

LBA BANANA AVE, FONTANA

Attachment No. 2 - Project Plans

14086 SANTA ANA AVE.
FONTANA, CA 92337

DEVELOPER

LBA REALTY | LBA LOGISTICS

3347 MICHELSON DRIVE
IRVINE, CA

MICHAEL GREGG
PH: (949) 757-2341

ARCHITECT

WARE MALCOMB

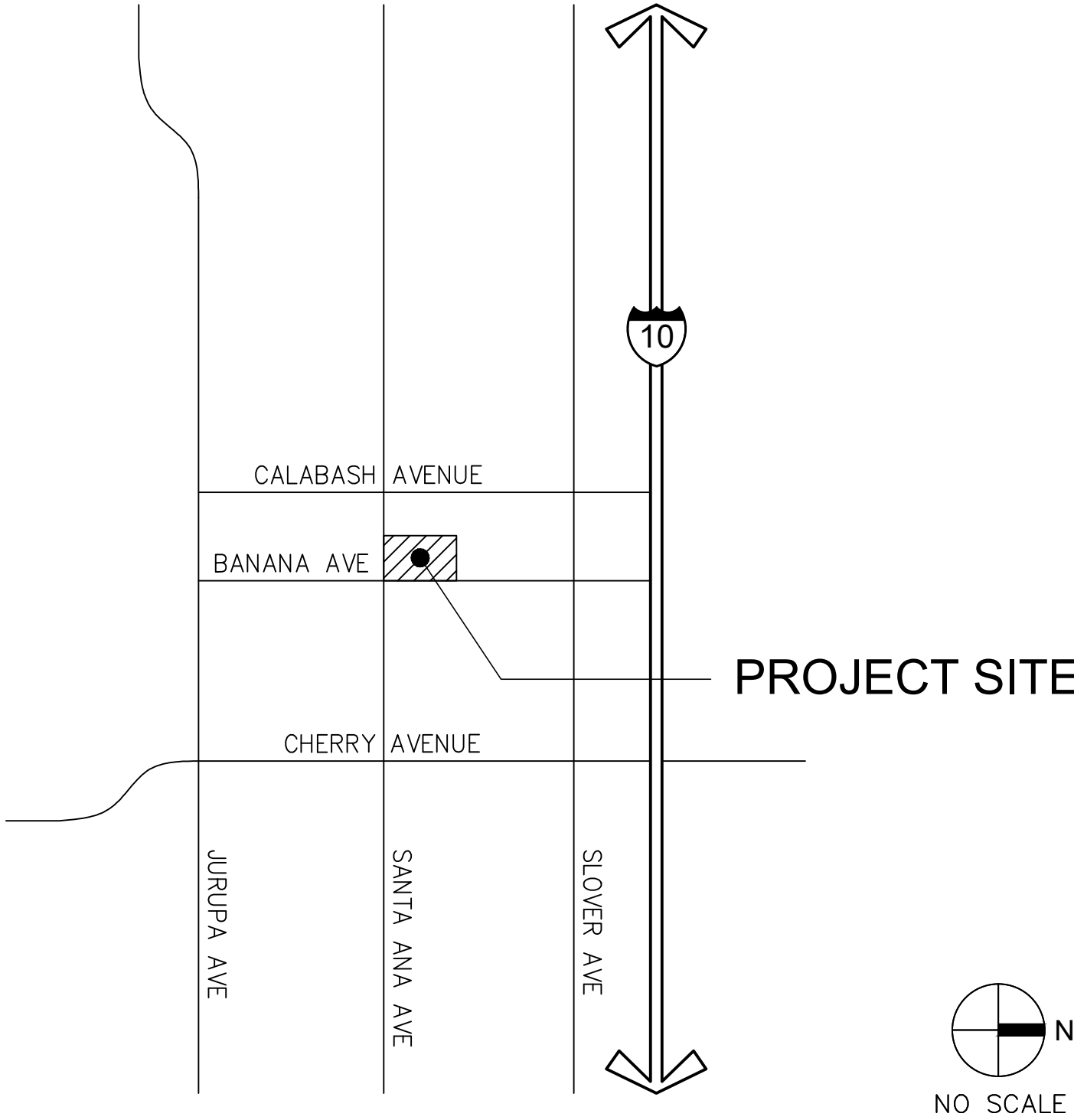
10 EDELMAN
IRVINE, CA

DIANA MELENDEZ
PH: (949) 660-9128 X1822

PROJECT DATA

BUILDING DEPARTMENT: CITY OF FONTANA
APPLICABLE CODES:
BUILDING: 2022 CALIFORNIA BUILDING CODE
STRUCTURE: 2022 CALIFORNIA BUILDING CODE
MECHANICAL: 2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL: 2022 CALIFORNIA ELECTRICAL CODE
PLUMBING: 2022 CALIFORNIA PLUMBING CODE
FIRE/LIFE SAFETY: 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
ENERGY: 2022 STATE OF CALIFORNIA ENERGY CODE
2022 STATE OF CALIFORNIA GREEN BUILDING CODE
ACCESSIBILITY: 2022 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS

VICINITY MAP



SHEET INDEX

(TOTAL SHEETS = 15)

ARCHITECTURAL

G010 TITLE SHEET
A100 SITE PLAN
A101 LINE OF SIGHT STUDY
A110 FLOOR PLAN
A120 EXTERIOR ELEVATIONS
A130 DETAILS
A140 MATERIAL BOARD
A150 PERSPECTIVE RENDERING
A151 PERSPECTIVE RENDERING
A152 PERSPECTIVE RENDERING
A153 PERSPECTIVE RENDERING
A154 PERSPECTIVE RENDERING
A155 PERSPECTIVE RENDERING
ESL1 SITE LIGHTING PLAN

LANDSCAPE

L1.1 PRELIMINARY LANDSCAPE PLAN

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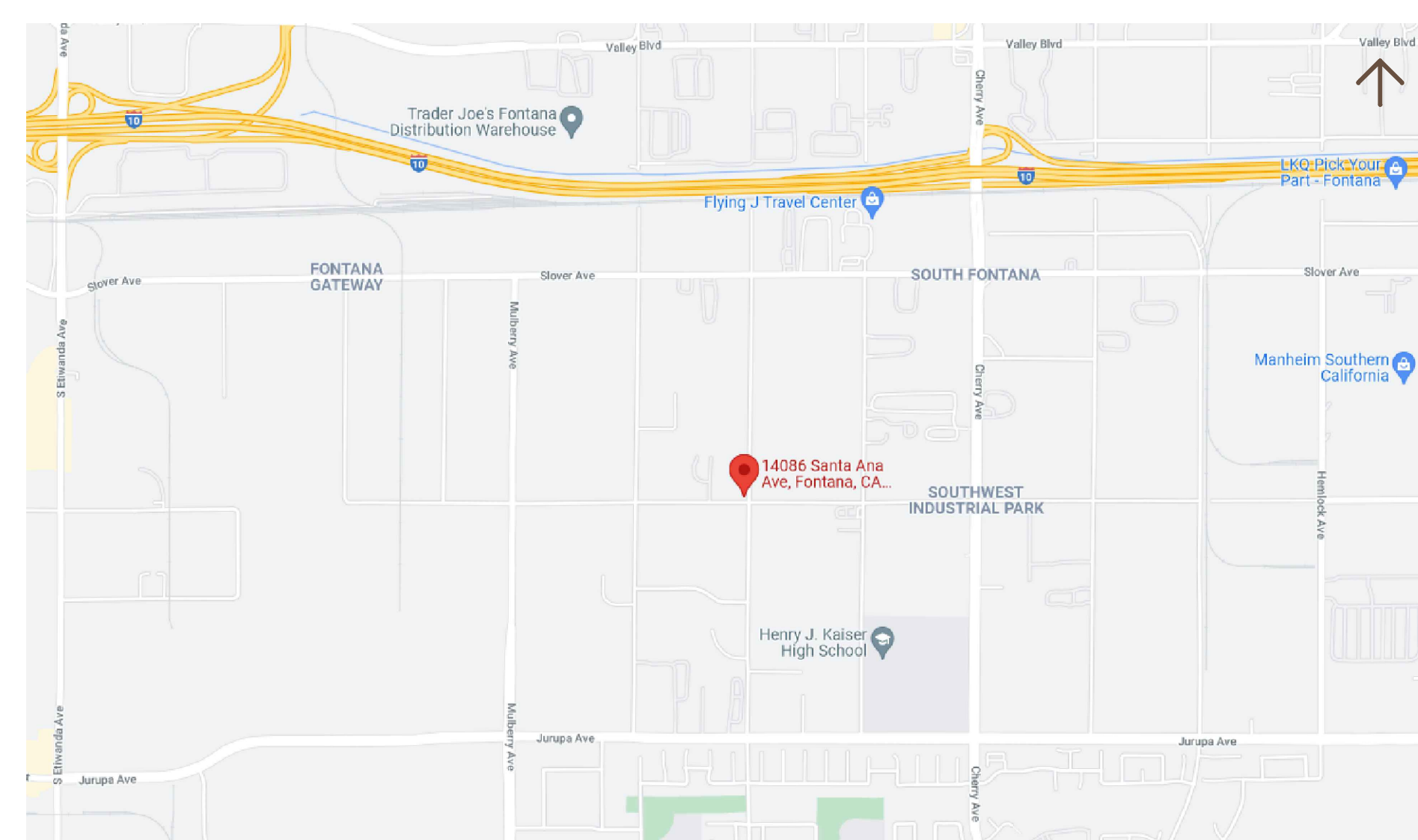
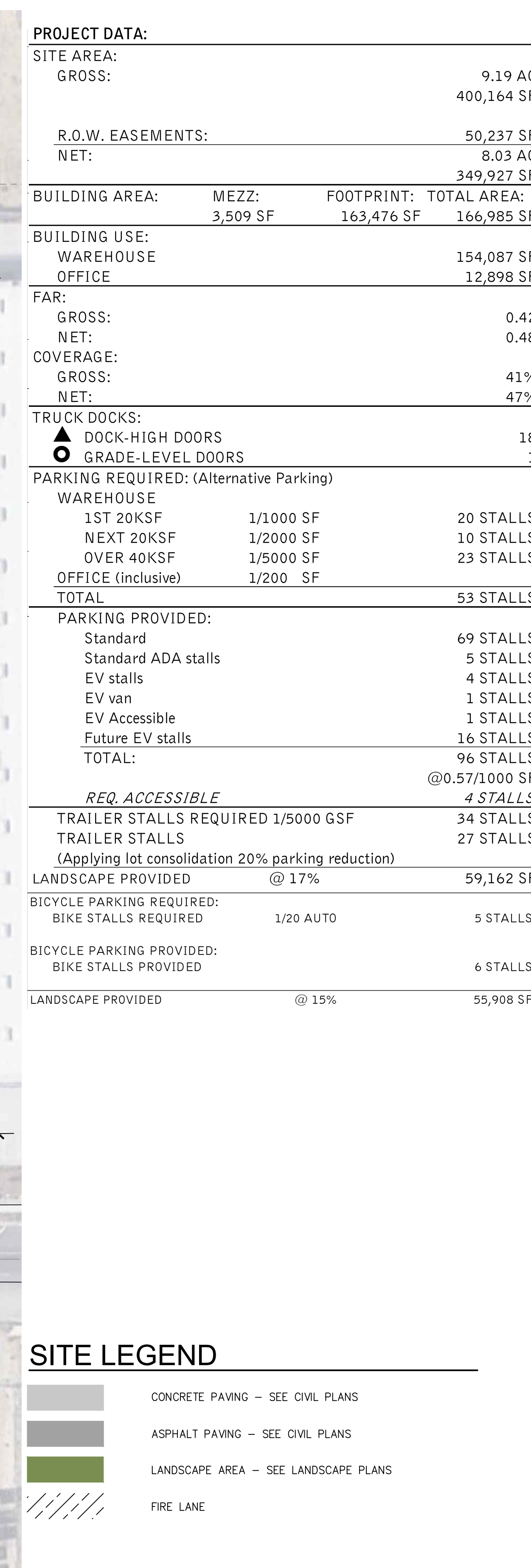
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TITLE SHEET			
DATE	REMARKS	DATE	REMARKS
03/17/2025	PLANNING SUBMITTAL		
05/08/2025	PLANNING RESUBMITTAL		
07/25/2025	PLANNING RESUBMITTAL		

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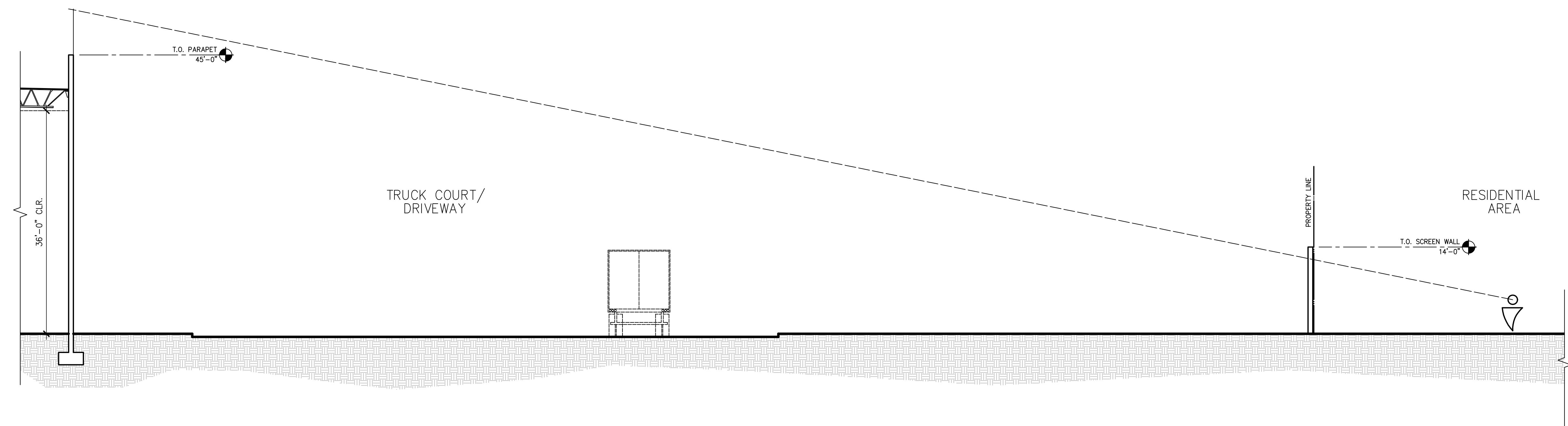
SHEET
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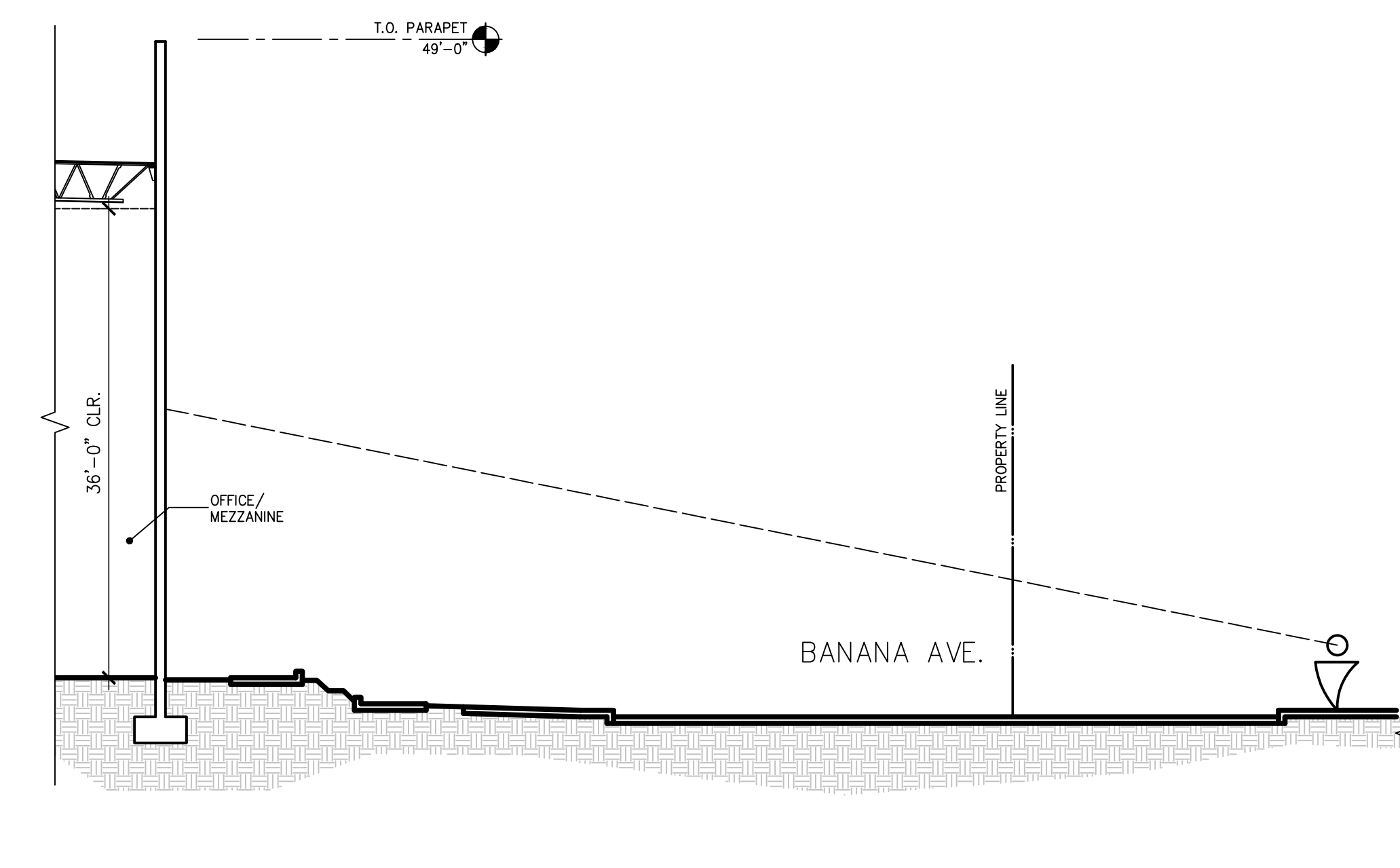


DEVELOPMENT STANDARDS:	
ZONING:	SWISP
MAX. F.A.R.:	1.00
MAX. COVERAGE:	TBD ¹⁰
MAX. BLDG. HT.:	60 FT
BUILDING SETBACKS:	
FRONT:	20 FT ²
SIDE:	0 FT
REAR:	0 FT
LANDSCAPE SETBACKS:	
FRONT:	SEE NOTE ⁶
SIDE:	5 FT ⁹
REAR:	5 FT ⁹
LANDSCAPE REQ.:	15% ⁵
OFF-STREET PARKING:	
STANDARD:	9x19
COMPACT:	TBD ¹⁰
COMPACT %:	TBD ¹⁰
DRIVE AISLE:	26 FT
FIRE LANE:	26 FT
OVERHANG:	TBD ¹⁰
TREE WELL:	TBD ¹⁰
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	2/3 emp ⁸
MANUFACTURE	1.85/1000 SF ⁷
OFFICE:	1/200 SF
NOTES:	
1 Slower West Industrial District (sub-specific plan of Southwest Industrial Specific Plan District).	
2 Front setbacks and side street setback are measured from the public right of way line. 40 ft from major highway (Cherry) . 25 ft from primary highway (Mulberry and Slover). 20 ft from secondary highway/collector street (Almond, Banana, Calabesh, and Santa Ana).	
3 Side street setback. 30 ft from major highway (Cherry, Citrus, and Valley). 25 ft from primary highway (Beech, Fontana, Mulberry, and Slover). 20 ft from secondary highway/collector street (Poplar).	
4 No storage in front yards	
5 15 % of total site area not including areas covered by buildings, structures or areas used for approved outside storage, loading or other activities	
6 Major highway: 30 feet, Primary Highway: 25 Feet, Collector/local street: 20 feet	
7 1.85 spaces/1,000 sq ft GFA;	
4 spaces/1,000 sq ft GFA of office space, sales, or similar use where those uses exceed 10% GFA; and	
1 space/1 facility vehicle	
Where multiple tenants and or uses occupy the same building,	
the parking shall be calculated based upon the floor area covered	
8 Specific plan dictates: 2 spaces/3 employees on maximum working shift;	
No additional spaces if office area is less than 10% GFA.	
Office space rate if office area over 10% GFA.	
Storage to accommodate all trucks and other vehicles used in connection with use. Fontana Municipal Code states: 1/1000 SF for the first 20,000 SF of GFA then 1/2000 SF for the next 20,000 SF. Anything over 40,000 SF is required to park at 1/5000 SF.	
9 10 ft if abutting residential	
10 To be confirmed by city	

[illegible]



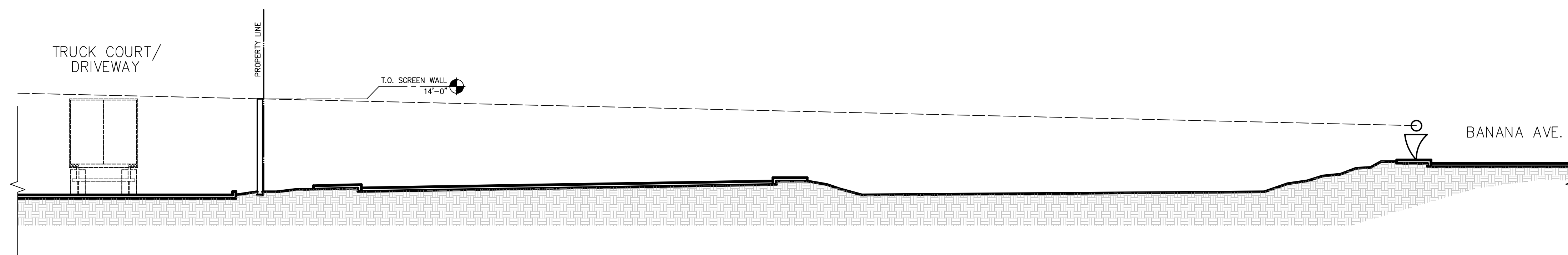
LINE OF SIGHT DIAGRAM



LINE OF SIGHT DIAGRAM

SCALE: 1"=10'-0"

2



LINE OF SIGHT DIAGRAM

SCALE: 1"=10'-0"

3

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a visitation
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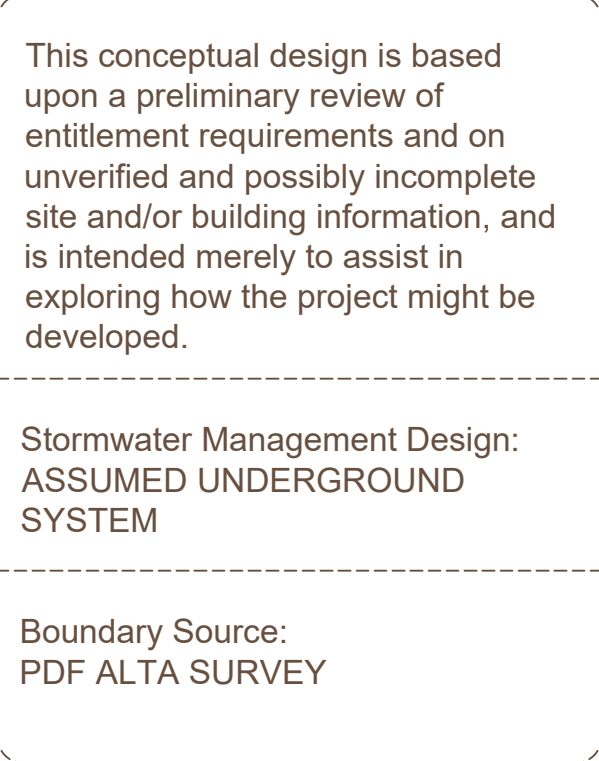
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SHEET

A101

- 1 DOCK LEVELER.
- 2 EXIT DOOR.
- 3 EXTERIOR STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.

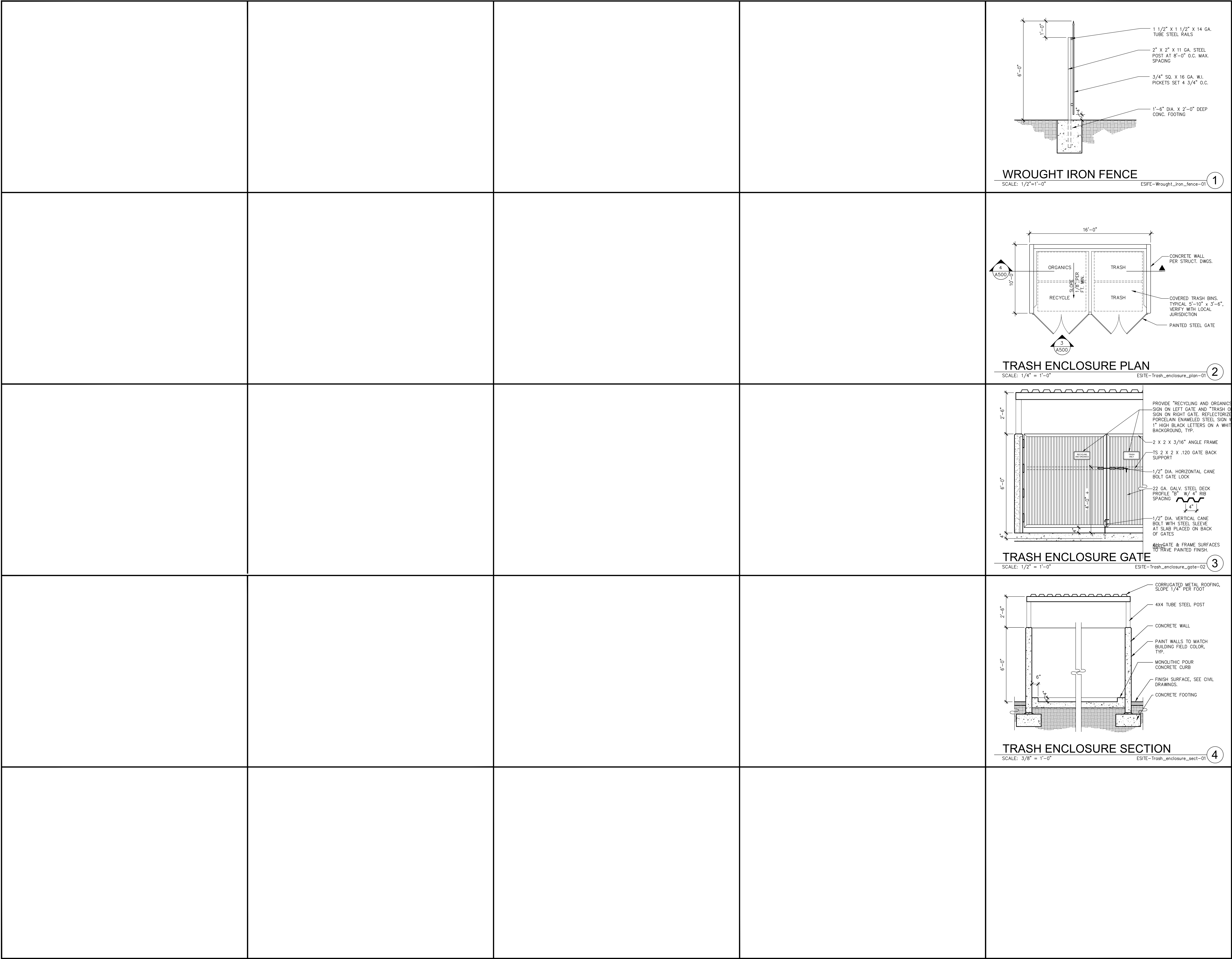
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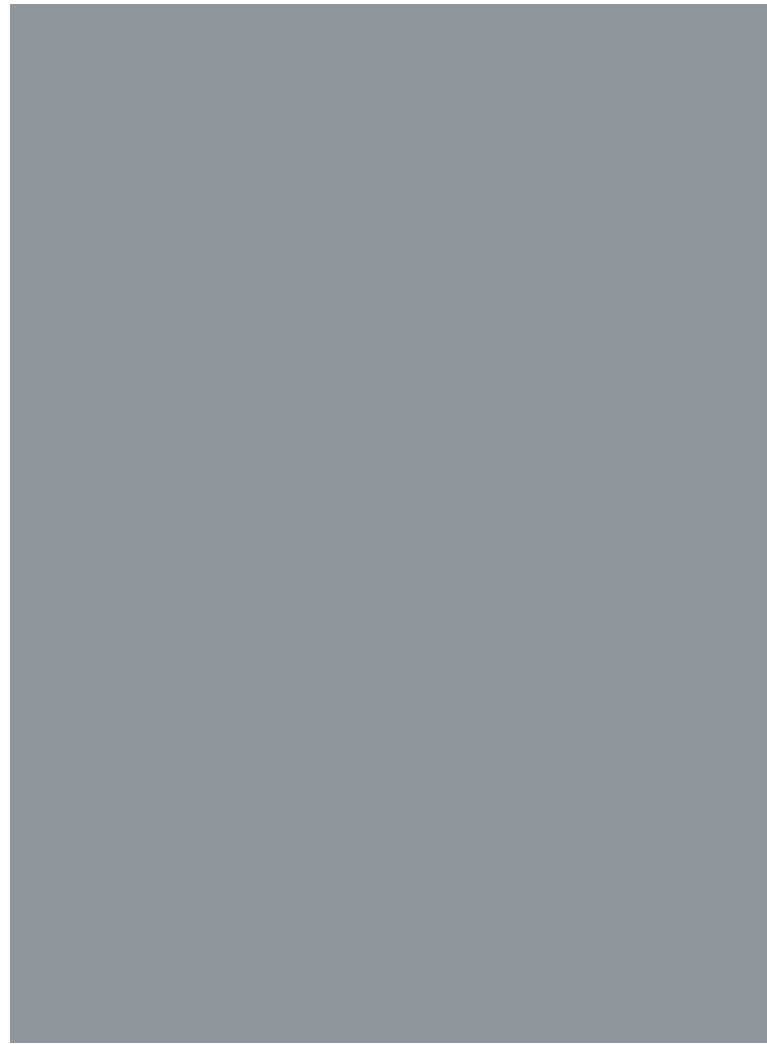
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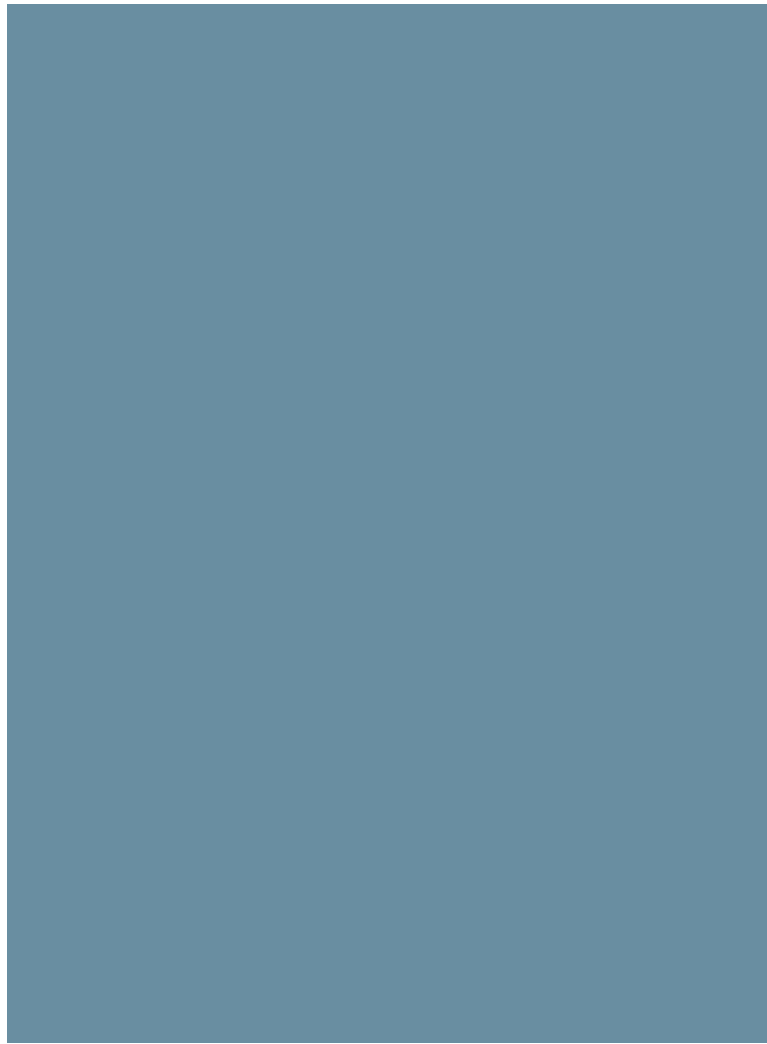
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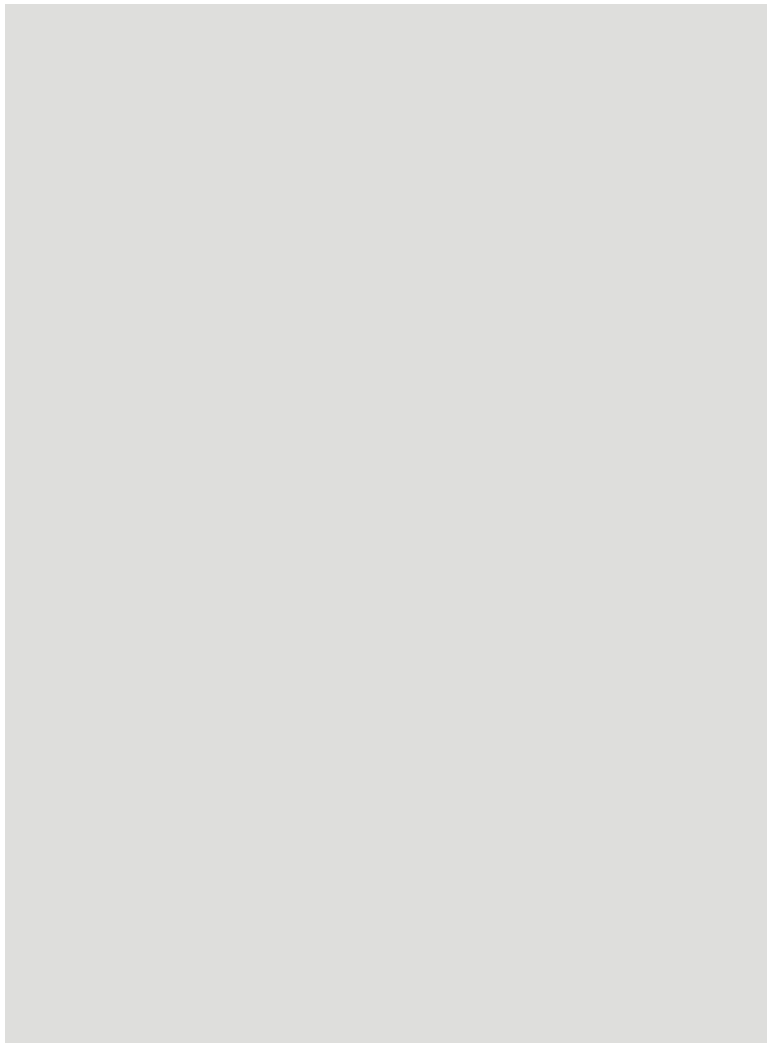
1 SHERWIN WILLIAMS
ONLINE - SW 7072



2 SHERWIN WILLIAMS
STEELY GRAY - SW 7664



3 SHERWIN WILLIAMS
LEISURE BLUE - SW 6515



4 SHERWIN WILLIAMS
NEBULOUS WHITE - SW 7063



5 METAL PANEL
SHERWIN WILLIAMS
ONLINE - SW 7072



6 MULLION
KAWNEER - BLACK ANODIZED



7 SOLARBAN - OPTIGRAY

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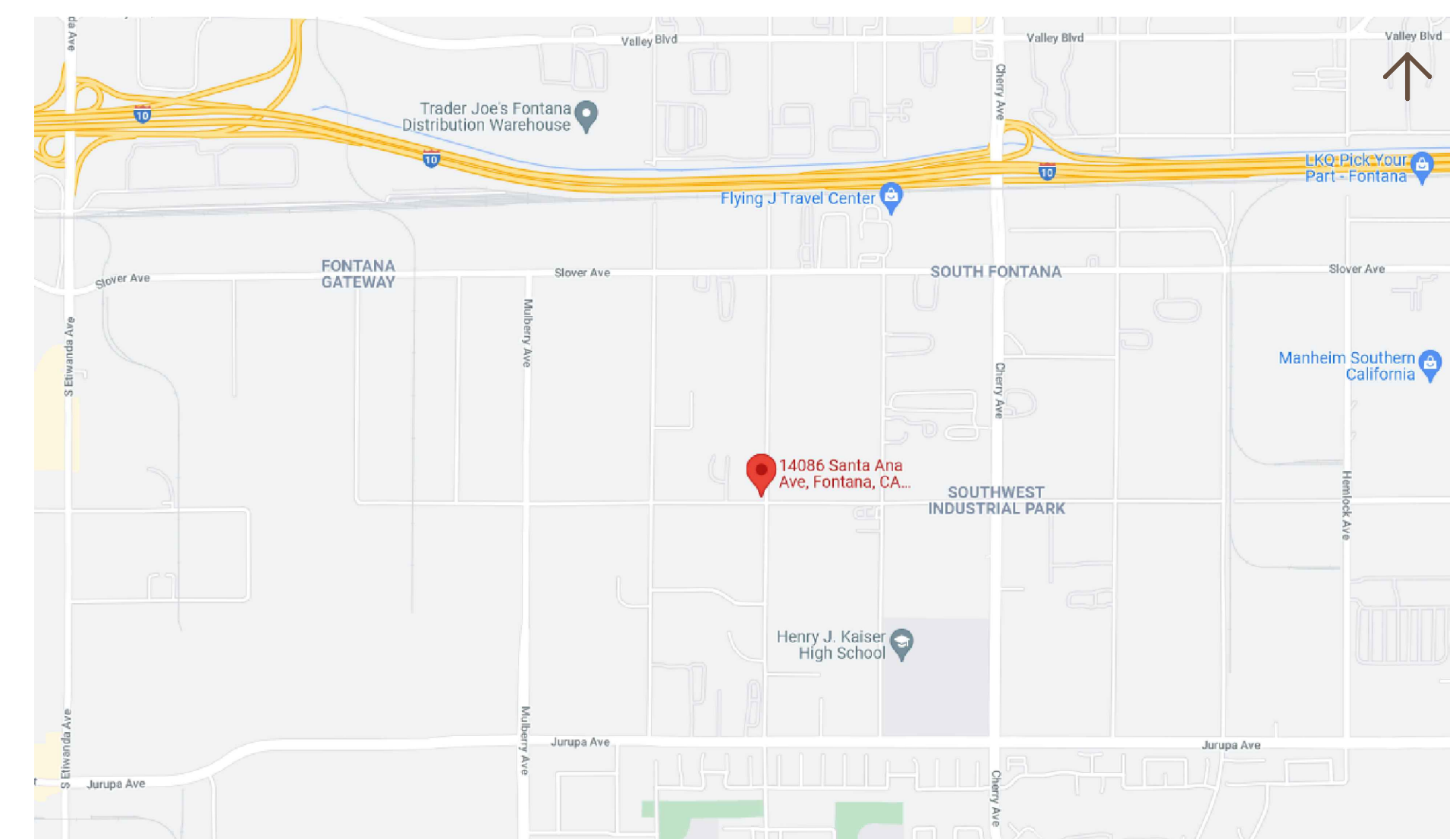
A140



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design:
ASSUMED UNDERGROUND
SYSTEM

Boundary Source:
PDF ALTA SURVEY



REMARKS	DATE
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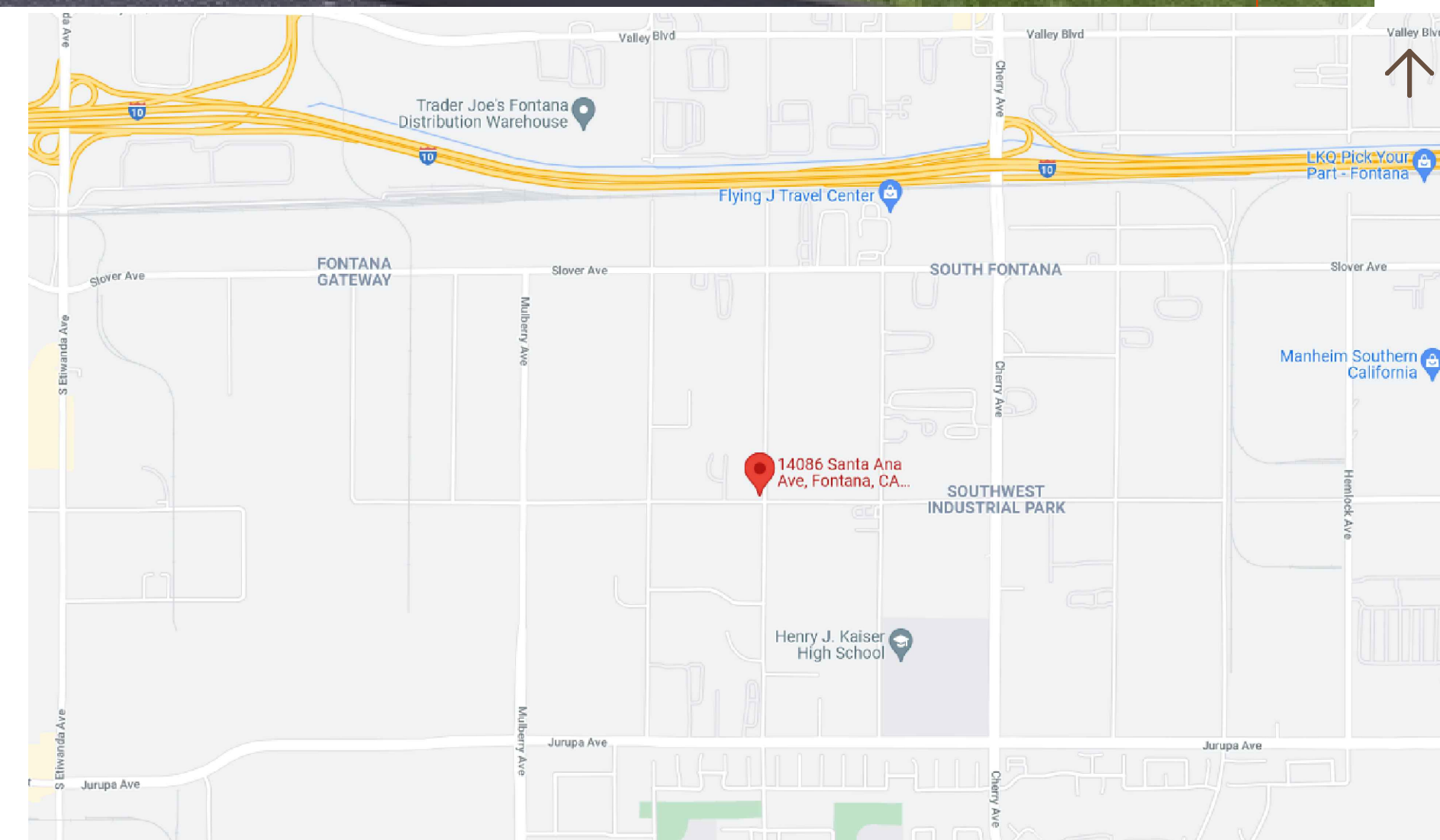
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SYSTEM

Boundary Source:
PDF ALTA SURVEY



PERSPECTIVE RENDERING

	DATE	REMARKS	DATE	REMARKS
	03/17/2025	PLANNING SUBMITTAL		
	06/08/2025	PLANNING RESUBMITTAL		
	07/29/2025	PLANNING RESUBMITTAL		

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Architecture

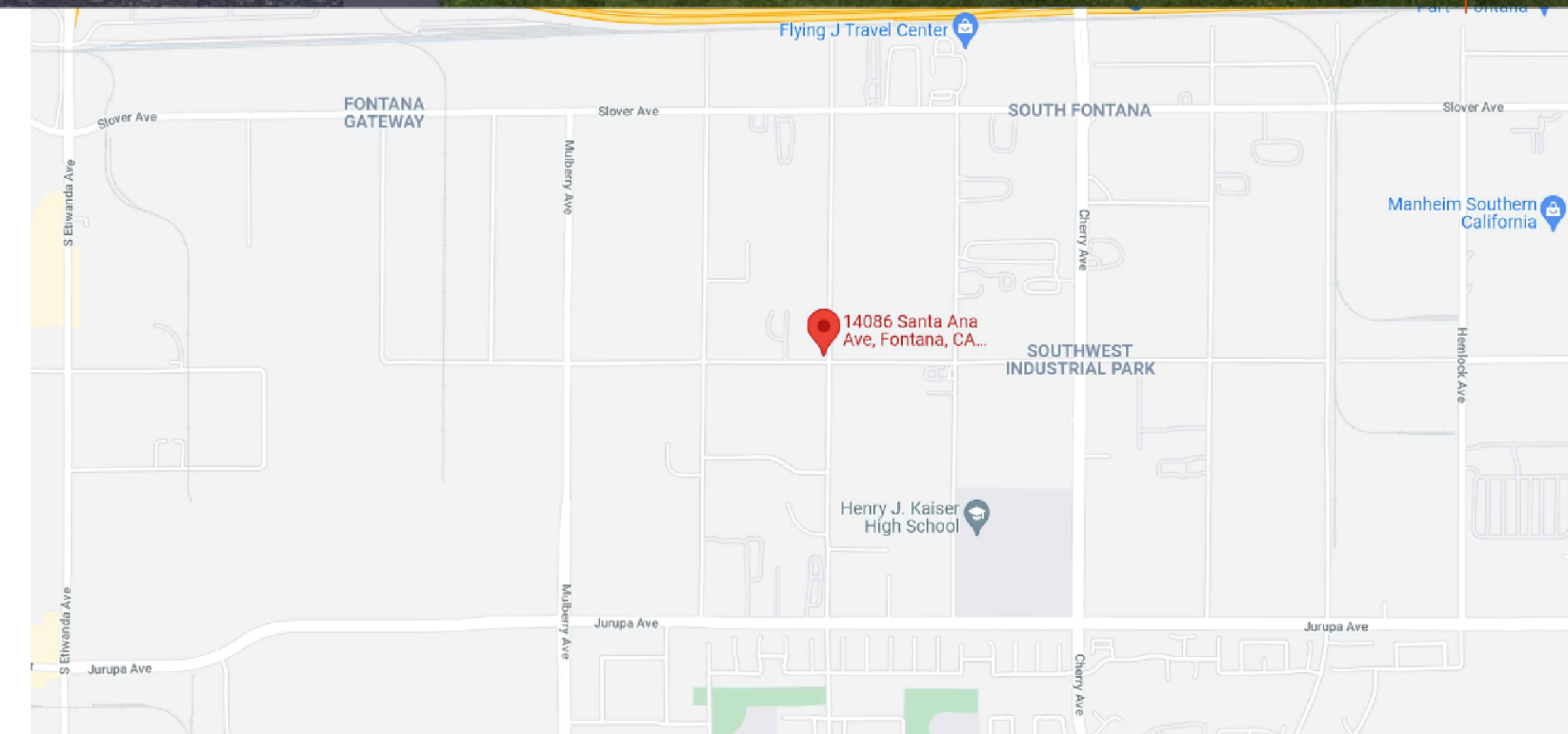
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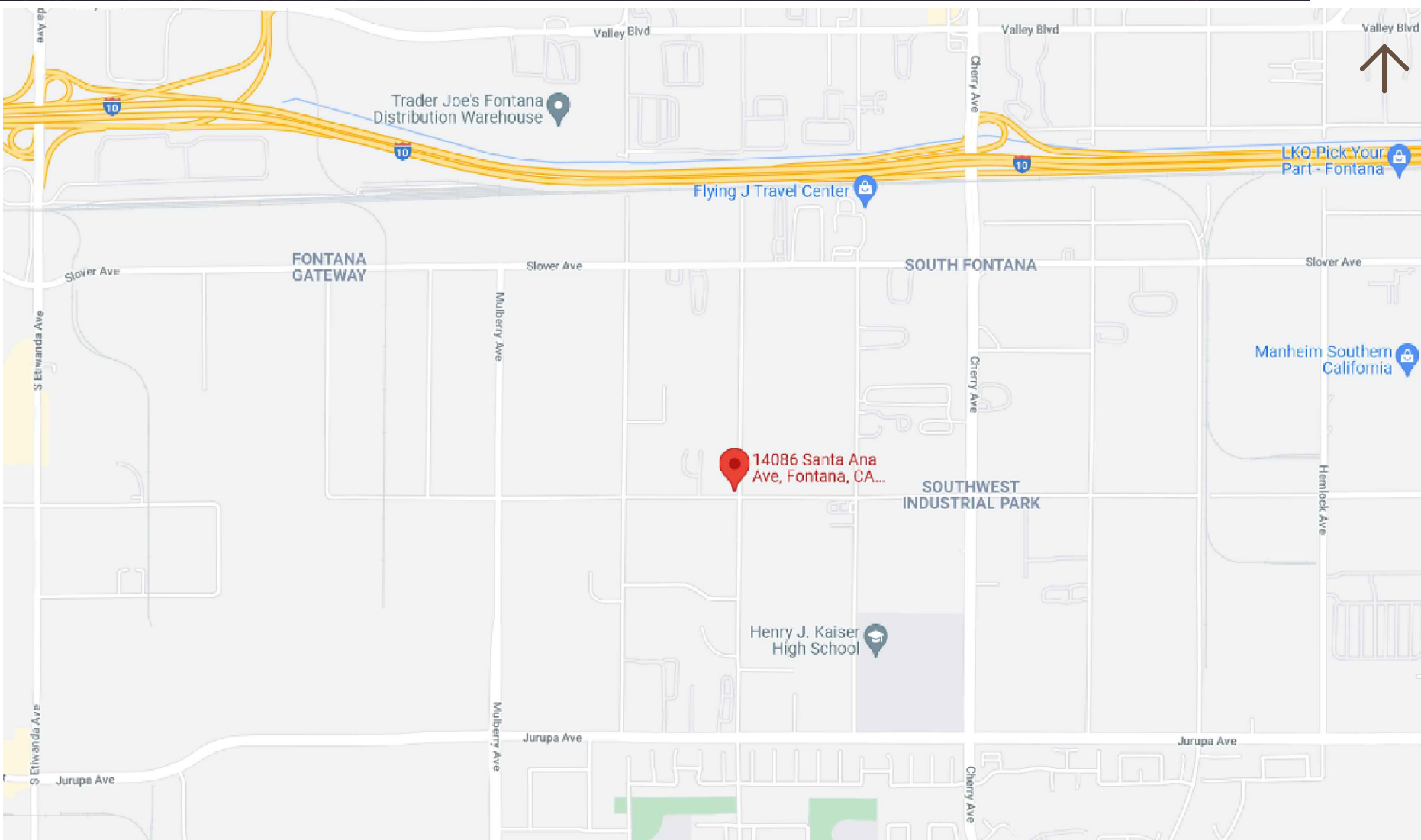
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Stormwater Management Design:
ASSUMED UNDERGROUND SYSTEM

Boundary Source:
PDF ALTA SURVEY



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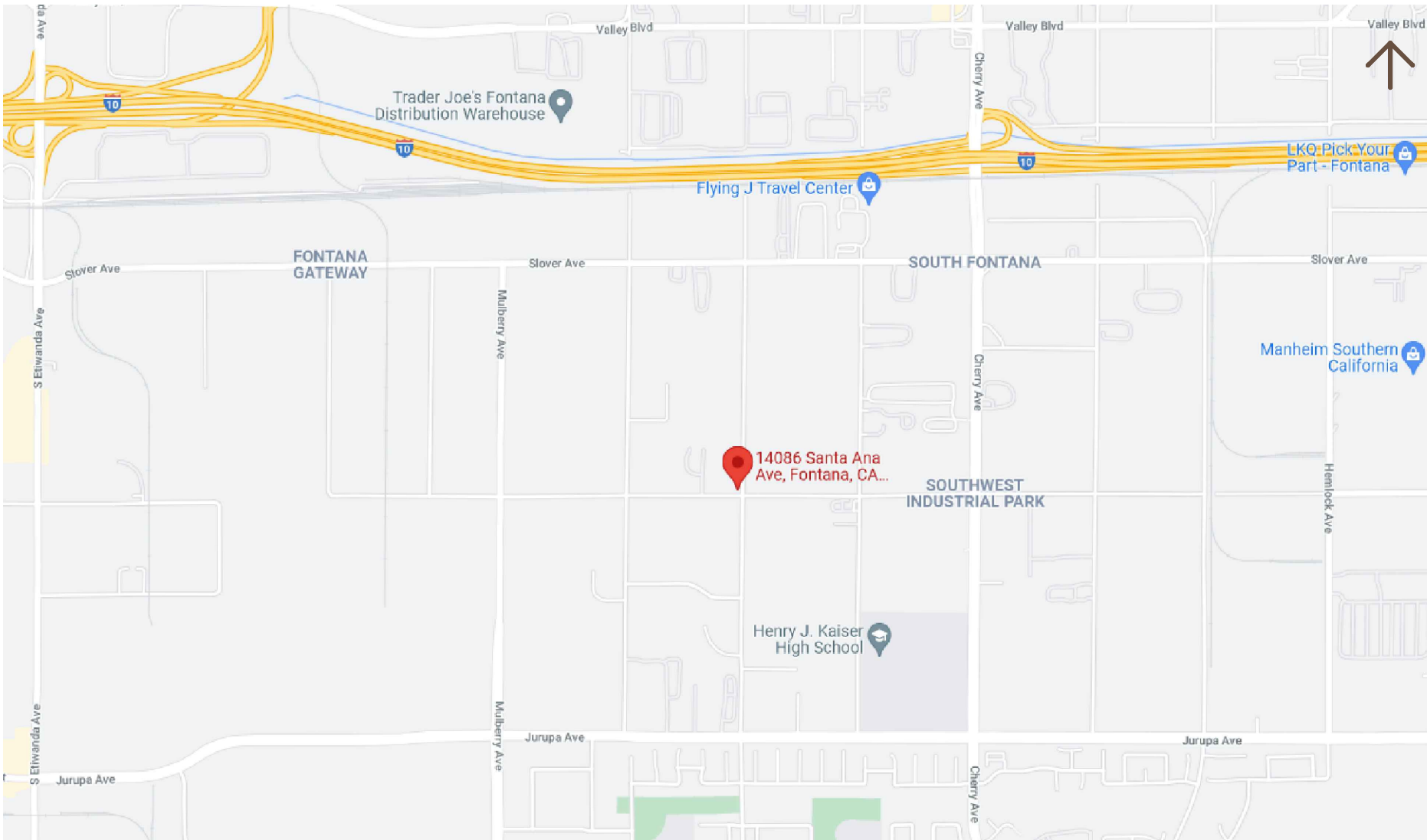
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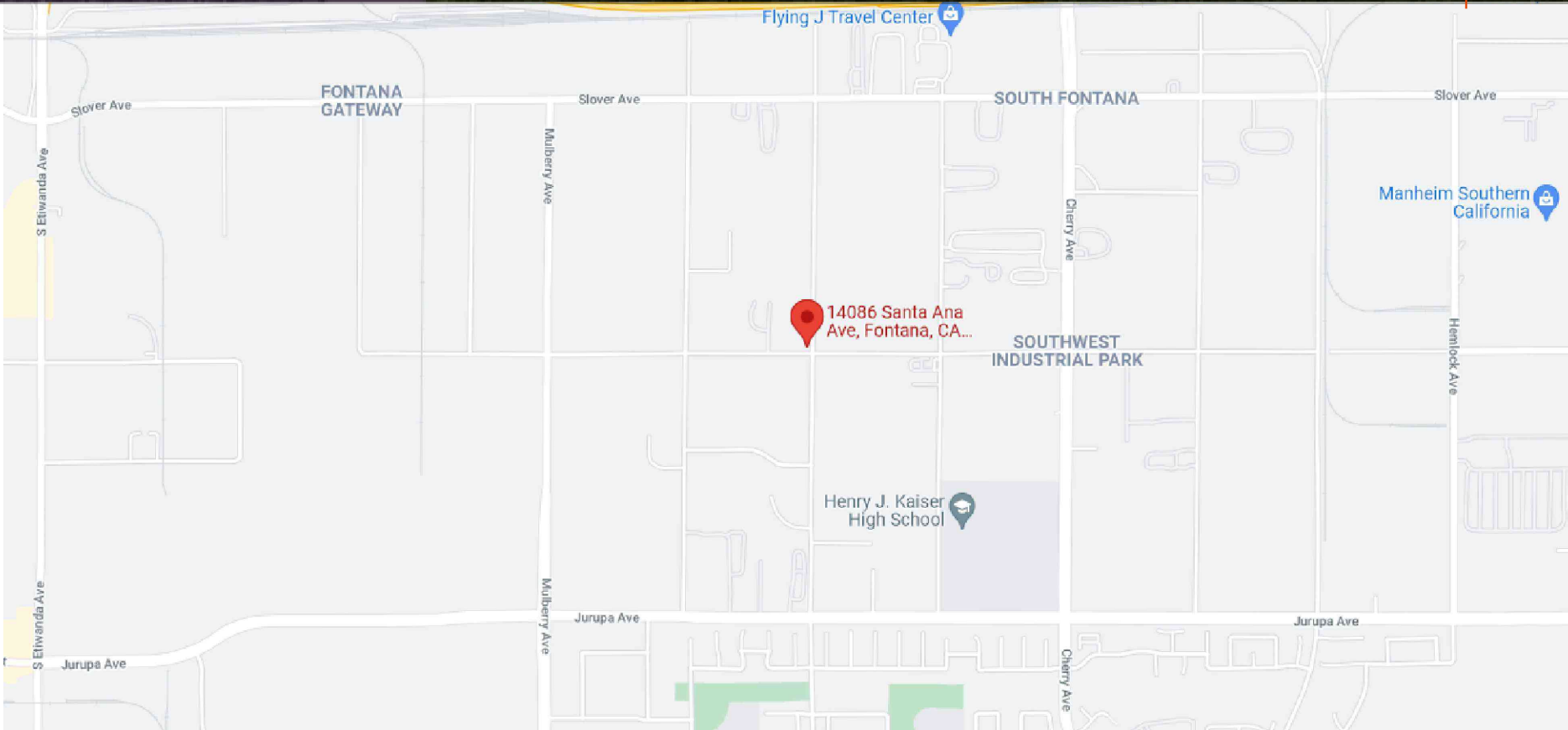
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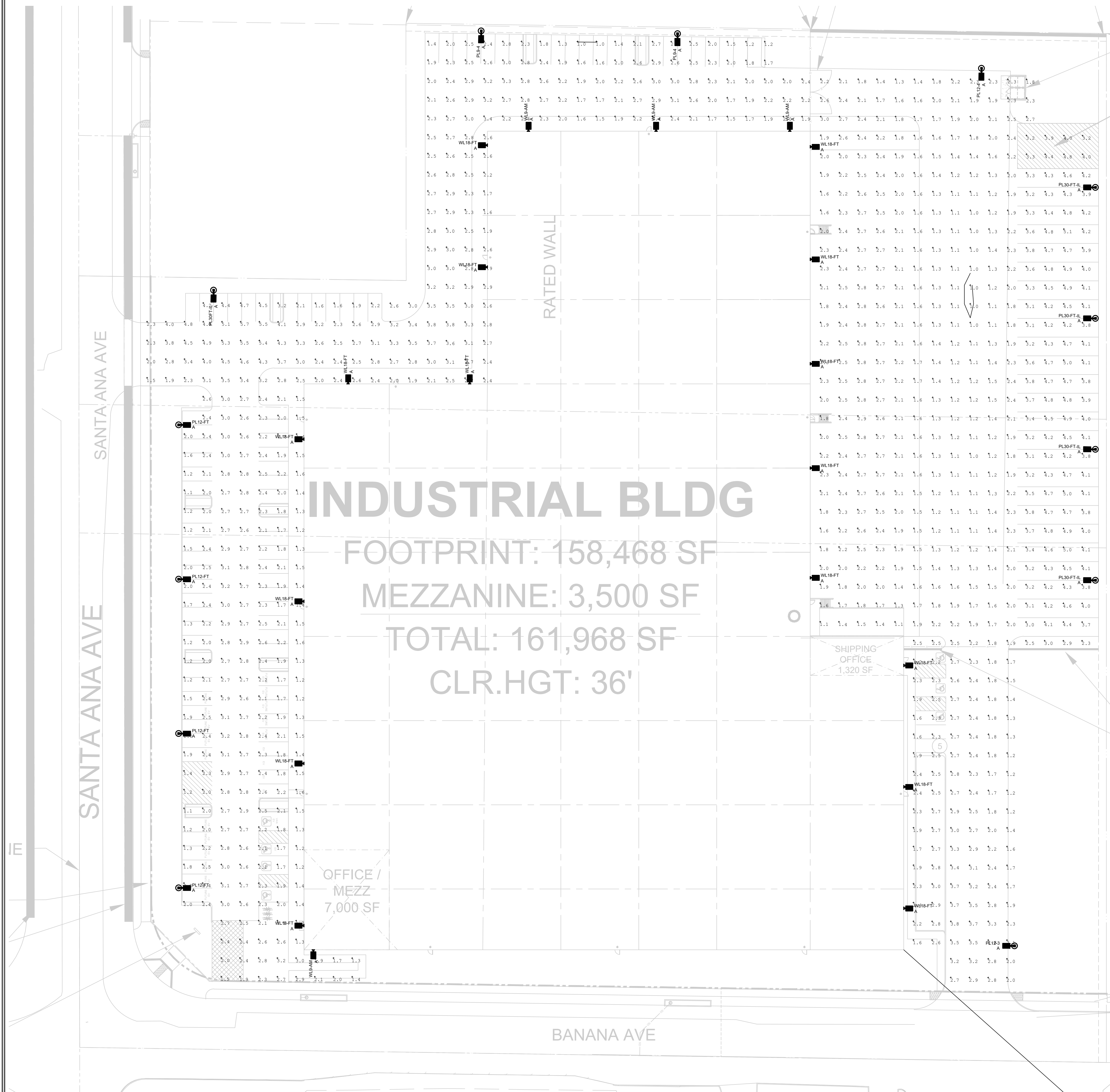
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INDUSTRIAL BLDG
FOOTPRINT: 158,468 SF
MEZZANINE: 3,500 SF
TOTAL: 161,968 SF
CLR.HGT: 36'

OFFICE /
MEZZ
7,000 SF

SHIPPING
OFFICE
1,320 SF

SITE LIGHTING PLAN
(SCALE: 1"=30'-0")

NONRESIDENTIAL MANDATORY MEASURES					
TABLE 6.106.8 (N) MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS ^{1,2}					
ALLOWABLE RATING	LIGHTING ZONE L20	LIGHTING ZONE L21	LIGHTING ZONE L22	LIGHTING ZONE L23	LIGHTING ZONE L24
Maximum Allowable Backlight Rating (B)					
Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 - 2 MH from property line	N/A	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 - 1 MH from property line	N/A	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	B0	B0	B1	B2
Maximum Allowable Uplight Rating (U)					
For area lighting ³	N/A	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	N/A	U1	U2	U3	U4
Maximum Allowable Glare Rating (G)					
Luminaire greater than 2 MH from property line	N/A	G1	G2	G3	G4
Luminaire front hemisphere is 1 - 2 MH from property line	N/A	G0	G1	G1	G2
Luminaire front hemisphere is 0.5 - 1 MH from property line	N/A	G0	G0	G1	G1
Luminaire front hemisphere is less than 0.5 MH from property line	N/A	G0	G0	G0	G1

CAL GREEN BUG TABLE

SITE LIGHTING STATISTICS						
Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min
Label	Illuminance	Fc	2.41	5.7	1.0	2.41
Site						5.7

FIXTURE LEGEND					
SYMBOL	DESCRIPTION	POLE/HEIGHT	BASE	BUG RATING	COMPLIES WITH CAL GREEN 5.106.8
PL12-FT	TYPE 4 9,000 LUMEN (LSI SLICE SLIM-LED-9L-SIL-4-50-70CRI) 5,000K LED CUT-OFF AND NO UPTILT*	25' SQR STL POLE	2'-6" HIGH CONC BASE	B1-U0-G3	YES
PL12-FT	TYPE 4 12,000 LUMEN (LSI SLICE SLIM-LED-12L-SIL-4-50-70CRI) 5,000K LED CUT-OFF AND NO UPTILT*	25' SQR STL POLE	2'-6" HIGH CONC BASE IN AUTO PARKING & 4" HIGH CONC BASE IN TRUCK YARD	B2-U0-G3	YES
PL30-FT-L	TYPE FT 30,000 LUMEN (LSI SLICE SLIM-LED-30L-SIL-FT-50-70CRI-L) 5,000K LED CUT-OFF WITH INTEGRAL LOUVER AND NO UPTILT*	25' SQR STL POLE	4" HIGH CONC BASE	B1-U0-G3	YES
WL3-AM	TYPE AM 9,000 LUMEN (LSI SLICE SLIM-LED-9L-SIL-AM-50-70CRI) 5,000K LED CUT-OFF WITH NO UPTILT	AT 34' AFF	N/A	B2-U0-G1	YES
WL18-3	TYPE 3 18,000 LUMEN (LSI SLICE SLIM-LED-18L-SIL-3-50-70CRI) 5,000K LED CUT-OFF WITH NO UPTILT	AT 34' AFF	N/A	B3-U0-G3	YES
WL18-FT	TYPE FT 18,000 LUMEN (LSI SLICE SLIM-LED-18L-SIL-FT-50-70CRI) 5,000K LED CUT-OFF WITH NO UPTILT	AT 34' AFF	N/A	B3-U0-G3	YES

* - SEE ARCHITECTURAL PLANS FOR ACTUAL POLE BASE HEIGHTS

CONTRACTORS
ENGINEERS
Lic No. 201042

608 W. EMPORIA ST.
ONTARIO, CA 91762
(909) 983-1794



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PROJECT:

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SANTA ANA
INDUSTRIAL

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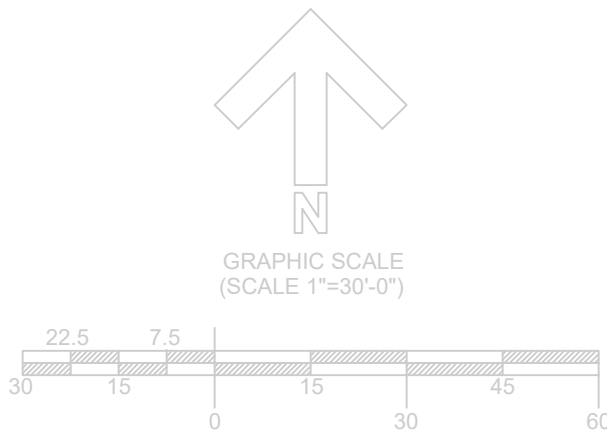
TITLE:
SITE LIGHTING PLAN

DRAWN BY: SL/BL
DATE: 3/8/24
SCALE: 1"=30'-0"

REVISION:	BY	DATE
A -	-	-
B -	-	-
C -	-	-
D -	-	-
E -	-	-
F -	-	-
G -	-	-
H -	-	-
J -	-	-
K -	-	-

JOB NO:

SHEET:
ESL1





GEIJERA PARVIFOLIA / AUSTRALIAN WILLOW



PINUS HALEPENSIS / ALEPPO PINE



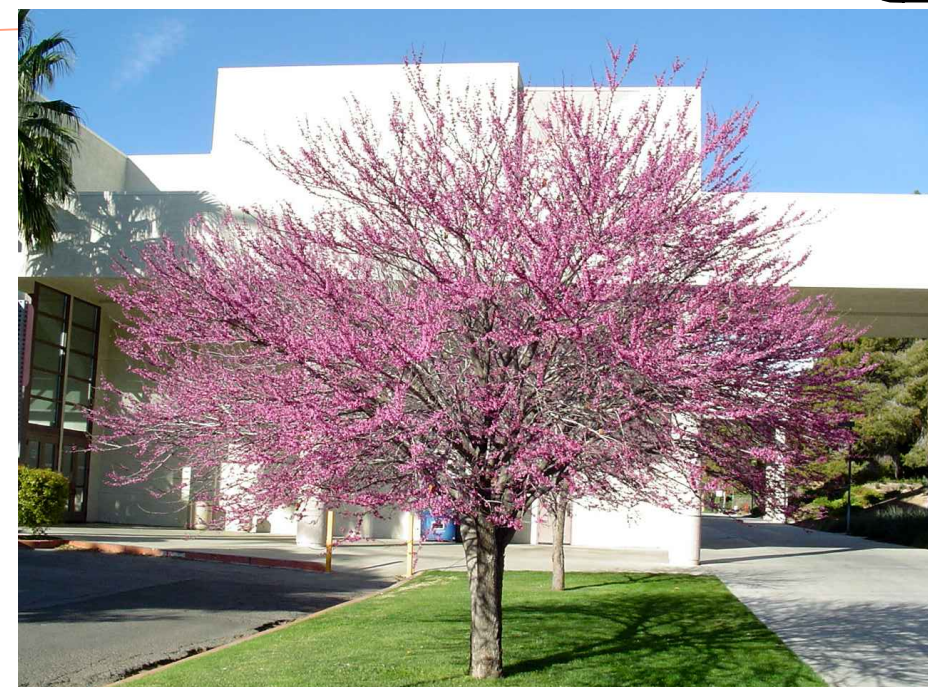
TRISTANIA CONFERTA / BRISBANE BOX



LAGERSTROEMIA INDICA / CREPE MYRTLE



KOELREUTERIA BIPINNATA / CHINESE FLAME TREE



CERCIS OCCIDENTALIS / WESTERN REDBUD



ULMUS PARVIFOLIA 'DRAKE' / EVERGREEN ELM

PRELIMINARY PLANTING LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	REGION 4 WUCOLS	QUANTITY
PROPOSED TREES				
	KOELREUTERIA BIPINNATA / CHINESE FLAME TREE	24" BOX STANDARD	LOW	18
	CERCIS OCCIDENTALIS / WESTERN REDBUD	24" BOX STANDARD	VERY LOW	19
	LAGERSTROEMIA INDICA / CREPE MYRTLE	24" BOX STANDARD	MOD	8
	PINUS HALEPENSIS / ALEPPO PINE	24" BOX STANDARD	LOW	10
	GEIJERA PARVIFOLIA / AUSTRALIAN WILLOW	36" BOX STANDARD	LOW	12
	TRISTANIA CONFERTA / BRISBANE BOX	24" BOX STANDARD	LOW	22
	ULMUS PARVIFOLIA 'DRAKE' / EVERGREEN ELM	24" BOX STANDARD	LOW	20

SYMBOL	BOTANICAL / COMMON NAME	SIZE	REGION 4 WUCOLS	QUANTITY
PROPOSED SHRUBS, GROUNDCOVER & VINES				
	BACCHARIS PILULARIS / DWARF GOTOYE BUSH	1 GAL / 42" O.C.	LOW	
	BOUGAINVILLEA 'MONKA' / BOUGAINVILLEA	1 GAL / 42" O.C.	LOW	
	BULBINE F. 'TINY TANGERINE' / TINY TANGERINE BULBINE	1 GAL / 30" O.C.	LOW	
	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLE BRUSH	5 GAL / 30" O.C.	LOW	
	CARISSA 'GREEN CARPET' / GREEN CARPET CARISSA	1 GAL / 24" O.C.	MOD	
	HESPERALOE PARVIFLORA / RED YUCCA	1 GAL / 30" O.C.	LOW	
	LANTANA 'NEW GOLD' / NEW GOLD LANTANA	1 GAL / 30" O.C.	LOW	
	LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	5 GAL / 36" O.C.	LOW	
	ELAEOAGNUS P. 'FRUITLANDII' / FRUITLAND SILVERBERRY	5 GAL / 36" O.C.	LOW	
	PHORMIUM T. 'SURFER' / SURFER NEW ZEALAND FLAX	5 GAL / 36" O.C.	LOW	
	ROSMARINUS 'PROSTRATUS' / PROSTRATE ROSEMARY	1 GAL / 24" O.C.	LOW	
	SALVIA LEUCANTHA / MEXICAN SAGE	1 GAL / 36" O.C.	LOW	

PROJECT NOTE:
LANDSCAPE AREAS SHALL BE IRRIGATED WITH A DRIP SYSTEM AND A SMART CONTROLLER.

SITE INFORMATION:
LANDSCAPE AREA REQUIRED: 15%
PROJECT SITE AREA: 400,164 SF (9.19 AC)
LANDSCAPE AREA PROVIDED: 60,025 SF
60,025 SF / 400,164 = 15%
REQUIRED TREES: 1 Tree / 600 sf of Landscape Area
400 / 60.025 = 100 TREES REQUIRED
PROPOSED ON-SITE TREES: 124
LANDSCAPE AREA - OFF-SITE: 4,830 SF
PROPOSED STREET TREES: 18

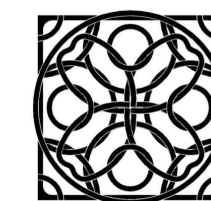
TREE REQUIREMENT
90% 24" box = 90 REQUIRED PROVIDED: 112
10% 36" box = 10 REQUIRED PROVIDED: 12
TOTAL TREES PROVIDED: 124

SHRUB REQUIREMENT
MINIMUM EIGHT (8) SHRUBS PER TREE
124 TREES x 8 = 992 SHRUBS
50% 5 gal = 496 MINIMUM SHRUBS
50% 1 gal = 496 MINIMUM SHRUBS

PLANT PALETTE FOR OFF-SITE RIGHT-OF-WAY AREA

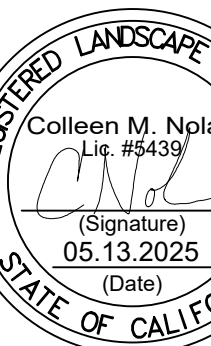
SYMBOL	BOTANICAL / COMMON NAME	SIZE	REGION 4 WUCOLS	QUANTITY
PROPOSED TREES				
	DESIGNATED STREET TREE PER THE CITY	24" BOX STANDARD	LOW	18
PROPOSED GROUNDCOVER				
	ROSMARINUS 'PROSTRATUS' / PROSTRATE ROSEMARY	1 GAL / 30" O.C.	LOW	

The Property Owner shall maintain off site areas until such time as the off site landscape areas are annexed into a Special District (CFD or L&LMD) and accepted by the City for maintenance purposes.



Colleen M. Nolan

Landscape Architect #5439
colleen@cmnolan.net
13355 Silverado Court, Corona 92803
714.743.7915 cell



Colleen M. Nolan

(Signature)
05.13.2025
STATE OF CALIFORNIA

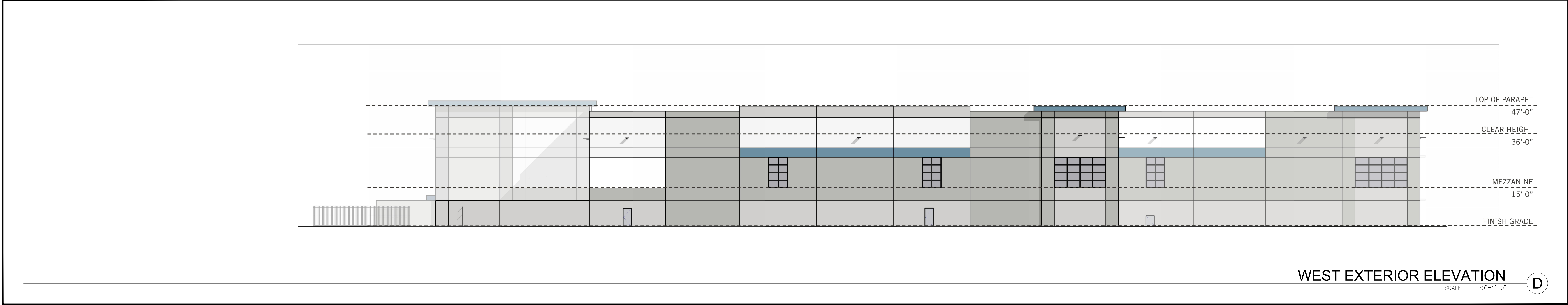
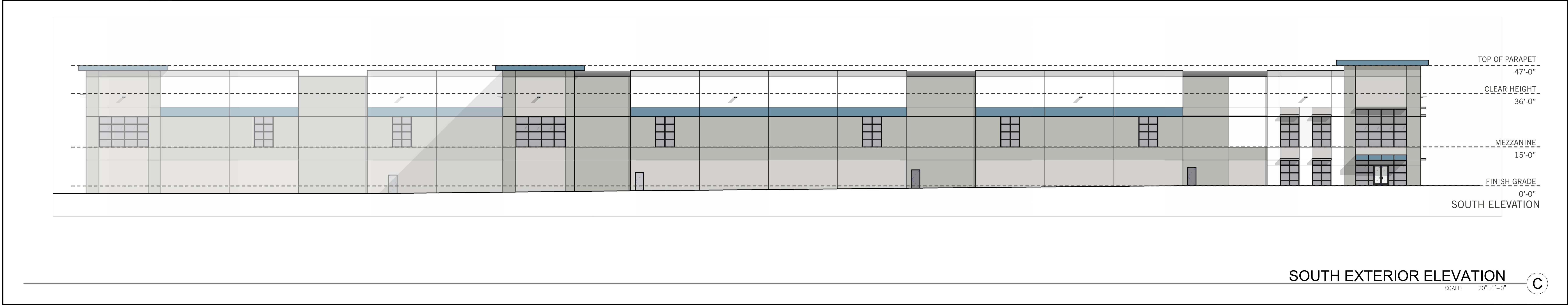
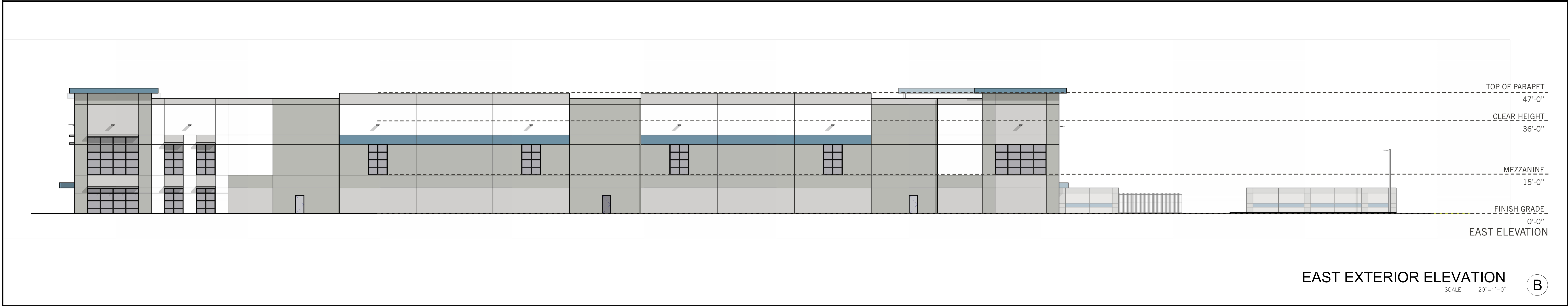
Preliminary Landscape Plan

14086 SANTA ANA AVE.
FONTANA, CA 92337

WARE MALCOMB

IRV22-034-00
05.13.2025

SHEET
L1.1



WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
interior design
graphics
civil engineering
10 Leelanau
P.O. Box 1000
P-949.660.9125
F-949.663.1381

LBA SANTA ANA FONTANA
14086 SANTA ANA AVE.
FONTANA, CA 92337

EXTERIOR ELEVATIONS	
DATE	REMARKS
03/11/2025	PLANNING SUBMITTAL
05/08/2025	PLANNING RESUBMITTAL

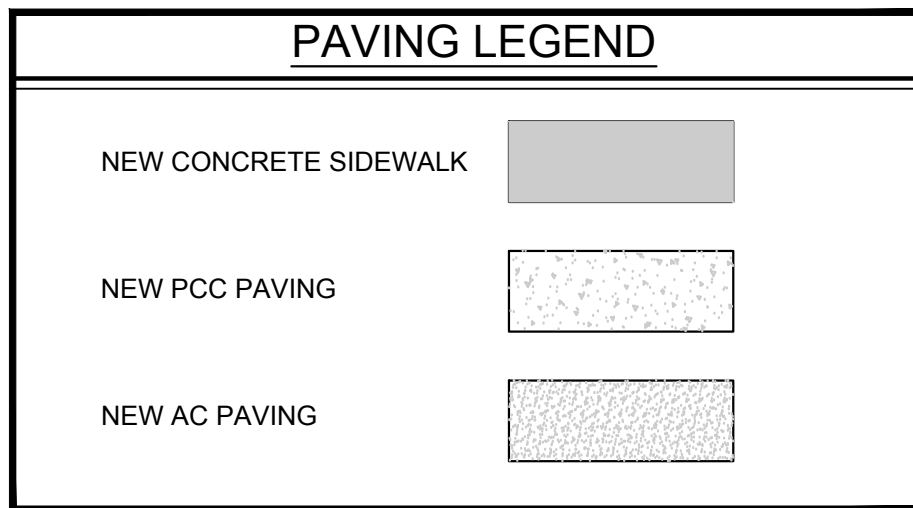
PA / PM:	D. MELENDEZ
DRAWN BY:	-
JOB NO.:	HRV22-0034-00

SHEET

A120

P:\RV22\0034\00\Civil\Sheets\Preliminary\RV22-0034_Title Sheet.dwg 07/24/2025 SLIN 1:1

SANTA ANA AVENUE TYPICAL SECTION



GRADING NOTES

1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THE PLANS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN, WITHOUT PROPER NOTIFICATION.
2. SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
3. ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
4. ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
5. CURB ELEVATIONS ARE AT FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
6. EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
7. SIDEWALKS AND LANDINGS SHALL BE 2% MAX CROSS-SLOPE TOWARD ROADS, DRIVE LINES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
8. SIDEWALKS AND LANDINGS SHALL BE 4% MAX SLOPE TO BE 2% MAX SLOPE IN ANY DIRECTION.
9. REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
10. GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH. REPORT.
11. PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY THE CALIFORNIA VEHICLE CODE. SEE REQUIREMENTS, RE: ARCHITECTURAL/LANDSCAPE PLANS.

EASEMENT NOTES

BASED UPON TITLE REPORT NO. NCS-1116502-SA1, DATED
FEBRUARY 28, 2022 AS PREPARED BY FIRST AMERICAN TITLE
INSURANCE COMPANY.

4. AN EASEMENT FOR WATER PIPES AND CONDUITS PURPOSES, IN FAVOR OF FONTANA UNION WATER COMPANY RECORDED AUGUST 14, 1941 IN BOOK 1489 PAGE 494 OF OFFICIAL RECORDS (THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION).
6. EASEMENT FOR HIGHWAY AND ROAD PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO RECORDED JUNE 18, 1996 AS INSTRUMENT NO. 1996-216635 OF OFFICIAL RECORDS (PLOTTED HEREON)

EASEMENT NOTES (CONTINUED)

BASED UPON TITLE REPORT NO. NCS-1122543-SA1, DATED
MARCH 29, 2022 AS PREPARED BY FIRST AMERICAN TITLE
INSURANCE COMPANY.

- 11** AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED AUGUST 28, 1968 IN BOOK 7085 PAGE 142 OF OFFICIAL RECORDS (PLOTTED HEREON)

12 AN EASEMENT FOR HIGHWAY AND ROAD AND INCIDENTAL PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO RECORDED SEPTEMBER 26, 1988 AS INSTRUMENT NO. 88-322526 OFFICIAL RECORDS (PLOTTED HEREON)

15 AN EASEMENT FOR HIGHWAY AND ROAD AND INCIDENTAL PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, RECORDED MAY 4, 2012 IN INSTRUMENT NO. 2012-0174413 OF OFFICIAL RECORDS (PLOTTED HEREON)

16 AN EASEMENT FOR HIGHWAY AND ROAD AND INCIDENTAL PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, RECORDED MAY 4, 2012 IN INSTRUMENT NO. 2012-0174414 OF OFFICIAL RECORDS (PLOTTED HEREON)

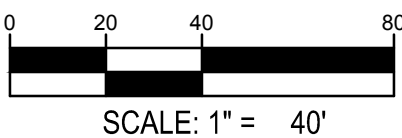
17 AN EASEMENT FOR HIGHWAY AND ROAD AND INCIDENTAL PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, RECORDED MAY 4, 2012 IN INSTRUMENT 2012-0174415 OF OFFICIAL RECORDS (PLOTTED HEREON)

18 AN EASEMENT FOR HIGHWAY AND ROAD AND INCIDENTAL PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, RECORDED MAY 4, 2012 IN INSTRUMENT 2012-0174416 OF OFFICIAL RECORDS (PLOTTED HEREON)



Know what's below.
Call before you dig.

WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.



WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

10 edelman
irvine, ca 92618
p 949 660 9128
waremalcomb.com



FOR AND ON BEHALF
OF WARE MALCOMB

PRELIMINARY GRADING PLAN

LBA SANTA ANA FONTANA

14032, 14046, & 14086 SANTA ANA AVE.,

10740, 10832, & 10848 BANANA AVE., FONTANA, CA 92337

PRELIMINARY GRADING PLAN

NO. DATE

REMARKS

JOB NO.:	IRV22-0034
PA / PM:	L. CORSBIE
DESIGNED:	A. CASTELO
DATE:	6/03/2025
PLOT DATE:	7/24/2025

SHEET

3

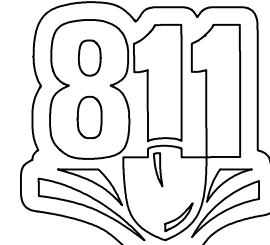
Sheet 3 of 10

NOT FOR CONSTRUCTION

EASEMENT NOTES

BASED UPON TITLE REPORT NO. NCS-1116502-SA1, DATED FEBRUARY 28, 2022 AS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

- AN EASEMENT FOR WATER PIPES AND CONDUITS PURPOSES, IN FAVOR OF FONTANA UNION WATER COMPANY RECORDED AUGUST 14, 1941 IN BOOK 1489 PAGE 494 OF OFFICIAL RECORDS (THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION).
- EASEMENT FOR HIGHWAY AND ROAD PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO RECORDED JUNE 18, 1996 AS INSTRUMENT NO. 1996-216635 OF OFFICIAL RECORDS (PLOTTED HEREON).



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EASEMENT NOTES (CONTINUED)

BASED UPON TITLE REPORT NO. NCS-1122543-SA1, DATED MARCH 29, 2022 AS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED AUGUST 28, 1968 IN BOOK 7085 PAGE 142 OF OFFICIAL RECORDS (PLOTTED HEREON)
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- AN EASEMENT FOR HIGHWAY AND ROAD AND INCIDENTAL PURPOSES, IN FAVOR OF THE COUNTY OF SAN BERNARDINO, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, RECORDED MAY 4, 2012 IN INSTRUMENT 2012-0174416 OF OFFICIAL RECORDS (PLOTTED HEREON)

A.P.N. 0236-081-28
OWNER: LBA RV-COMPANY XXX, LP

MATCHLINE
SEE SHEET 4

GRADING CONSTRUCTION NOTES

- JOIN TO EXISTING FEATURE AS SHOWN ON PLAN.
- NEW 0" PCC CURB.
- NEW 6" PCC CURB.
- NEW 6" PCC CURB & GUTTER.
- NEW 8" PCC CURB & GUTTER
- NEW 3"-WIDE PCC VALLEY GUTTER.
- NEW AC PAVING PER GEOTECHNICAL RECOMMENDATIONS.
- NEW PCC PAVING PER GEOTECHNICAL RECOMMENDATIONS.
- NEW 4" THICK, 5' WIDE PCC SIDEWALK.
- NEW ADA PARKING STALLS. ADA PARKING AREA TO BE 2% MAX SLOPE IN ALL DIRECTIONS.
- NEW LOCAL DEPRESSION AT CATCH BASIN.

- NEW STAIRWAY WITH HANDRAILS.
- NEW RETAINING WALL.
- NEW BUILDING DEEPEMED FOOTING.
- NEW DRIVEWAY ENTRANCE PER CITY STD PLAN #1001.
- NEW TURF BLOCK FOR FIRE ACCESS.
- NEW PEDESTRIAN CURB RAMP AT INTERSECTION.
- NEW CITY STANDARD STREET LIGHT
- NEW FENCING PER ARCHITECTURAL PLANS.
- NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- NEW LANDSCAPED AREA PER LANDSCAPE PLANS.
- NEW VEGETATED GRASS SWALE.
- NEW 18" MAX PCC CURB

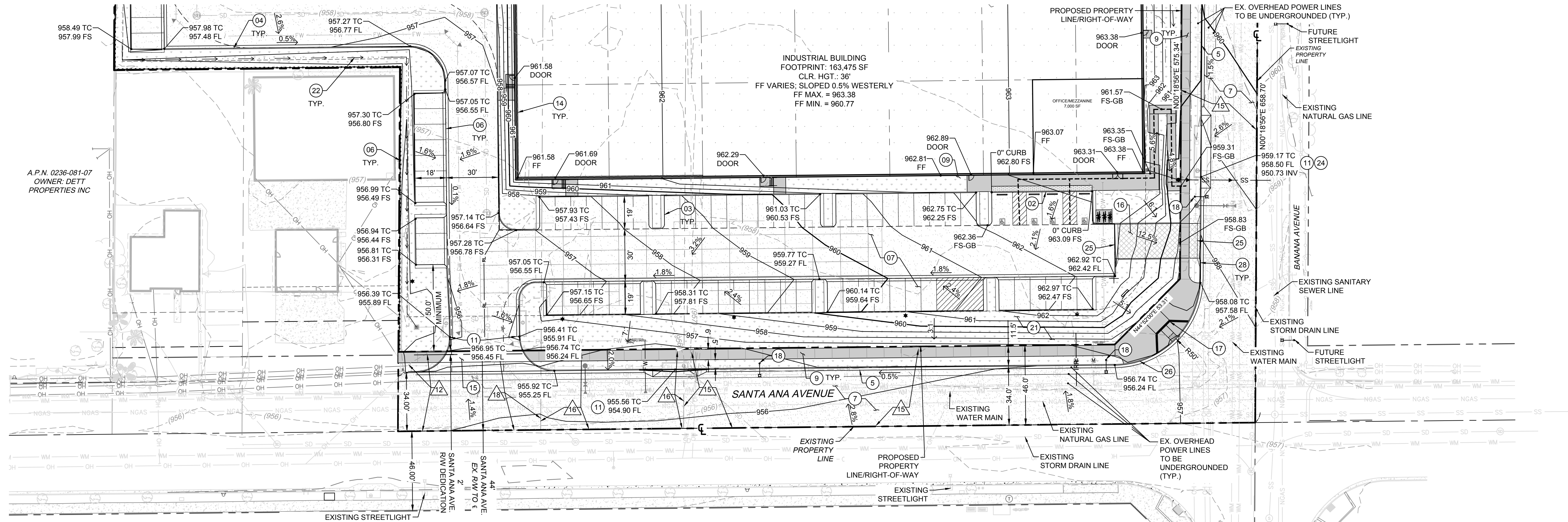
- NEW CATCH BASIN PER CITY STD PLAN #3004.
- NEW 2'-WIDE ROLLED 6" CURB.
- NEW 50' RADIUS CURB RETURN PER CITY STD #1003.
- NEW ADS MC-7200 STORMTECH CHAMBER SYSTEM UNDERGROUND INFILTRATION BASIN BMP. REFER TO SHEET 6 FOR DESIGN INFORMATION, AND SHEETS 8 & 9 FOR DETAILS.
- 5' TRANSITION FROM 8" VERTICAL CURB TO 6" ROLLED CURB

GRADING LEGEND

- 5280.00 PROPOSED SPOT ELEVATION
- 5280.01 EXISTING SPOT ELEVATION
- 2.00% PROPOSED SLOPE / GRADE
- 2.00% EXISTING SLOPE / GRADE
- HP HIGH POINT
- LP LOW POINT
- GB GRADE BREAK
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- TG TOP OF GRATE
- FS FINISHED SURFACE
- FL FLOW LINE ELEVATION
- INV INVERT ELEVATION
- FG FINISHED GRADE
- ME MATCH EXISTING



0 15 30 60
SCALE: 1" = 30'



BASED UPON TITLE REPORT NO. NCS-1116502-SA1, DATED
FEBRUARY 28, 2022 AS PREPARED BY FIRST AMERICAN TITLE
INSURANCE COMPANY.

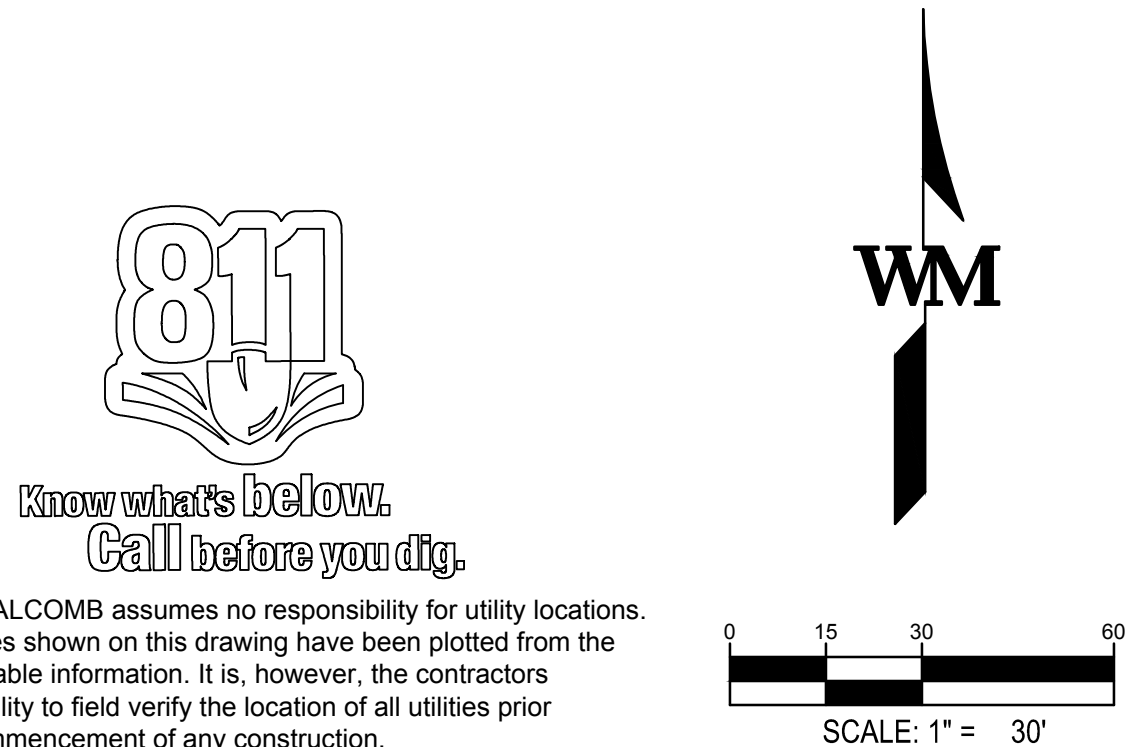
- BASED UPON TITLE REPORT NO. NCS-1122543-SA1, DATED MARCH 29, 2022 AS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

- | | |
|------------|--------------------------|
| ● 5280.00 | PROPOSED SPOT ELEVATION |
| ■ (5280.0) | EXISTING SPOT ELEVATION |
| ↘ 2.00% | PROPOSED SLOPE / GRADE |
| ↘ 2.00% | EXISTING SLOPE / GRADE |
| HP | HIGH POINT |
| LP | LOW POINT |
| GB | GRADE BREAK |
| FF | FINISHED FLOOR ELEVATION |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| FS | FINISHED SURFACE |
| FL | FLOW LINE ELEVATION |
| INV | INVERT ELEVATION |
| FG | FINISHED GRADE |
| ME | MATCH EXISTING |

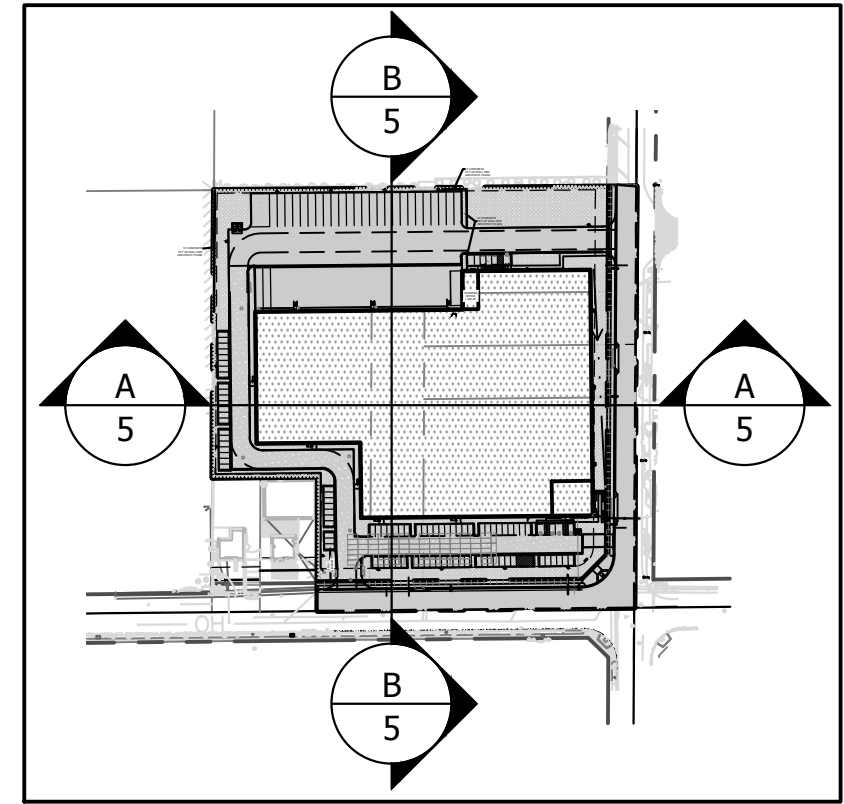
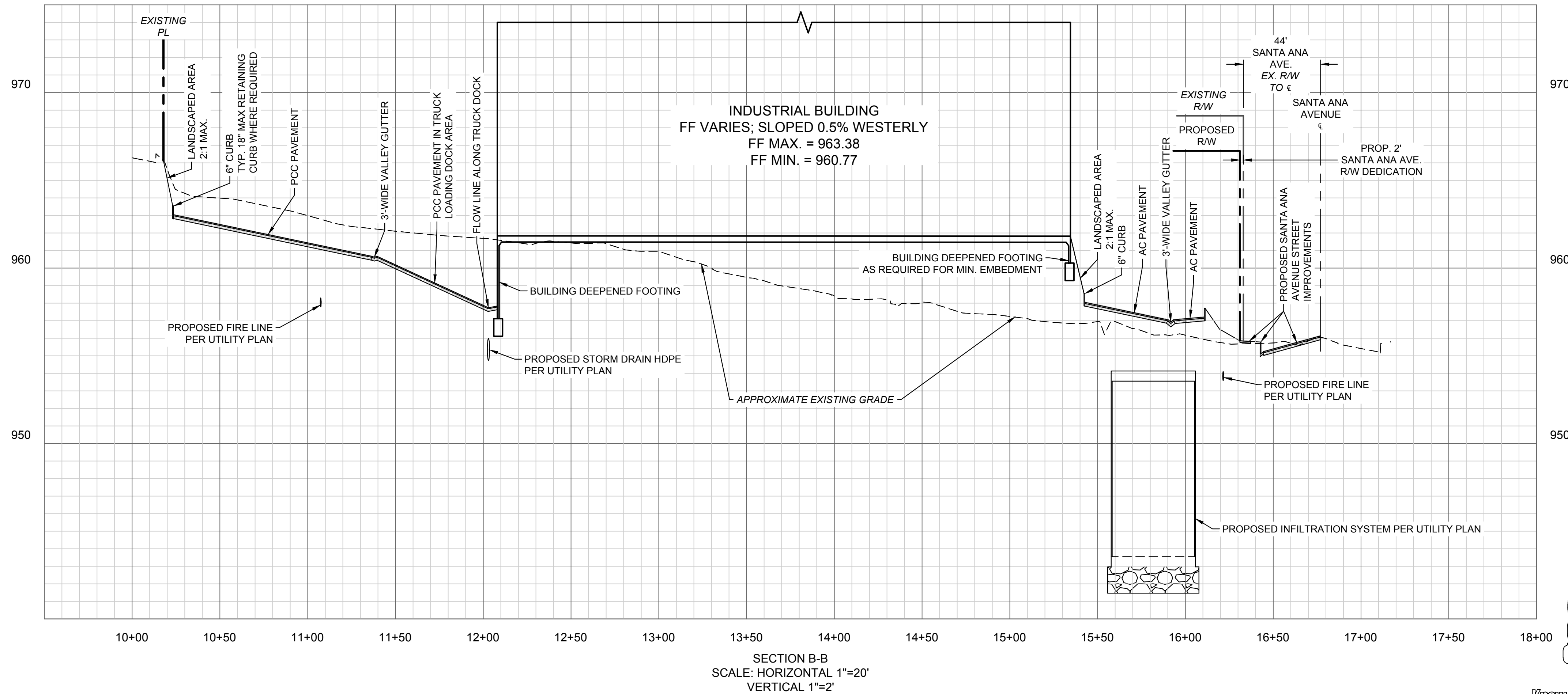
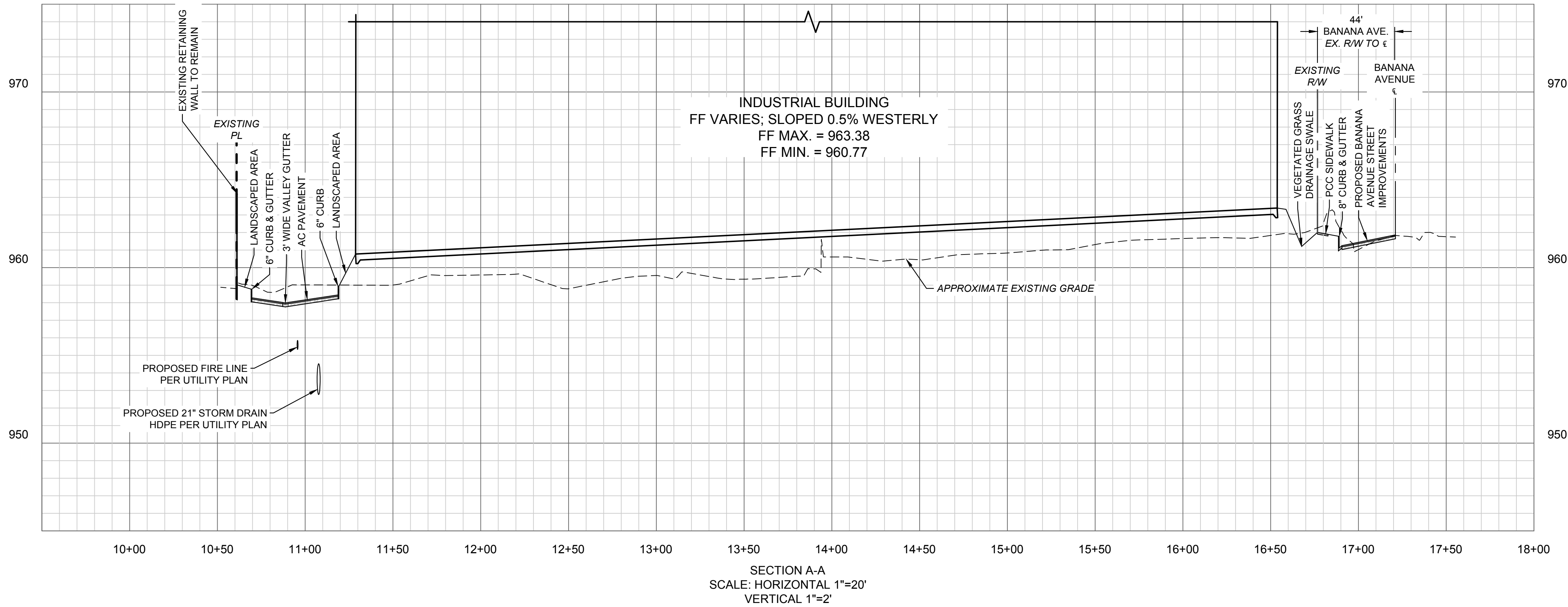
- ① JOIN TO EXISTING FEATURE AS SHOWN ON PLAN.
- ② NEW 0" PCC CURB.
- ③ NEW 6" PCC CURB.
- ④ NEW 6" PCC CURB & GUTTER.
- ⑤ NEW 8" PCC CURB & GUTTER
- ⑥ NEW 3'-WIDE PCC VALLEY GUTTER.
- ⑦ NEW AC PAVING PER GEOTECHNICAL RECOMMENDATIONS.
- ⑧ NEW PCC PAVING PER GEOTECHNICAL RECOMMENDATIONS.
- ⑨ NEW 4" THICK, 5' WIDE PCC SIDEWALK.
- ⑩ NEW ADA PARKING STALLS. ADA PARKING AREA TO BE 2% MAX SLOPE IN ALL DIRECTIONS.
- ⑪ NEW LOCAL DEPRESSION AT CATCH BASIN.

- | | | | |
|------|--|------|---|
| (12) | NEW STAIRWAY WITH HANDRAILS. | (24) | NEW CATCH BASIN PER CITY STD PLAN #3004. |
| (13) | NEW RETAINING WALL. | (25) | NEW 2'-WIDE ROLLED 6" CURB. |
| (14) | NEW BUILDING DEEPEINED FOOTING. | (26) | NEW 50' RADIUS CURB RETURN PER CITY STD #1003. |
| (15) | NEW DRIVEWAY ENTRANCE PER CITY STD PLAN #1001. | (27) | NEW ADS MC-7200 STORMTECH CHAMBER SYSTEM UNDERGROUND INFILTRATION BASIN BMP. REFER TO SHEET 6 FOR DESIGN INFORMATION, AND SHEETS 8 & 9 FOR DETAILS. |
| (16) | NEW TURF BLOCK FOR FIRE ACCESS. | (28) | 5' TRANSITION FROM 8" VERTICAL CURB TO 6" ROLLED CURB |
| (17) | NEW PEDESTRIAN CURB RAMP AT INTERSECTION. | | |
| (18) | NEW STREET LIGHT PER CITY STD #1017 | | |
| (19) | NEW FENCING PER ARCHITECTURAL PLANS. | | |
| (20) | NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS. | | |
| (21) | NEW LANDSCAPED AREA PER LANDSCAPE PLANS. | | |
| (22) | NEW VEGETATED GRASS SWALE. | | |
| (23) | NOT USED. | | |

1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THE PLANS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
2. SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
3. ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
4. ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
5. CURB ELEVATIONS ARE AT FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
6. EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
7. SIDEWALKS AND LANDINGS SHALL BE 2% MAX CROSS-SLOPE TOWARD ROADS, DRIVE LANES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
8. ACCESSIBLE PARKING STALLS AND LOADING AREAS TO BE 2% MAX SLOPE IN ANY DIRECTION.
9. SEE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
10. GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH REPORT.
11. PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS. RE: ARCHITECTURAL/LANDSCAPE PLANS.



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.



KEY MAP
SCALE: 1" = 500'

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

10 edelman
irvine, ca 92618
p 949 660 9128
waremalcomb.com



07/24/2025

FOR AND ON BEHALF
OF WARE MALCOMB

PRELIMINARY GRADING PLAN

LBA SANTA ANA FONTANA

14032, 14046, & 14086 SANTA ANA AVE.,

10740, 10832, & 10848 BANANA AVE., FONTANA, CA 92337

PRELIMINARY GRADING SECTIONS

NO.	DATE	REMARKS

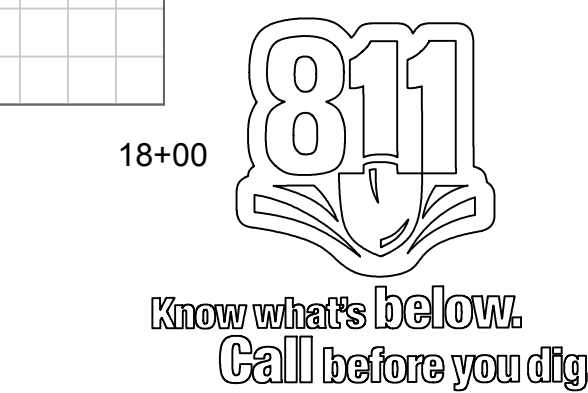
JOB NO.:	IRV22-0034
PA / PM:	L. CORSBIE
DESIGNED:	A. CASTELO
DATE:	6/03/2025
PLOT DATE:	7/24/2025

SHEET

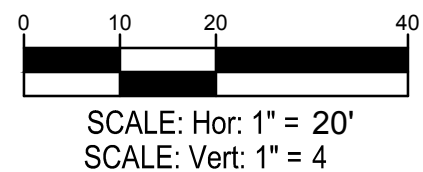
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Sheet 5 of 10

NOT FOR CONSTRUCTION



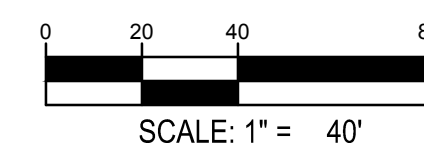
WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.





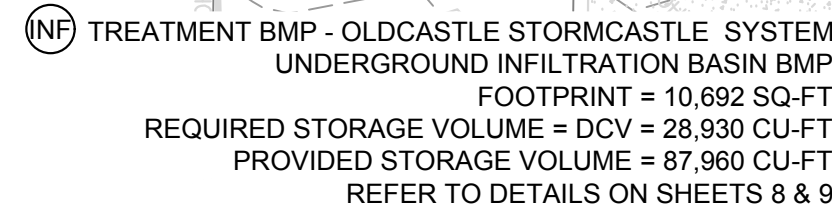
WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

1. CONTRACTOR SHALL VERIFY THE ELEVATION OF ALL EXISTING UTILITIES WHERE NEW GRADING OR UTILITY WORK WILL OCCUR AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
2. SEE PERMITS SHEET FOR ELEVATION, MARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
3. PROPOSED DRY UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY UTILITY PROVIDERS AND/OR MEP.
4. EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING. REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
5. MANHOLES ARE CONTROLLED AT CENTER OF MANHOLE.
6. ALL RCP TO BE CLASS III OR APPROVED EQUIVALENT UNLESS OTHERWISE NOTED.
7. ALL STORM AND SANITARY PVC TO BE SDR35 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.
8. ALL WATER PVC TO BE C900 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.



IMPERVIOUS RATIO OF 85% USED IN WATER QUALITY CALCULATIONS

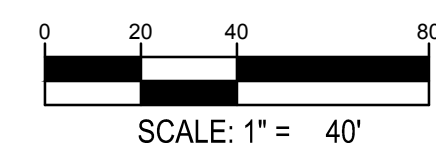
A.P.N. 0236-081-28
OWNER: LBA RV-COMPANY XXX, LP



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

PRE OLDCASTLE FIRST DEFENSE HYDRODYNAMIC SEPARATOR BMP
(REFER TO DETAILS ON SHEET 9)

NET PROJECT AREA (DA 1A) = **350,050 SF**
IMP = **85.0%** (MAXIMUM 85% IMPERVIOUSNESS ASSUMED)
 $R_c = [(0.858)(0.850)^3] - [(0.78)(0.850)^2] + [(0.774)(0.850)] + 0.04$
 $R_c = \mathbf{0.6613}$
2-YR, 1-HR RAINFALL DEPTH (NOAA) = **0.516 IN**
C₁ VALLEY = **1.4807**
 $P_6 = (0.516)(1.4807) = \mathbf{0.764 IN}$
C₂ LAHAR DRAWDOWN = **1.963**
 $DCV = (\frac{\pi}{4})(349.743 SF)(0.6613)(0.764 IN)(1.963) = \mathbf{28,930 CU-FT}$
STORAGE CAPACITY OF INFILTRATION BMP = 87,960 CU-FT



WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

10 edelman
irvine, ca 92618
p 949.660.9128
waremalcomb.com



07/24/2025

FOR AND ON BEHALF
OF WARE MALCOMB

PRELIMINARY GRADING PLAN

LBA SANTA ANA FONTANA

14032, 14046, & 14086 SANTA ANA AVE.,
10740, 10832, & 10848 BANANA AVE., FONTANA, CA 92337

BMP DETAILS

NO. DATE REMARKS

JOB NO.: IRV22-0034
PA / PM: L. CORSBIE
DESIGNED: A. CASTELO
DATE: 6/03/2025
PLOT DATE: 7/24/2025

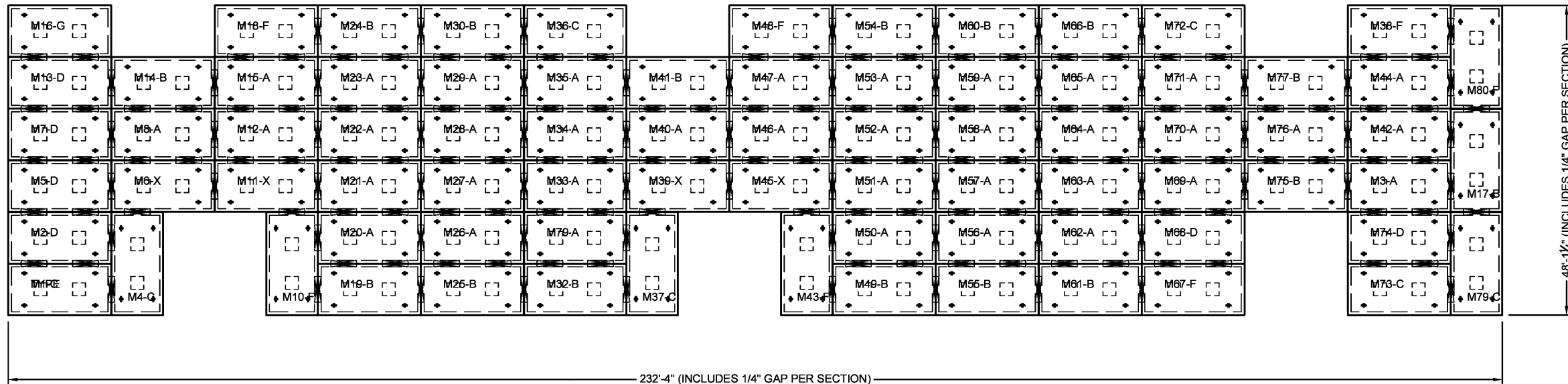
SHEET

8

Sheet 8 of 10

NOT FOR CONSTRUCTION

MODULE NOTES		
TYPE	QUANTITY	HEIGHT
A	37	10.00'
B	18	10.00'
C	7	10.00'
D	6	10.00'
E	7	10.00'
F	1	10.00'
G	4	10.00'
TOTAL	78	
VOLUME	87,200	CUBIC FEET



PLAN VIEW
SCALE: 1/20" = 1'-0"

DESIGN NOTES

- LIVE LOADING CRITERIA:
 - AASHTO HS-20-44 DESIGN TRUCK (WITH IMPACT AT 0.50FT MINIMUM COVER)
 - LATERAL LIVE LOAD SURCHARGE: 80 PSF (TO 8.00FT DEPTH)
 - NO LATERAL SURCHARGE(S) FROM ANY ADJACENT BUILDINGS, WALLS, FOUNDATIONS, OR ANY ADDITIONAL SITE ELEMENTS.
- SOIL LOADING CRITERIA:
 - SOIL COVER DEPTH: 0.50FT (MIN.) - 5.00FT (MAX.)
 - SOIL UNIT WEIGHT: 120 PCF
 - ASSUMED WATER TABLE ELEVATION: BELOW BOTTOM OF PRECAST
 - REQUIRED ALLOWABLE BEARING PRESSURE: 2,500 PSF
 - EQUIVALENT LATERAL FLUID PRESSURE, ACTIVE: 45 PCF (DRAINED)
 - EQUIVALENT LATERAL FLUID PRESSURE, AT REST: 60 PCF (DRAINED)
 - EQUIVALENT LATERAL FLUID PRESSURE, PASSIVE: 150 PCF (DRAINED)
 - ASSUMED COEFFICIENT OF FRICTION: 0.40
- SEISMIC LATERAL EARTH PRESSURES NOT APPLICABLE
- STORMCAPTURE MODULE TYPE: INFILTRATION (SOLITIGHT)
- CONCRETE (NORMALWEIGHT):
 - MIN. 28-DAY COMPRESSIVE STRENGTH: 6,000 PSI
 - CEMENT: ASTM C150
- STEEL REINFORCEMENT: ASTM A615 / A706 (GRADE 60), ASTM A1064 (GRADE 80)
- REFERENCE STANDARDS: ASTM C913 & C890, ACI 318-14



REV	DESCRIPTION	DATE
1	SC2 5-5	6/03/2025

Oldcastle Infrastructure
A JACOBY COMPANY

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STORMCAPTURE @ INFILTRATION SYSTEM 1

CUSTOMER: Ware Malcomb

JOB NAME: LBA Fontana - SC2

JOB NUMBER: 1

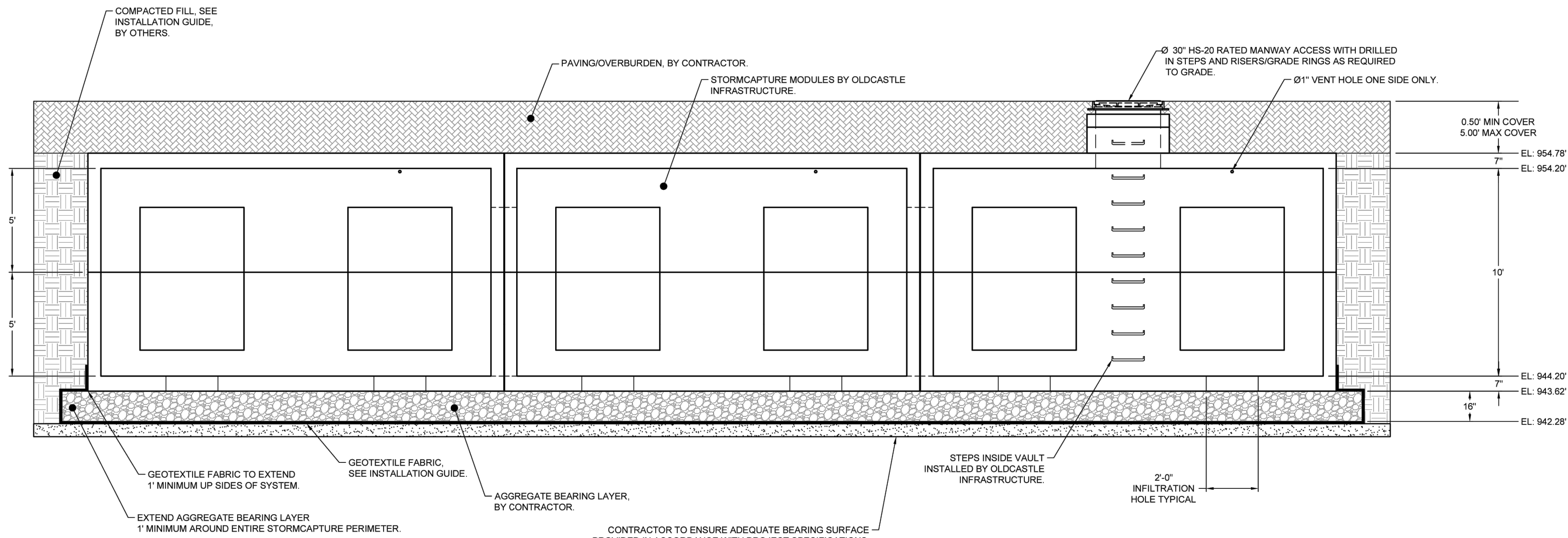
DATE: 6/03/2025

SUBMIT: 1 OF 3

OLDCASTLE STORMCAPTURE INFILTRATION SYSTEM - SHEET 1 OF 3

REVIEWING NOTES

- THIS SYSTEM HAS BEEN DESIGNED PER THE DESIGN PARAMETERS SPECIFIED IN THE DESIGN NOTES. REVIEWING ENGINEER SHALL VERIFY THAT THESE PARAMETERS MEET OR EXCEED PROJECT SPECIFIC REQUIREMENTS. IF SITE CONDITIONS DIFFER FROM NOTED DESIGN PARAMETERS, REVIEWING ENGINEER SHALL NOTIFY OLDCASTLE FOR POTENTIAL REDESIGN AND/OR PRICING ADJUSTMENTS.
- REVIEWING ENGINEER SHALL VERIFY ALL PIPE PENETRATION LOCATIONS, SIZES, AND INVERTS.
- REVIEWING ENGINEER SHALL VERIFY ALL MANWAY ACCESS LOCATIONS AND RIM ELEVATIONS.
- THIS SYSTEM IS DESIGNED FOR A GROUNDWATER TABLE ELEVATION PER DESIGN NOTE 2C, SHEET 1. REVIEWING ENGINEER SHALL VERIFY THAT THE DESIGN GROUNDWATER ELEVATION MEETS OR EXCEEDS SITE CONDITION REQUIREMENTS. NOTIFY OLDCASTLE IF SITE CONDITIONS VARY FROM WHAT HAS BEEN SPECIFIED FOR POTENTIAL SYSTEM DESIGN CHANGES AND/OR PRICING ADJUSTMENTS.
- STORMCAPTURE MODULES ARE NOT WATERTIGHT. IF A WATERTIGHT SOLUTION IS REQUIRED, CONTACT OLDCASTLE FOR RECOMMENDATIONS. THE WATERTIGHT APPLICATION TO BE PROVIDED AND IMPLEMENTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE SELECTED WATERTIGHT SOLUTION PERFORMS AS SPECIFIED BY THE MANUFACTURER.
- DESIGN OF THE STORMCAPTURE PRECAST MODULE SYSTEM ASSUMES NO ADJACENT BUILDING(S), WALL(S), OR STRUCTURAL FOUNDATION(S) WITHIN A 1:1 INFLUENCE LINE FROM THE BOTTOM EDGE OF ANY SYSTEM MODULE. ANY SITE ELEMENTS BEYOND THIS ZONE OF INFLUENCE ARE ASSUMED TO HAVE NO IMPACT ON THE SYSTEM AND EXERT ZERO LATERAL SURCHARGE ONTO THE MODULES. THE CONTRACTOR SHALL VERIFY THAT ANY ADJACENT BUILDING(S), WALL(S), OR STRUCTURAL FOUNDATION(S) DO NOT LIE WITHIN THIS INFLUENCE ZONE OR DO NOT SURCHARGE THE PRECAST MODULES.
- WRITTEN APPROVAL OF SUBMITTAL DRAWINGS ALONG WITH SIGNED PURCHASE ORDER REQUIRED FOR BEGINNING OF PRODUCT FABRICATION. ANY SYSTEM MODIFICATION POST-APPROVAL MAY RESULT IN CHANGE ORDER(S) AND/OR POTENTIAL DELIVERY DELAYS.
- ALL SAND FILTER MEDIA, DRAIN ROCK AGGREGATE, PIPE, AND FITTINGS PROVIDED BY CONTRACTOR.



TYPICAL ELEVATION
NTS

NOTES:

- FOR INFILTRATION - EXFILTRATION SYSTEMS, THE AGGREGATE SUBGRADE MUST BE WASHED AND CLEAN.



REV	DESCRIPTION	DATE
1	SC2 5-5	6/03/2025

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STORMCAPTURE @ INFILTRATION SYSTEM 1

CUSTOMER: Ware Malcomb

JOB NAME: LBA Fontana - SC2

JOB NUMBER: 1

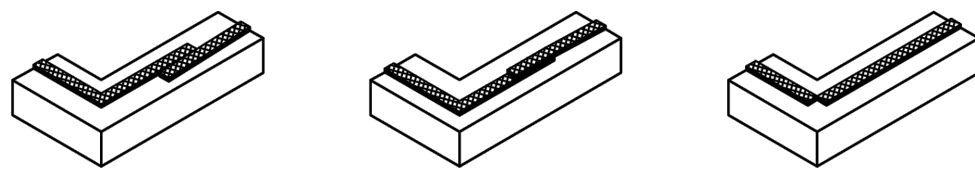
DATE: 6/03/2025

SUBMIT: 2 OF 3

OLDCASTLE STORMCAPTURE INFILTRATION SYSTEM - SHEET 2 OF 3

- INSTALLATION NOTES
- UNDERGROUND PRECAST CONCRETE SYSTEM INSTALLATION SHALL BE PER ASTM C891, "STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES" AND PER OLDCASTLE.
 - MODULE SUBBASE OR SUBGRADE SHALL BE LEVEL/SCREEDED AND COMPACTED ADEQUATELY FOR REQUIRED BEARING CAPACITY PER DESIGN NOTE 2D, SHEET 1. CONTRACTOR AND/OR INSTALLING SUB-CONTRACTOR SHALL VERIFY THAT SOIL BEARING CONDITIONS MEET OR EXCEED DESIGN REQUIRED MINIMUMS PRIOR TO PLACEMENT AND INSTALLATION OF MODULES.
 - ANY CONSTRUCTION EQUIPMENT EXCEEDING NOTED DESIGN LOADING IS NOT PERMITTED OVER OR ADJACENT TO ANY MODULE WITHOUT FORMAL REVIEW AND WRITTEN APPROVAL BY OLDCASTLE ENGINEERING. ELSE PRODUCT WARRANTY MAY BE VOIDED. ANY DESIGN CONSTRAINT EXCEEDING THE DESIGN PARAMETERS NOTED ABOVE MAY REQUIRE CUSTOM STRUCTURAL DESIGN, SUBGRADE REVISIONS, AND/OR PRICING ADJUSTMENTS.
 - HEAVY VIBRATORY COMPACTION EQUIPMENT SHALL NOT BE OPERATED WITHIN 10 FEET OF MODULE EXTERIOR.
 - MINIMUM OF 0.5FT OF SOIL COVER REQUIRED FOR CONSTRUCTION EQUIPMENT OPERATION ON TOP OF SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND INSTALLING SUB-CONTRACTOR TO ENSURE THAT NO MODULES ARE DAMAGED DURING CONSTRUCTION.
 - UNLESS NOTED OTHERWISE, ALL PIPE SUPPLIED AND INSTALLED BY OTHERS. CONTRACTOR MAY MODIFY AT RISK ANY OLDCASTLE PRODUCT(S) IN THE FIELD OR AFTER DELIVERY WITHOUT FORMAL REVIEW AND WRITTEN APPROVAL BY OLDCASTLE ENGINEERING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ANY PRODUCT MODIFICATIONS DO NOT INVALIDATE THE PRODUCT WARRANTY.
 - MODULE PLACEMENT FIELD TOLERANCES SHALL NOT EXCEED 3/4" BETWEEN ADJACENT MODULES. IF MODULE GAP EXCEEDS 3/4", CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS AND RESET MODULE(S) TO BRING WITHIN NOTED TOLERANCES.
 - CONTRACTOR IS RESPONSIBLE FOR PRODUCTS ONCE DELIVERED TO THE SITE. OLDCASTLE IS NOT RESPONSIBLE FOR OFF-LOADING PRODUCTS, MAINTENANCE, AND INSTALLATION OF PRODUCTS ONCE THEY ARRIVE TO THE SITE.
 - CONTRACTOR SHALL INSTALL SYSTEM PER PROJECT WATERPROOFING AND SOILTIGHTNESS REQUIREMENTS. WATERPROOFING AND SOILTIGHTNESS INSTALLATION IS NOT BY OLDCASTLE AND OLDCASTLE WILL PROVIDE NO GUARANTEE FOR THIS COMPONENT OF SYSTEM INSTALLATION.

KEYWAYS MUST BE FREE OF DIRT, ROCKS, AND WATER. ROCKS AND DIRT PREVENT THE VAULT SECTIONS FROM SEATING AND SEALING PROPERLY. REMOVE ALL PROTECTIVE PAPER FROM RUBBER SEALANT MATERIAL. SPLICE RUBBER SEALANT MATERIAL WITH A "SIDE BY SIDE" JOINT, AWAY FROM CORNERS. CORNER SPLICING WILL NOT SEAL PROPERLY.



CORRECT - INSTALL RUBBER SEALANT MATERIAL AT THE OUTER EDGE OF THE KEYWAY. RUBBER SEALANT SHOULD BE CONTINUOUS AROUND CORNERS.

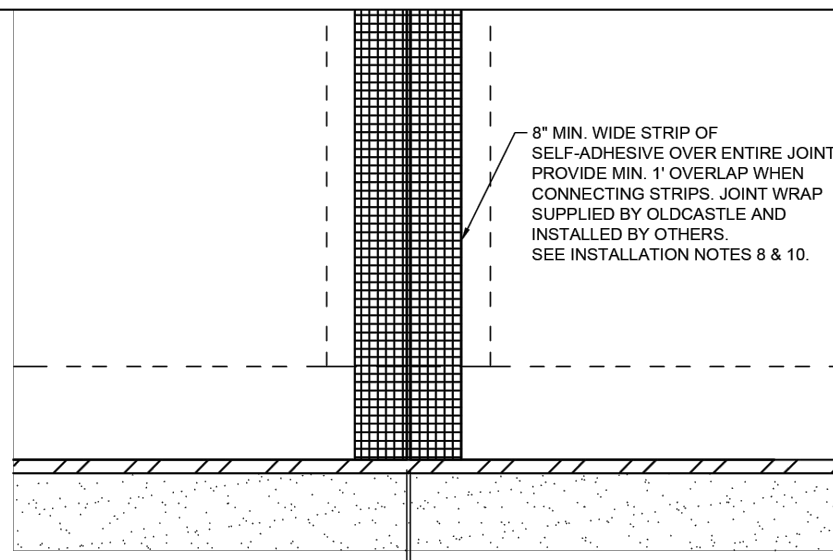
INCORRECT - DO NOT OVERLAP THE RUBBER SEALANT MATERIAL AT SPLICE.

INCORRECT - DO NOT SPLICE RUBBER SEALANT MATERIAL AT A CORNER. RUBBER SEALANT SHOULD BE CONTINUOUS AROUND CORNERS.

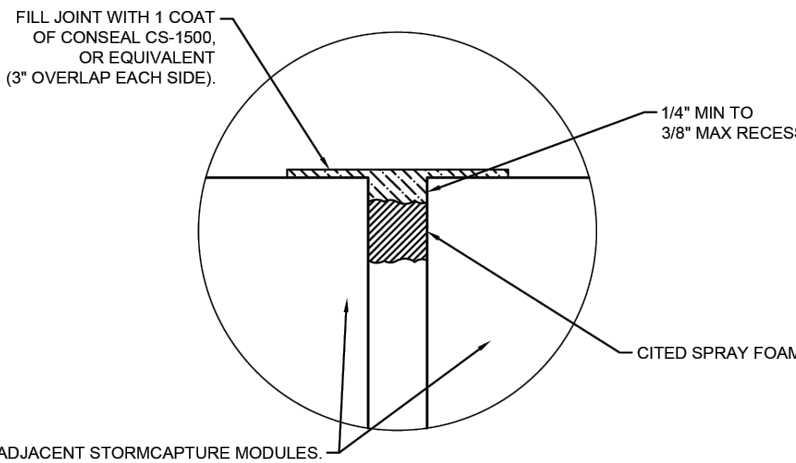
BUTYL RUBBER SEALANT (CONSEAL CS-102 OR EQUAL)
PLACEMENT DETAIL
N.T.S.

MAXIMUM EQUIPMENT OPERATING WEIGHT (OW) BY TRACK WIDTH				
TRACK WIDTH	12"	18"	24"	30"
MIN TRACK LENGTH	8'-0"	10'-0"	12'-0"	14'-0"
FILL DEPTH (FT)	OW (LBS)	OW (LBS)	OW (LBS)	OW (LBS)
0.5	35,000	45,000	52,500	54,500
1	35,000	45,000	56,000	60,500
2	35,000	45,000	56,000	64,000
3	76,000	78,500	83,500	88,000
4	94,000	100,000	106,000	113,000
5	100,000	116,000	132,000	149,000

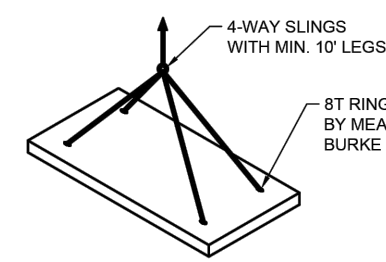
- NOTES:
- IF CONSTRUCTION EQUIPMENT EXCEEDS THE ABOVE OPERATING WEIGHT LIMITS REFER TO INSTALLATION NOTE 3.
 - FOR WHEELED CONSTRUCTION EQUIPMENT LIMITS REFER TO INSTALLATION NOTE 3.
 - MINIMUM AXLE SPACING FOR ALL TRACK WIDTHS IS 6'-0".



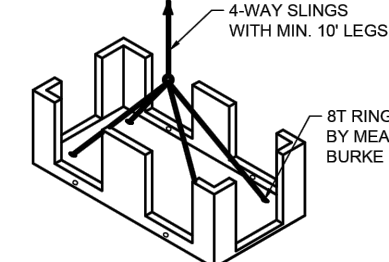
MODULE JOINT DETAIL
SCALE: 1/2" = 1'-0"



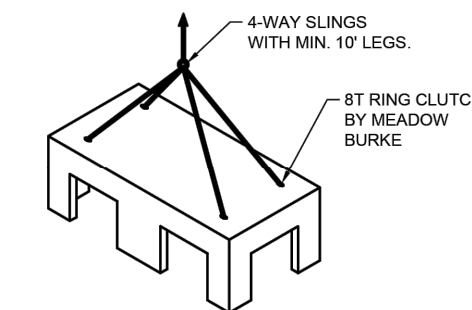
INTERIOR JOINT SEAL DETAIL
N.T.S.



LINK SLAB LIFTING DETAIL
N.T.S.



BOTTOM MODULE LIFTING DETAIL
N.T.S.

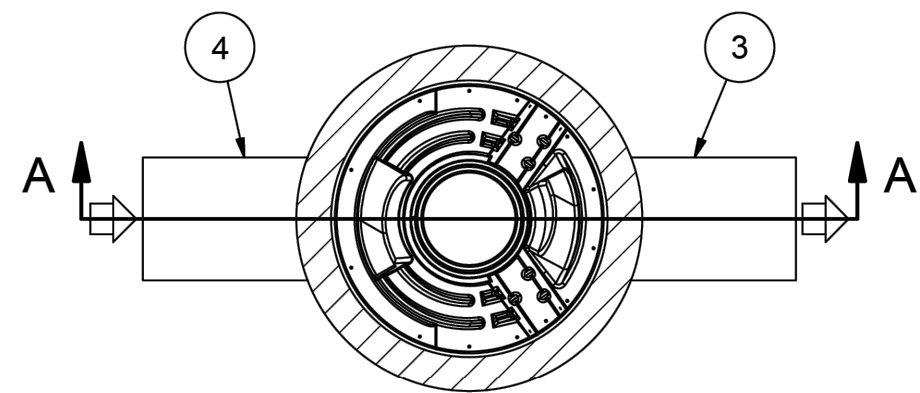


TOP MODULE LIFTING DETAIL
N.T.S.

REV	DESCRIPTION	DATE
1	OLDCASTLE INFRASTRUCTURE	
2	STORMCAPTURE	
3	INFILTRATION SYSTEM	
4	CUSTOMER: Ware Malcomb	
5	PROJECT: LBA Fontana - SC2	
6	DATE: 6/9/2025	
7	SC2 5-5	
8	3 OF 3	

OLDCASTLE STORMCAPTURE INFILTRATION SYSTEM - SHEET 3 OF 3

GENERAL ARRANGEMENT
NOT FOR CONSTRUCTION



RIM: VARIES

T.O.S.: 6.46 ft [1.969 m] (MINIMUM)
NOTE: ADDITIONAL HEIGHT MAY BE REQUIRED DEPENDING ON PIPE SIZE.

PIPE INVERTS: 3.71 ft [1.131 m] (MINIMUM)

PREASSEMBLY REFERENCE: 2.67 ft [.813 m]

BOTTOM OF INTERNALS: 1.83 ft [.559 m]

SUMP: .00 ft [.000 m]

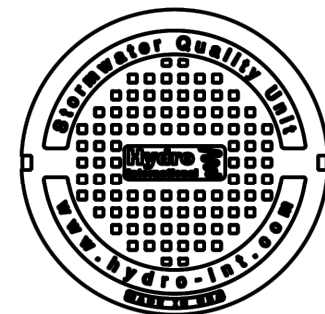
SECTION A-A

PARTS LIST				
ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	36	900	PRECAST MANHOLE
2	1	30	750	FRAME AND COVER (ROUND)
3	1	10	254	OUTLET PIPE (BY OTHERS)
4	1	10	254	INLET PIPE (BY OTHERS)
5	1			SEPARATION MODULE
6	1			LEDGER SUPPORT
7	1			5mm SCREEN

PRODUCT NOTES:

- PEAK HYDRAULIC FLOW: 15.0 cfs (424 l/s)
- MIN SEDIMENT STORAGE CAPACITY: 0.4 cu. yd. (0.3 cu. m.)
- THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
- MULTIPLE INLET PIPES POSSIBLE.
- INLET/OUTLET PIPE ANGLE CAN VARY TO ALIGN WITH DRAINAGE NETWORK.
- PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PIPE DIAMETER.
- LARGER SEDIMENT STORAGE CAPACITY CAN BE PROVIDED WITH A DEEPER SUMP DEPTH.
- UNIT SHALL CONFORM TO HS20-44 LOAD RATINGS.
- FOR MORE PRODUCT INFORMATION INCLUDING REGULATORY ACCEPTANCES, PLEASE VISIT: <https://hydro-int.com/en/products/first-defense>

ANY WARRANTY GIVEN BY HYDRO INTERNATIONAL WILL APPLY ONLY TO THOSE ITEMS SUPPLIED BY IT. ACCORDINGLY HYDRO INTERNATIONAL CANNOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURE, PLANT, OR EQUIPMENT, OR THE PERFORMANCE THEREOF, DESIGNED, BUILT, MANUFACTURED, OR SUPPLIED BY ANY THIRD PARTY. HYDRO INTERNATIONAL HAVE A POLICY OF CONTINUOUS DEVELOPMENT AND RESERVE THE RIGHT TO AMEND THE SPECIFICATION. HYDRO INTERNATIONAL CANNOT ACCEPT LIABILITY FOR PERFORMANCE OF ITS EQUIPMENT, OR ANY PART THEREOF, IF THE EQUIPMENT IS SUBJECT TO CONDITIONS OUTSIDE ANY DESIGN SPECIFICATION. HYDRO INTERNATIONAL OWNS THE COPYRIGHT OF THIS DRAWING, WHICH IS SUPPLIED IN CONFIDENCE. IT MUST NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED AND MUST NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR PERMISSION IN WRITING FROM HYDRO INTERNATIONAL.
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HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED



IF IN DOUBT ASK

DATE: 5/2/2024 SCALE: 1:25
DRAWN BY: CHECKED BY: APPROVED BY:

Title: FIRST DEFENSE
36" DIAMETER
GENERAL ARRANGEMENT

Patent: www.hydro-int.com/patents

Hydro International
hydro-int.com
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WEIGHT: MATERIAL:

REFERENCE NUMBER:

DRAWING NO.: 3R FD CA
SHEET SIZE: B SHEET: 1 OF 1 Rev: N/A

OLDCASTLE FIRST DEFENSE HYDRODYNAMIC SEPARATOR

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

10 edelman
irvine, ca 92618
p 949.660.9128
waremalcomb.com



07/24/2025

FOR AND ON BEHALF
OF WARE MALCOMB

PRELIMINARY GRADING PLAN

LBA SANTA ANA FONTANA

14032, 14046, & 14086 SANTA ANA AVE.,

10740, 10832, & 10848 BANANA AVE., FONTANA, CA 92337

BMP DETAILS

NO. DATE

REMARKS

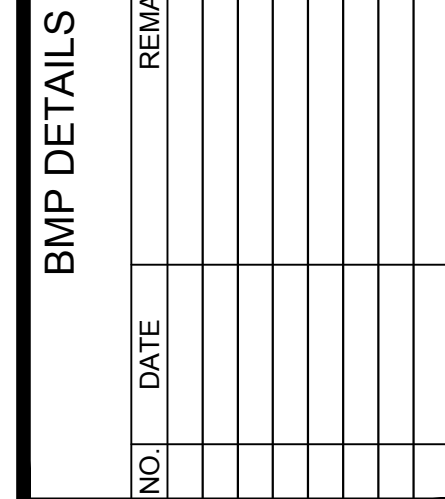
JOB NO.: IRV22-0034
PA / PM: L. CORSBIE
DESIGNED: A. CASTELO
DATE: 6/03/2025
PLOT DATE: 7/24/2025

SHEET

9

Sheet 9 of 10

NOT FOR CONSTRUCTION



JOB NO.:	IRV22-0034
PA / PM:	L. CORSBIE
DESIGNED:	A. CASTELO
DATE:	6/03/2025
PLOT DATE:	7/24/2025

WARE MALCOMB DATE: MAR 14th, 2025



FOR AND ON BEHALF
OF WARE MALCOMB

TENTATIVE PARCEL MAP NO. 20664

LBA SANTA ANA FONTANA

14032, 14046 & 14086 SANTA ANA AVE.,
10740, 10832, & 10848 BANANA AVE., FONTANA, CA 92337

TENTATIVE PARCEL MAP
NO. 20664

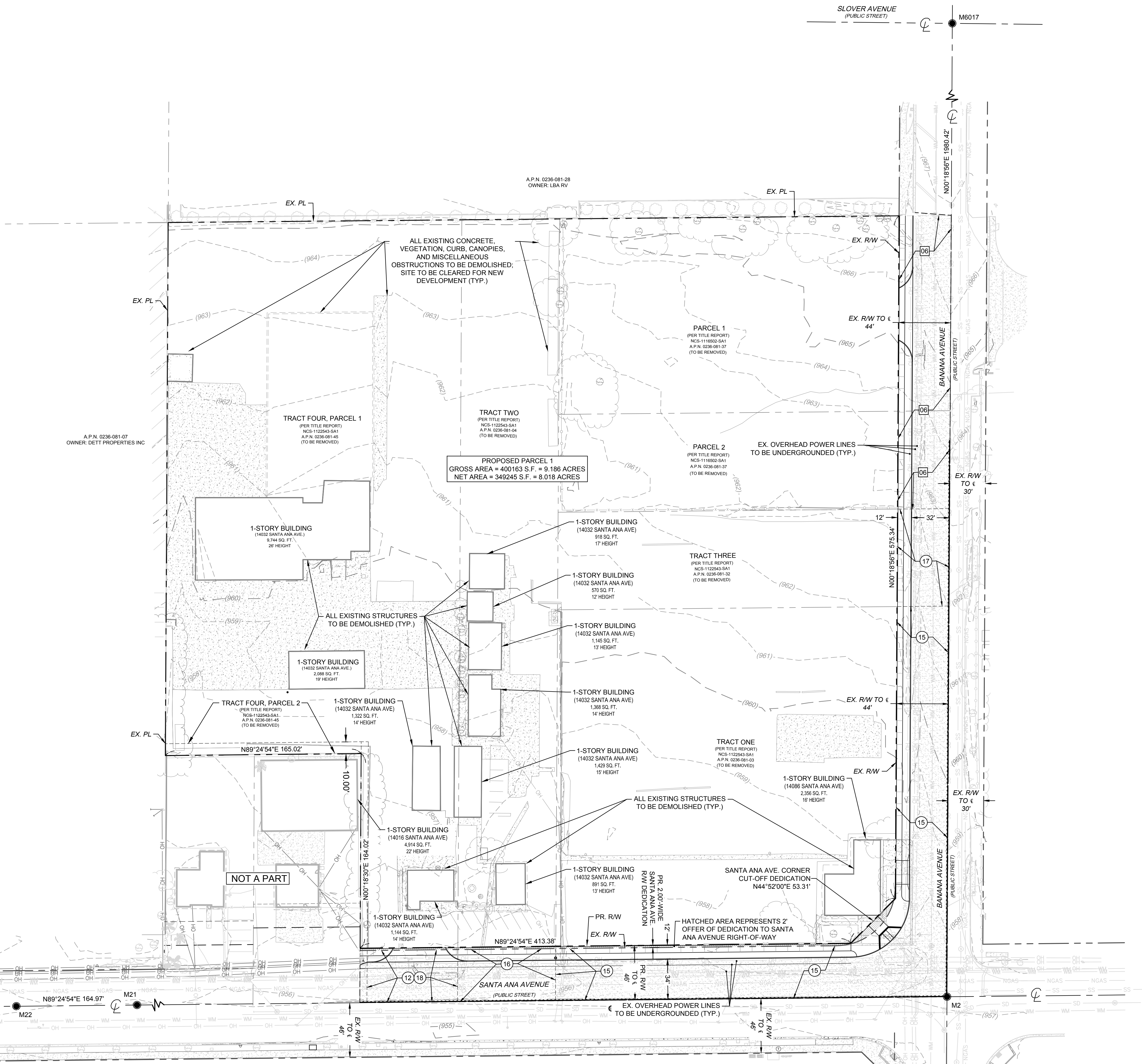
NO. DATE REMARKS

JOB NO.: IRV22-0034
PA / PM: L. CORSBIE
DESIGNED: A. CASTELO
DATE: 6/27/2024
PLOT DATE: 3/10/2025

SHEET

2

Sheet 2 of 2



MONUMENT NOTES

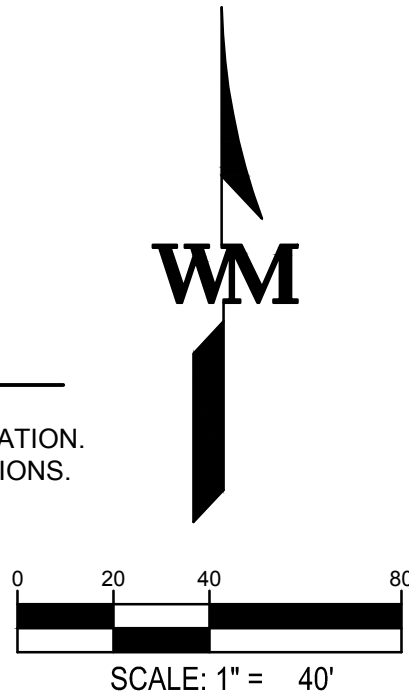
- M2 FD SPIKE & WASHER, PER TRACT NO. 10478, M.B. 149/11-14
M21 FD 1" IRON PIPE OPEN, DOWN 0.1', PER TRACT NO. 10478, M.B. 149/11-14
M22 FD 1" IRON PIPE OPEN, DOWN 0.2', PER TRACT NO. 10478, M.B. 149/11-14
M6017 FD 2" IRON PIPE, DOWN 1.1', PER TRACT NO. 10478, M.B. 149/11-14

LEGEND

	EXISTING	PROPOSED
RIGHT-OF-WAY	---	---
EASEMENT	---	N/A
CENTERLINE	---	N/A
CURB & GUTTER	---	N/A
CONCRETE	---	N/A
TREE (VARIOUS)	---	N/A
TREELINE	---	N/A
CONTOUR	---	N/A
CATV	---	N/A
ELECTRIC	---	N/A
OVERHEAD UTILITY	---	N/A
FIBER OPTIC	---	N/A
IRRIGATION	---	N/A
NATURAL GAS	---	N/A
SANITARY	---	N/A
STORM DRAIN	---	N/A
TELEPHONE	---	N/A
UNKNOWN UTIL	---	N/A
WATER LINE	---	N/A
DOMESTIC WATER	---	N/A
FIRE WATER	---	N/A
RECLAIMED WATER	---	N/A

NOTES

1. SEE SHEET 1 FOR EASEMENT INFORMATION.
2. GROSS AREA INCLUDES R/W DEDICATIONS.



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.