

ATTACHMENT NO. 2

THESE DRAWINGS, LAYOUTS AND IDEAS ARE NOT TO BE REPRODUCED WITHOUT THE CONSENT OF O.J.M.

GENERAL NOTES

1. ALL WORKS SHALL COMPLY WITH ALL THE APPLICABLE FEDERAL LAWS, STATE STATUTES, LOCAL ORDINANCES AND THE REGULATIONS OF AGENCIES HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLYING WITH THE CONSTRUCTION SAFETY ORDERS AND THE GENERAL INDUSTRY SAFETY ORDERS OF THE STATE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND SUCH OTHER AGENCIES GOVERNING THE CONTRACTOR'S ACTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND HOLD HARMLESS THE STRUCTURAL ENGINEER, ARCHITECT AND OWNER FOR ANY DAMAGES AND/OR PENALTIES RESULTING FROM HIS FAILURE TO COMPLY WITH SAID LAWS, STATUTES, ORDINANCES AND REGULATIONS.

2. THE FOLLOWING NOTES AND SPECIFICATIONS ARE " UNLESS OTHERWISE NOTED " , CONFLICT BETWEEN THE SPECIFIC NOTES AND THE GENERAL SHOULD BE CLARIFIED WITH THE STRUCTURAL ENGINEER-OF-RECORD PRIOR TO THE COMMENCEMENT OF WORK. NO OTHER METHOD CONSTRUCTION OR SUBSTITUTION SHALL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR ARCHITECT.

FIRE NOTES.

1) BUILDING ADDRESS NUMBERS SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBER SHALL BE MINIMUM 3 INCHES HIGH, 1 INCH WIDE WITH 3/8 INCH STROKE. FOR BUILDINGS SET BACK MORE THAN 150 FEET FROM THE STREET, THE NUMBERS SHALL BE A MINIMUM 5 INCHES HIGH, 2 INCHES WIDE WITH A 1/2 INCH STROKE. CFC: CHAPTER 5, SECTION 506.1

2) PORTABLE FIRE EXTINGUISHER REQUIREMENTS SHALL BE DETERMINED BY FIRE DEPARTMENT FIELD INSPECTOR IN ACCORDANCE WITH CFC: CHAPTER 9, SECTION 906.

3) DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARD (40.5 CU. FT.) OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AND APPROVE AUTOMATIC FIRE SPRINKLER SYSTEM. CFC: CHAPTER 3, SECTION 304.3.3

4) ROOF VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (No.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF No. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (FIRECODE 4710.1.3)

5) ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (FIRE CODE 4710.1.4)

6) PRIOR TO BUILDING PERMITS FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA PUBLIC RESOURCE CODE SECTION 4291, CALIFORNIA GOVERNMENT CODE SECTION 51182 AND THIS CODE. (FIRE CODE 4708.3

7) CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 317.2.2

8) ALL CHIMNEYS OR FIREPLACES THAT BURN SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER BUILDING CODE 2802.1

KEY NOTES:

1. A/C CONDENSER

2. TRASH CANS (RECYCLING & SOLID WASTE)

SUBDIVIDE A LOT IN TO 9 PARCELS

Lot: 88,562 sq ft / 2.03 acres

Legal Description: S T L AND W CO S B L E 5.52 AC
LOT 700 MEAS TO ST CEN LINES
EX W 17 AC THEREOF AND EX ST

Parcel #: 0193-172-13-0000

LOT AVERAGE:

Lot 1 = 6,918
Lot 2 = 6,635
Lot 3 = 6,881
Lot 4 = 9,243
Lot 5 = 8,654
Lot 6 = 9,338
Lot 7 = 6,881
Lot 8 = 6,642
Lot 9 = 7,004

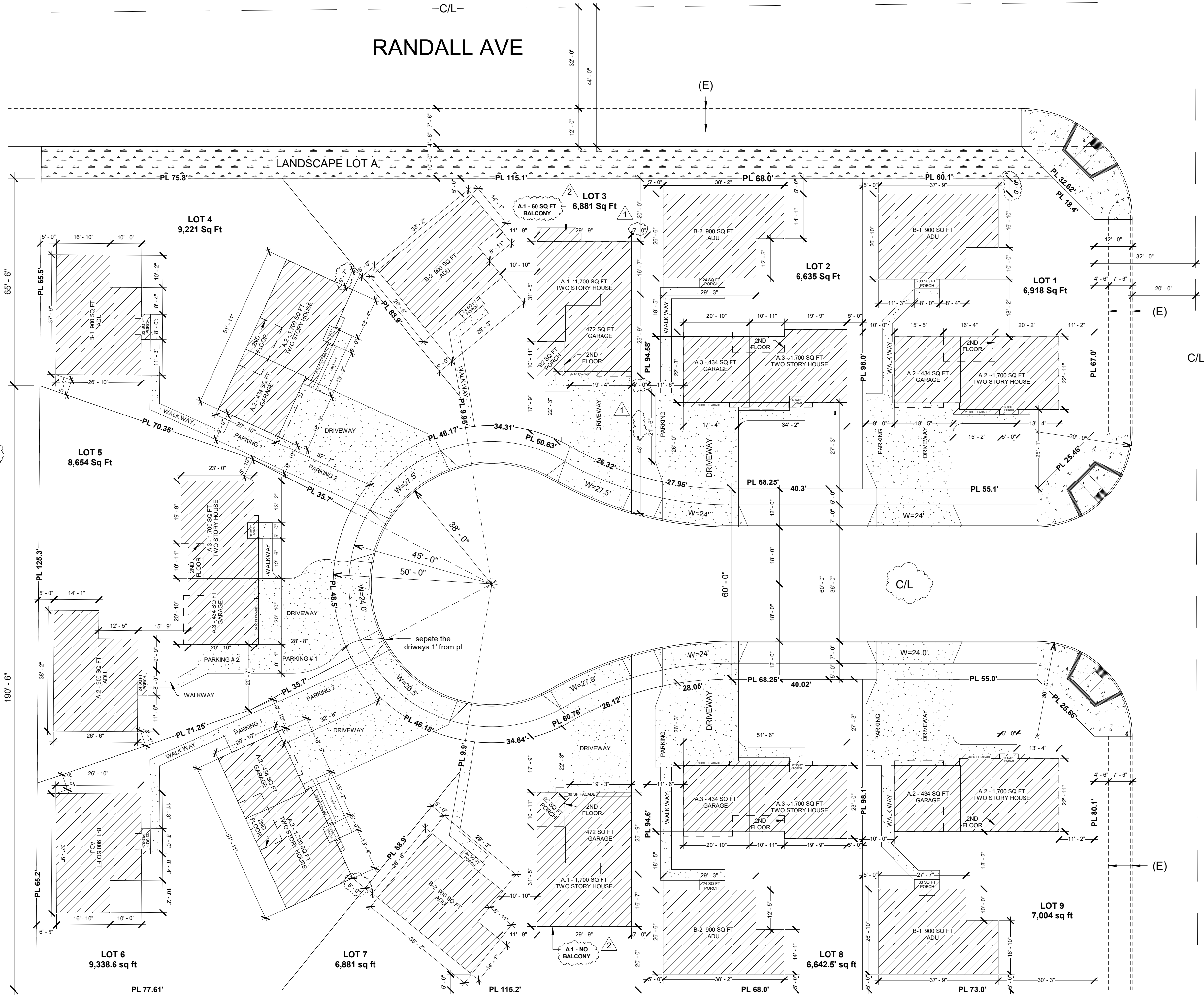
Total = 68,196 / 9 = 7,577 AVERAGE
Net 68,196 = 1.566 acre

NOTES:

ALL PUBLIC STREET IMPROVEMENT (SEWER, STREET, STREET LIGHTS & WOMP SYSTEM WILL BE CONSTRUCTED PER CIVIL & GRADING PLANS

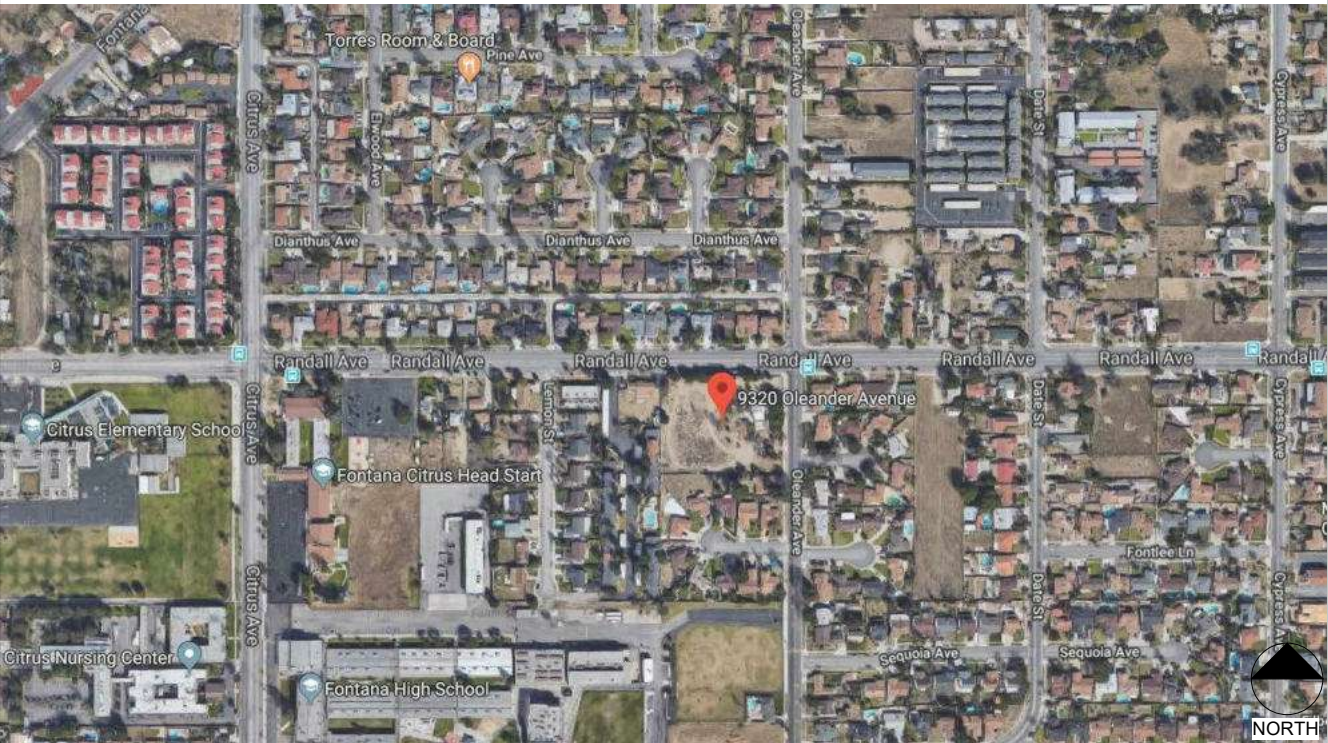
9 NEW HOMES W/ ADU

UNIT TABLE SUMMARY (9 UNITS & 9 ADU'S TOTAL) 88,562 sq ft / Gross Area 2.03 acres / Net Area 1.566 acres					
CRAFTSMAN STYLE A.1 TABLE SUMMARY LOT 3 & 7		MEDITERRANEAN STYLE A.2 TABLE SUMMARY LOT 1, 4, 6 & 9		CRAFTSMAN STYLE A.3 TABLE SUMMARY LOT 2, 5, & 8	
FLOOR AREA	1,700 SQ. FT.	FLOOR AREA	1,700 SQ. FT.	FLOOR AREA	1,700 SQ. FT.
STORIES	2	STORIES	2	STORIES	2
HEIGHT	24'-5"	HEIGHT	22'-2"	HEIGHT	22'-7"
BEDROOMS	3	BEDROOMS	4	BEDROOMS	4
BATHROOMS	2 - 1/2	BATHROOMS	3	BATHROOMS	3
FIRST FLOOR	664 SQ. FT.	FIRST FLOOR	701 SQ. FT.	FIRST FLOOR	671 SQ. FT.
SECOND FLOOR	1,036 SQ. FT.	SECOND FLOOR	999 SQ. FT.	SECOND FLOOR	1,030 SQ. FT.
2-CAR GARAGE	472 SQ. FT.	2-CAR GARAGE	434 SQ. FT.	2-CAR GARAGE	434 SQ. FT.
PORCHES & FACADE	24 + 30 + 92 = 146 SQ. FT.	PORCHES & FACADE	26 + 17 + 33 = 76 SQ. FT.	PORCHES & FACADE	50 + 24 + 17 = 91 SQ. FT.
ADU	900 SQ. FT.	ADU	900 SQ. FT.	ADU	900 SQ. FT.
-	-	-	-	-	-
LOT COVERAGE ARE	2,182 SQ. FT.	LOT COVERAGE ARE	2,111 SQ. FT.	LOT COVERAGE ARE	2,096 SQ. FT.
LOT 3 = 6,881 COVERAGE	2,182 SQ. FT. 31.7%	LOT 1 = 6,918 COVERAGE	2,111 Sq. Ft. 30.5%	LOT 2 = 6,635 COVERAGE	2,096 SQ. FT. 31.5%
LOT 7 = 6,881 COVERAGE	2,182 SQ. FT. 31.7%	LOT 4 = 9,243 COVERAGE	2,111 Sq. Ft. 22.8%	LOT 5 = 8,654 COVERAGE	2,096 SQ. FT. 24.2%
		LOT 6 = 9,338 COVERAGE	2,111 Sq. Ft. 22.6%	LOT 8 = 6,642 COVERAGE	2,096 SQ. FT. 31.5%
		LOT 9 = 7,004 COVERAGE	2,111 Sq. Ft. 30.1%		



1 SITE PLAN.
1" = 20'-0"

SHEET	DESCRIPTION
CVR.1	GENERAL NOTES, SITE, AND PROJECT DATA
1	UNIT A.1 1ST & 2ND FLOOR PLAN
2	UNIT A.1 ELEVATIONS
3	UNIT A.1 COLOR BOARD & MATERIALS
4	UNIT A.2 MEDITERRANEAN STYLE 1ST & 2ND FLOOR PLAN
5	UNIT A.2 MEDITERRANEAN STYLE ELEVATIONS
6	UNIT A.2 COLOR BOARD & MATERIALS
7	UNIT A.3 1ST & 2ND FLOOR PLAN
8	UNIT A.3 ELEVATIONS
9	A-3 COLOR BOARD & MATERIALS
10	B-1 MEDITERRANEAN
11	ADU B-2 CRAFTMAN
12	WALL PLAN
L-1	PRELIMINARY LANDSCAPE PLAN
GR1	CONCEPTUAL GRADING PLAN
GR2	CONCEPTUAL GRADING PLAN
GR3	TOPOGRAPHY & DEMOLITION PLAN
TR1	TRACT MAP
3D	3D ELEVATIONS
INDEX	



VICINITY MAP		
CONSTRUCTION TYPE:	TYPE V-B	NUMBER OF STORIES 2
OCCUPANCY :ZONE	R-3	FIRE SPRINKLER YES
-		

PROJECT DATA	
PROJECT SHALL COMPLY WITH:	
2019 CBC/ 2019 IBC 2019 CEC/ 2019 NEC 2019 CMIC/ 2019 UMC 2019 CPC/ 2019 UPC 2019 CALIFORNIA ENERGY CODE	

DESIGN BY: _____

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- commercial
- engineering
- patios & decks
(909)210.8669

O-J-M
- Architectural Design -

- development
- custom homes
- additions
1188 W. Marshall Blvd, San Bernardino Ca 92405

No.	Description	Date

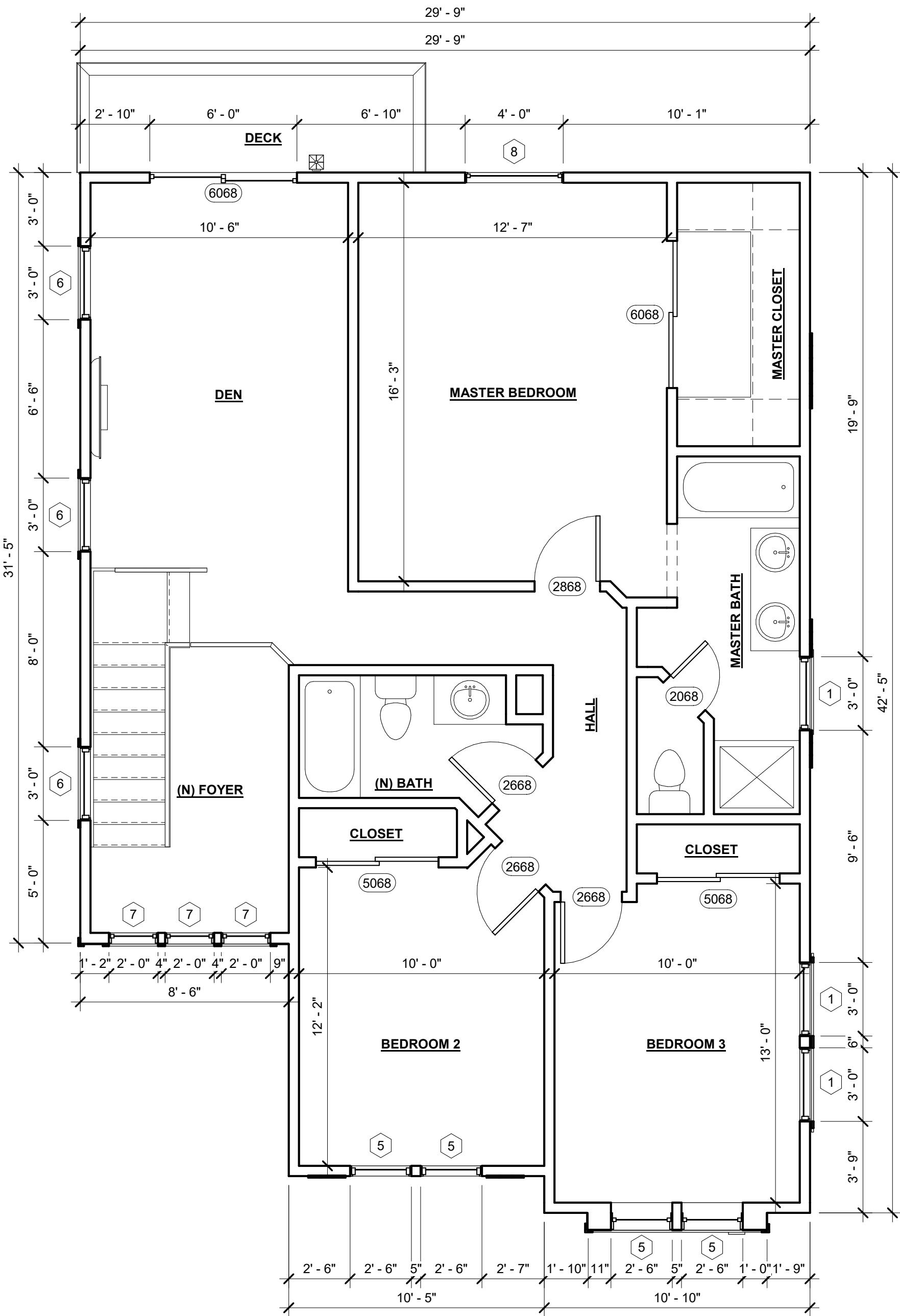
9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

SITE PLAN, GENRL. NOTES, INDEX AND VICINITY MAP

Project number	HOMES2017
Date	2-4-2017
Drawn by	O.J.M
Checked by	O.J.M

CVR-1

Scale 1" = 20'-0"



2 A.1 - 2ND FLOOR
1/4" = 1'-0"

- NEW STUD WALL
- (E) FENCE WALL
- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- EXISTING
- NEW
- 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDESCENT LIGHT FIXTURE WITH MOTION SENSOR
- 20- FLUORESCENT LIGHT FIXTURE
- 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

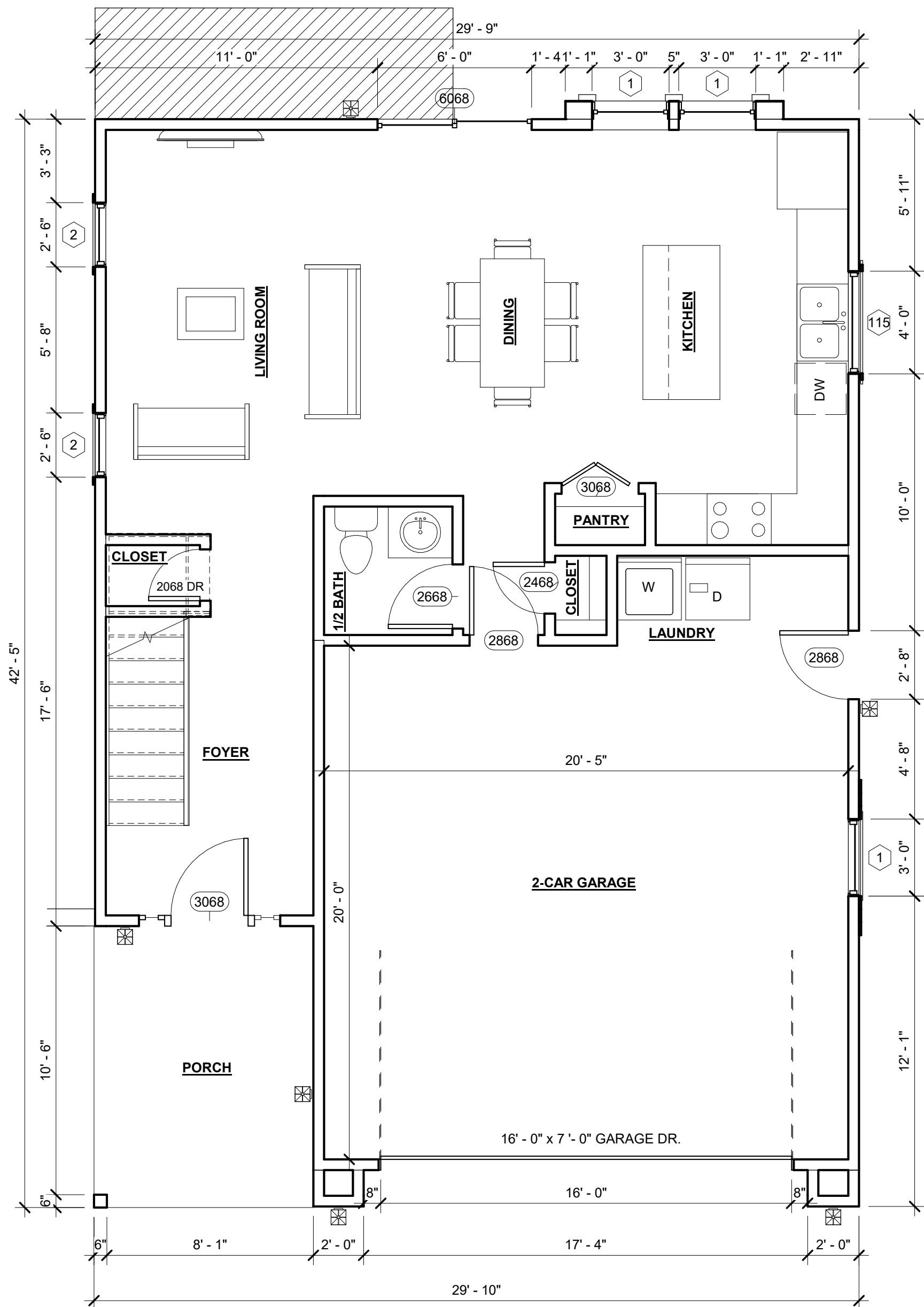
7 LEGEND B.1
1 : 1

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINISH	THICKNESS	FINISH
					COMMENTS
6068	6'-0" x 6'-8"	TEMP GLASS	PF	1 3/4"	
3068	3'-0" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2868	2'-8" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2668	2'-6" x 6'-8"	HC	PF	1 3/4"	
2068	2'-0" x 6'-8"	HC	PF	1 3/4"	
5068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR
6068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR

ABBREVIATIONS
HC = HOLLOW CORE
SC = SOLID CORE
PF = PREFINISHED
PS = PRESSED STEEL (TIMELY)

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINISH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
1	3'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
2	2'-6" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.32	.25	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.32	.25	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
10	2'-0" x 3'-0"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	

ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED



1 A.1 - 1ST FLOOR
1/4" = 1'-0"

remodeling

custom homes

additions

OJ²M

Residential Design

residential

design

patios & decks

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.1 CRAFTSMAN STYLE 1ST & 2ND FLOOR PLAN

Project number

HOMES2017

Date

2-4-2017

Drawn by

Author

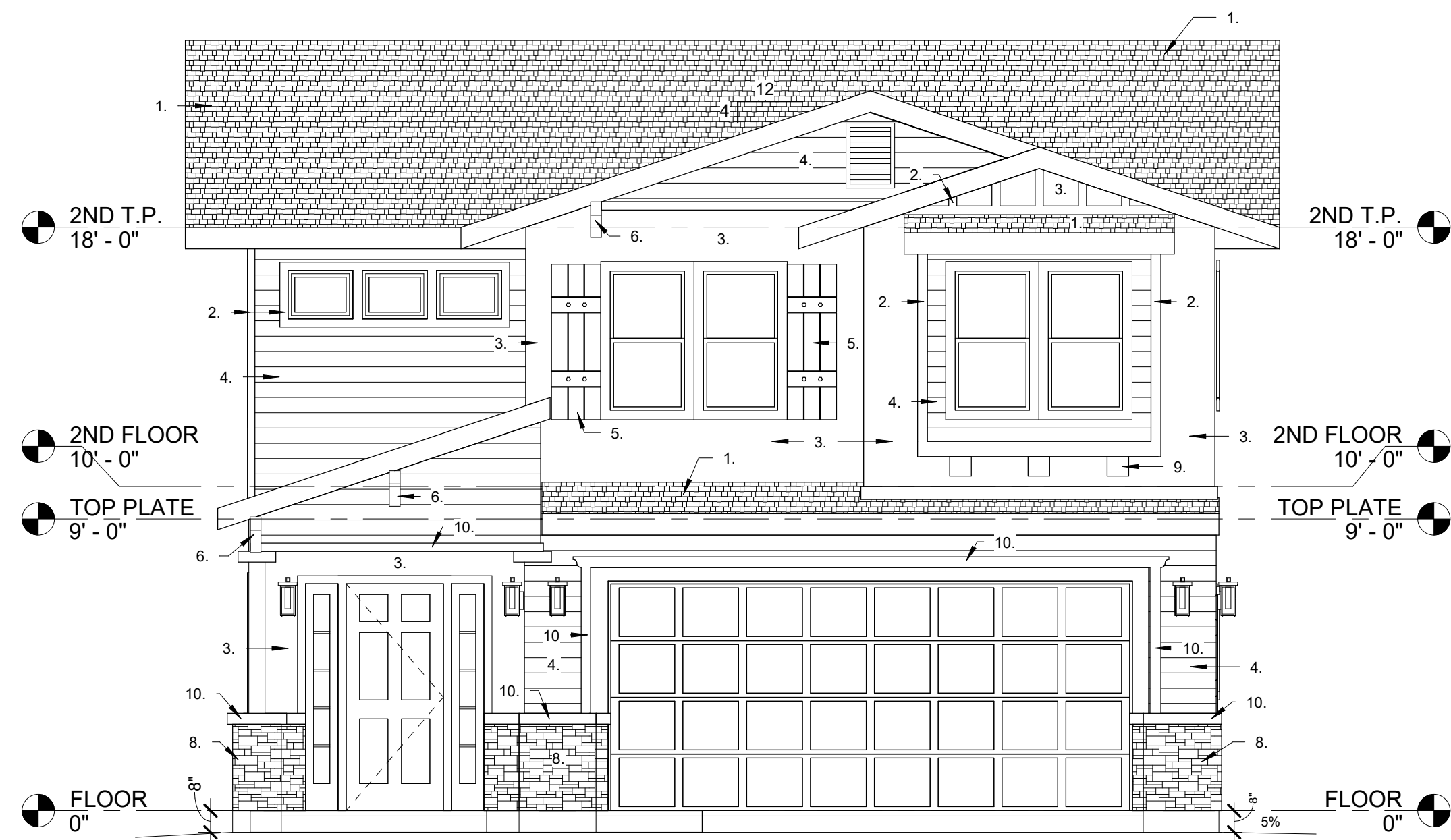
Checked by

Checker

1 - A.1

Scale

As indicated

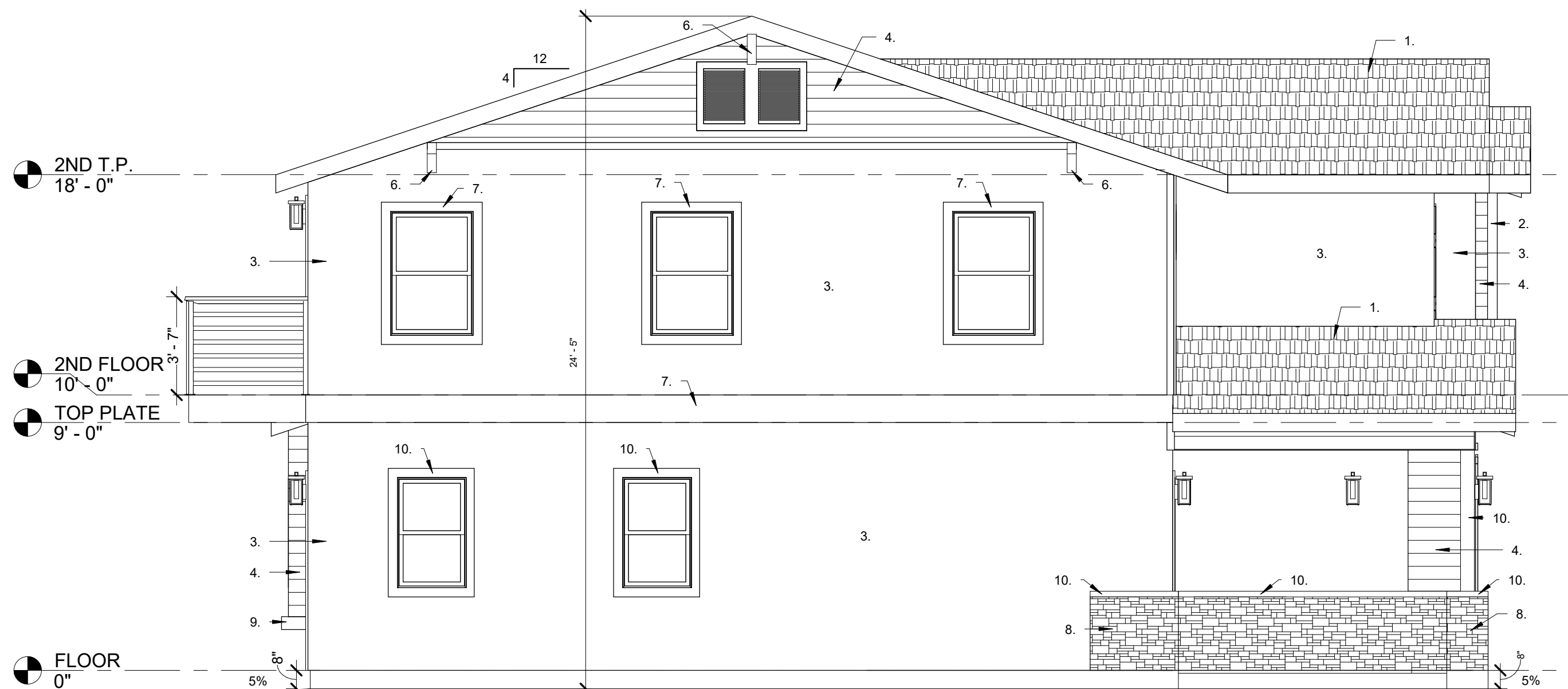


1 A.1 FRONT ELEVATION
1/4" = 1'-0"

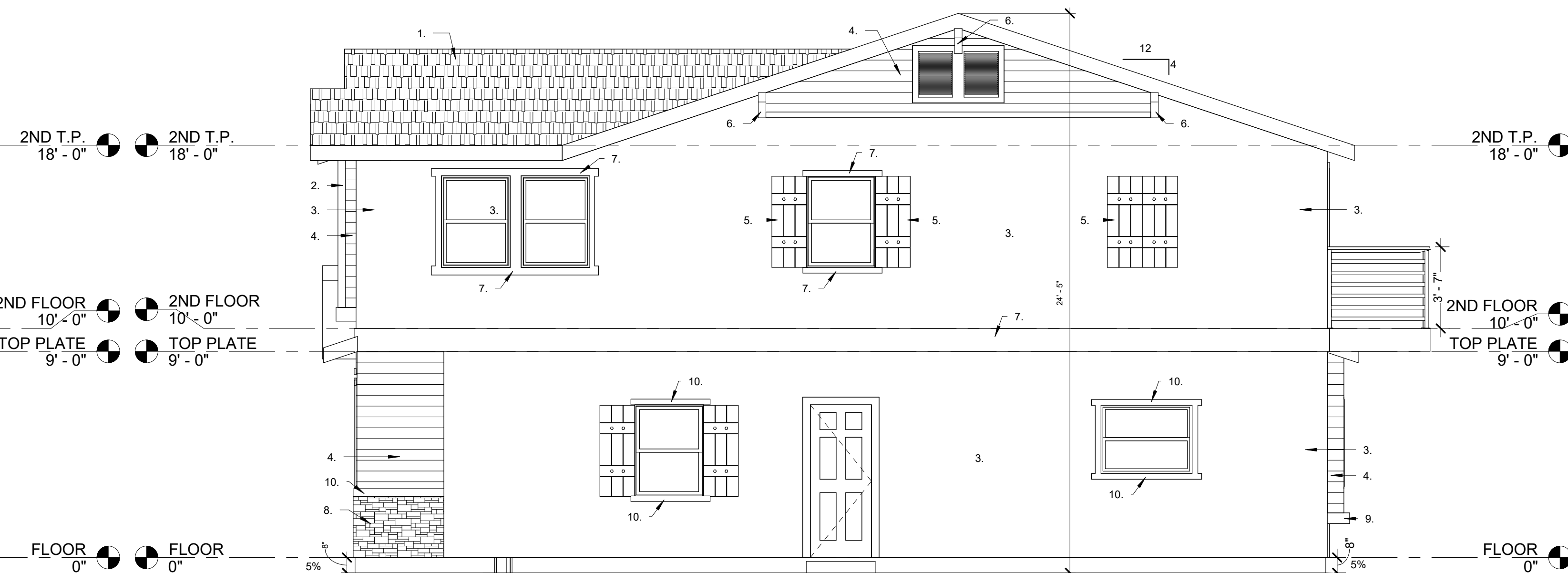
- KEY NOTES**
1. 199 CHARCOAL RANGE GRAY ROOF TILE
 2. WOOD TRIMS (ON SIDING)
 3. LA HABRA FALL BROOK SAND FINISH STUCCO
 4. JAMES HARDIE 6" EXPOSED WOOD GRAINSIDING TYP.
 5. PRE-FAB WOOD FINISH PLANSTIC SHUTTERS
 6. 6x6 WOOD DECORATIVE BRACE
 7. STUCCO TRIM
 8. STACKED STONE LOOK TILES
 9. 8x8 DECORATIVE FOAM BEAMS
 10. WOOD TRIMS

NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

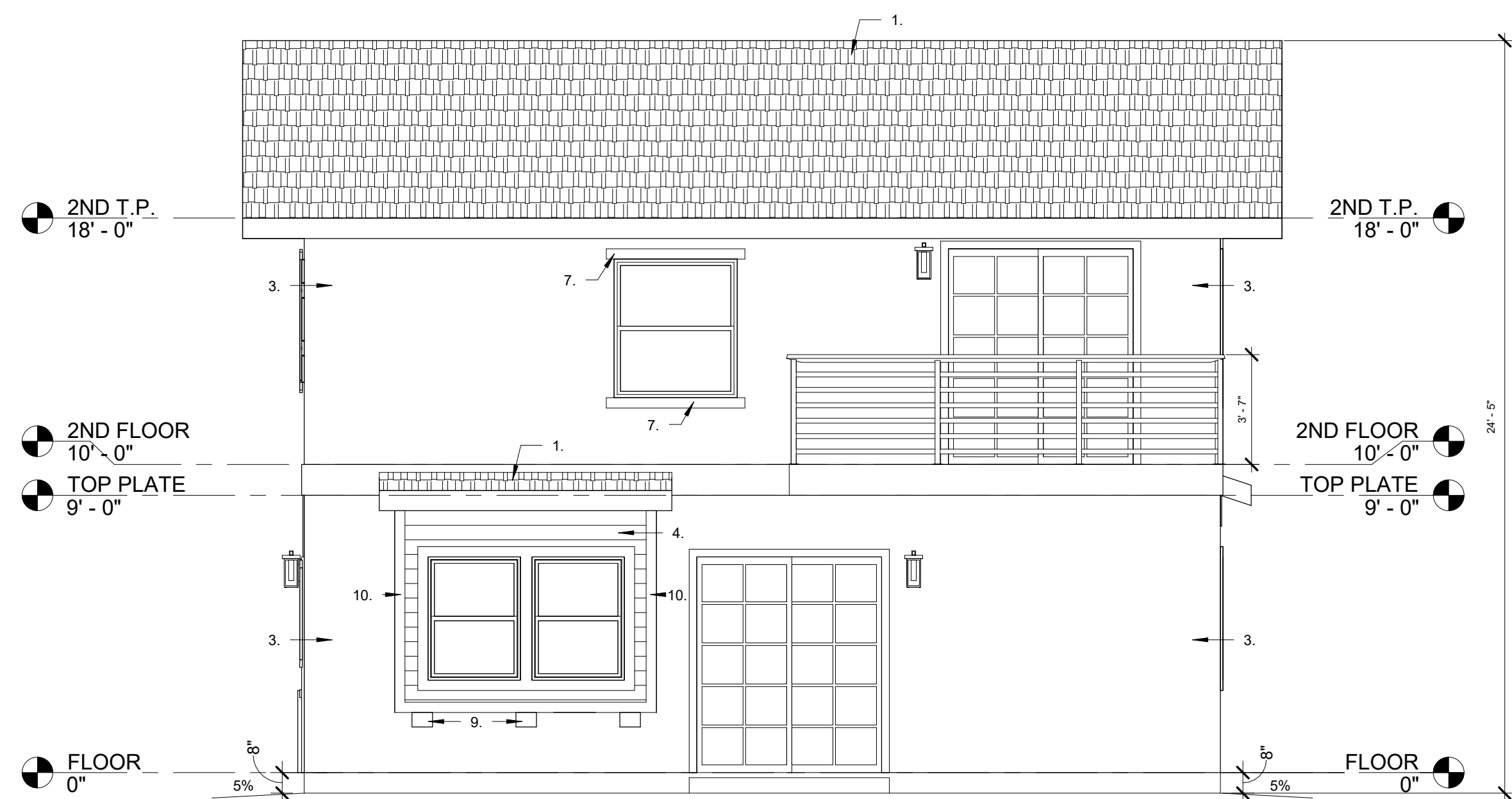
STUCCO NOTES
(N) STUCCO SHALL BE 7/8 INCHES AN APPLIED WITH THREE-COAT APPLICATION PER CBC 2508.1 AND INSTALL IN ACCORDANCE WITH CHAPTER 25 ON THE CBC. STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF D PAPER SHALL BE APPLIED. A MINIMUM No. 26 GAGE CORROSION-RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIORS STUD WALLS. THE SCREED SHALL BE PLACE A MINIMUM OF 4" INCHES ABOVE THE EARTH OR 2" INCHES ABOVE PAVE AREAS.



2 LEFT ELEVATION
1/4" = 1'-0"



4 A.1 RIGHT ELEVATION
1/4" = 1'-0"



3 A.1 REAR ELEVATION
1/4" = 1'-0"

- residential
- design
- patios & decks

O.J.M.
Residential Design

- remodeling
- custom homes
- additions

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

**UNIT A.1 CRAFTSMAN STYLE
ELEVATIONS**

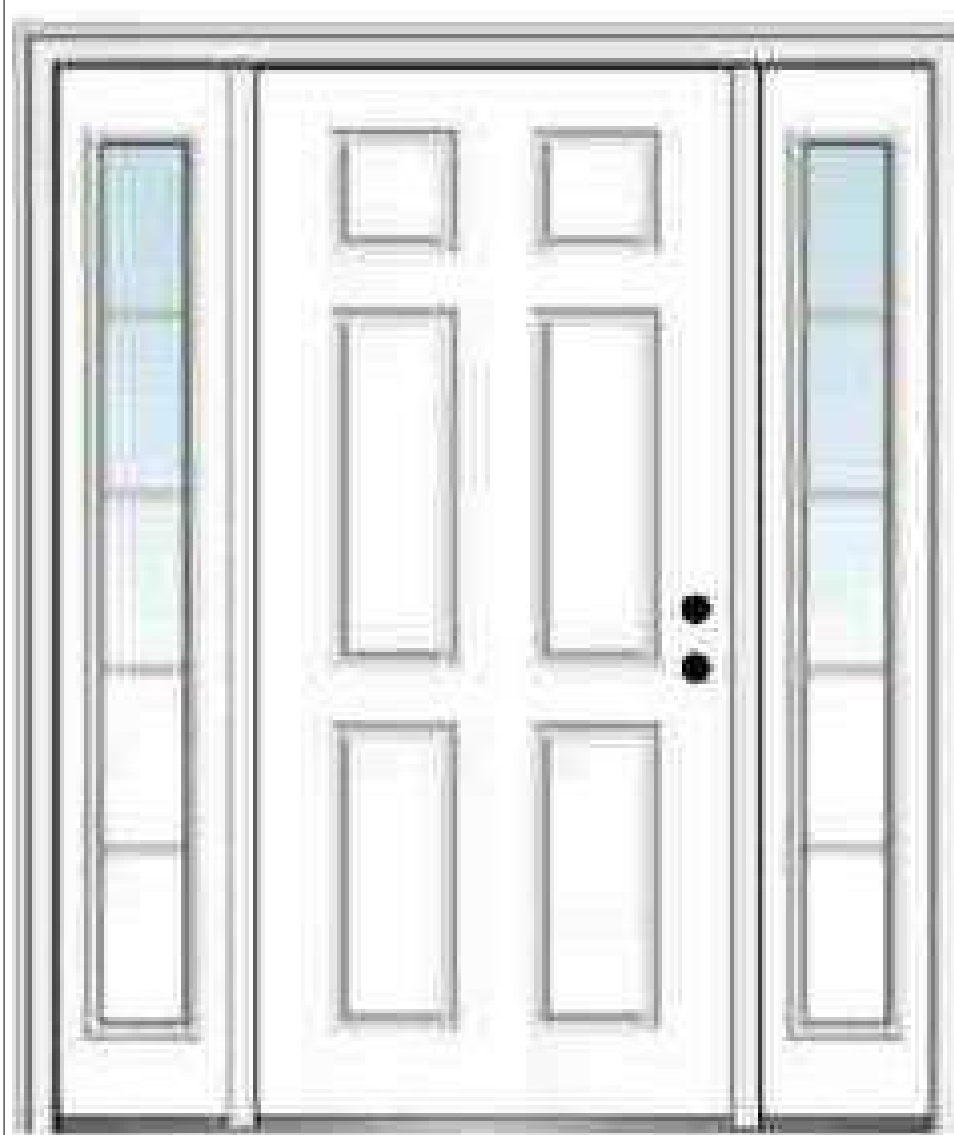
Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker

2 - A.1

Scale 1/4" = 1'-0"



SIMONTON Daylight Max
Single Hung Vinyl Windows



MMI DOOR 60-in x 80-in Fiberglass_Page6



**PlyGem 4-Board Closed Board
and Batten Shutters Pair in Gray**



Lite Stone Shadow Grey Faux



① A-1 3D

WHITE
 **52**



GREY RIVER ROCK
 **HDC-SM16-02**



Classic Collection 16 ft. x 7 ft. Non-Insulated Solid White Garage Door



SIDING



GOLDEN EAGLE 199 CHARCOAL RANGE

[illegible]

9 NEW HOMES W/ ADU
 Secura Family Trust & Oceano Investment LLC.

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

3020 Cleander Ave
Fontana CA 92335

UNIT A.1 COLOR BOARD & MATERIALS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker

3 - A.1

Scale

- residential
- desing
- patios & decks

O.J.M.
-Residencial Design-

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DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINSH	THICKNESS	FINISH
					COMMENTS
6068	6'-0" x 6'-8"	TEMP GLASS	PF	1 3/4"	
3068	3'-0" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2868	2'-8" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2668	2'-6" x 6'-8"	HC	PF	1 3/4"	
2068	2'-0" x 6'-8"	HC	PF	1 3/4"	
5068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR
6068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR

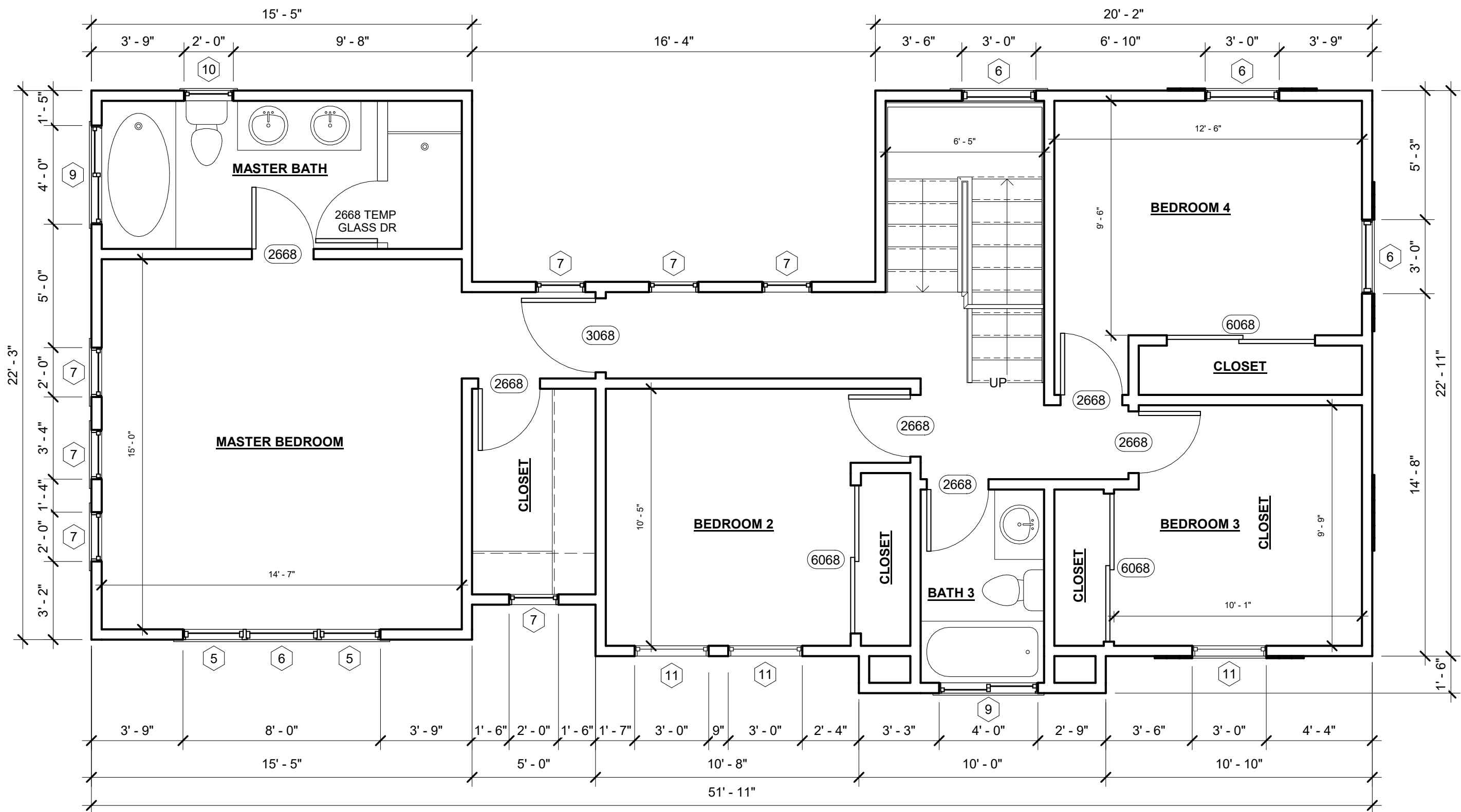
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1	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
2	2'-6" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.32	.25	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.32	.25	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
10	2'-0" x 3'-0"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
11	3'-0" x 4'-6"	ARCH SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	

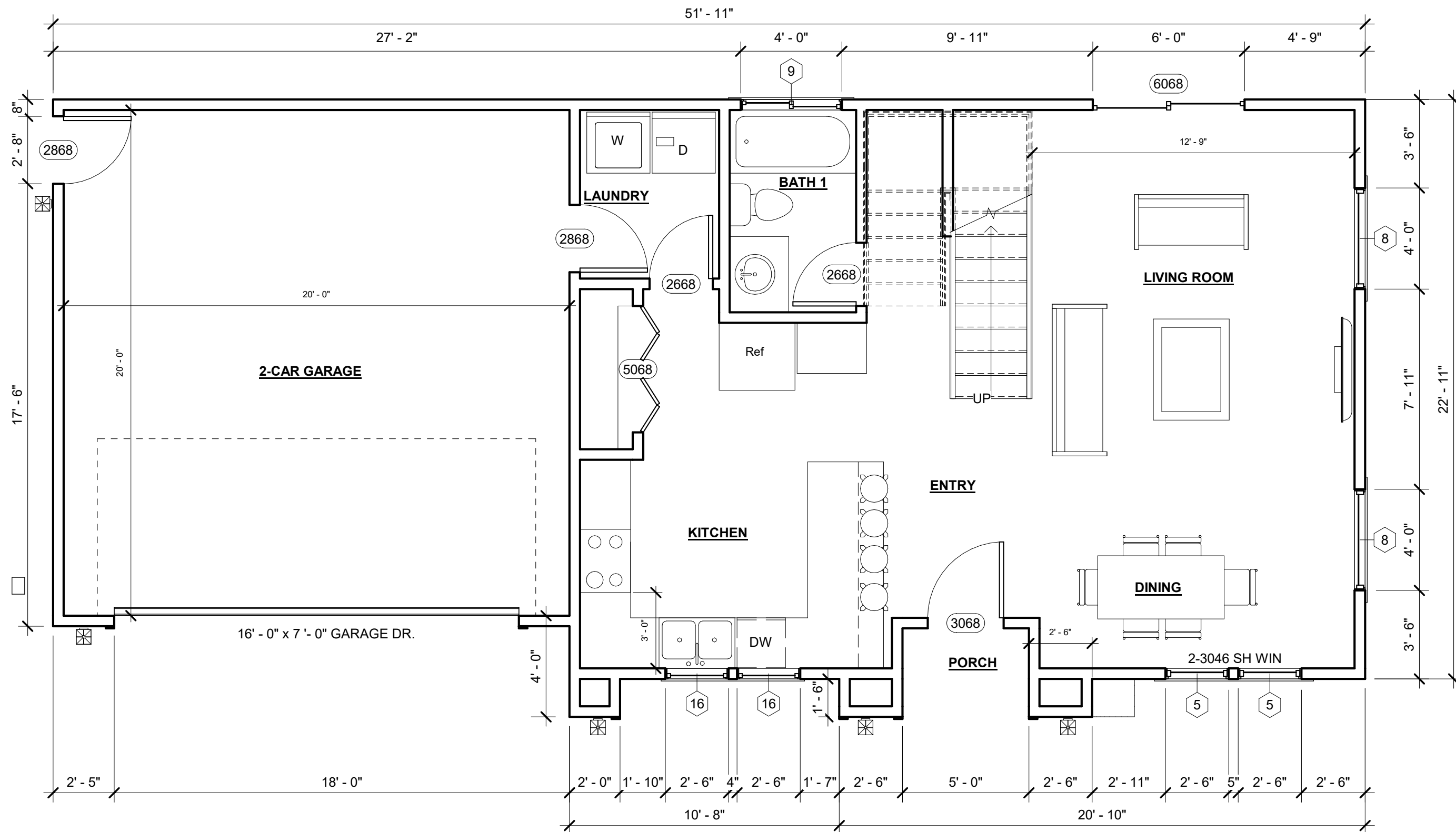
ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

④ WINDOW SCHEDULE A.2
12" = 1'-0"

- NEW STUD WALL
 - (E) FENCE WALL
 - 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
 - S - 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
 - (E) - EXISTING
 - (N) - NEW
 - 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
 - INCANDESCENT LIGHT FIXTURE WITH MOTION SENSOR
 - 20- FLUORESCENT LIGHT FIXTURE
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 - 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
 - FLUORESCENT CAN LIGHT FIXTURE
 - INCANDESCENT CAN LIGHT FICTURE
 - 2- CARBON MONOXIDE ALARM
- ③
1 : 1
LEGEND A.2



① A.2 - 2ND FLOOR
1/4" = 1'-0"



② A.2 - 1ST FLOOR
1/4" = 1'-0"

- residential
- desing
- patios & decks

OJ.M
Residential Design

- remodeling
- custom homes
- additions

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No.	Description	Date

9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.2 MEDITERRANEAN STYLE 1ST
& 2ND FLOOR PLAN

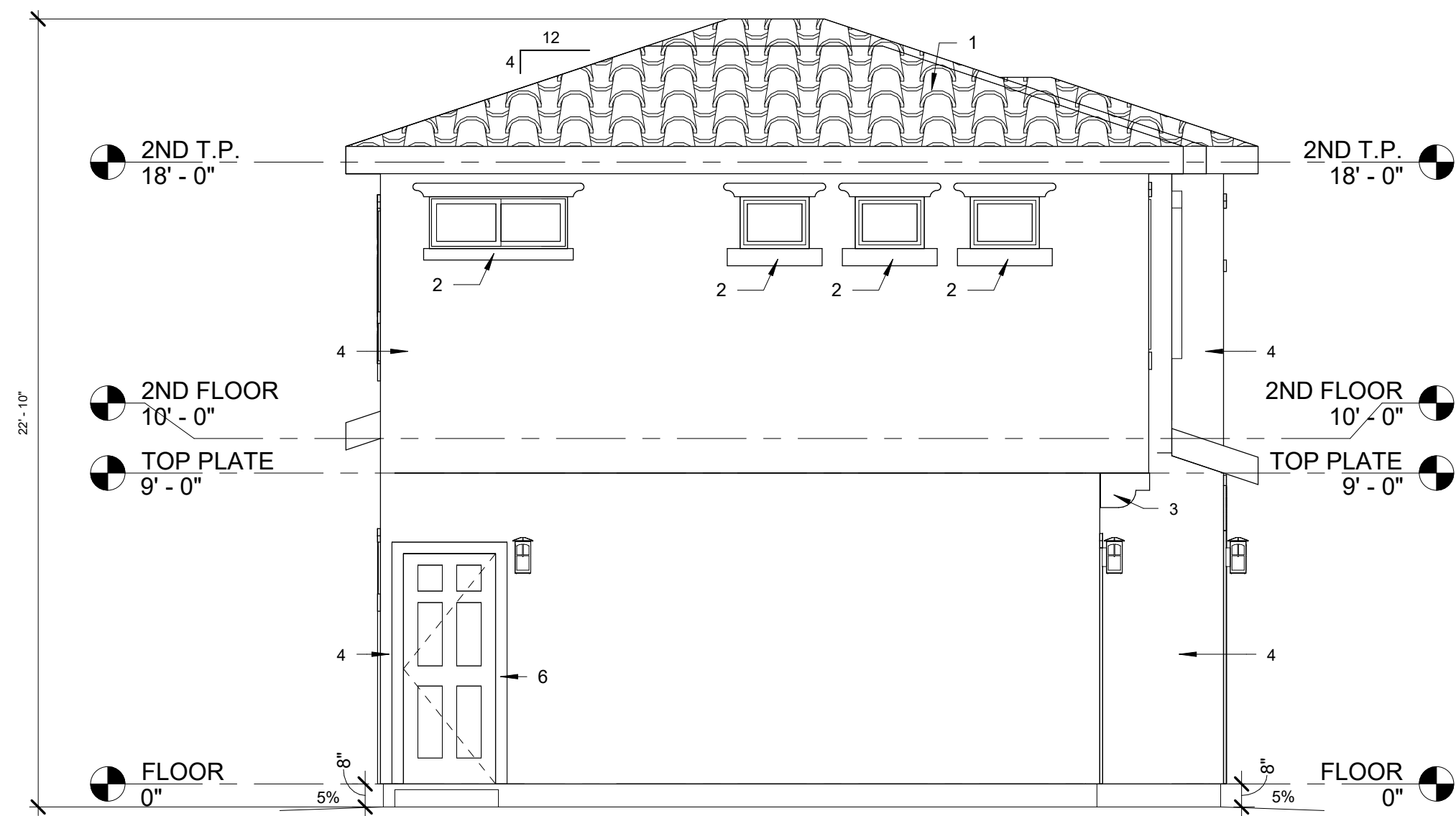
Project number	HOMES2017
Date	2-4-2017
Drawn by	OJM
Checked by	OJM

4 - A.2

Scale As indicated



1 A.2 FRONT ELEVATION
1/4" = 1'-0"



2 A.2 LEFT ELEVATION
1/4" = 1'-0"

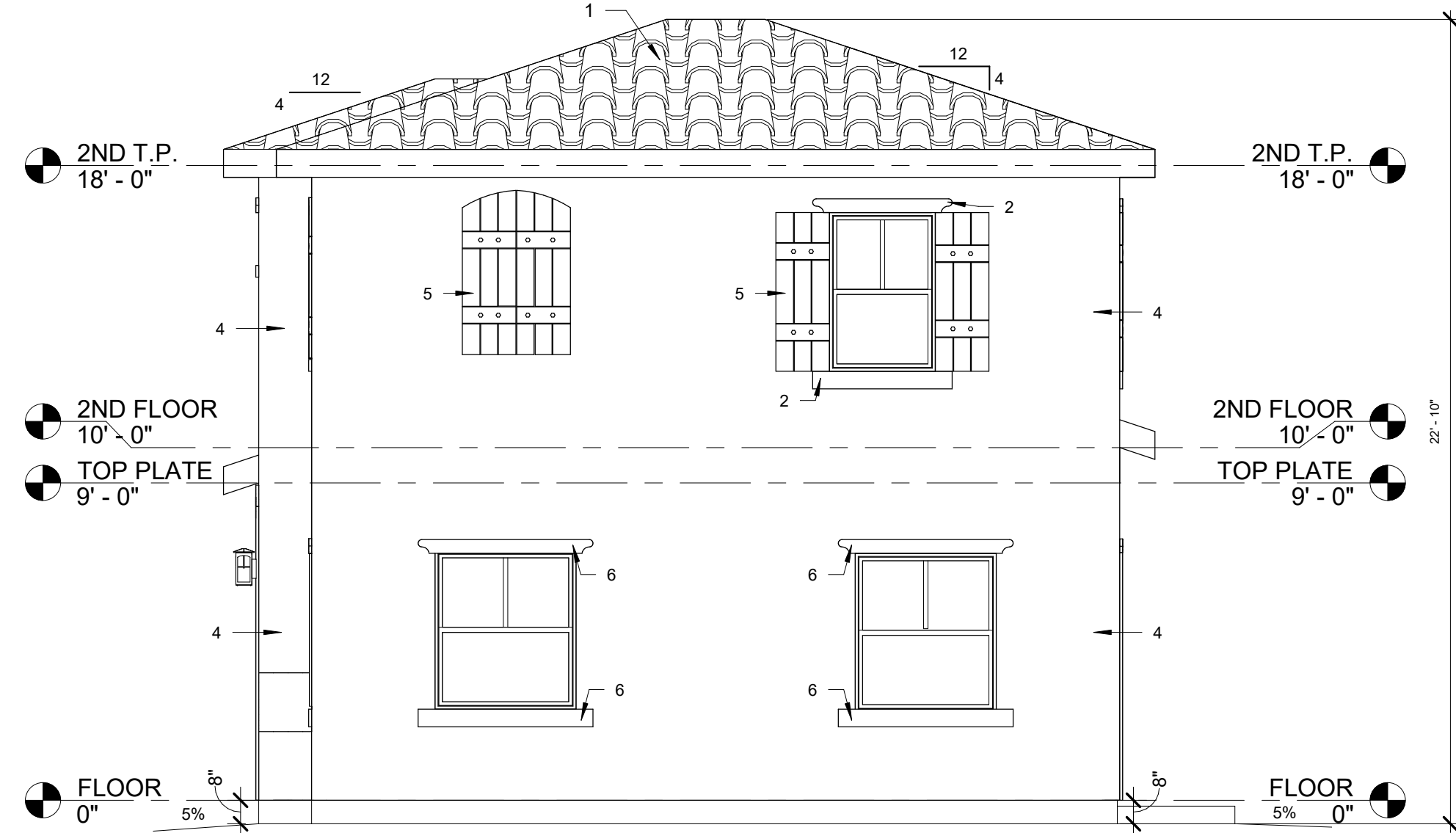
KEY NOTES

1. CAPISTRANO S STYLE TILE ROOF
2. STUCCO TRIMS
3. 8" W. STUCCO CORBELS
4. LA HABRA FALL BROOK SAND FINISH STUCCO
5. PRE-FAB WOOD FINISH PLANSTIC SHUTTERS
6. WOOD TRIMS

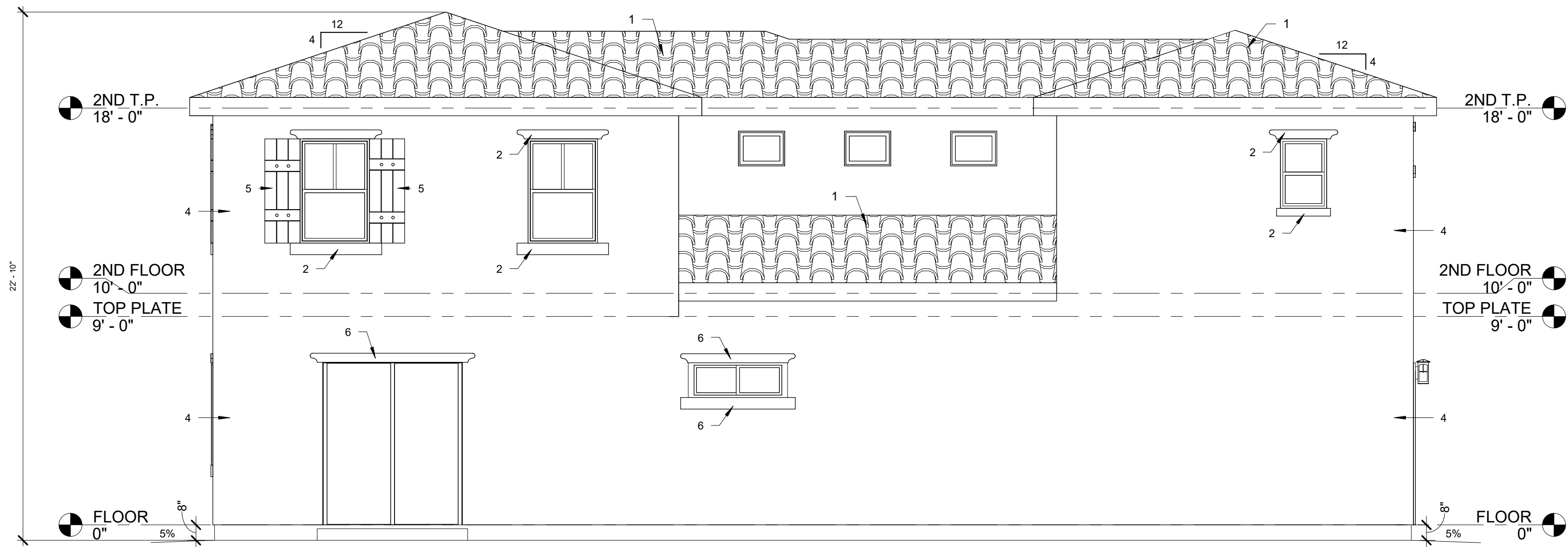
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NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE
WITH MANUFACTURER'S SPECIFICATIONS

STUCCO NOTES
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APPLICATIONPER CBC 2508.1. AND INSTALL IN ACCORDANCE WITH
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SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE
LINEON ALL EXTERIORS STUD WALLSTHE SCREED SHALL BE
PLACE A MINIMUM OF 4" INCHES ABOVE THE EARTH OR 2" INCHES
ABOVE PAVE AREAS.



3 A.2 RIGHT ELEVATION
1/4" = 1'-0"



5 A.2 REAR ELEVATION
1/4" = 1'-0"

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9 NEW HOMES W/ ADU
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Fontana CA 92335

UNIT A.2 MEDITERRANEAN STYLE
ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	OMAR MARROQUIN
Checked by	O.J.M

5 - A.2

Scale 1/4" = 1'-0"



PROPOSED LIGHTING



PlyGem 13.875-in W x 49-in H Brown Board & Batten Vinyl Exterior Shutters



SIMONTON Daylight Max Single Hung Vinyl Windows



Krosswood Doors 36 in. x 80 in



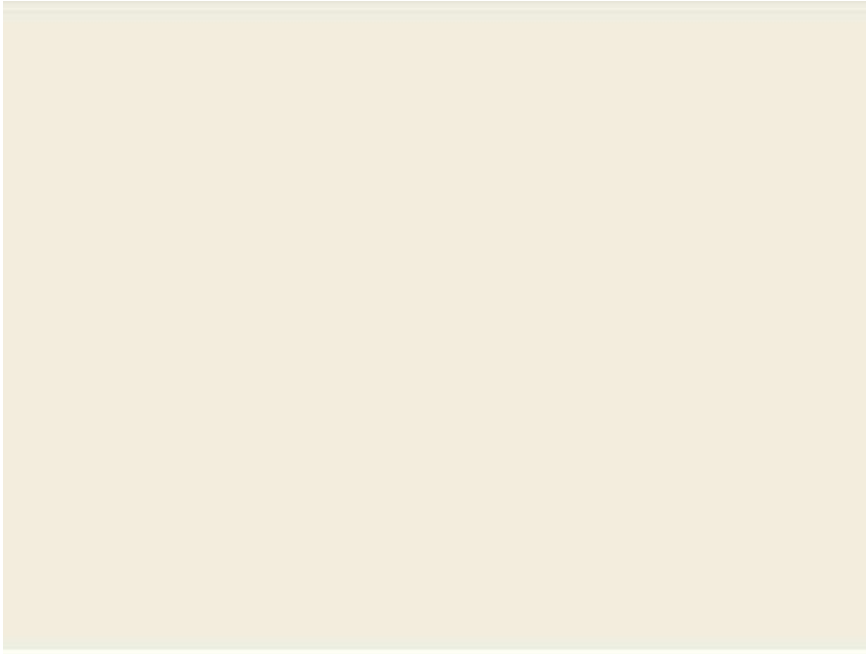
Clopay Gallery Collection 16 ft. x 7 ft.



1 A-2 3D



BROWN VELVET
N160-7



WHITE STONE
DC-012



CAPISTRANO 3698 KONA RED RANGE

- remodeling

- custom homes

- additions

OJ²M

-Residential Design-

- residential

- desing

- patios & decks

1188 W. Marshall Blvd. San Bernardino Ca

(909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.2 COLOR BOARD & MATERIALS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker

6 - A.2

Scale

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINISH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
1	3'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
2	2'-6" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.30	.23	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.30	.23	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC	
10	2'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
11	3'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
12	4'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	

ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

- NEW STUD WALL
- (E) FENCE WALL
- ⌀

- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- S

- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- (E)

- EXISTING
- (N)

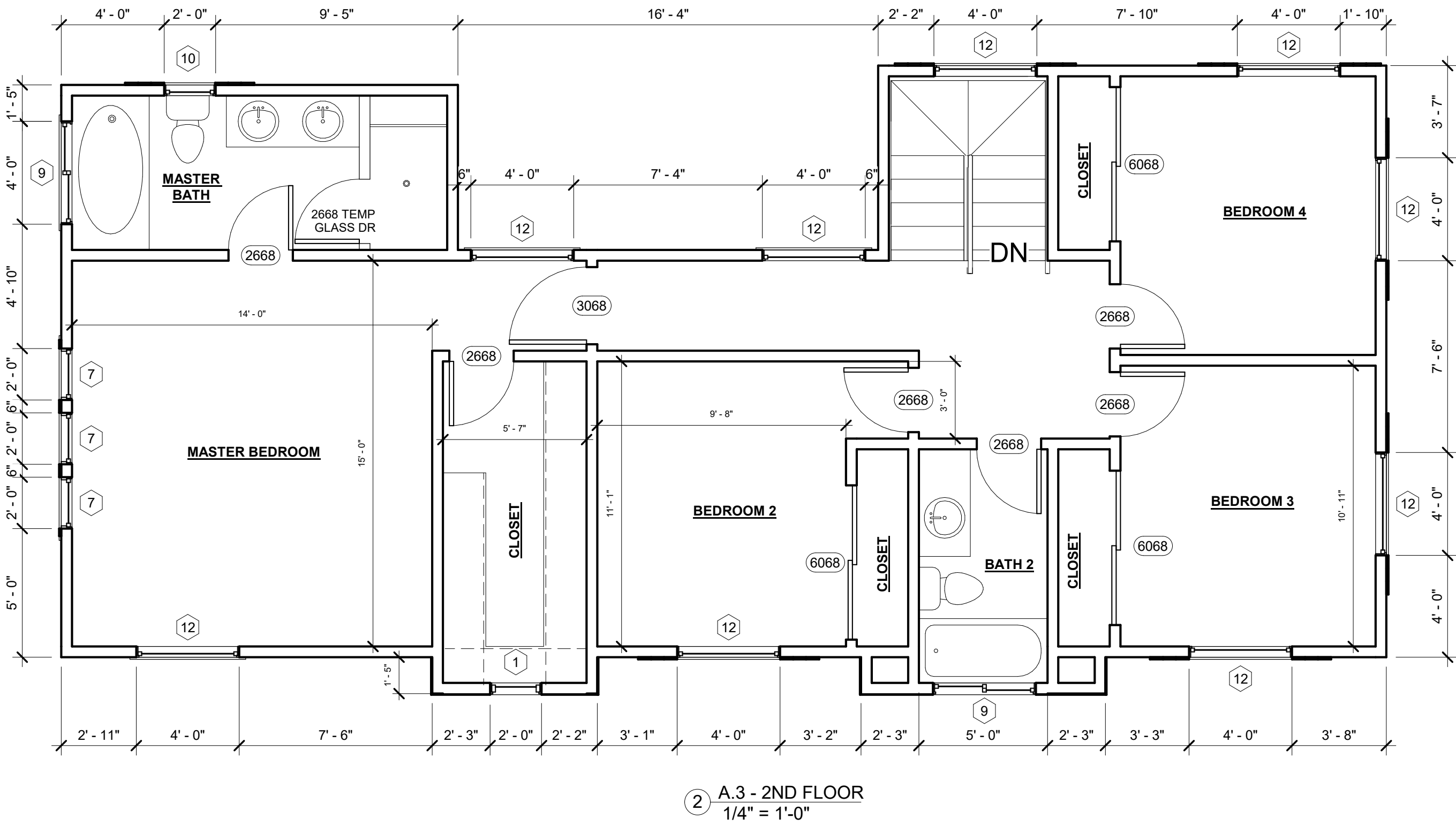
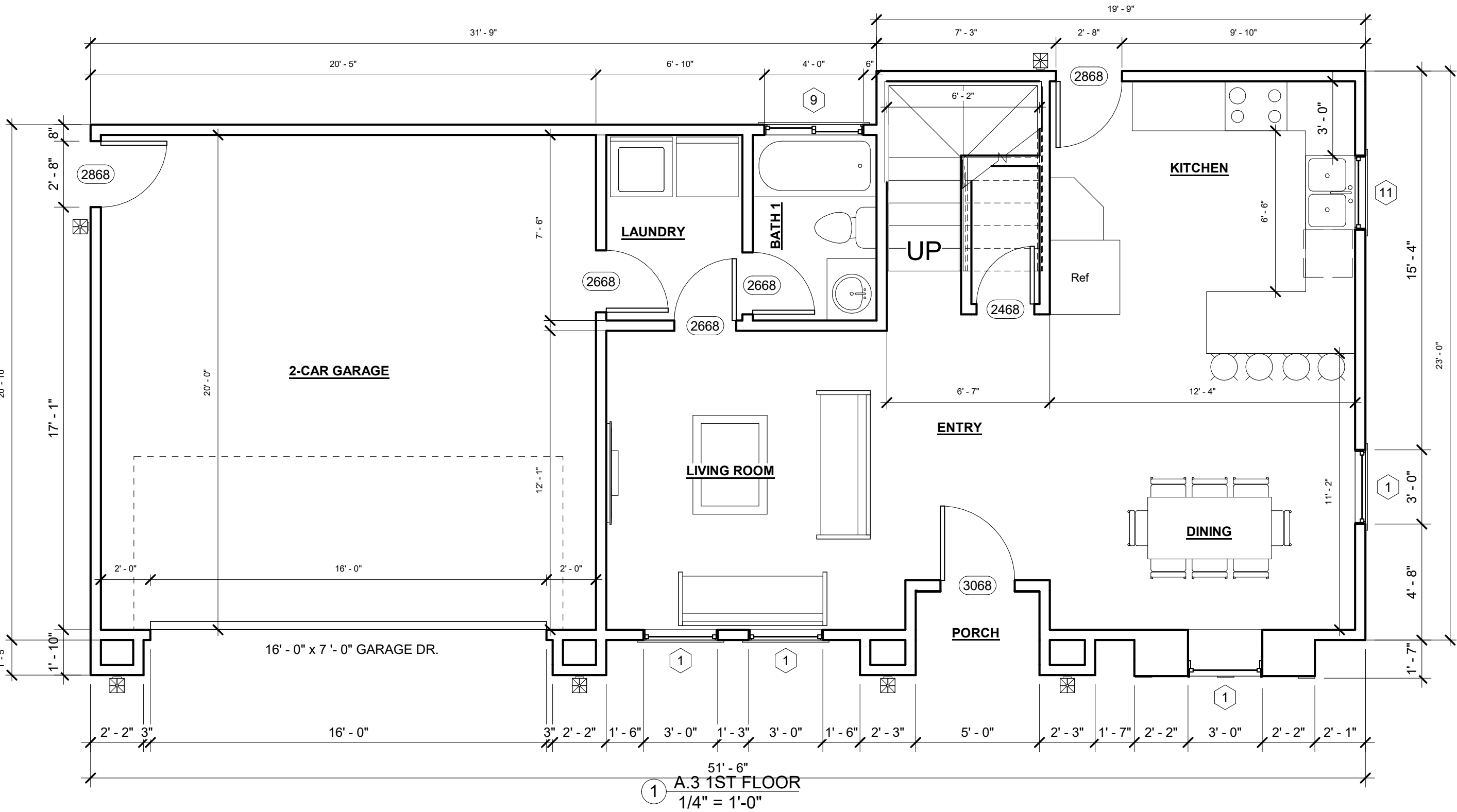
- NEW
- 1x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDESCENT LIGHT FIXTURE WITH MOTION SENSOR
- 20- FLUORESCENT LIGHT FIXTURE
- 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

3 LEGEND A.3
1 : 1

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINISH	THICKNESS	FINISH COMMENTS

6070	6'-0"x7'-0"	TEMP GLASS	PF	1 3/4"	
5870	5'-8"x7'-0"	TEMP GLASS	PF	1 3/4"	
3070	3'-0"x7'-0"	SC	PF	1 3/4"	
2868	2'-8"x7'-0"	HC	PF	1 3/4"	
2668	2'-6"x7'-0"	HC	PF	1 3/4"	
2068	2'-0"x7'-0"	HC	PF	1 3/4"	

ABBREVIATIONS
HC = HOLLOW CORE
SC = SOLID CORE
PF = PREFINISHED
PS = PRESSED STEEL (TIMELY)



OJ³M

- remodeling
- custom homes
- additions

- residential
- desing
- patios & decks

Residential Design-

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.3 CRAFTSMAN STYLE 1ST & 2ND FLOOR PLAN

Project number HOMES2017

Date 2-4-2017

Drawn by Author

Checked by Checker

7 - A.3

Scale

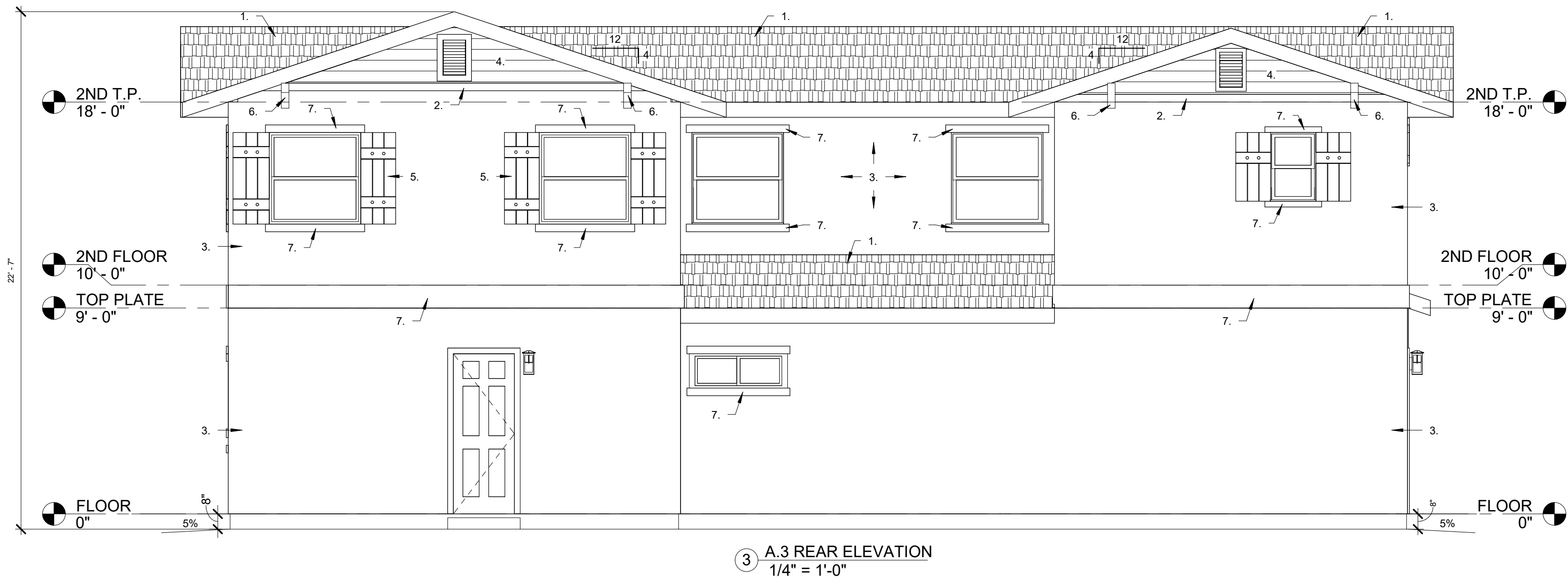
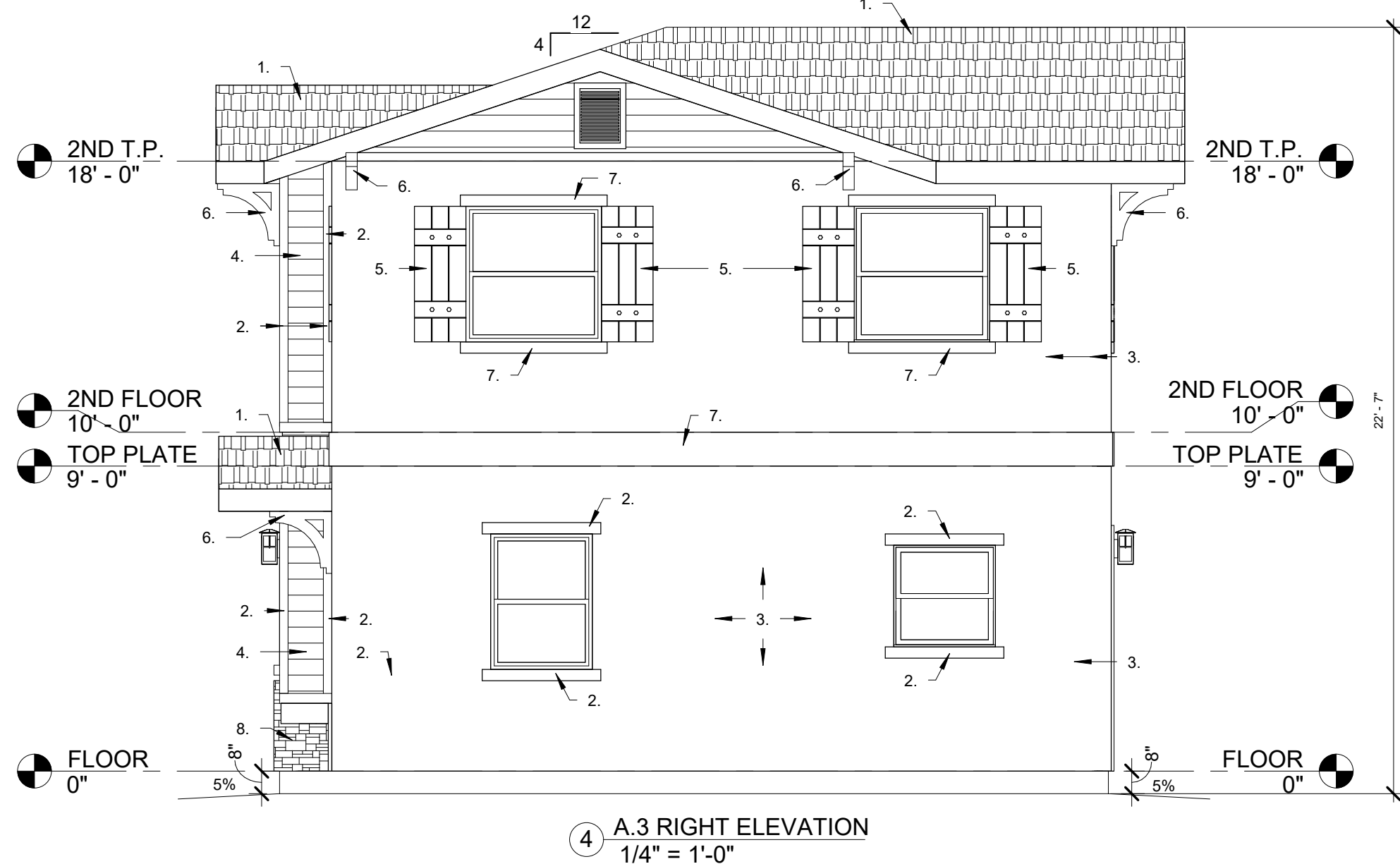
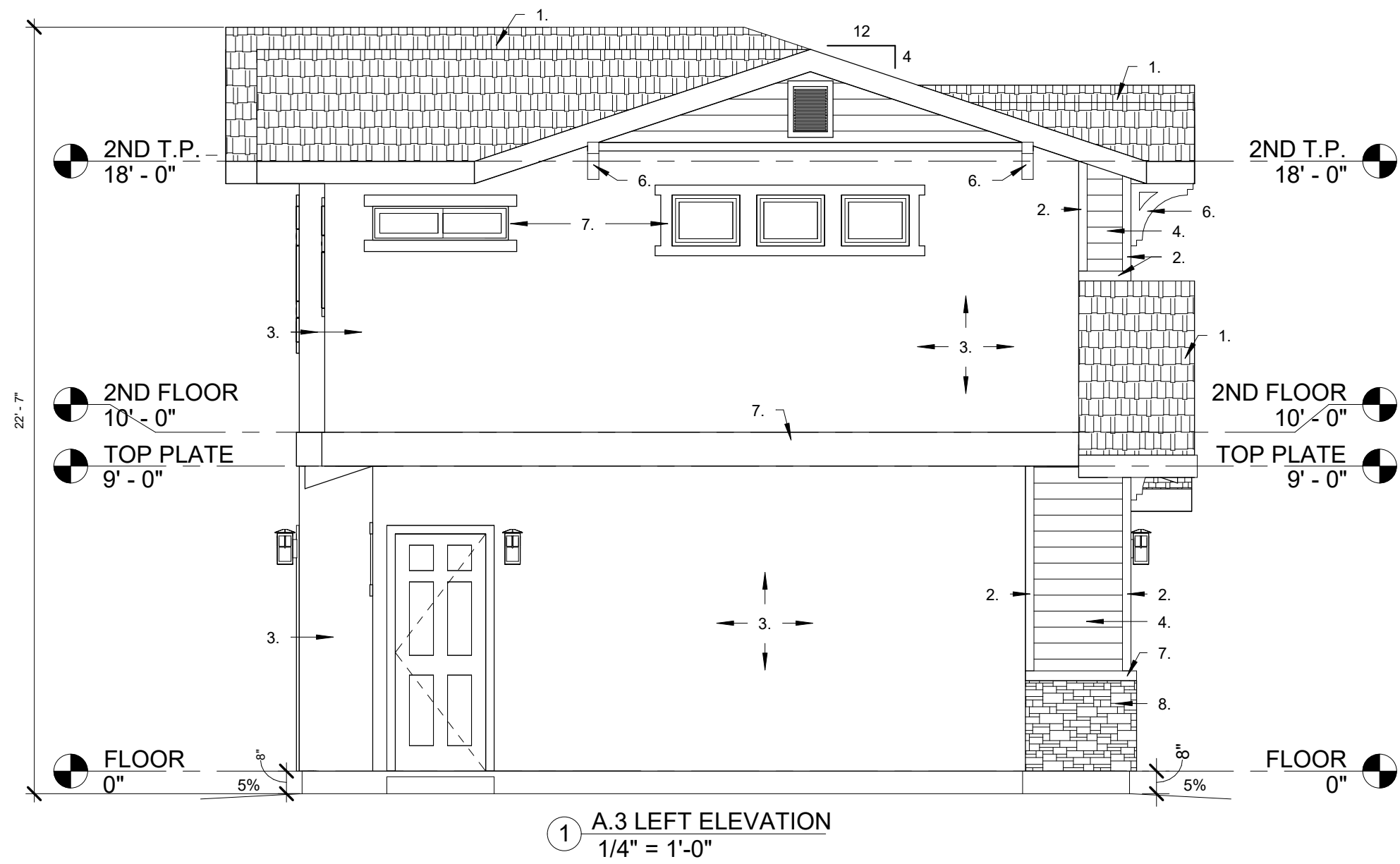
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NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

STUCCO NOTES
(N) STUCCO SHALL BE 7/8 INCHES AN APPLIED WITH THREE-COAT APPLICATIONPER CBC 2508.1. AND INSTALL IN ACCORDANCE WITH CHAPTER 25 ON THE CBC. STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF D PAPER SHALL BE APPLIED A MINIMUM No. 26 GAGECORROSION-RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINEON ALL EXTERIORS STUD WALLSTHE SCREED SHALL BE PLACE A MINIMUM OF 4" INCHES ABOVE THE EARTH OR 2" INCHES ABOVE PAVE AREAS.



- KEY NOTES**
1. GOLDEN EAGLE 199 CHARCOAL RANGE GRAY ROOF TILE
 2. WOOD TRIMS (ON SIDING)
 3. LA HABRA FALL BROOK SAND FINISH STUCCO
 4. JAMES HARDIE 6" EXPOSED WOOD GRAINSIDING TYP.
 5. PRE-FAB WOOD FINISH PLASTIC SHUTTERS
 6. 6x6 WOOD DECORATIVE BRACE
 7. STUCCO TRIM
 8. STACKED STONE LOOK TILES
 9. 8x8 DECORATIVE WOOD BEAMS



- residential
- desing
- patios & decks

O.J.M.
Residential Design

- remodeling
- custom homes
- additions

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.3 CRAFTSMAN STYLE
ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker

8 - A3

Scale 1/4" = 1'-0"



PROPOSED LIGHTING



SIMONTON Daylight Max
Single Hung Vinyl Windows



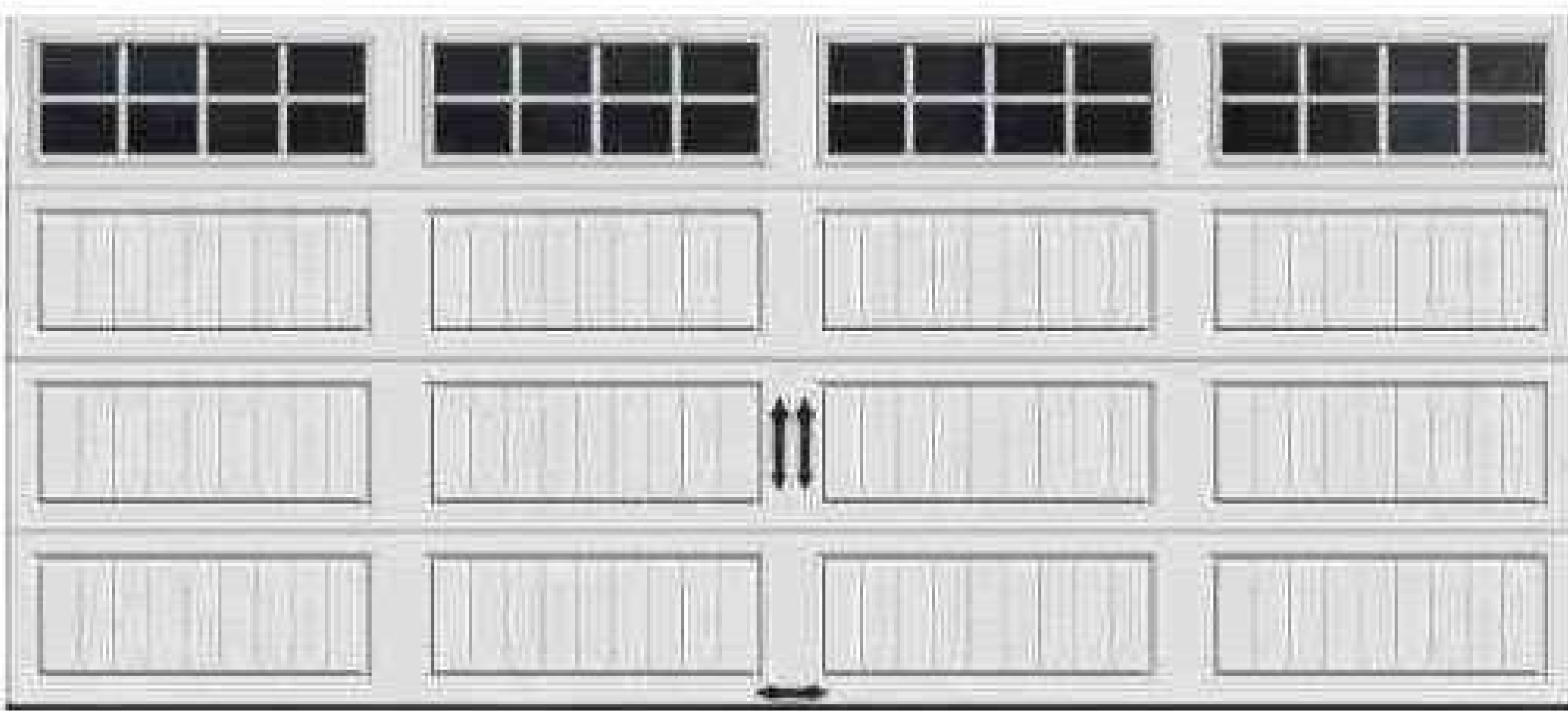
Masonite 36 in. x 80 in



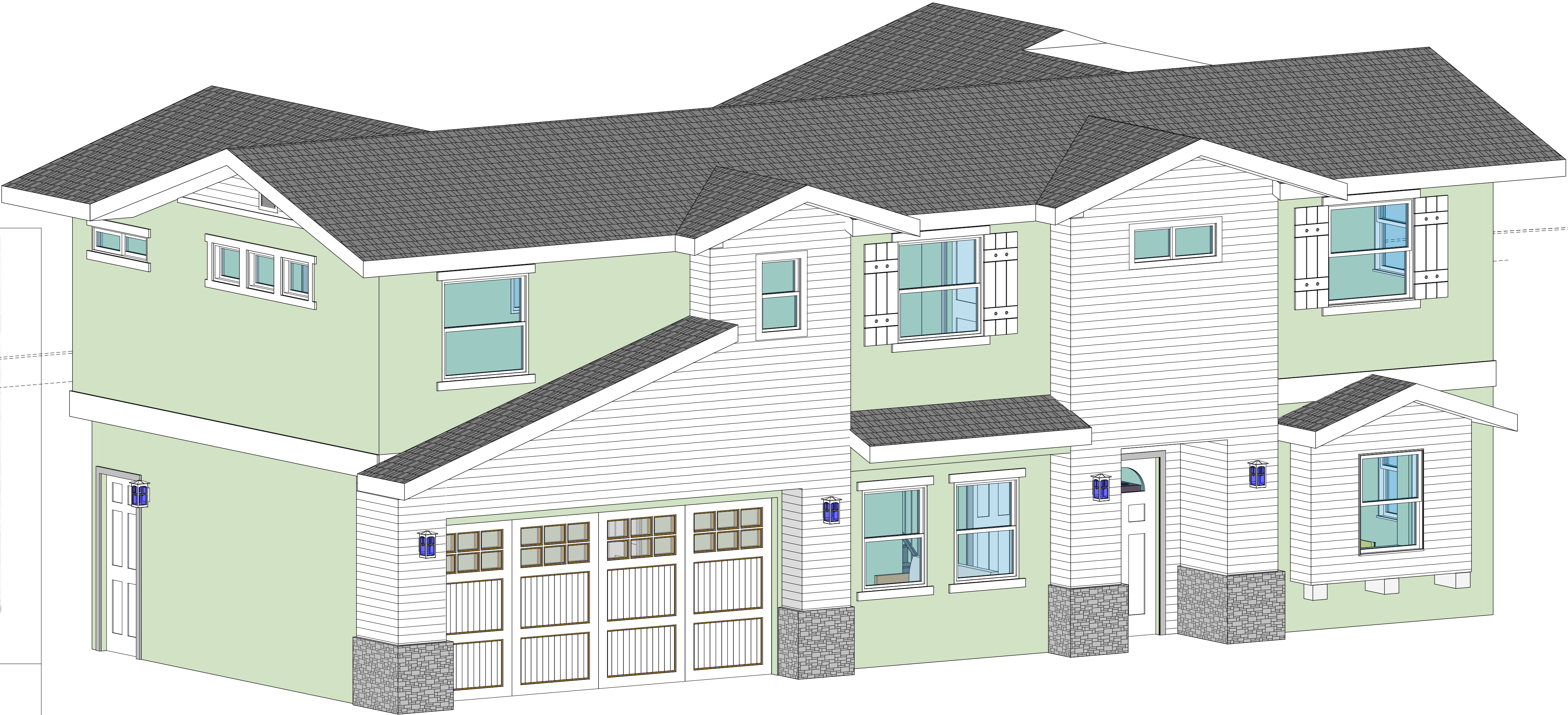
Ply Gem Polypropylene White



Lite Stone Shadow Grey Faux



Classic Collection 16 ft. x 7 ft. Non-Insulated Solid White Garage Door



1 A-3 3D



JOJOBA
N390-3



WHITE STONE
DC-012



SIDING COLOR WHITE



GOLDEN EAGLE 199 CHARCOAL RANGE

- remodeling
- custom homes
- additions

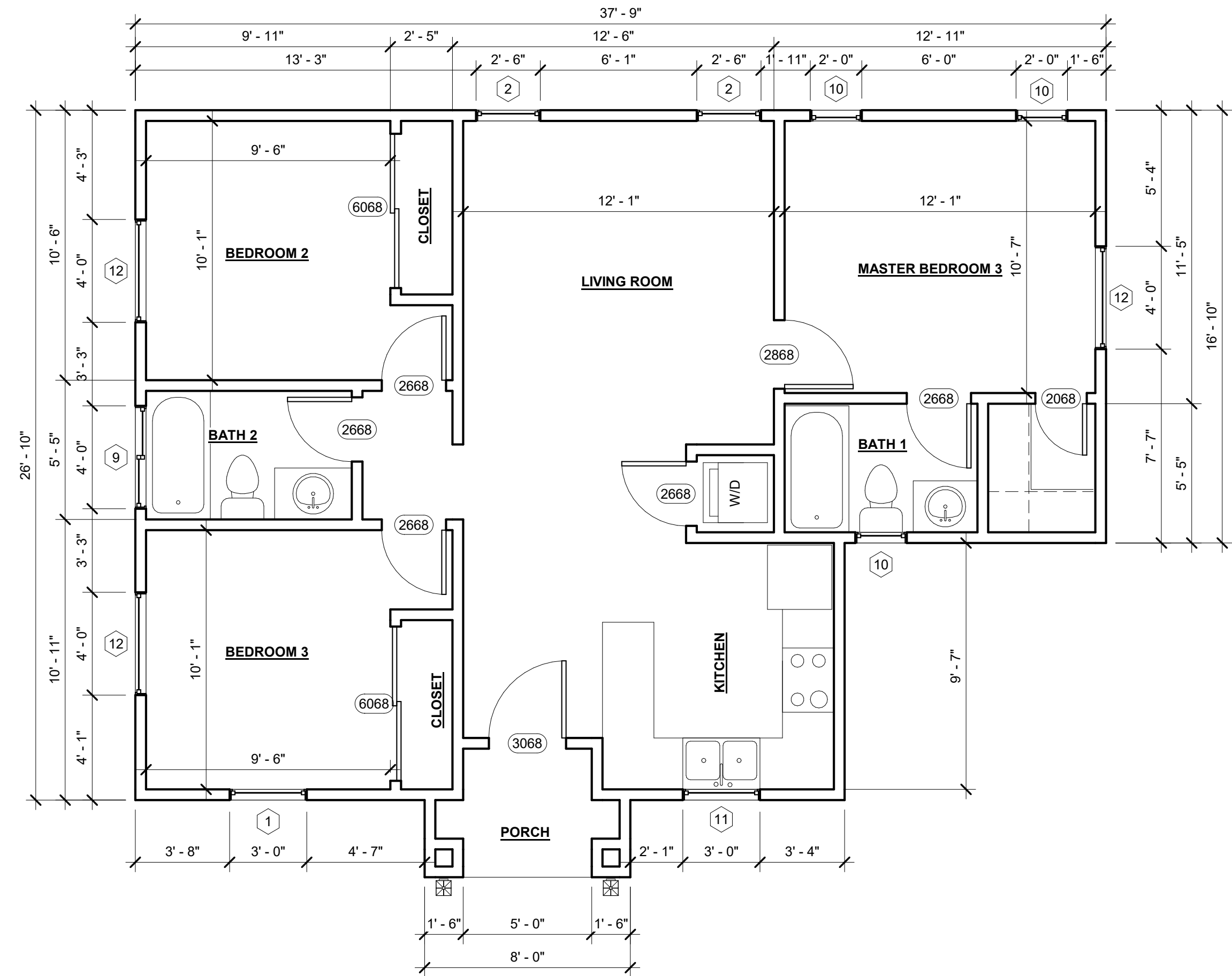
O.J.M.
-Residential Design-

- residential
- desing
- patios & decks

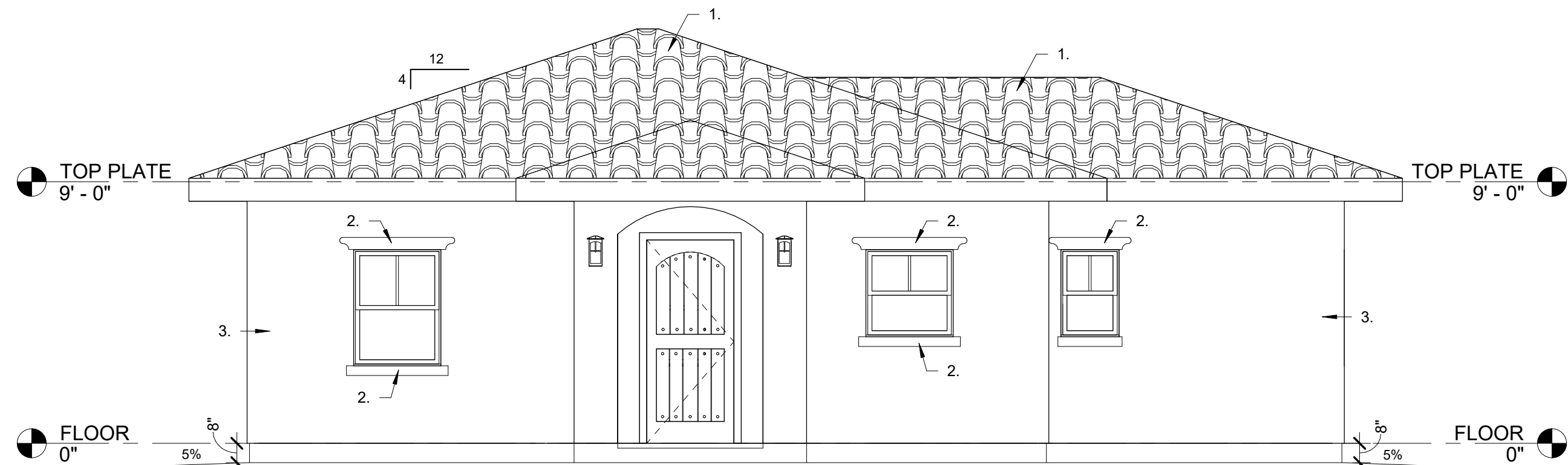
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No.	Description	Date

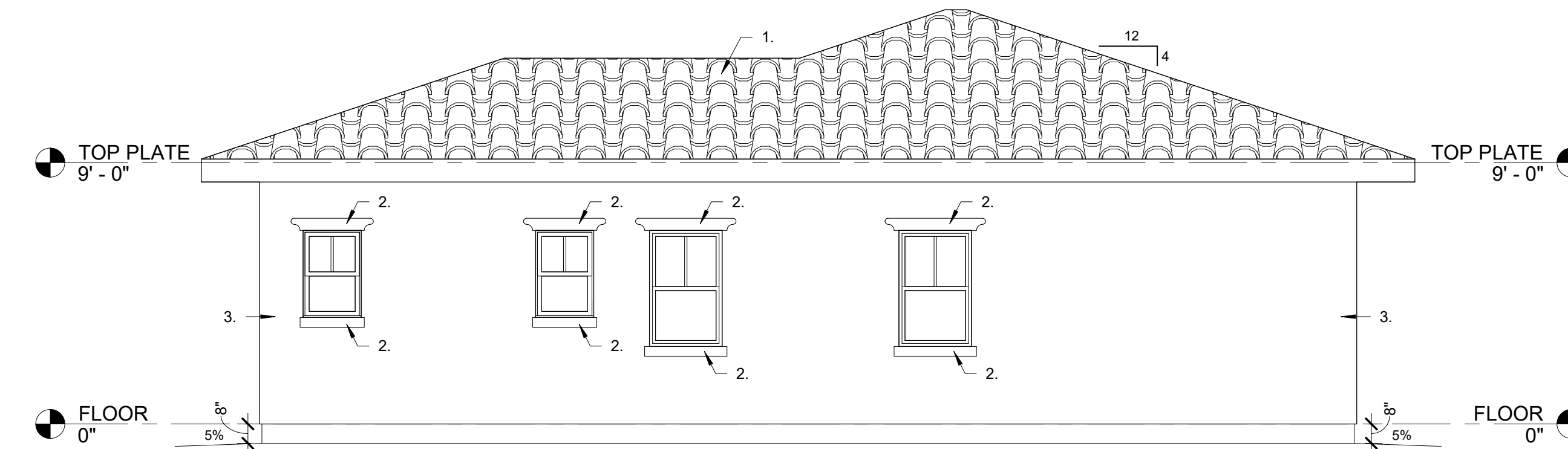
9 NEW HOMES W/ ADU Segura Family Trust & Oceano Investment LLC. 9320 Oleander Ave Fontana CA 92335	
UNIT A.3 COLOR BOARD & MATERIALS	
Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
9 - A-3	
Scale	



1 ADU B.1 MEDITERRANEAN
1/4" = 1'-0"



2 ADU B.1 SOUTH (FRONT) ELEVATION
1/4" = 1'-0"



5 ADU B.1 NORTH (LEFT) ELEVATION
1/4" = 1'-0"

ADU - 1 KEY NOTES

1. CAPISTRANO S STYLE TILE ROOF
2. WOOD TRIMS
3. LA HABRA FALL BROOK SAND FINISH STUCCO

- NEW STUD WALL
- (E) FENCE WALL
- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- EXISTING
- NEW
- 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDENENT LIGHT FIXTURE WITH MOTION SENSOR
- 20- FLUORESCENT LIGHT FIXTURE
- 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

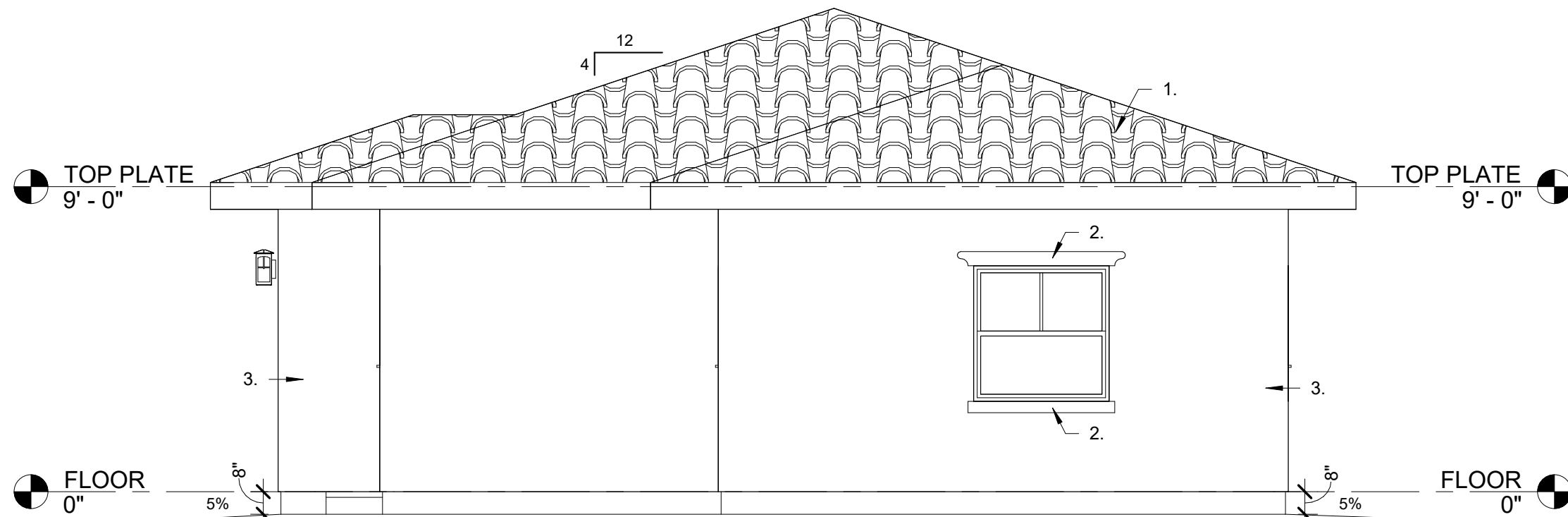
3 LEGEND ADU 1
1: 1

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINSH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
1	3'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
2	2'-6" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.30	.23	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.30	.23	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC	
10	2'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
11	3'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
12	4'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	

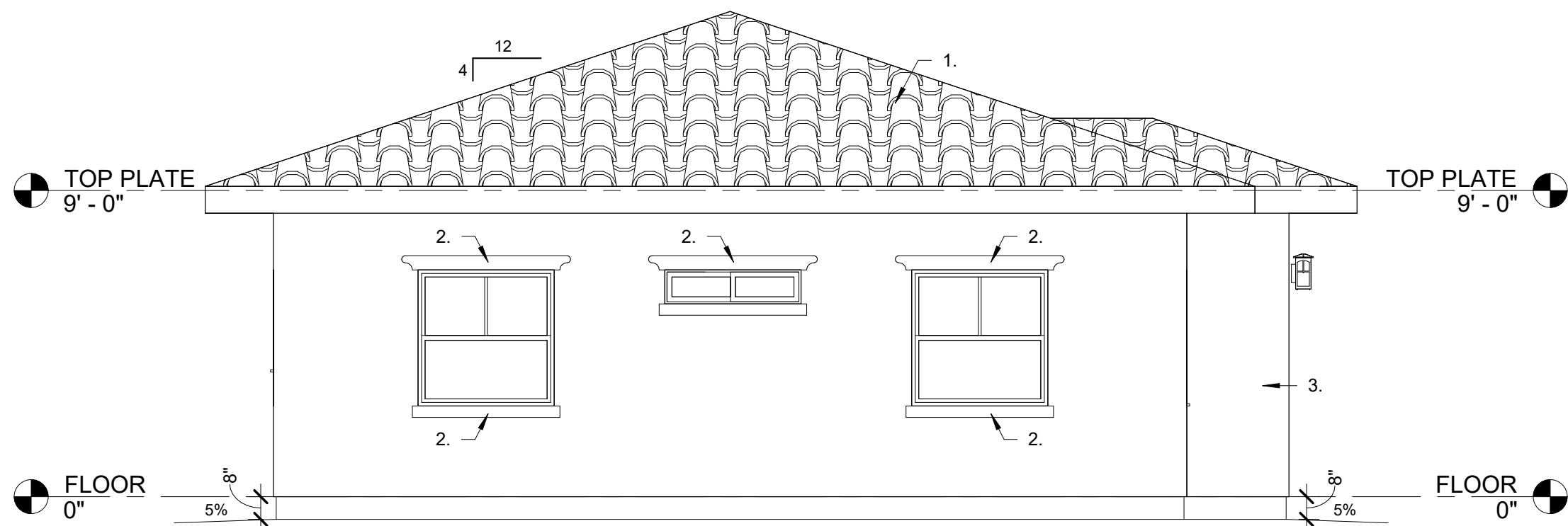
ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINSH	THICKNESS	FINISH COMMENTS
6070	6'-0"x7'-0"	TEMP GLASS	PF	1 3/4"	
5870	5'-8"x7'-0"	TEMP GLASS	PF	1 3/4"	
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ABBREVIATIONS
HC = HOLLOW CORE
SC = SOLID CORE
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PS = PRESSED STEEL (TIMELY)



4 ADU B.1 EAST (RIGHT) ELEVATION
1/4" = 1'-0"



6 ADU B.1 WEST (LEFT) ELEVATION
1/4" = 1'-0"

- residential
- desing
- patios & decks

OJ²M
-Residential Design-

- remodeling
- custom homes
- additions

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

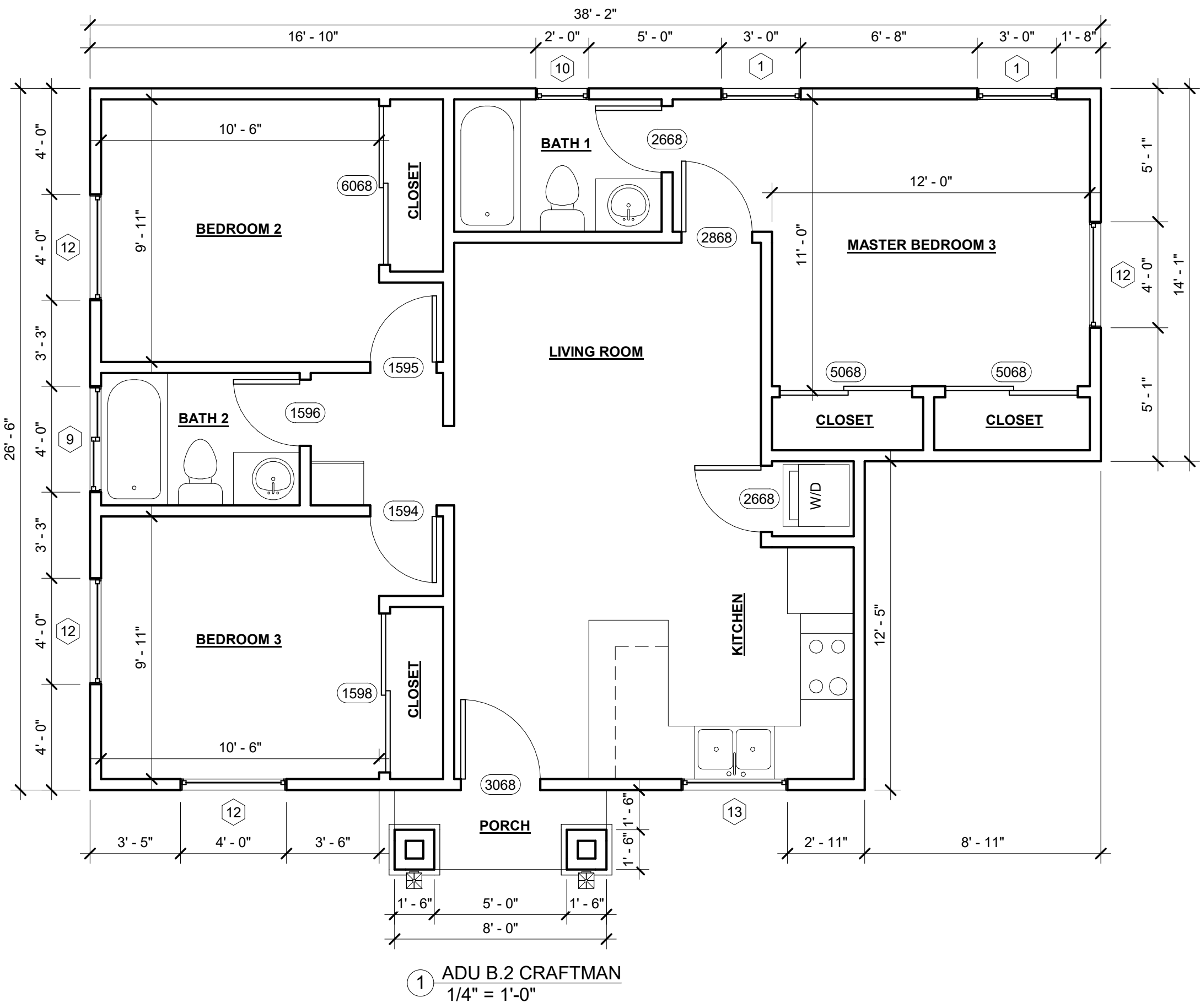
9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

ADU FLOOR PLAN & ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker

10 - ADU 1

Scale As indicated



- NEW STUD WALL
- (E) FENCE WALL
- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- EXISTING
- NEW
- 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDENENT LIGHT FIXTURE WITH MOTION SENSOR
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- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

2 LEGEND ADU 2
1: 1

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINISH	THICKNESS	FINISH
					COMMENTS
6070	6'-0"x7'-0"	TEMP GLASS	PF	1 3/4"	
5870	5'-8"x7'-0"	TEMP GLASS	PF	1 3/4"	
3070	3'-0"x7'-0"	SC	PF	1 3/4"	
2868	2'-8"x7'-0"	HC	PF	1 3/4"	
2668	2'-6"x7'-0"	HC	PF	1 3/4"	
2068	2'-0"x7'-0"	HC	PF	1 3/4"	

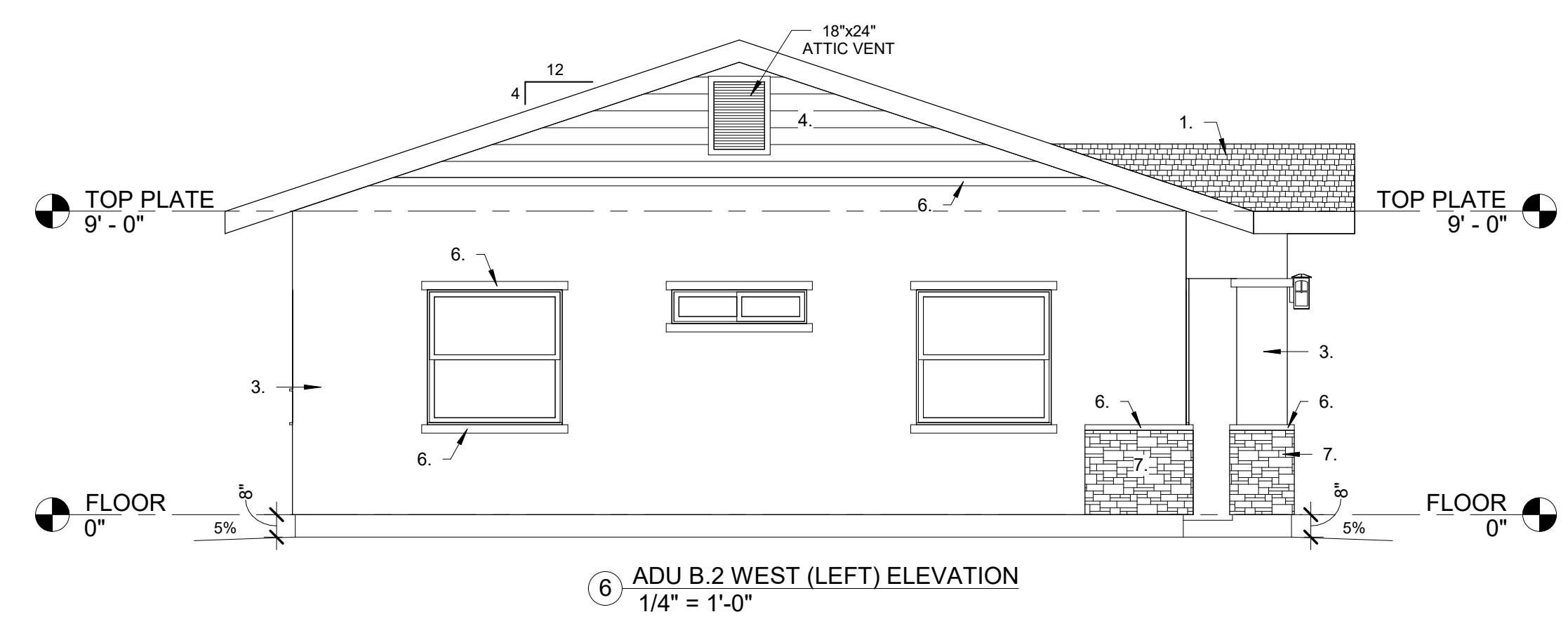
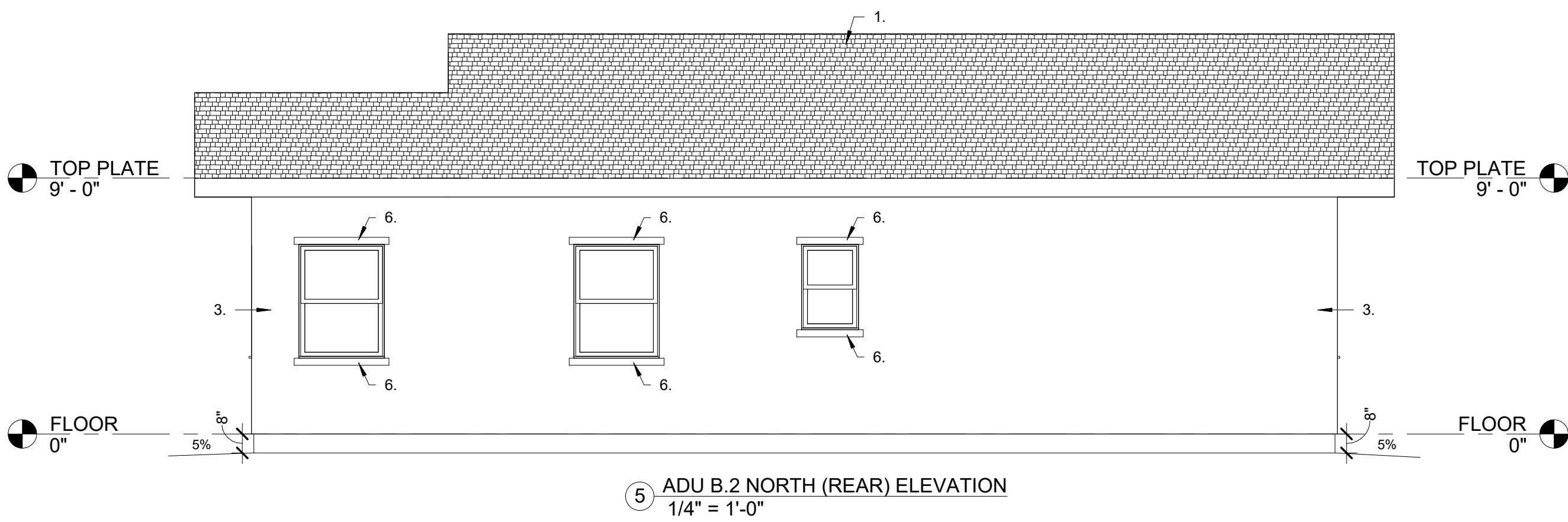
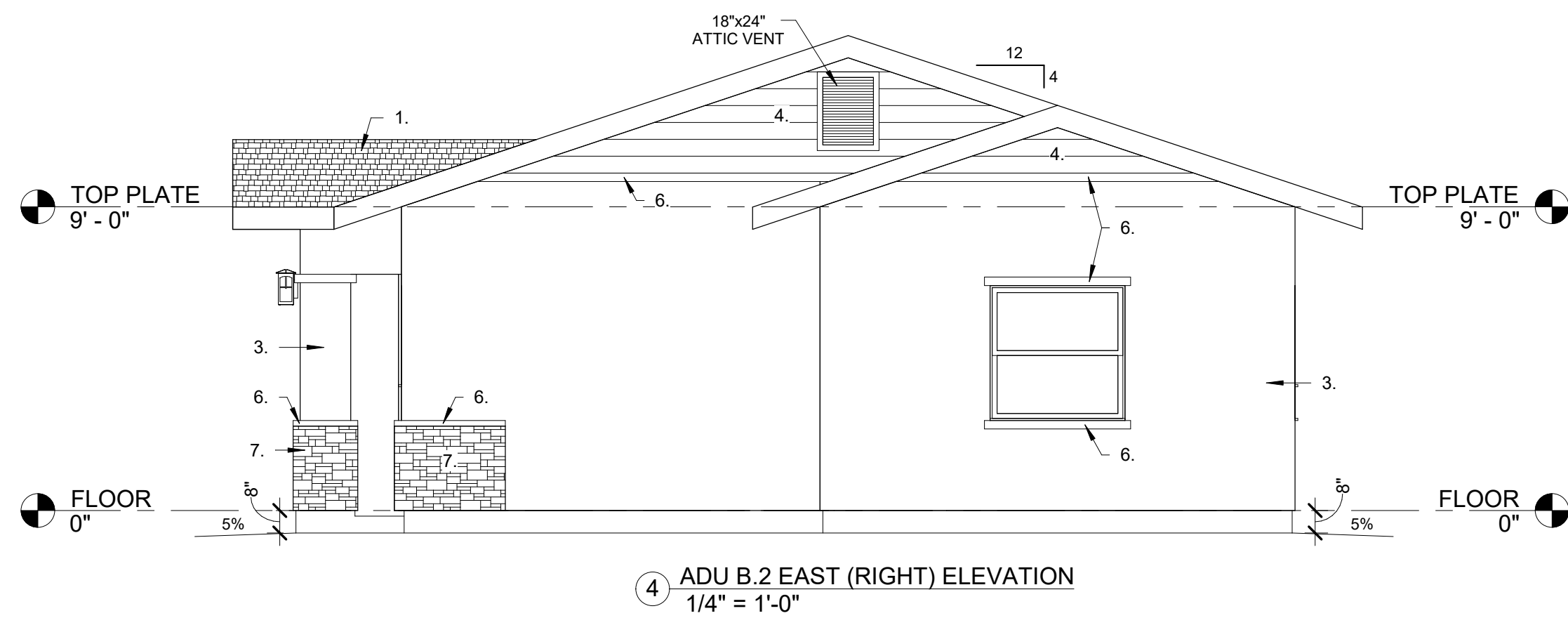
ABBREVIATIONS
HC = HOLLOW CORE
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PS = PRESSED STEEL (TIMELY)

WINDOW SCHEDULE									
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2	2'-6" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.30	.23	NFRC		
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC		
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.30	.23	NFRC		
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC		
10	2'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
11	3'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
12	4'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
13	4'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		

ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

7 WINDOW SCHEDULE A1
12" = 1'-0"

- ADU - 2 KEY NOTES
1. 199 CHARCOAL RANGE GRAY ROOF TILE
 2. WOOD TRIMS (ON SIDING)
 3. LA HABRA FALL BROOK SAND FINISH STUCCO
 4. JAMES HARDIE 6" EXPOSED WOOD GRAINSIDING TYP.
 5. PRE-FAB WOOD FINISH PLANSTIC SHUTTERS
 6. WOOD TRIM
 7. STACKED STONE LOOK TILES



O.J.M.
Residential Design

- remodeling
- custom homes
- additions

- residential
- desing
- patios & decks

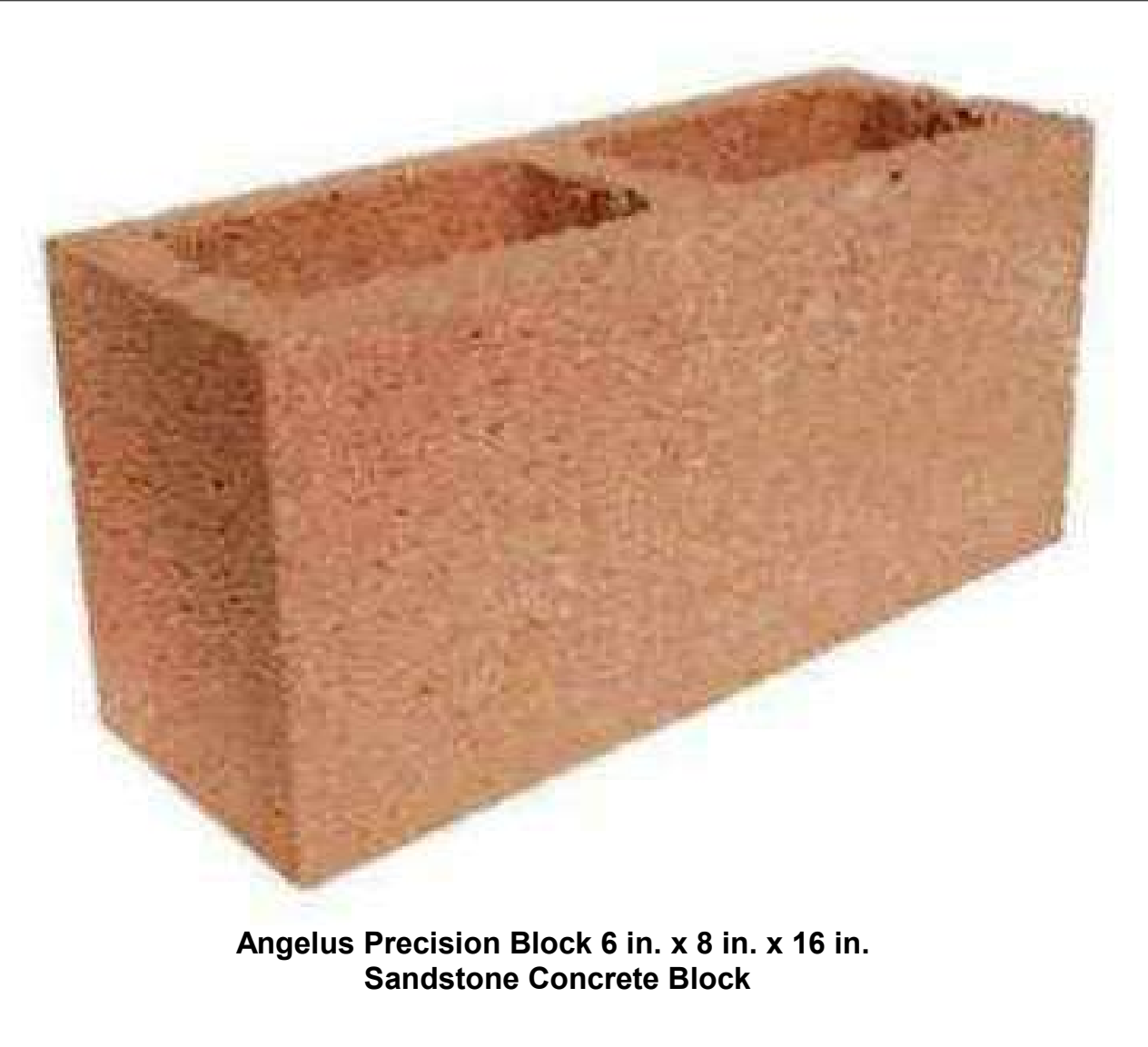
1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

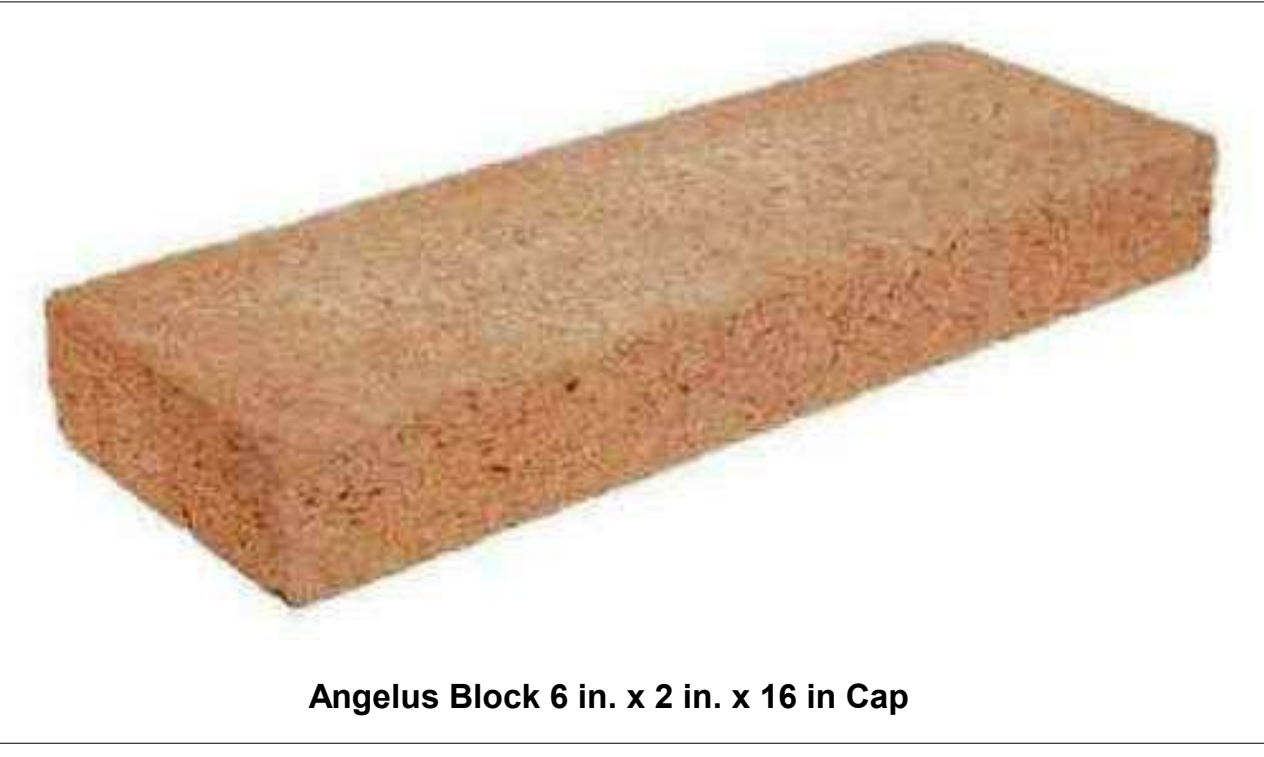
9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

ADU FLOOR PLAN & ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
11 - ADU 2	
Scale	As indicated



Angelus Precision Block 6 in. x 8 in. x 16 in.
Sandstone Concrete Block



Angelus Block 6 in. x 2 in. x 16 in Cap



6' Angelus Precision Block 6 in. x 2 in. x 16 in Wall



Side Gate

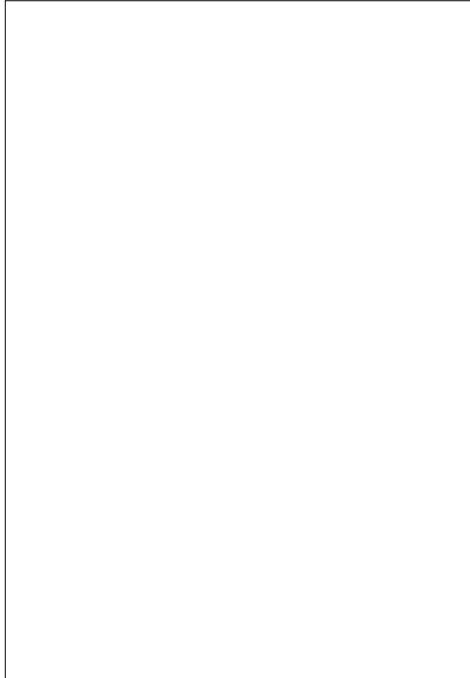
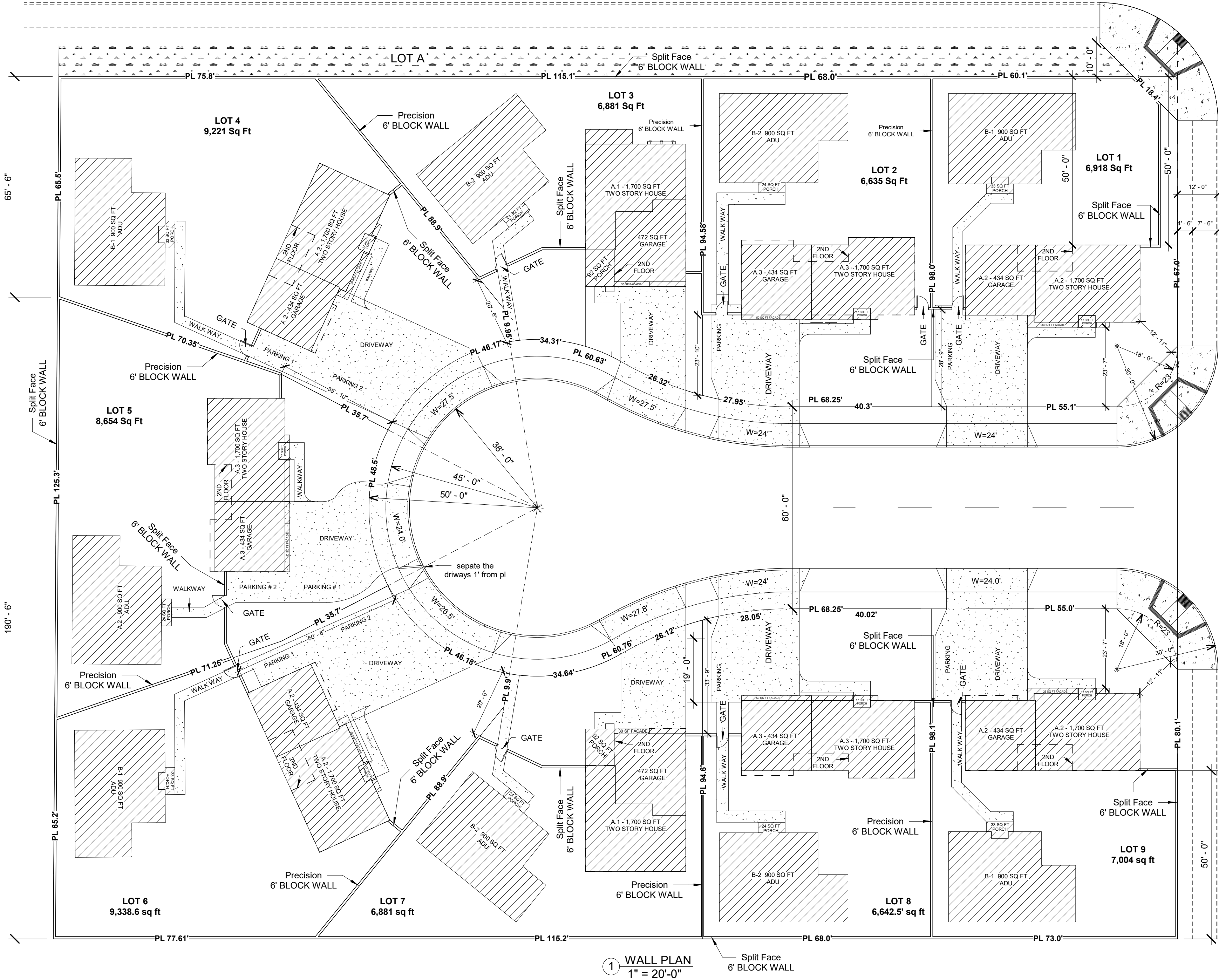
NOTE:
1. Angelus Precision Block to be install in the interior of the properties where is not visible from the street
2. Angelus Sandstone Split Face Concrete Block to be install around the property where is visible from the street



Angelus 6 in. x 8 in. x 16 in.
Sandstone Split Face Concrete Block



Angelus 6 in. x 8 in. x 16 in. Sandstone Split Face Concrete Block



OJ²M

- remodeling
- custom homes
- additions

- residential
- desing
- patios & decks

- Residential Design-

1188 W. Marshall Blvd. San Bernardino Ca 91706
(909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

WALL PLAN

Project number HOMES2017
Date 2-4-2017
Drawn by OJM
Checked by OJM

12-WALL PLAN

Scale 1" = 20'-0"

<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
<u>TREES</u>			
	Arbutus 'Marina'	NCN	24" box
	Lagerstroemia i. 'Tuscarora'	Crape Myrtle	24" box
	Koeleruteria bipinnata	Chinese Flame Tree	24" box
	Olea europea 'Swan Hill'	Fruitless Olive Tree	24" box
	Platanus a. 'Bloodgood'	London Plane Tree	24" box
	Tristania conferta	Brisbane box	24" box
<u>SHRUBS</u>			
	Agave attenuata	Foxtail Agave	5 gal
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal
	Ligustrum j. 'Texanum'	Texas Privet	5 gal
	Phormium t. 'Yellow Wave'	Yellow Wave Flax	5 gal
	Raphiolepis i. 'Ballerina'	Indian Hawthorn	5 gal
	Westringia f. 'Mundi'	Dwarf Westringia	5 gal
<u>PERENNIALS</u>			
	Aloe striata	Coral Aloe	5 gal
	Dianella t. 'Variegata'	Variegated Flax Lily	5 gal
	Hemerocallis hybrids	Daylily	5 gal
	Hesperaloe parvifolia	Red Yucca	5 gal
<u>GROUNDCOVER</u>			
	Myoporum parvifolium	Prostrate Myoporum	flats
	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	flats
	Verbena peruviana	Verbena	flats
	Festuca arundinacea	Tall Fescue	sod

Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET _a)		55.6		Fontana			
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1) Low water use plants	0.2	Drip	0.81	0.247	9,955	2,458.02	84,733
4) High water use lawn	0.7	Overhead Spray	0.75	0.933	2,927	2,731.87	94,173
							0
							0
							0
							0
							0
Totals					12,882	5,189.89	178,906
Special Landscape Areas (SLA): Recycled Water							
				1	0	0	0
				1	0	0	0
				1	0	0	0
				Totals	0	0	0
Estimated Total Water Use (ETWU)							178,906
Maximum Allowed Water Allowance (MAWA)							199,831

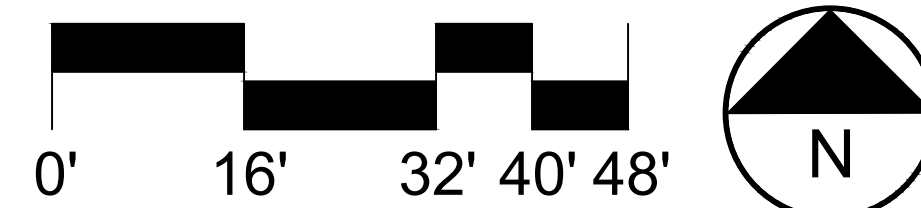
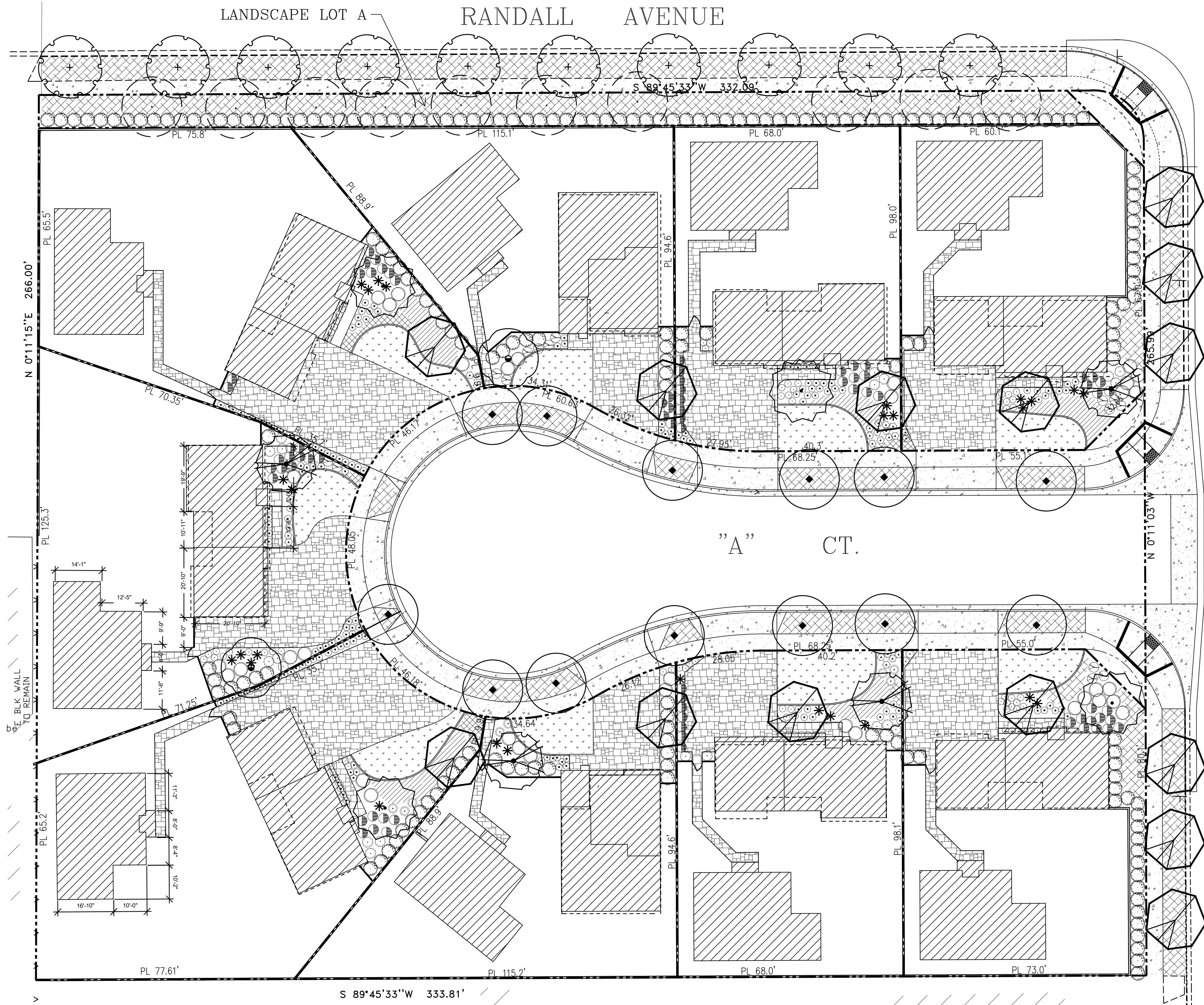
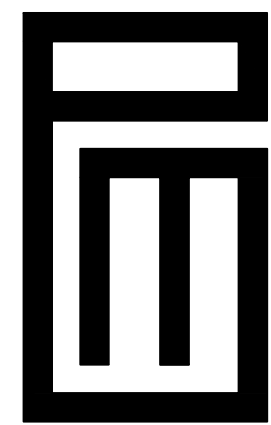
- All projects shall comply with the following Standard Conditions:
- 1) All landscape and irrigation plans shall comply with the City of Fontana Standard Specifications.
- 2) Provide a CFO exhibit showing all proposed letter lots, Landscape Medians, WQMP and any existing and proposed street lights
- 3) Maintain Intersection Sight Distance for all intersections (City Standard Drawing 140) taking into account plant height, elevation changes, monument walls, garden and retaining walls. Accumulative height shall not exceed thirty (30) inches.
- 4) All landscape and irrigation design shall incorporate drought tolerant plant materials and water efficient irrigation systems. (Ordinance #1087) Article IV Sec. 28-91 F.C.C. and AB 1881 Ordinance.
- 5) City Landscape Inspector is responsible for streetscape inspections and final recommendation for acceptance of all Landscape areas and parks.
- 6) Street trees are required to be planted in accordance with city standards. Species selected by Landscape Architect and approved by Landscape Development and Parks and Landscape Department.
- 7) Walls with in the landscape areas or park areas shall be coated with Vicrocem anti graffiti coating or as directed by city staff during plan check.
- 8) Parks shall be design with the input of the Parks and landscape Department. Parks shall be design per the Public Works Park Design Standards.
- 9) The developer shall submit to the Parks and Landscape Department the following plan check:
 - a. Landscape Submittal Form (completely filled out)
 - b. Two (2) complete sets of planting and irrigation plans, details and specifications.
 - c. Conceptual Landscape Design Plan as approved by the Development Advisory Board and/or Planning Commission.
 - d. Two (2) sets of Cost Estimates
 - e. CFO quantity estimate form
 - f. One (1) set of the Conditions of Approval from D.A.B and/or the Planning Commission
 - g. Water Conservation Landscape Package if applicable(Landscape and Construction must be approved prior to issuance of building/construction permits)
- 10) A landscape plan and installation schedule in accordance with City Guidelines and Specifications for all areas between any curb and right of way line or perimeter wall shall be submitted to and approved by the City. The plans shall show that safe sight distance standards are met and indicate topographical information, plant species, sizes and location, and also show the related irrigation system/controls and water meter service points

ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.

ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY OF FONTANA DESIGN GUIDELINES, CODES AND REGULATIONS.

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.

[illegible]

PHIL MAY
LANDSCAPE
ARCHITECT

1937 West 9th Street
Upland, CA 91786

Phone: 909 373 1959
Fax: 909 373 1958

pmay@philmaydesign.com
www.philmaydesign.com



PRELIMINARY LANDSCAPE PLAN

9 NEW HOMES W/ ADU'S
9320 OLEANDER AVE
FONTANA CA 92335

DRAWN
B.S.

CHECKED
P M

DATE _____

05-31-2022

SCALE
1/16" = 1'-0"

JOB NO.
00045

20045
SHEET

L-1

OF 1 SHEETS

GRADING NOTES:

- ALL WORK SHOWN HEREIN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF FONTANA STANDARDS AND SPECIFICATIONS, AND OF THE CALIFORNIA BUILDING CODE, 2019 EDITION.
- PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE SOILS ENGINEER.
- AFTER REMOVAL OF DEBRIS, ANY EXISTING FILL OR DISTURBED NATURAL SOILS SHALL BE EXCAVATED TO THE SATISFACTION OF THE SOILS ENGINEER.
- THE EXPOSED SOILS SHALL BE INSPECTED BY THE SOILS ENGINEER, AND ANY ADDITIONAL OVER-EXCAVATION SHALL THEN BE MADE IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATION AND AS CONTAINED IN THE SOILS REPORT.
- THE EXPOSED SOILS SHALL BE SCARIFIED TO A MINIMUM DEPTH (PER SOILS REPORT), BROUGHT TO A PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE APPENDIX SECTION J107.5, OF THE CALIFORNIA BUILDING CODE, 2019 EDITION. EQUIVALENT COMPACTION SHALL BE OBTAINED BY METHODS SPECIFIED BY THE SOILS ENGINEER.
- IF ANY UNFORESEEN SUB-SURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER BEFORE PROCEEDING FURTHER.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS TO BE DEPOSITED ONTO PUBLIC OR ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHOD THROUGHOUT THE GRADING AND BUILDING CONSTRUCTION OPERATION.
- PRIOR TO THE START OF ANY BUILDING CONSTRUCTION THE CONTRACTOR SHALL FURNISH THE CITY WITH CERTIFICATION FROM THE CIVIL ENGINEER AND SOILS ENGINEER THAT BUILDING SUB-GRADE PADS ARE WITHIN 0.10 FOOT OF THE APPROVED PLANS AND THAT THE PROPER COMPACTION AND PREPARATION HAS BEEN OBTAINED.
- NO GRADING SHALL COMMENCE WITHOUT OBTAINING GRADING PERMIT FROM BUILDING AND SAFETY DIVISION AND NOTIFYING GRADING INSPECTOR 24 HOURS PRIOR TO START OF WORK.
- RESPONSIBILITY FOR GRADING AND INSPECTION SHALL BE ASSUMED BY THE ENGINEER'S WORK IN ACCORDANCE WITH APPENDIX J 105 OF THE CALIFORNIA BUILDING CODE, 2019 EDITION.
- THE SOILS ENGINEER SHALL ALSO BE RESPONSIBLE TO VERIFY AND REPORT THAT PROPER COMPACTION HAS BEEN OBTAINED BY SUBCONTRACTORS AND AGENCIES CONCERNING UTILITY LINE BACKFILLING, BUT NOT LIMITED TO SEWERS, WATER LINES, ELECTRICAL, GAS AND LANDSCAPE IRRIGATION LINES.
- CERTIFICATES OF FINAL LOT GRADING ARE TO BE SUBMITTED TO THE BUILDING AND SAFETY DIVISION PRIOR TO FINAL BUILDING INSPECTION.
- AN AS-GRADED GRADING PLAN AND CERTIFICATION OR COMPLIANCE WITH SAID GRADING PLAN IS TO BE SUBMITTED TO THE BUILDING AND SAFETY DIVISION PRIOR TO THE RELEASE OF THE GRADING BOND AND PRIOR TO THE FINAL GRADING INSPECTION.
- NO ADJUSTMENT OF ELEVATION SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE BUILDING OFFICIAL AND THE CIVIL ENGINEER OF RECORD.
- ALL P.C.C. WATER CARRYING DEVICES WITH MINIMUM SLOPES LESS THAN 0.5% WILL BE WATER TESTED PRIOR TO FINAL FINISH. ANY RESIDENTIAL PONDING IN EVIDENCE AT TIME OF INSPECTION SHALL BE CAUSE FOR REMOVAL AND REPLACEMENTS.
- ALL WALLS OVER 3 FEET IN FINISH HEIGHT REQUIRES SEPARATE PERMITS AND INSPECTION ISSUED BY ENGINEERING DIVISION.
- ALL WORK WITHIN PUBLIC RIGHTS OF WAY REQUIRES SEPARATE PERMITS AND INSPECTION ISSUED BY ENGINEERING DIVISION.
- GRADING CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF THE LOCATION OF ANY SOILS PROPOSED FOR IMPORT. EACH PROPOSED IMPORT SOURCE SHALL BE SAMPLED, TESTED, AND APPROVED PRIOR TO DELIVERY OF SOILS FOR USE ON THE SITE.
- WE HEREBY CERTIFY THAT WE HAVE REVIEWED THIS PLAN AND THAT IT SUBSTANTIALLY CONFORMS TO OUR PRELIMINARY SOILS REPORT NO. ----- DATED APRIL ----- AND PREPARED BY -----.

MMANUEH NADERI R.C.E. C46015
EXP 12/31/2022

MANUEH NADERI R.C.E. 46015
EXP 12/31/2022

- FINAL REPORTS REQUIRED BY APPENDIX J 107 OF THE CALIFORNIA BUILDING CODE SHOULD BE SUBMITTED TO THE CITY AT THE COMPLETION OF THE WORK.
- ALL GRADING OPERATIONS SHALL CEASE DURING PERIODS OF WINDS IN EXCESS OF 25 MPH. SITE SHALL BE KEPT CONTINUOUSLY WATERED DURING PERIODS OF HIGH WINDS TO PREVENT AIRBORNE EROSION.
- STRICT ADHERENCE TO DUST CONTROL REQUIREMENTS SHALL BE ENFORCED AND ADJACENT STREETS SHALL BE CLEANED DAILY OF ALL DIRT AND DEBRIS THAT IS THE RESULT OF THIS OPERATION.
- SHOULD THE GRADING WORK BE DISCONTINUED PRIOR TO COMPLETION, APPLICANT SHALL BE RESPONSIBLE FOR STABILIZING SOIL WITH HYDRO SEED MIX OR OTHER APPROVED METHOD.

EROSION CONTROL:

- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCK PILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS EMINENT.
- EROSION CONTROL DEVICES SHALL NOT BE MODIFIED WITHOUT THE APPROVAL OF THE CITY INSPECTOR.
- ALL REMOVABLE EROSION PROTECTION DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER EACH RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM THE STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND ENSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- NO GRADING ALLOWED WHEN WINDS EXCEED 25 MPH.

LEGAL DESCRIPTION:

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY.
EXCEPTING THEREFROM THE WEST 17 ACRES, AREAS AND DISTANCES COMPUTED TO STREET CENTERS.
APN NO. 0193-172-13-0000
LOT SIZE 88,562 SQ FT = 2.03 ACERS

BENCHMARK:

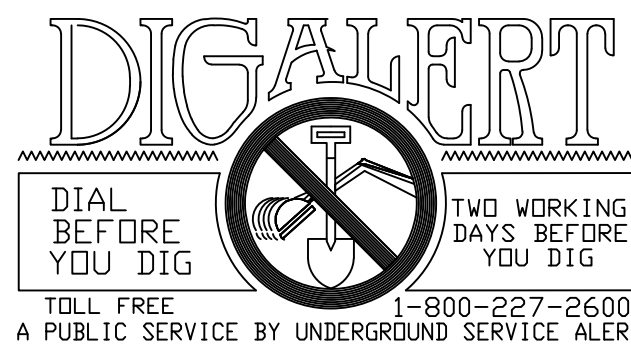
CITY OF FONTANA B.M. # 484
TOP OF FIRE HYDRANT @ THE N.E. CORNER OF RANDALL & CYPRESS
ELEV. 1190.36

BASIS OF BEARING:

CENTER LINE OF RANDALL STREET BEING AS S 89°45'33"W

EXISTING EASEMENTS:

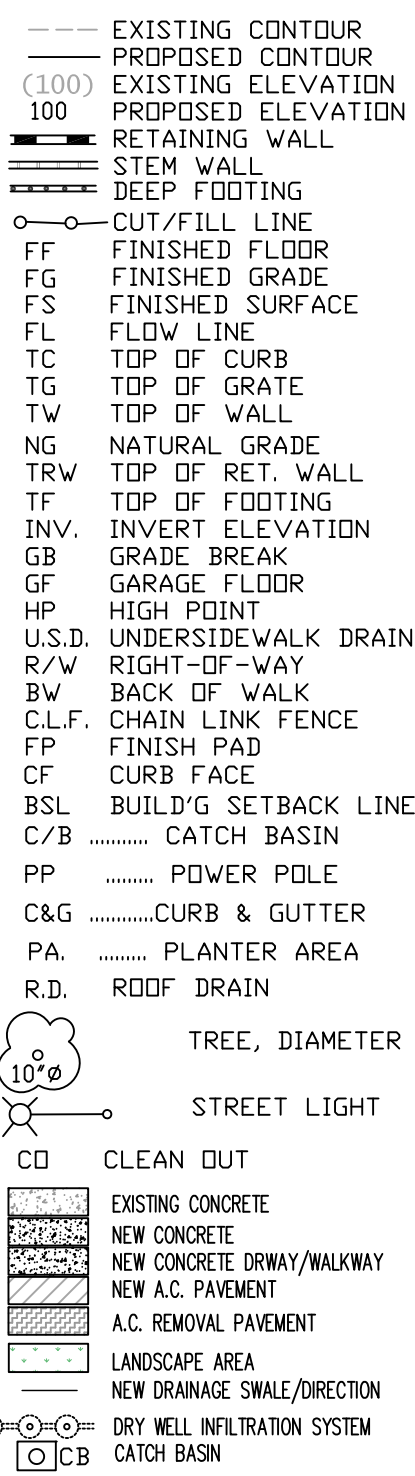
- AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 7, 1926 AS BOOK 56, PAGE 23 OF OFFICIAL RECORDS. NOT PLOTTED ON THE MAP.
- AN EASEMENT FOR STREET AND HIGHWAY INCIDENTAL PURPOSES, RECORDED OCTOBER 29, 1975 AS BOOK 8794, PAGE 571 AS INSTRUMENT NO. 75-409 OF OFFICIAL RECORDS. AFFECTS SAID LAND. IN FAVOR OF: CITY OF FONTANA, A MUNICIPAL CORPORATION



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

CONCEPTUAL GRADING PLAN FOR TENTATIVE TRACT MAP No. 20307 IN THE CITY OF FONTANA

LEGEND



CONSTRUCTION NOTES

- CONSTRUCT RESIDENTIAL DRIVE APPROACH PER STD. PLAN NO. 1001
- CONSTRUCT CONC. CURB & GUTTER PER STD. PLAN NO. 1000
- CONSTRUCT CONC. SIDEWALK PER STD. PLAN NO. 1006
- CONSTRUCT ADA RAMP PER STD. PLAN NO. 1003
- CONSTRUCT 8' CROSS GUTTER PER STD. PLAN NO. 403
- CONSTRUCT CATCH BASIN W=4', V=8' PER STD. PLAN NO. 3004
- CONSTRUCT DRYWELL INFILTRATION SYSTEM PER MAXWELL PLUS DPD-4-SS-CA.
- CONSTRUCT 6' HIGH BLK WALL PER ARCHITECT PLAN & BY SEPARATE PERMIT.
- CONSTRUCT 4" AC OVER 12" COMPACTED NATIVE.
- SAW CUT 2' ± EX. AC PER CITY STD. DWG. 1008, REPLACE W/CONST. NOTE NO. 9 ABOVE.
- REMOVE POWER POLE & ST. LIGHTS, DEVELOPER WILL WORK WITH SCE.
- REMOVE EX. DRIVEWAYS, SIDEWALKS, CURB & GUTTER- REPLACE AS SHOWN.
- CONSTRUCT 12" DIA. PVC SCHEDULE 80 DRAIN PIPE.
- CONSTRUCT CONCRETE DRIVEWAYS AND WALKWAYS.
- CONSTRUCT STREET LIGHT PER STD. PLAN NO. 404
- CONSTRUCT RETAINING WALL AS NEEDED PER ARCHITECT PLAN & BY SEPARATE PERMIT.
- ADJUST/RELOCATE EX. UTILITIES BOXES, ST. SIGN AS SHOWN.

QUANTITIES

9 EA	644 LF	3,062 SF	3 EA	1 LS	2 EA	1 EA	1,112 LF	10,076 SF	512 SF	2 EA	1 LS	37 LF	8,920 SF	5 EA	462 LF	1 LS
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QUANTITIES

CUT	25 CY
FILL	4,920 CY

THE QUANTITIES SHOWN HERE ARE FOR PERMIT AND BONDING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO START OF GRADING.

OWNER / DEVELOPER

OCEANO INVESTMENT, LLC
3065 RIVERSIDE DRIVE
CHINO, CA 91710
323-422-1842

ENGINEER

M. NADERI CONSULTING ENGINEERS
P. O. BOX 7553
LA VERNE, CA 91750
909-3740-0453

SURVEYOR

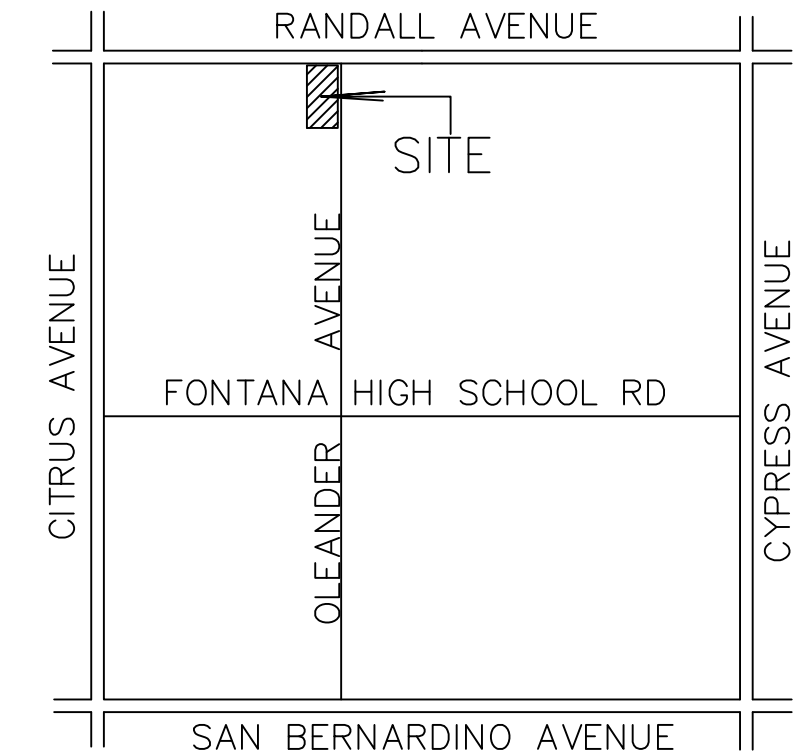
BOYD SCHNEIDERWERT P.L.S.
9099 ROCHESTER ROAD
PHELAN, CA. 92371

ASSESSOR PARCEL NO.

0193-172-13-0000

ZONING:

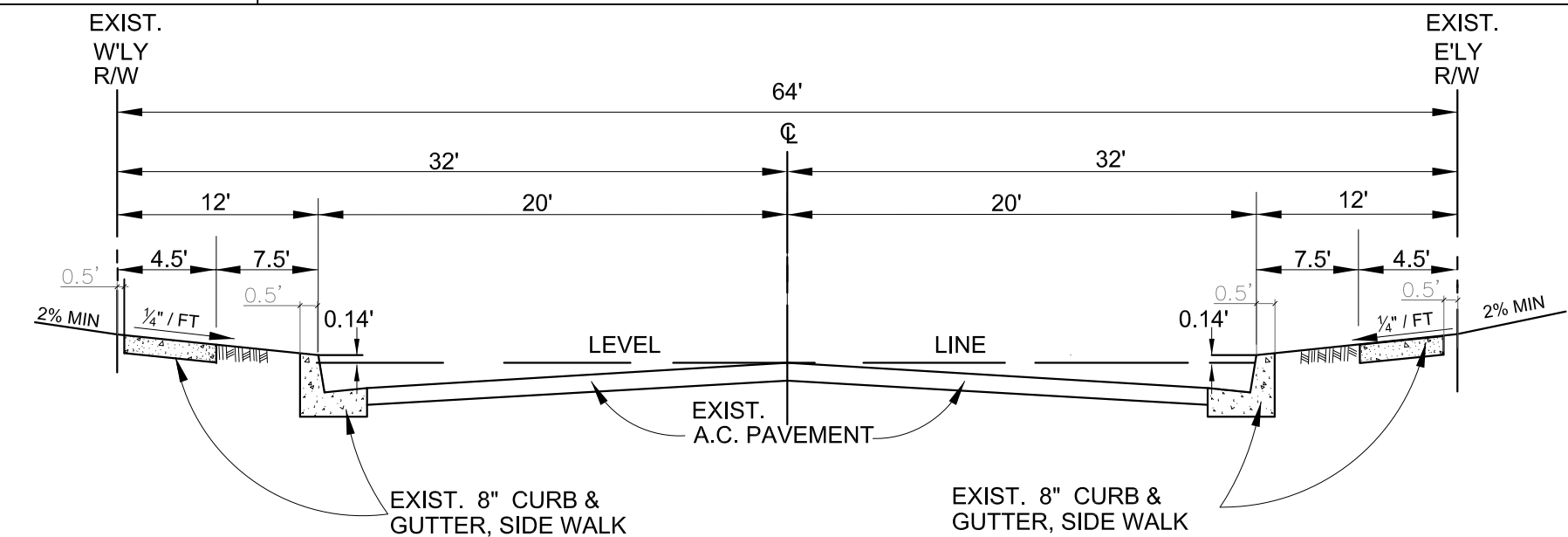
EXISTING & PROPOSED SFR



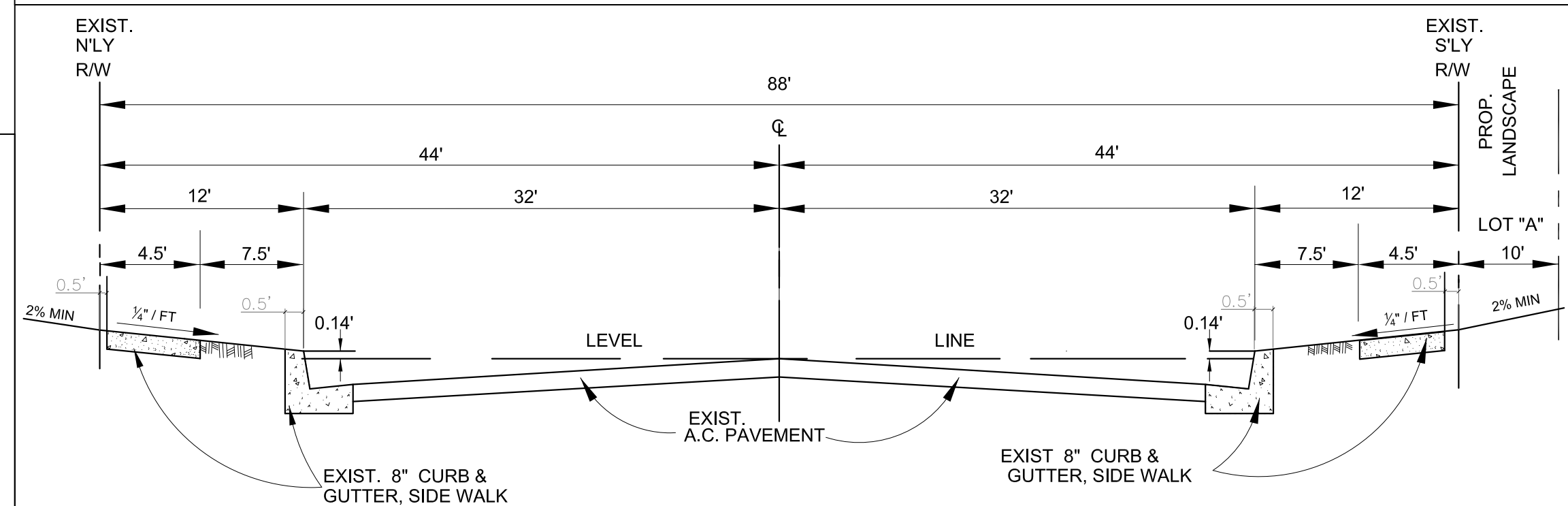
VICINITY MAP
N.T.S.

SHEET INDEX

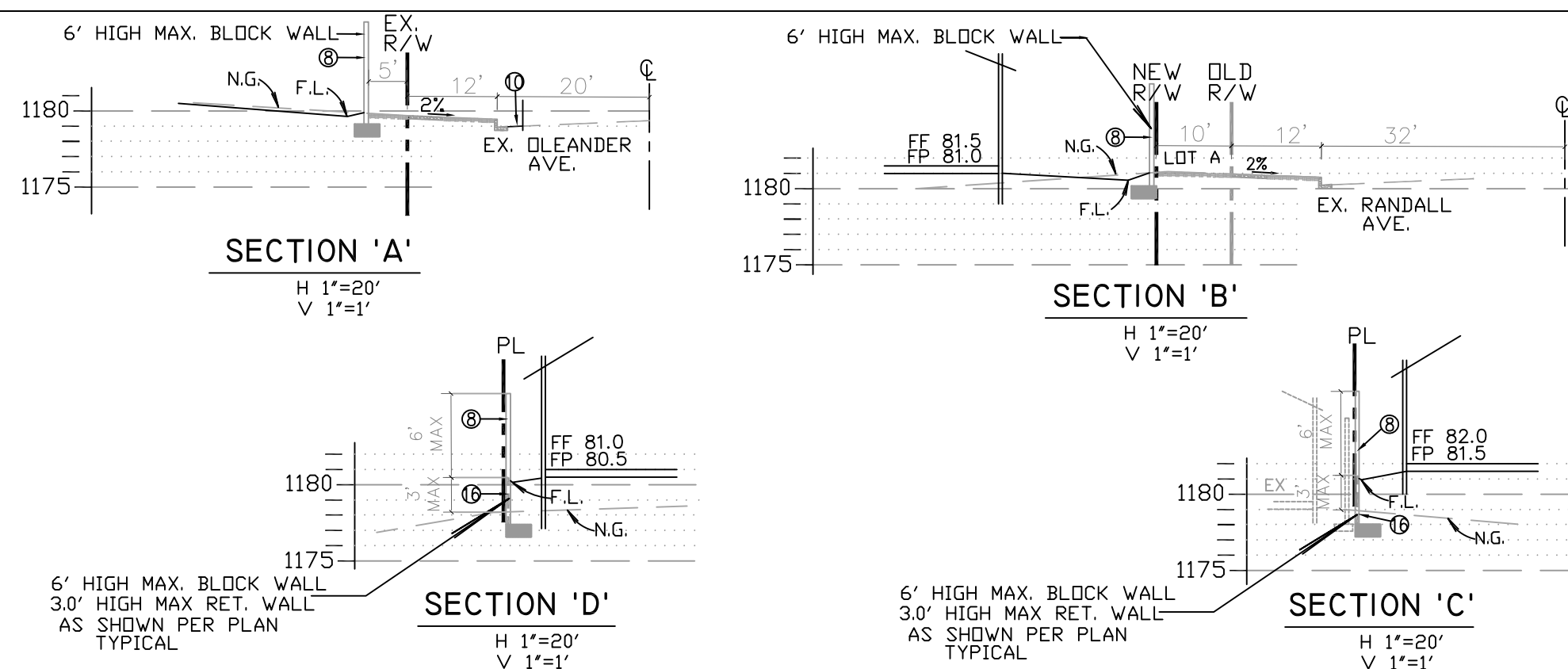
SHEET NO.	DESCRIPTION
1	TITLE & DETAIL SHEET
2	CONCEPTUAL GRADING PLAN
3	TOPOGRAPHY/DEMOLITION PLAN



TYPICAL SECTION OF OLEANDER AVENUE
64' R/W
N.T.S.



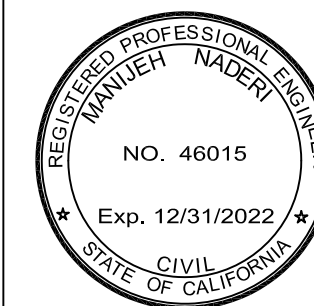
TYPICAL SECTION OF RANDALL AVENUE
88' R/W
N.T.S.



NEW EASEMENTS/DEDICATION:

'A' COURT	16,964 SF	STREET DEDICATION
LOT 'A'	3,401 SF	OPENS SPACE AREA - CFD MAINTENANCE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT.



NADERI CONSULTING ENGINEERS

P.O. BOX 7553
LA VERNE, CA 91750
909-374-0453
nec_dev@yahoo.com

PREPARED UNDER DIRECT SUPERVISION OF:

M. Naderi
MANUEH NADERI RCE #46015

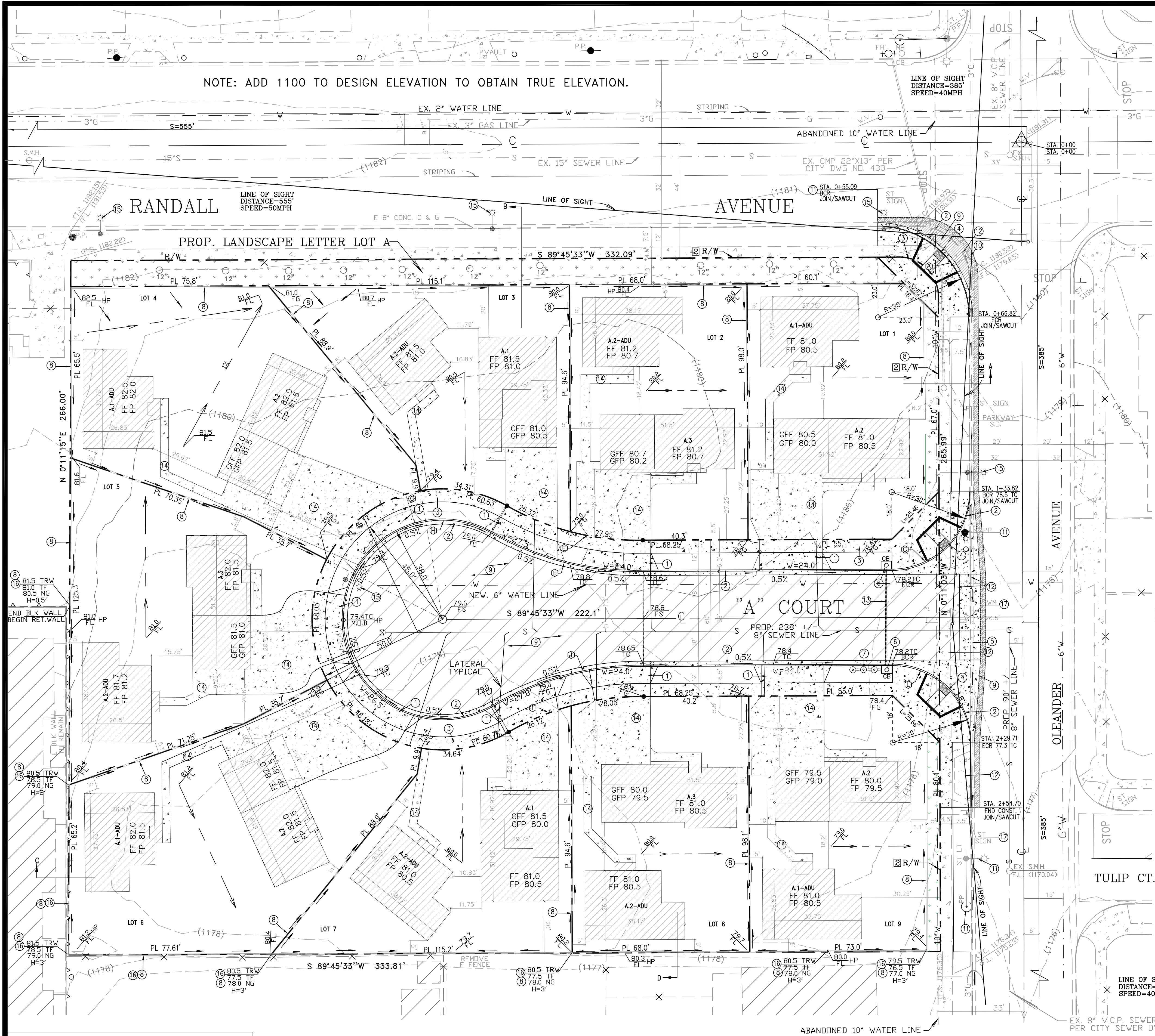
DATE: EXP. 12/31/2022

CITY OF FONTANA CALIFORNIA

TITLE & DETAIL SHEET

DRAWN BY: R.R.	DESIGNED BY: M.N.	CHECKED BY: M.N.	APPROVED BY: CITY ENGINEER	R.C.E.	DATE:	SCALE: 1"=20'	DATE: 04-14-2022	DRAWING NO.:	SHEET NO: 1 OF 3
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PAM 18-077



CONSTRUCTION NOTES

- 1- CONSTRUCT RESIDENTIAL DRIVE APPROACH PER STD. PLAN NO. 1001
- 2- CONSTRUCT CONC. CURB & GUTTER PER STD. PLAN NO. 1000
- 3- CONSTRUCT CONC. SIDEWALK PER STD. PLAN NO. 1006
- 4- CONSTRUCT ADA RAMP PER STD. PLAN NO. 1003
- 5- CONSTRUCT 8" CROSS GUTTER PER STD. PLAN NO. 403
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- 7- CONSTRUCT DRYWELL INFILTRATION SYSTEM PER MAXWELL PLUS DPD-4-SS-CA.
- 8- CONSTRUCT 6' HIGH BLK WALL PER ARCHITECT PLAN & BY SEPARATE PERMIT.
- 9- CONSTRUCT 4" AC OVER 12" COMPACTED NATIVE.
- 10- SAW CUT 2' ± EX. AC PER CITY STD. DWG. 1008, REPLACE W/CONST. NOTE NO. 9 ABOVE.
- 11- REMOVE POWER POLE & ST. LIGHTS, DEVELOPER WILL WORK WITH SCE.
- 12- REMOVE EX. DRIVEWAYS, SIDEWALKS, CURB & GUTTER- REPLACE AS SHOWN.
- 13- CONSTRUCT 12" DIA. PVC SCHEDULE 80 DRAIN PIPE.
- 14- CONSTRUCT CONCRETE DRIVEWAYS AND WALKWAYS.
- 15- CONSTRUCT STREET LIGHT PER STD. PLAN NO. 404
- 16- CONSTRUCT RETAINING WALL AS NEEDED PER ARCHITECT PLAN & BY SEPARATE PERMIT.
- 17- ADJUST/RELOCATE EX. UTILITIES BOXES, ST. SIGN AS SHOWN.

QUANTITIES

9 EA	1,112 LF
644 LF	10,076 SF
3,062 SF	512 SF
3 EA	2 EA
1 LS	1 EA
2 EA	1,112 LF
1 EA	10,076 SF
1,112 LF	512 SF
10,076 SF	2 EA
512 SF	1 LS
2 EA	1 LS
1 LS	37 LF
37 LF	8,920 SF
8,920 SF	5 EA
5 EA	462 LF
462 LF	1 LS
1 LS	

LOT COVERAGE:

CONCRETE DRIVEWAY & WALKWAY	8,920 SQ FT
NEW BUILDING FOOTPRINT + ADU	19,648 SQ FT
FUTURE STREET CURB TO CURB	11,610 SQ FT
FUTURE STREET SIDEWALK + APPROACH	3,869 SQ FT
TOTAL IMPERVIOUS SURFACE	44,047 SQ FT
IMPERVIOUS RATE = 49.74 %	
PERVIOUS RATE = 50.26 %	
LOT SIZE	88,562 SQ FT = 2.03 ACERS
EXISTING IMPERVIOUS	7,082 SQ FT

EASEMENT TABLE SUMMARY

STREET	SQ. FT.
'A' COURT	17,186
LOT 'A'	3,179
TOTAL STREET	20,365

STATISTICAL INVENTORY

1. GROSS AREA: 2.03 ACRES
2. NET AREA: 1.5666 ACRES
3. TOTAL NO. OF LOTS: 9
4. TOTAL NO. OF LETTER LOTS: 1

EASEMENTS/DEDICATION

COURT 'A'	STREET
LOT 'A'	CPD MAINTENANCE

CURVE TABLE

RADIUS	DELTA	LENGTH
A 35.0'	N90°00'00"E	54.98'
C 30.0'	N90°00'00"E	47.12'
E 100.0'	N31°05'42"E	54.27'
F 112.0'	N31°00'19"E	60.61'
G 50.0'	N239°53'24"E	209.35'
H 38.0'	N239°54'32"E	159.11'
I 100.0'	N30°56'58"E	54.02'
J 112.0'	N31°00'19"E	60.38'
L 30.0'	N90°00'00"E	47.12'

TOTAL ACREAGE SUMMARY

AREA	SQ. FT.	ACRES	DESCRIPTION
9 LOTS	68,196	1.5666	LOTS 1-9
STREET	17,186	0.394	'A' COURT
LOT A	3,179	0.073	C.F.D.
TOTAL	88,561	2.03	OVERALL SITE TOTAL

LEGEND

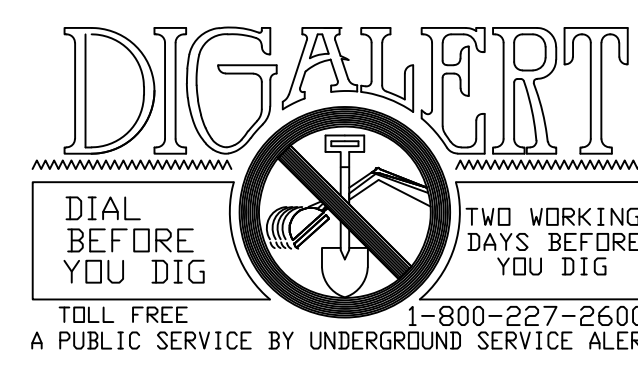
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- RETAINING WALL
- STEW WALL
- DEEP FOOTING
- CUT/FILL LINE
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FS FINISHED SURFACE
- FL FLOW LINE
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- NG NATURAL GRADE
- TRW TOP OF RET. WALL
- TF TOP OF FOOTING
- INV. INVERT ELEVATION
- GB GARAGE BREAK
- GF GARAGE FLOOR
- HP HIGH POINT
- U.S.D. UNDERSIDEWALK DRAIN
- R/W RIGHT-OF-WAY
- BW BACK OF WALK
- C.L.F. CHAIN LINK FENCE
- FP FINISH PAD
- CF CURB FACE
- BSL BUILD'G SETBACK LINE
- C/B CATCH BASIN
- PP POWER POLE
- C&G CURB & GUTTER
- PA PLANTER AREA
- R.D. ROOF DRAIN
- TREE, DIAMETER
- STREET LIGHT
- CD CLEAN OUT
- EXISTING CONCRETE
- NEW CONCRETE
- NEW CONCRETE DRIVE/WALKWAY
- NEW AC PAVEMENT
- A.C. REMOVAL PAVEMENT
- LANDSCAPE AREA
- NEW DRAINAGE SWALE/DIRECTION
- DRY WELL INFILTRATION SYSTEM
- CATCH BASIN

IMPORTANT NOTES:

- 1- DO NOT SCALE THE DRAWINGS FOR CONSTRUCTION STAKING.
- 2- USE REFERENCED OR NOTED DIMENSIONS ONLY.
- 3- USE BUILDING/FOUNDATION PLAN FOR DIMENSIONS.

SPECIAL NOTE:

- 1- COMPACTION TEST AND PAD CERTIFICATION ARE DUE TO ENGINEERING DIVISION PRIOR TO BUILDING PERMITS.
- 2- LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES AND LOCATIONS OF THE NEW CONNECTION/LATERALS ARE APPROXIMATE.



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT.

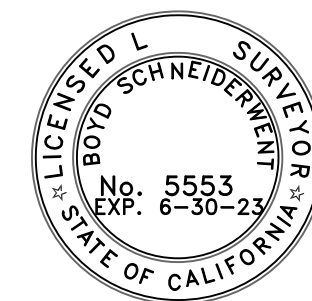
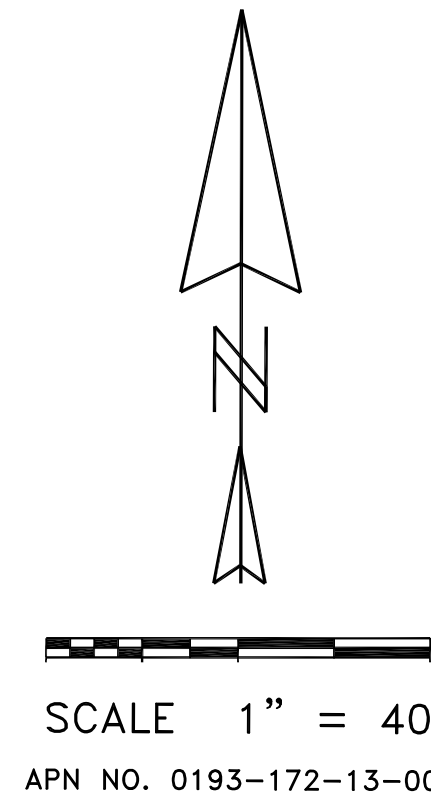
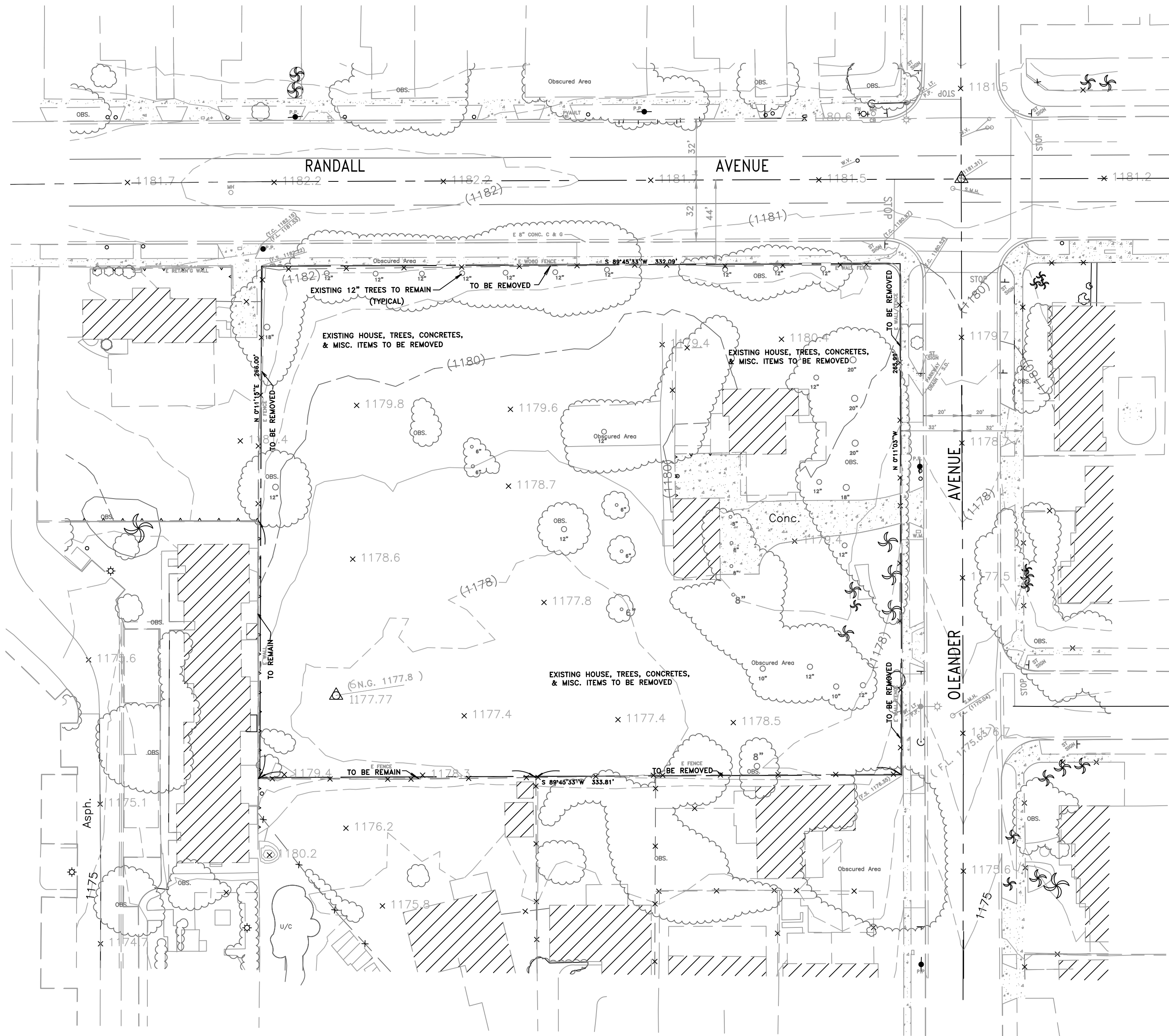


NADERI CONSULTING ENGINEERS
P.O. BOX 7553
LA VERNE, CA 91750
909-374-0453
nec_dev@yahoo.com
PREPARED UNDER DIRECT SUPERVISION OF:
M. Naderi
MANUEH NADERI RCE #46015
DATE: EXP. 12/31/2022

CITY OF FONTANA CALIFORNIA

CONCEPTUAL GRADING PLAN

DRAWN BY: R.R.	DESIGNED BY: M.N.	CHECKED BY: M.N.	APPROVED BY: CITY ENGINEER	R.C.E.	DATE:
TENTATIVE TRACT MAP 20307			9320 OLEANDER AVENUE		
SCALE: 1"=20'			DATE: 04-14-2022		
DRAWING NO.:			SHEET NO. 2 OF 3		



BOYD SCHNEIDERWENT P.L.S.
TOPOGRAPHY SYRVEY

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - (100) EXISTING ELEVATION
 - 100 PROPOSED ELEVATION
 - RETAINING WALL
 - STEM WALL
 - DEEP FOOTING
 - CUT/FILL LINE
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FS FINISHED SURFACE
 - FL FLOW LINE
 - FP FINISH PAD
 - GF GARAGE FLOOR
 - NG NATURAL GRADE
 - GB GRADE BREAK
 - HP HIGH POINT
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TV TOP OF WALL
 - TRW TOP OF RET. WALL
 - TF TOP OF FOOTING
 - INV. INVERT ELEVATION
 - U.S.D. UNDERSIDE WALK DRAIN
 - R/W RIGHT-OF-WAY
 - P/L PROPERTY LINE
 - C/L CENTER LINE
 - BW BACK OF WALK
 - CL.F. CHAIN LINK FENCE
 - CF CURB FACE
 - BSL BUILD'G SETBACK LINE
 - C/B CATCH BASIN
 - PP POWER POLE
 - C&G CURB & GUTTER
 - PA PLANTER AREA
 - R.D. ROOF DRAIN
 - F.F. FIRE HYDRANT
 - W.M. WATER METER
 - W.V. WATER VALVE
 - M.H. MANHOLE
 - 10" TREE, DIAMETER
 - 10" STREET LIGHT
 - CD CLEAN DUT
 - EXISTING CONCRETE

LEGAL DESCRIPTION:

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY.

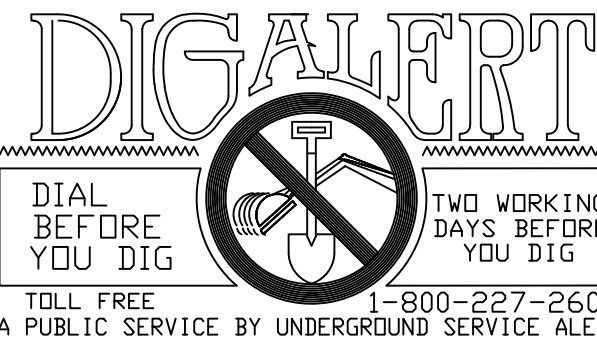
EXCEPTING THEREFROM THE WEST 17 ACRES, AREAS AND DISTANCES COMPUTED TO STREET CENTERS.

BENCHMARK:

CITY OF FONTANA B.M. # 484
TOP OF FIRE HYDRANT @ THE N.E. CORNER OF RANDALL & CYPRESS
ELEV. 1190.36

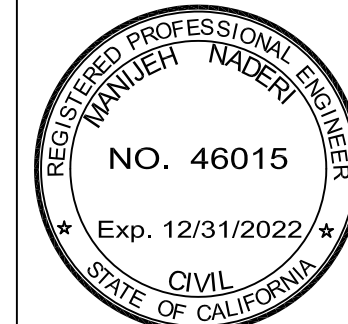
EXISTING EASEMENTS:

1. AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 7, 1926 AS BOOK 56, PAGE 23 OF OFFICIAL RECORDS.
2. AN EASEMENT FOR STREET AND HIGHWAY INCIDENTAL PURPOSES, RECORDED OCTOBER 29, 1975 AS BOOK 8794, PAGE 571 AS INSTRUMENT NO. 75-409 OF OFFICIAL RECORDS, AFFECTS SAID LAND. IN FAVOR OF: CITY OF FONTANA, A MUNICIPAL CORPORATION



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT.



NADERI CONSULTING ENGINEERS
P.O. BOX 7553
LA VERNE, CA 91750
909-374-0453
nec_dev@yahoo.com
PREPARED UNDER DIRECT SUPERVISION OF:
M. Naderi
MANJEH NADERI RCE #46015
DATE: EXP. 12/31/2022

PAM 18-077

CITY OF FONTANA CALIFORNIA TOPOGRAPHY & DEMOLITION PLAN

DRAWN BY: R.R.	TENTATIVE TRACT MAP 20307	SCALE: 1"=40'
DESIGNED BY: M.N.	9320 OLEANDER AVENUE	DATE: 09-08-2021
CHECKED BY: M.N.	CITY ENGINEER	DRAWING NO.: SHEET NO.: 3 OF 3

IN THE CITY OF FONTANA
COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

APN NO. 0193-172-13-0000



UTILITY COMPANIES

ELECTRICITY:
SO. CAL. EDISON COMPANY
(800)655-4555

GAS:
SO. CAL. GAS COMPANY
(800)427-2200 OR 909-335-7547

SOLID WASTE-SEWAGE:
BURTEC WASTE-CITY OF FO
(909)350-7670

WATER:
WEST VALLEY WA
(909)201-7375

TELEPHONE:
(888)288-8339

CABLE TV: COMCAST CABLE
(855)243-8892

OWNER / DEVELOPER

OCEANO INVESTMENT, LLC
3055 RIVERSIDE DRIVE
CHINO, CA 91710
323-422-1842

ENGINEER
M. NADERI CONSULTING ENGINEERS
P.O. BOX 11000

LA VERNE, CA 91750
909-3740-0453

BOYD SCHNEIDERWENT P.L.S.
9099 ROCHESTER ROAD
BURLINGAME, CA 94010

ASSESSOR PARCEL NO:

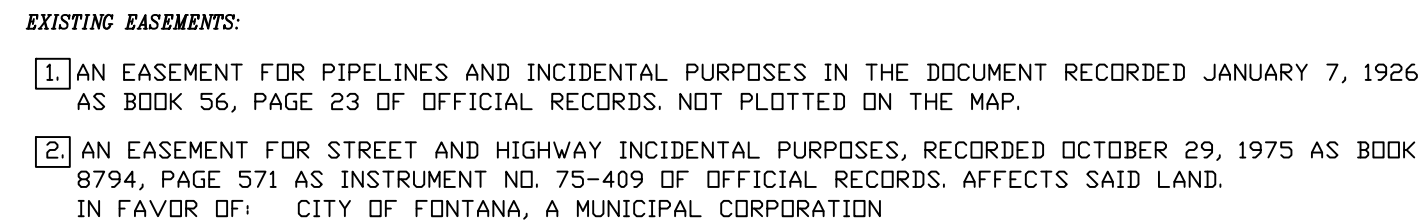
ZONING:
EXISTING & PROPOSED CFB

EXISTING LAND USE:
S.F. RESIDENTIAL

PROPOSED LAND USE:
S.F. RESIDENTIAL-DETACHED WITH ADJ.

ADJACENT LAND USE:
NORTH RANDAL AVE.
SOUTH EXIST. RESIDENTIAL

SCHOOL DISTRICT:



PROPOSED EASEMENTS/DEDICATION:

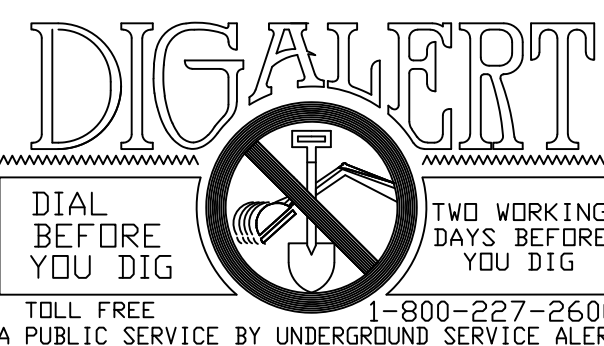
'A' COURT	16,964 SF	STREET DEDICATION
LOT 'A'	3,401 SF	OPENS SPACE AREA - CFD MAINTENANCE

BASIS OF BEARING:
CENTER LINE OF RANDALL STREET BEING AS S 89°45'33"W

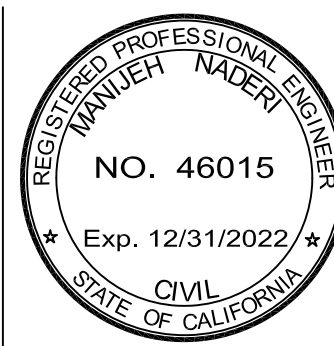
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[illegible]

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PREPARED UNDER DIRECT SUPERVISION OF:

M. Naderi DATE: EXP. 12/31/2022
MANIJEH NADERI RCE #46015

CITY OF FONTANA CALIFORNIA

TENTATIVE TRACT MAP 20307

DRAWN BY: R.R.	9320 OLEANDER AVENUE
DESIGNED BY: M.N.	PAM 18-077

CHECKED BY:	APPROVED BY:
M.N.	CITY ENGINEER

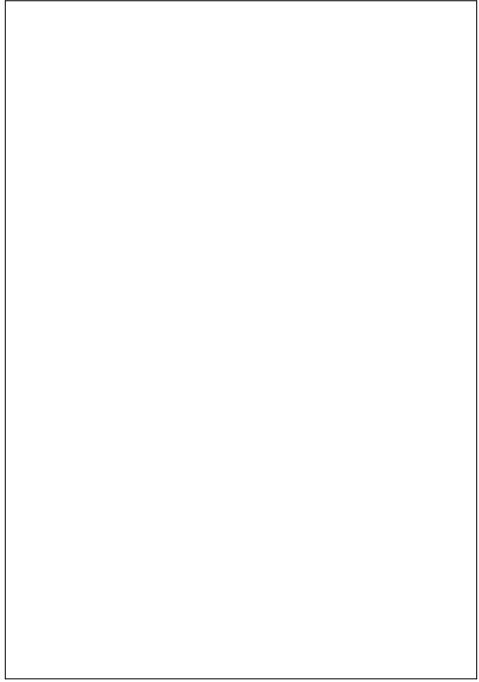
SCALE: _____

1"=40'

05-09-2022

DRAWING NO.:

SHEET NO.: 1 OF 1



- remodeling

- custom homes

- additions

OJ²M

-Residential Design-

- residential

- desing

- patios & decks

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.

9320 Oleander Ave

Fontana CA 92335

3D ELEVATIONS

Project number

HOMES2017

Date

2-4-2017

Drawn by

Author

Checked by

Checker

3D

Scale