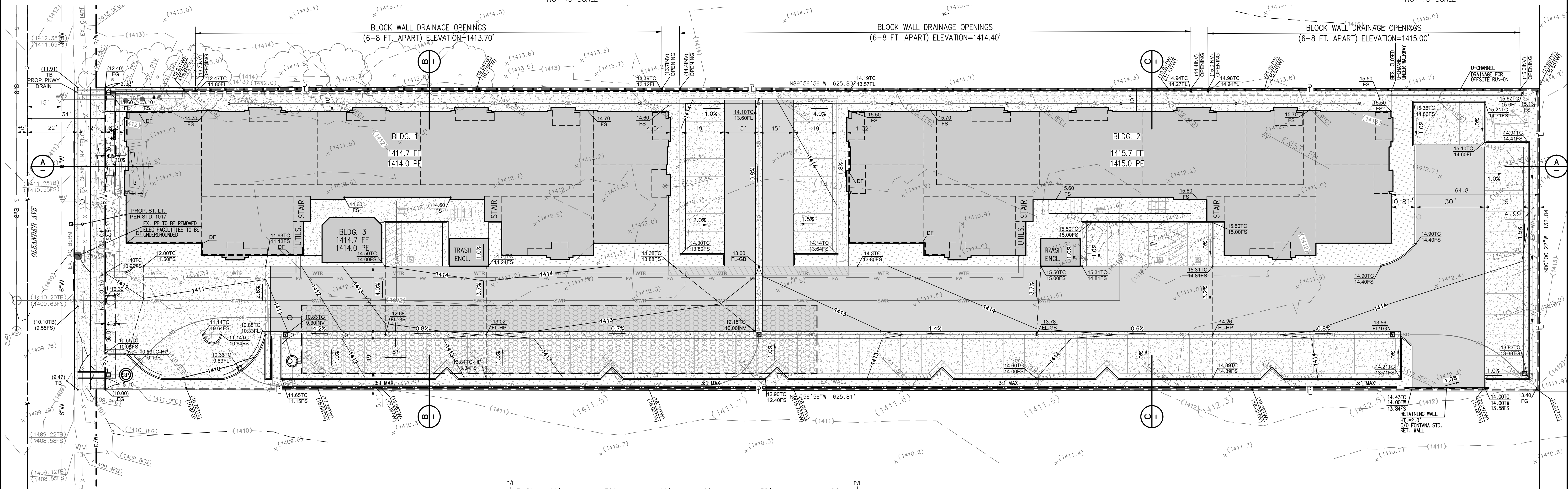


VIC MAP



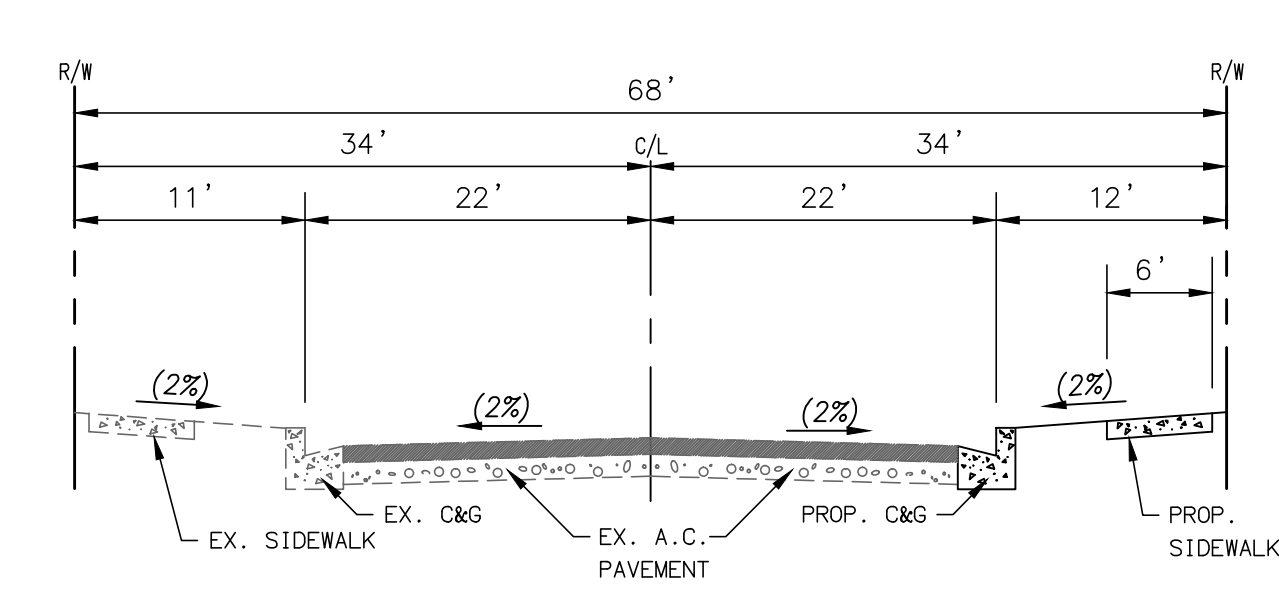
SECTION "A"

NOT TO SCALE



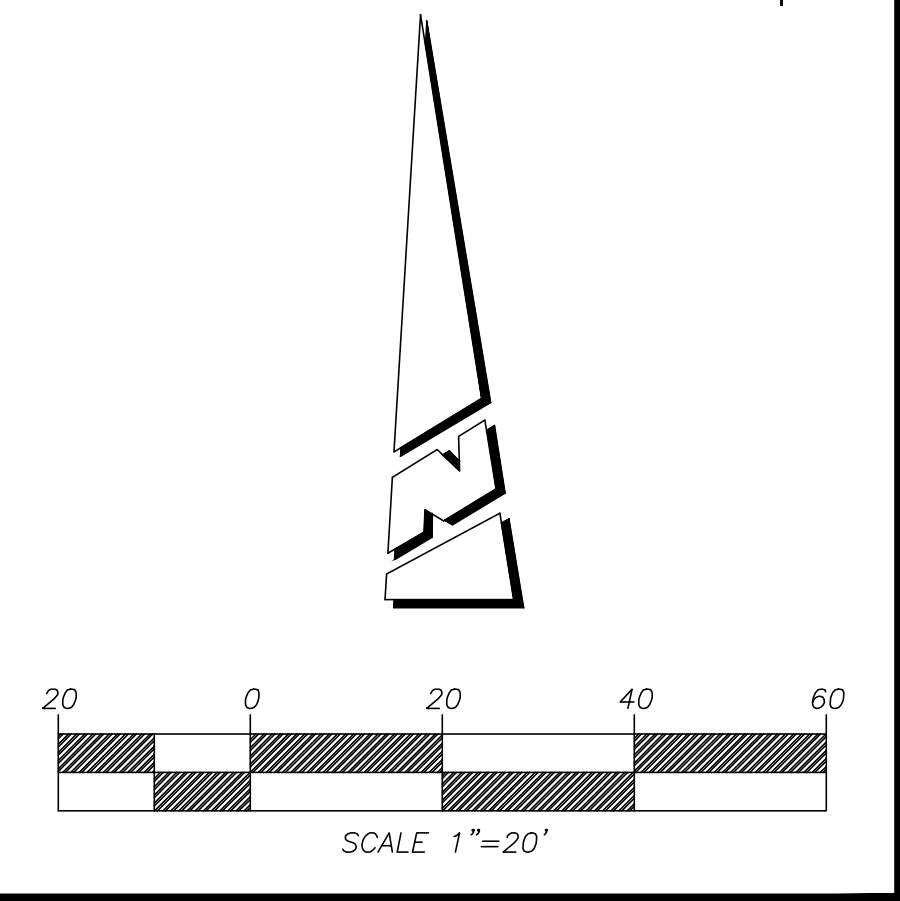
SECTION "B/C"

NOT TO SCALE



OLEANDER AVE

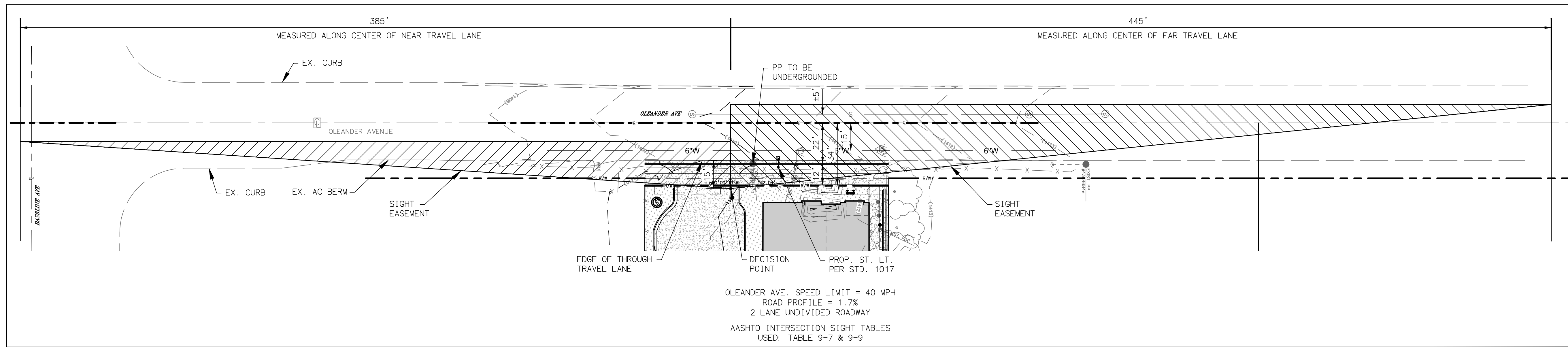
TYPICAL SECTION (T.I.=6.5)
NOT TO SCALE



APPLICANT:
SA GOLDEN INVESTMENTS, INC.
SABER AWAD
7227 OLEANDER AVENUE
FONTANA, CA 92336
909-685-5092
AHMADAWAD@SAAE.US

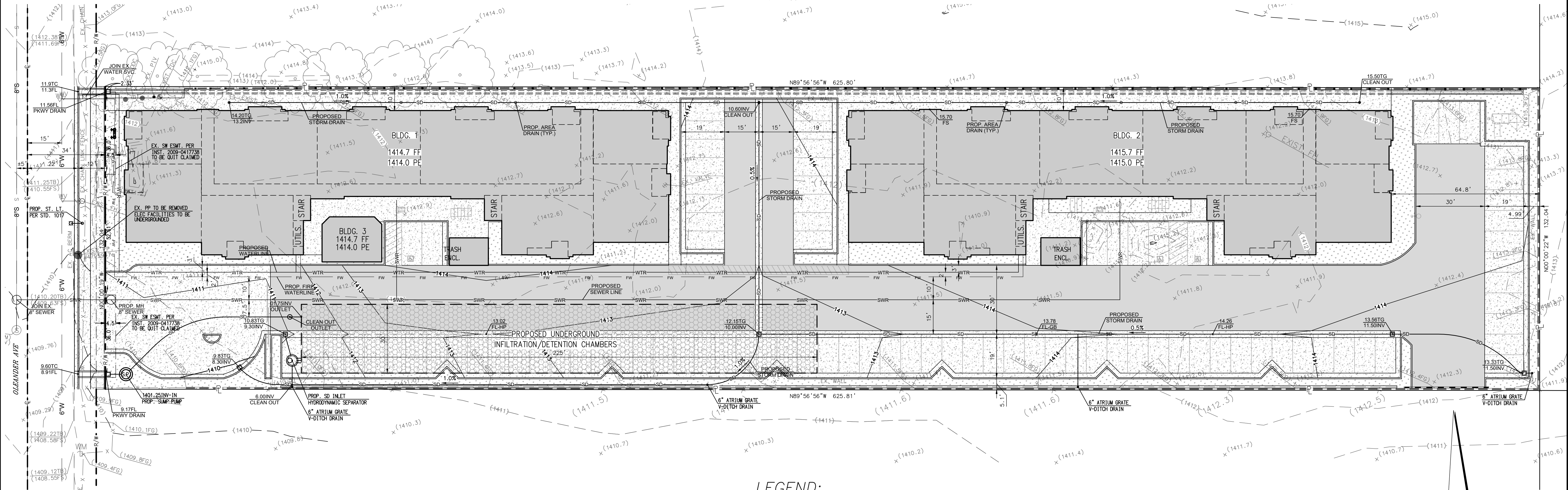
PREPARED BY:
NIETO & ASSOCIATES
NIETO & ASSOCIATES INC.
CHRISTOPHER L. NIETO
19559 CITRUS GROVE RD.
RIVERSIDE, CA 92508
951-907-4044
NIETOENGINEERING@GMAIL.COM

CITY OF FONTANA, CALIFORNIA			
CONCEPTUAL GRADING PLAN			
DRAWN BY: CN	OLEANDER GARDEN APARTMENTS 7227 OLEANDER AVENUE	SCALE: 1" = 20'	DRAWING NO.: MCN25-0061
DESIGNED BY: CN	APN: 0240-052-047	DATE: 10-13-25	
CHECKED BY: CN	APPROVED BY: CITY ENGINEER	DATE: R.C.E.	
JN: 25008			



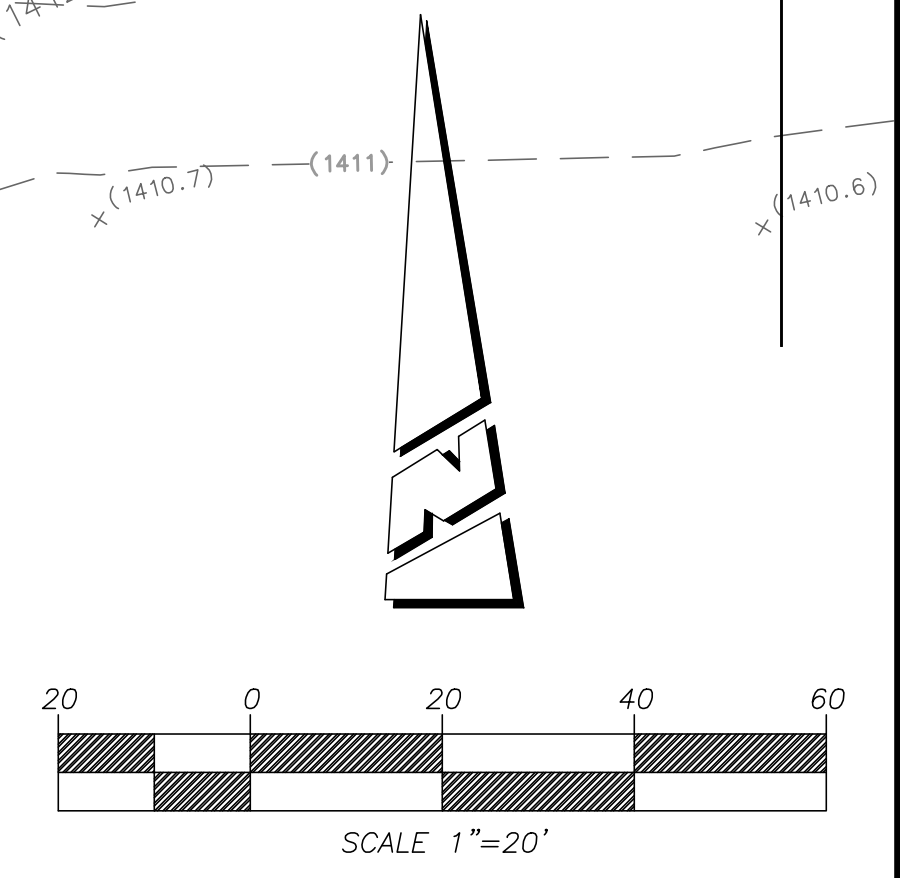
LINE OF SIGHT EXHIBIT

1" = 30'



LEGEND:

- LANDSCAPING
- CONCRETE/PCC
- UNDERGROUND INFILTRATION
- A.C. PAVEMENT
- ROOF SURFACE



APPLICANT: SA GOLDEN INVESTMENTS, INC. SABER AWAD 7227 OLEANDER AVENUE FONTANA, CA 92336 909-685-5092 AHMADAWAD@SAAE.US		PREPARED BY: NIETO & ASSOCIATES INC. CHRISTOPHER L. NIETO 19559 CITRUS GROVE RD. RIVERSIDE, CA 92508 951-907-4044 NIETOENGINEERING@GMAIL.COM		CITY OF FONTANA, CALIFORNIA COMPOSITE UTILITY PLAN	
DRAWN BY: CN	DESIGNED BY: CN	CHECKED BY: CN	APPROVED BY: CITY ENGINEER	DATE: R.C.E.	SCALE: 1" = 20' DATE: 10-13-25 DRAWING NO.: MCN25-0061
JN: 25008			2		