City of Fontana

8353 Sierra Avenue Fontana, CA 92335



Regular Agenda

Resolution PC No. 2023-031

Tuesday, September 19, 2023 6:00 PM

Grover W. Taylor Council Chambers

Planning Commission

Cathline Fort, Chair Idilio Sanchez, Vice Chair Ralph Thrasher, Secretary Raj Sangha, Commissioner Ricardo Quintana, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. A complete agenda packet is located in the binder on the table in the lobby of the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335. To address the Planning Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335 is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection in the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335.

Traduccion en Español disponible a peticion. Favor de notificar al Departamento "City Clerk". Para mayor informacion, favor de marcar el numero (909) 350-7602.

CALL TO ORDER/ROLL CALL:

A. Call To Order/Roll Call:

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

PUBLIC COMMUNICATIONS:

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

A. Public Communications:

CONSENT CALENDAR:

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion.

A. Approval of Minutes

Approve the Regular Planning Commission Meeting Minutes of September 5, 2023.

CC-A Approval of Minutes of September 5, 2023.

21-2480

Attachments: DRAFT PC Minutes of 09-05-2023

Approve Consent Calendar Item as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontanaca.gov. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

(a) hearing opened

(e) oral - favor

(b) written communication

(f) oral - opposition

(c) council/staff comments

(g) hearing closed

(d) applicant comments

PH-A Master Case No. 21-086 and Design Review No. 21-031 - A request for approval to develop seven (7) new single-family dwelling located on seven (7) existing lots totaling approximate 2.1 adjusted gross acres pursuant to a categorical exemption in accordance with CEQA Guidelines section 15332.

21-2446

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023 ___; and,

- 1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development), and Section No. 3.22 (Categorical Exemptions) of the 2019 Local Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,
- 2. Approve Design Review No. 21-031

APPLICANT:

Andresen Architecture, Inc. 17087 Orange Way Fontana CA 92335

LOCATION:

The project site is located on the east side of Fontana Avenue approximately 390 feet south of the centerline of Merrill Avenue, (APNs: 0193-021-06, -07, -08, -50, -51, -52, and -53).

PROJECT PLANNER:

Jon Dille, Associate Planner

Attachments: Attachment No. 1 - Vicinity Map

Attachment No 2 - Project Plan Set

Attachment No. 3 - Planning Commission Resolution

Attachment No. 4 - Notice of Exemption

Attachment No. 5 - Notice of Public Hearing

PH-B Master Case No. 21-106, Tentative Tract Map 21-005 (Tract No. 20498) and Design Review No. 21-042; A request for the site and architectural review of forty-six (46) attached row houses with a tot lot and paseos, pursuant to a categorical exemption in accordance with CEQA Guidelines section 15332.

21-2462

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023-____; and,

- 1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development), and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,
- 2. Approve Tentative Tract Map No. 21-005 (Tract No. 20498) and Design Review No. 21-042.

APPLICANT:

Calabash Fontana Holding LLC 34 Woodcrest Irvine, CA 92603

LOCATION:

21-2228

The project site is located 8162 Calabash Avenue (Assessor Parcel Number: 0230-011-36).

PROJECT PLANNER:

Alejandro Rico, Associate Planner

Attachments: Attachment No. 1 - Vicinity Map

Attachment No. 2 - Project Plans.pdf

Attachment No. 3 - Planning Commission Resolution, Finding,

and Conditions of Approval

Attachment No. 4 - Notice of Exemption
Attachment No. 5 - Public Hearing Notice

PH-C Master Case No. (MCN) 22-040, General Plan Amendment (GPA) 22-001, and Zoning District Map Amendment (ZCA) No. 22-001 to, pursuant to a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, amend the General Plan land use designation from Single-Family Residential (R-SF) to Multi-Family Medium/High Density Residential (R-MFMH) and change the zoning from Single-Family Residential (R-1) to Multi-Family Medium/High Density Residential (R-4) on a site of approximately 6.4 acres. No development is proposed as part of this project.

RECOMMENDATION:

Based on the information contained in this staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2023-___, and forward a recommendation to the City Council to:

- 1. Adopt the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and direct staff to file a Notice of Determination; and
- 2. Adopt a resolution approving General Plan Amendment (GPA) No. 22-001; and
- 3. Adopt an ordinance approving Zoning District Map Amendment (ZCA) No. 22-001.

APPLICANT:

SP Acquisition, LLC. Jason Korengold 130 Vanita, Suite 200 Aliso Viejo, CA 92656

LOCATION:

The site is located on the north side of Merrill Avenue between Alder Avenue and Laurel Avenue (APNs: 0246-151-50, -51, -52, -56, -71, and -77).

PROJECT PLANNER:

Alexia De La Torre, Assistant Planner and Salvador Quintanilla, Senior Planner

Attachments: Attachment No. 1 - Vicinity Map

Attachment No. 2 - Existing and Proposed General Plan Land

Use Designation

Attachment No. 3 - Existing and Proposed Zoning District Map

Attachment No. 4 - Planning Commission Resolution

Attachment No. 5 - Notice of Determination

Attachment No. 6 - Notice of Intent and Public Hearing Alder

<u>Merrill</u>

UNFINISHED BUSINESS:

A. None

NEW BUSINESS:

A. None

DIRECTOR COMMUNICATIONS:

A. Director Communications:

DC-A Upcoming cases scheduled for City Council and Planning 21-2481

Commission.

An update of future City Council agenda items for September 26, 2023, and October 10, 2023, for the Planning Commission's information.

An update of future Planning Commission agenda items for October 3, 2023, and October 17, 2023, for the Planning Commission's information.

Attachments: Upcoming City Council Items Memo

Upcoming Planning Commission Items Memo

COMMISSION COMMENTS:

A. Planning Commission Remarks:

WORKSHOP:

A. None

ADJOURNMENT:

A. Adjournment

Adjourn to the next Regular Planning Commission Meeting on Tuesday, October 3, 2023 at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.



City of Fontana

8353 Sierra Avenue Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2480 Agenda Date: 9/19/2023
Agenda #: CC-A Category: Consent Calendar

FROM: Planning

TITLE:

Approval of Minutes

RECOMMENDATION:

Approve the minutes of the Planning Commission Meeting of September 5, 2023.

DISCUSSION:

The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of September 5, 2023. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:

Approve staff recommendation.



Planning Commission

Minutes

Cathline Fort, Chair Idilio Sanchez, Vice Chair Ralph Thrasher, Secretary Raj Sangha, Commissioner Ricardo Quintana, Commissioner

Tuesday September 5, 2023

6:02 P.M.

Grover W. Taylor Council Chambers

CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, September 5th, 2023. Chair Fort called the meeting to order at 6:02 p.m.

Present: Chair Fort, Vice Chair Sanchez, Commissioners Sangha and

Quintana

Absent: Secretary Thrasher

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Chair Fort, the Pledge of Allegiance was led by Commissioner Quintana.

PUBLIC COMMUNICATIONS:

A. Public Communications:

None.

CONSENT CALENDAR:

A. Approval of Minutes:

Approve the Regular Planning Commission Meeting Minutes of August 15, 2023.

ACTION: A Motion was made by Commissioner Quintana and seconded by Commissioner Sangha and passed by a vote of 4-0 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Chair Fort, Vice Chair Sanchez, Commissioners Sangha and Quintana

Absent: Secretary Thrasher

PH-A Master Case No. 16-061R1 and Tentative Tract Map No. 20078 (TTM No. 16-015) - a request to subdivide one (1) parcel of approximately 9.5 gross acres, into 20 lots for the development of single-family homes and five (5) letter lots (Lot "A," Lot "B," Lot "C," Lot "D," and Lot "E").

Director of Planning, Patty Nevins, provided the staff report to the commission and recommended that the project be continued to an uncertain date, to allow plans to be updated and ensure no impacts to the Conditions of Approval.

Chair Fort opened Public Hearing.

No one spoke in favor or opposition of this item.

The Public Hearing was closed.

RECOMMENDATION:

Staff recommends that the Planning Commission:

- 1. Open the public hearing, take testimony from anyone wishing to speak, and close the public hearing; and,
- 2. Adopt a motion continuing the item to an uncertain date.

ACTION: Motion was made by Vice Chair Sanchez and seconded by Commissioner Sangha and passed by a vote of 4-0 to continue Public Hearing Item "A" to a date uncertain.

The motion carried by the following vote:

AYES: Chair Fort, Vice Chair Sanchez Commissioners Sangha and Quintana.

ABSENT: Secretary Thrasher

PH-B. Master Case No. 22-128, Tentative Tract Map 22-008 (Tract No. 20580) and Design Review No. 22-059; A request for a determination that the Project has been reviewed under a previous Final EIR, pursuant to Section 15126 and 15183 of the CEQA Guidelines and section 8.10 of the City's 2019 Local CEQA Guidelines, and for the site and architectural review and approval for the construction of 48 detached single-family residences, including four (4) affordable residences, and a project recreation area.

Chair Fort opened Public Hearing.

Alejandro Rico, Associate Planner, presented the staff report and answered questions of the commission.

Staff and the commission discussed affordable housing guidelines and the architectural look of the 4 (four) affordable housing units included in this project.

Additional discussion took place regarding concessions, density, and site setbacks of the project.

The commission requested clarification on the how the (48) forty-eight residential units would contribute to the city's residential availability numbers.

The commission inquired whether this project was a gated project and if the amenities included in this project were available to the public. Staff advised that the project would not be gated, and that the amenities were private, noting that the pool area would be fenced.

The applicant, Matt Livingston, on behalf of RC homes, stated that he read and agreed to the Conditions of Approval and asked for clarification on Condition of Approval #13 of the tentative tract map and #19 of the design review.

Planning Director Nevins and Attorney Stephen Deitsch provided the commission and applicant clarification on the verbiage changes/revisions to the Conditions of Approval #13 and #19.

The commission requested clarification on how the Homeowner's Association would enforce or control the use of the private amenities by the surrounding homeowners since the project is not gated. The applicant noted that the pool area would be fenced and entry to the area would be controlled via locks.

Attorney Deitsch asked the applicant if he agreed with the revised Conditions of Approval. The applicant indicated that he was in agreement.

The commission and the applicant discussed the possibility of gating the project.

Project Engineer, Henry Pham, commented on gating a public street.

No one spoke in favor or opposition of this item.

Chair Fort noted that the city received several written correspondences and that all requests were forwarded to the commission for review.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023-030, and,

- 1. Find that the previously adopted Environmental Impact Report (State Clearinghouse No. 2016021099) approved on November 13, 2018, has adequately identified the impacts associated with the project, no further review is required pursuant to Section 15162 and 15183 of the California Environmental Quality Act and Section 8.10 of the 2019 Local Guidelines for Implementing CEQA, and direct staff to file a Notice of Determination; and,
- 2. Approve Tentative Tract Map No. 22-008 (Tract No. 20580) and Design Review No. 22-059.

ACTION: Motion was made by Commissioner Quintana and seconded by Vice Chair Sanchez and passed by a vote of 4-0 to adopt Resolution PC No. 2023-030 and Approve Tentative Tract Map No. 22-008; Design Review No. 22-059 with modifications noted to the conditions of approval.

The motion carried by the following vote:

AYES: Chair Fort, Vice Chair Sanchez, Commissioners Sangha and Quintana.

ABSENT: Secretary Thrasher

DIRECTOR COMMUNICATIONS:

A. Director Communications:

None.

COMMENTS:

A. Public Communication Commission Comments:

Commissioner Sangha thanked Planning staff for their reports and IT for setting up tonight's meeting. Commissioner Sanga also thanked the public for the opportunity to serve on the Planning Commission.

Commissioner Quintana commented on his pleasure to serve on the Planning Commission; shared his excitement for this upcoming project and sent thoughts and prayers to his wife's grandfather.

Secretary Sanchez also expressed his thoughts and prayers to Commissioner Quintana's wife's grandfather; thanked the IT department for setting up tonight's meeting; wished the public a belated happy and safe Labor Day holiday. Secretary Sanchez closed his comments by letting the public know that it is an honor and pleasure to serve on the Planning commission.

Chair Fort briefly commented on the housing shortage and crisis in the state; expressed her excitement on adding more affordable housing to the city; thanked staff and public for the opportunity to serve.

ADJOURNMENT:

By consensus, the meeting adjourned by Chair Fort at 6:44 p.m. to the next Regular Planning Commission Meeting on Tuesday, September 19, 2023, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

Susana Gallardo
Specialist to the Deputy City Clerk

THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION ON THE 19th DAY OF SEPTEMBER 2023.

Cathline Fort Chairperson



City of Fontana

8353 Sierra Avenue Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2446Agenda Date: 9/19/2023Agenda #: PH-ACategory: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 21-086 and Design Review No. 21-031 - A request for approval to develop seven (7) new single-family dwelling located on seven (7) existing lots totaling approximate 2.1 adjusted gross acres pursuant to a categorical exemption in accordance with CEQA Guidelines section 15332.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023-___; and,

- 1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development), and Section No. 3.22 (Categorical Exemptions) of the 2019 Local Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,
- 2. Approve Design Review No. 21-031

APPLICANT:

Andresen Architecture, Inc. 17087 Orange Way Fontana CA 92335

LOCATION:

The project site is located on the east side of Fontana Avenue approximately 390 feet south of the centerline of Merrill Avenue, (APNs: 0193-021-06, -07, -08, -50, -51, -52, and -53).

REQUEST:

Design Review No. 21-031 - a proposal to construct seven (7) new single-family dwelling units with two (2) floorplan options of 2,410 square feet and 2,470 square feet with three (3) different modern architectural styles per floorplan.

PROJECT PLANNER:

Jon Dille, Associate Planner

BACKGROUND INFORMATION:

Existing Land Use Designations:

	General Plan	Zoning	Existing Land Use
Site:	Single-Family	Single-Family	Vacant
	Residential (R-SF)	Residential (R-1)	

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Category: Public Hearing

North:	Single-Family Residential (R-SF)	Single-Family Residential (R-1)	Single-Family Homes	
1 7		Single-Family Residential (R-1)	Single-Family Homes and Vacant	
East:	Single-Family Residential (R-SF)	Single-Family Residential (R-1)	Single-Family Homes	
West:	Medium Density Residential (R-M)	Medium Density Residential (R-2)	Single- and Multi-Family Dwellings	

PROJECT DESCRIPTION:

A. Site Area: Approximately 92,567 square feet (2.1 acres total)

B. <u>Density</u>: 3.3 dwelling units per acre

C. Building Height:

Allowed: 35-Foot (Maximum)

Proposed: 26-Foot

D. <u>Setback Analysis</u>

Required:

Front: 22-Foot (Minimum)

Side, Interior: 5-Foot (Minimum) with a 15-foot aggregate

Rear: 20-Foot (Minimum)

Provided:

Front: 22-Foot (Minimum)

Side, Interior: 5-Foot (Minimum) and 25-foot (Minimum)

Rear: 23-Foot (Minimum)

E. Parking Analysis

Required Parking: Minimum Two-car Garage (20'x20' minimum) for homes

with four bedrooms and less

<u>Parking Provided:</u> Two-car and Three-car Garages from 455 sq. ft. to 634 sq.

ft.

ANALYSIS:

The applicant, Andresen Architecture, Inc. ("Applicant"), is requesting that the Planning Commission review and approve Design Review No. 21-031, to construct seven (7) two-story single-family homes located on seven (7) existing lots: the lots range in size from 9,453 square feet to 18,958 square feet. The Applicant is proposing to construct seven (7) new single-family dwellings with two (2) optional floorplans of 2410 square feet and 2470 square feet as identified in the table below. Each floor plan includes three (3) modern architectural elevation choices per floorplan. The Applicant will construct the associated site improvements along their Fontana Avenue frontage, which includes curb, gutter, sidewalk. In addition to this, the easement that provides direct access to the lots will be improved with curb, gutter, and sidewalk (on the south side only). The project site is surrounded by residential uses on all sides with single-family and multi-family dwellings.

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Category: Public Hearing

Design Review No. 21-031:

PLAN NO.	PLAN 2420	PLAN 2443	
SIZE	2,410 square feet	2,470 square feet	
STORIES Two-Story		Two-Story	
NO. BDRMS	Three Bedrooms	Four Bedrooms	
NO. BATHS	Three Full Baths	Two Full Baths	
POWDER	None	Yes	
LOFT	Yes	Yes	
OPTIONS	Den/Bedroom	None	
GARAGE	Two or Three Garage Spaces	Two Garage Spaces	

As previously mentioned, the applicant is proposing three (3) modern architectural themes for the elevations with cool and natural colors with contrasting colors of grey and beige. A variety of design features and materials are provided on the elevations such as architectural pop-outs, stone veneer, wood siding, decorative window treatments, varied rooflines, covered porches, and other features appropriate to the modern architecture. The variety in color and material will provide for an architecturally pleasing project that will enhance the character of the neighborhood.

The accessory dwelling units and junior accessory dwelling units shall be reviewed through a Building Permit process and are not associated with the proposed request before the Planning Commission.

Site Access/Circulation/Parking:

The proposed development will be accessed off of Fontana Avenue which is a public street. Moreover, the project includes off-site and on-site improvements: Fontana Avenue will include additional pavement, curb, cutter, and sidewalks; on-site improvements will include paving of the access easement with curbing on both sides and sidewalk to the south side. In addition, the applicant is proposing appropriate drainage, grading, and perimeter/privacy walls to provide a safe and well-designed neighborhood. The proposed neighborhood has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety. The proposed project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access. The individual parcels shall be accessed off a designated easement of approximately 30-foot that will be improved during construction. Each individual lot has a minimum of a 16-foot-wide driveway to access the property. No parking is allowed on the access easement; however, parking is allowed on Fontana Avenue.

All on-site utilities, water quality management plan facility drainage systems, and fire turnaround shall be private utilities and shall be maintained by an associated homeowner's association established by the applicant/developer/property owner.

Grading/Walls:

The grading is consistent throughout most of the site; however, it's not the same as the adjacent properties, on the north and south sides. The property to the north is slightly higher and will be maintained by an existing wall. The parcels on the subject site will be partially elevated to provide appropriate drainage control on-site. The individual parcels are graded to allow surface water to

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drain to an individual area drain near the southwest area of each parcel. The area drains will collect the nuisance water and gravity flow into individual chambers. The overflows from the chamber shall be piped to the paved access easement or public street.

The applicant proposes a combination retaining/screen wall along the southern property line that shall conform to the City standard specifications at a maximum of six-foot of screen wall with a maximum of three-foot of retaining. The applicant proposes a split-face decorative block wall of 6-feet in height along Fontana Avenue with proposed pilasters 50-foot on-center. The retaining will taper down to zero prior to the termination of the perimeter wall. Any other wall that is within public view shall be constructed with decorative block. The existing split-face decorative block wall shall remain in place.

Environmental:

The project qualifies for a Categorical Exemption pursuant to Section No. 15332, (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA) and Section No. 3.22 (Categorical Exemptions) of the 2019 Local Guidelines for Implementing CEQA. This project site is considered In-Fill Development and meets the CEQA requirements of In-fill Development Projects: (1) The project is consistent with the Single-Family Residential (R-SF) General Plan land use designation, prior to 1990 the City identified the area of the project site with a Single-Family Residential (R-SF) General Plan land use designation with hopes that these properties would be developed with residential units; (2) These properties were incorporated into the City of Fontana on June 25, 1952, the project site is approximately 2.1 adjusted gross acres (less than 5.0 acres); (3) The project site is not within any known sensitive or threatened habitat area, pursuant to the Fontana General Plan Habitat Assessment Map (San Bernardino County, USFWS Critical Habitat, Eagle Aerial 2014) the project site is not located within a sensitive or threatened habitat area; (4) The project will not have any significant effect relating to traffic (pursuant to the Engineering Department Traffic Impact Guidelines traffic counts are within an acceptable level of service), noise, air quality, or water quality fall within acceptable levels identified within the General Plan Guidelines; and (5) There are adequate public utility services for the development of the proposed seven single-family homes, the City maintains a sewer service along Fontana Avenue that mis adequate to service the new development, the area has adequate Edison electrical power service existing in the area along Fontana Avenue, other services exist along Fontana Avenue telephone, cable, and gas.

MOTION:

Approve staff's recommendation.

ATTACHMENTS:

- Vicinity Map
- 2. Proiect Plan set
- 3. Planning Commission Resolution, Findings and Conditions of Approval
- 4. Notice of Exemption
- Notice of Public Hearing



CITY OF FONTANA PLANNING DEPARTMENT

VICINITY MAP

DATE: September 19, 2023

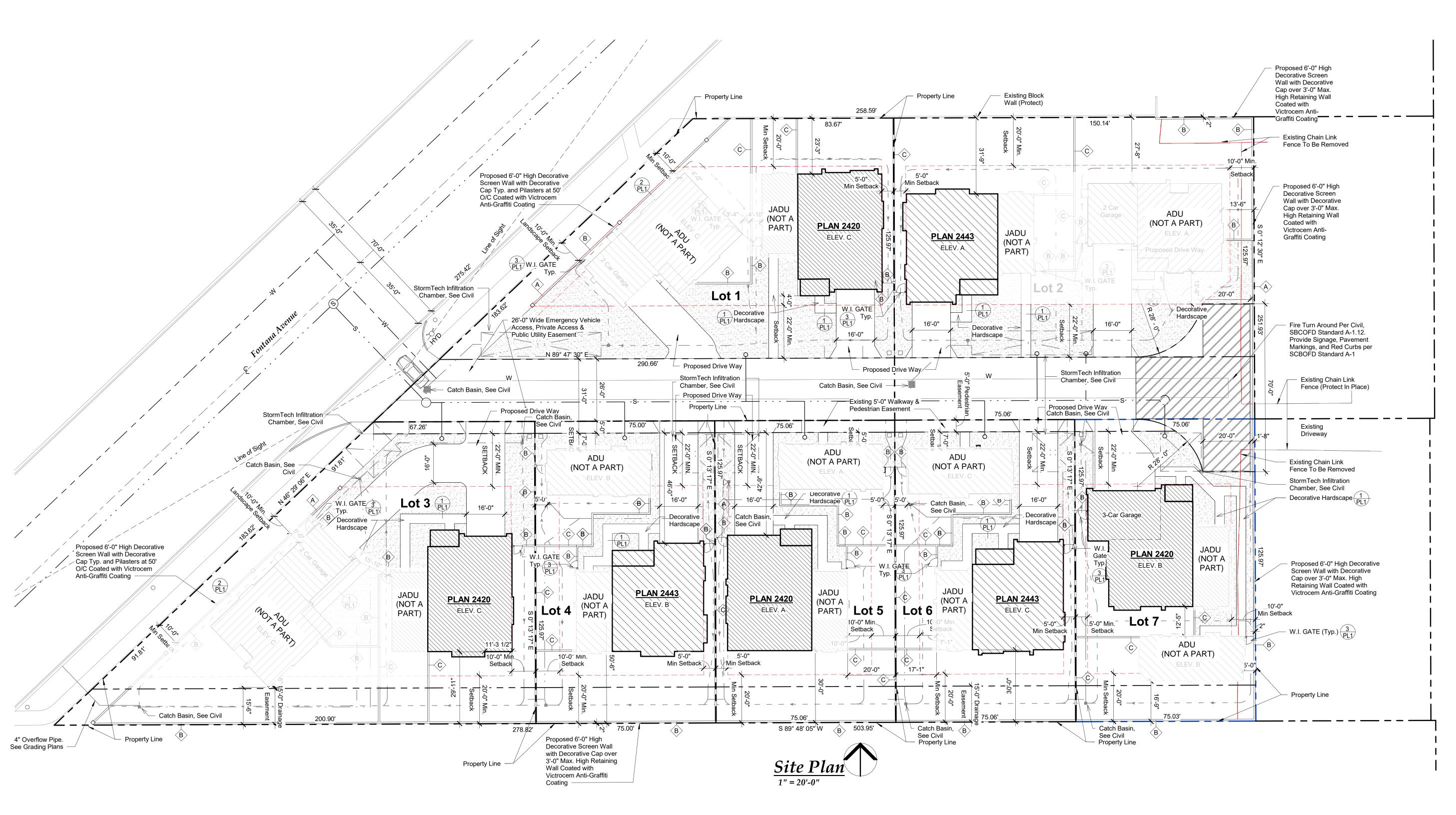
CASE: Master Case No. 21-086

Design Review No. 21-031

Proposed 7 Single Family Residences For:

New Legacy Corporation Fontana Avenue, Fontana, CA 92335





OWNER:	NEW LEGACY CORPORATION P.O. BOX #1917,
CONTACT:	RANCHO CUCAMONGA, CA 91729 JOSE CARCELEN (951) 992-6903 jc8020@msn.com
PROJECT ADDRESS:	FONTANA AVENUE, FONTANA, CA 92335
ARCHITECT:	ANDRESEN ARCHITECTURE INC. 17087 ORANGE WAY
CONTACT:	FONTANA, CA 92335 (909) 355-6688 doug.andresen@aaifirm.com
CIVIL ENG.:	CORNERSTONE LAND SURVEYING. INC. 20730 KNOB PLACE
CONTACT:	PERRIS, CA 92570 STEFAN C. LANTHIER, PE, PLS – PRESIDENT (951) 736-0200

LANDSCAPE RICHARD POPE & ASSOCIATES ARCHITECT: 1585 S. D STREET, SUITE 202 SAN BERNARDINO, CA 92408 CONTACT: RICHARD POPE (909) 888-5568 richardpopeassociates.la@gmail.com

stefan@coronasurveyor.com

0193-021-06, 07, 08, 50, 51, 52 & 53 APN:(DEVELOPED)

ZONING: OCCUPANCY: **CONSTRUCTION:**

GROUP R-3 / U TYPE V-B AN AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WIT NFPA 13 AND FIRE DEPARTMENT STANDARDS IS REQUIRED. A FIRE SPRINKLER CONTRACTOR SHALL SUBMIT THREE (3) SETS OF

AND APPROVAL. THE PLANS SHALL INCLUDE HYDRAULIC CALCULATIONS AND MANUFACTURER SPECIFICATION SHEETS. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL. SBCFD STANDARD 903.

ALLOWABLE AREA:

PROJECT DESCRIPTION: PROPOSED 7 SINGLE FAMILY RESIDENCES

PLAN 2420	
FIRST FLOOR	1,170 SQ. F
SECOND FLOOR	1,240 SQ. F
TOTAL FLOOR AREA	2,410 SQ. F
2-CAR GARAGE	455 SQ. F
COVERED ENTRY	90 SQ. FT
TOTAL NON- CONDITIONED SPACE	545 SQ. F
TOTAL FOOTPRINT	1,715 SQ. F
PLAN 2420 (3-CAR GARAGE)	
FIRST FLOOR	1,170 SQ. F
SECOND FLOOR	1,240 SQ. F
	•
TOTAL FLOOR AREA	2,410 SQ. F
3-CAR GARAGE	634 SQ. F
COVERED ENTRY	90 SQ. FT
TOTAL NON- CONDITIONED SPACE	724 SQ. F
TOTAL FOOTPRINT	1,894 SQ. F
PLAN 2443	
FIRST FLOOR	1,088 SQ. F
SECOND FLOOR	1,382 SQ. F
	,
TOTAL FLOOR AREA	2,470 SQ. F
2-CAR GARAGE	467 SQ. F
2-CAR GARAGE COVERED ENTRY	467 SQ. FT 104 SQ. FT

	Bank of America (with Drive-thru ATM)	S Cardenas Mark	ets			Barbee St
	Drive-thru ATM)	Starbucks			Paine St	IHOP 🗘
ue 😩 🔱	McDonald's	W Historic Rte 66			Culichi's VIP	Foothill Blvd
Catawba Ave	Superior Grocers Citrus Ave		Date St. Vine St. Madr.	Cypress Ave		Bros. Markets
	oord Ave	Ivy Ave	ma Dr	Ivy Ave	Sew	Whool
	Peisling St Primo	Upland Ave		ipland Ave Upland Ave	ell Ave	United States Postal Service
	Pa Ave	Owen St Seville Ave	Owen St		Terrace Ln Seville Ave	Nuevo Ave
Alme		-cville Ave			Seville Ave	Fontana Lewis Library Seville
a Water Company						Spring St
Arrow Blvd		Aventerra Apartment Arrow Blvd	Arrow	Blvd	Asi es Jalisco	Birrieria DOWNTOWN
Almeria Ave	Tokay Ave			Cypress Avv	Juniper Av	Nuevo Ave
			Valencia Ave		e 🎍 🤞	Valencia Ave
	Dorsey Ave	Oleander Elementary School				Sierra
		Orange Ct	Orange Way			Drange Way
		Whittram Ct			Fontana Met	rolink
		Ceres Ave	Apartments •	Ceres Ave		Los Molcajetes (1)
					Sewe	Wheeler Wheeler Nuev
ve		Merrill Ave Tacos El G	süero 🕡 🙆		Merrill Ave	Fontana
Cataw	Citrus Ave		Date	Fontana DLPC	Junipe	Newport Ave
baAve	SAve) St inder Ave	hantry Ave	rave	Ave
	Katherine St	Cotae Lemo				Martin Ave
	Hibiscus St	Frontian.		Athol St		Athol St.
Athol St	Juan Pollo			allor St.		Alnoi St Cook
		Pine Av _e				El Pollo Loco 🕡
Syc						99 Cents Only Stores

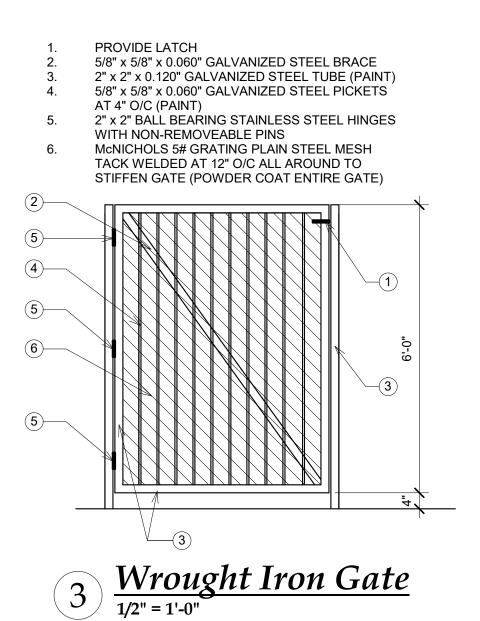
Lot	Wall				
Number Typ		Туре	Length	Height	
1	Α	Decorative Screen Wall on Both Sides	27 LF	6' - 0'	
2	Α	Decorative Screen Wall on Both Sides	60 LF	6' - 0'	
3	Α	Decorative Screen Wall on Both Sides	20 LF	6' - 0'	
5	Α	Decorative Screen Wall on Both Sides	22 LF	6' - 0'	
A			128 LF		
1	В	Decorative Screen Wall on the Outside	131 LF	6' - 0'	
2	В	Decorative Screen Wall on the Outside	132 LF	6' - 0'	
3	В	Decorative Screen Wall on the Outside	371 LF	6' - 0'	
4	В	Decorative Screen Wall on the Outside	170 LF	6' - 0'	
5	В	Decorative Screen Wall on the Outside	137 LF	6' - 0'	
6	В	Decorative Screen Wall on the Outside	97 LF	6' - 0'	
7	В	Decorative Screen Wall on the Outside	193 LF	6' - 0'	
В			1231 LF		
1	С	Precision Screen Wall	92 LF	6' - 0'	
2	С	Precision Screen Wall	70 LF	6' - 0'	
3	С	Precision Screen Wall	62 LF	6' - 0'	
4	С	Precision Screen Wall	91 LF	6' - 0'	
5	С	Precision Screen Wall	159 LF	6' - 0'	
6	С	Precision Screen Wall	123 LF	6' - 0'	
7	С	Precision Screen Wall	73 LF	6' - 0'	

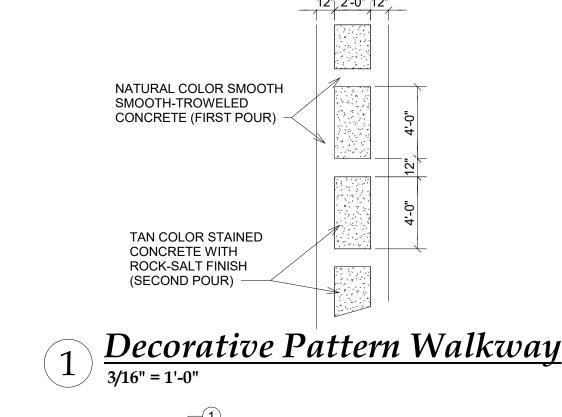
NOTE:	
1.	ALL EXTERIOR LIGHTING SHALL BE ORIENTED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFRINGE ONTO ADJOINING PROPERTIES.
2.	ANY ARCHITECTURAL PROJECTIONS THAT EXTEND INTO A MINIMUM OF A FIVE-FOOT SETBACK SHALL BE FIRE RESISTIVE
3.	ALL BLOCK WALLS THAT ARE SEEN BY THE PUBLIC SHALL BE DECORATIVE TYPE BLOCK WITH A DECORATIVE PREFABRICATED BLOCK CAP.

ALL UTILITY BOXES INCLUDING THE GROUND MOUNTED ELECTRICAL TRANSFORMER

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SHALL BE SCREENED FROM PUBLIC VIEW BY LANDSCAPING





3/16" = 1'-0"					1 of
./-	- (1)				2 of
			=+		3 of
			_		4 of
		1 1440-255 1040-25	-		5 of
			2		6 of
		<	3		
			<u>.</u>		1 of
			9-,9		
			₹ 1. 2.	2" TAN PRECISION CAP 8" TAN SPLIT FACE	
			3.	8" TAN PRECISION	
		Television (1915)	- 4.	FINISH GRADE OR	

$2^{\frac{D}{3/8}}$	ecorative Block Wall

Site Plan						
Renderings						
Plan 2420 Floor Plan			T . 0			
Plan 2420 Elevations			Lot C	loverage S	chedule	
Plan 2420 Elevations				T -4	Tatal	I at Carra
2420 Floor Plan (3-Car Garage)				Lot	Total	Lot Cover
2420 Elevations (3-Car Garage)	Lo	t #	Plan Name	Area	Footprint	(%)
Plan 2443 Floor Plan	1	1	2420	18,958 SF	1,715 SF	9
Plan 2443 Elevations	2	2	2443	18,911 SF	1,659 SF	9
Plan 2443 Elevations	3	3	2420	16,889 SF	1,715 SF	10
	4	4	2443	9,447 SF	1,659 SF	18
	5	5	2420	9,454 SF	1,715 SF	18
	6	3	2443	9,454 SF	1,659 SF	18
	7	7	2420 (3-Car Garage)	9,453 SF	1,894 SF	20
				00 505 05		

Sequence of Drawings - DR

Premiminary Grading Plan (Lot 1

Conceptual Landscape Plan

Premiminary Grading Plan (Lot 2)
Premiminary Grading Plan (Lots 3-4) Premiminary Grading Plan (Lots 5-7)

PL3.2 Plan 2443 Elevat

Description

Proposed 7 Single Far New Legacy	nily Residences For: Corporation	CENSED A
Fontana Avenue, Font	_	—————————————————————————————————————
9 Jun. 2022		0 12-31- RENEV
20-3969	\bigwedge	OF CH

Site Plan

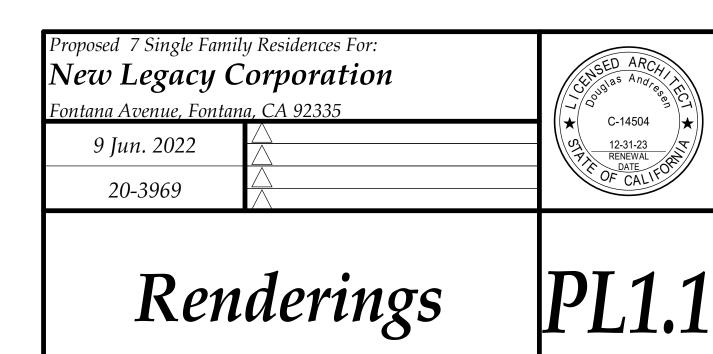


Birds Eye View

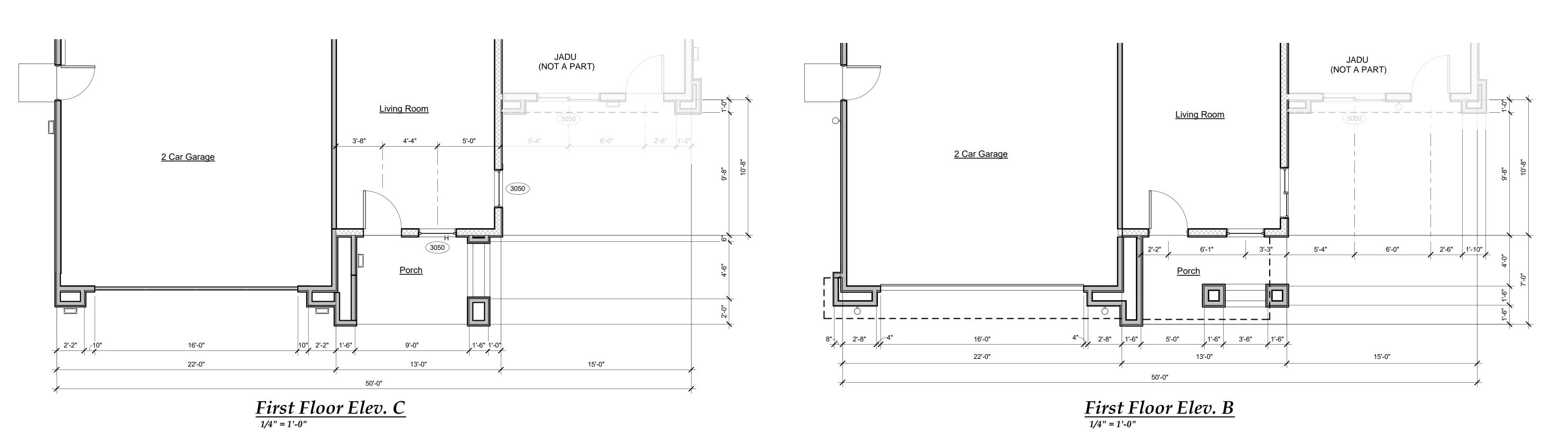


Street View

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17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688



ALL EXTERIOR LIGHTING SHALL BE ORIENTED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFRINGE ONTO ADJOINING PROPERTIES.
ANY ARCHITECTURAL PROJECTIONS THAT EXTEND
INTO A MINIMUM OF A FIVE-FOOT SETBACK SHALL
BE FIRE RESISTIVE



Proposed 7 Single Family Residences For: New Legacy Corporation
Fontana Avenue, Fontana, CA 92335

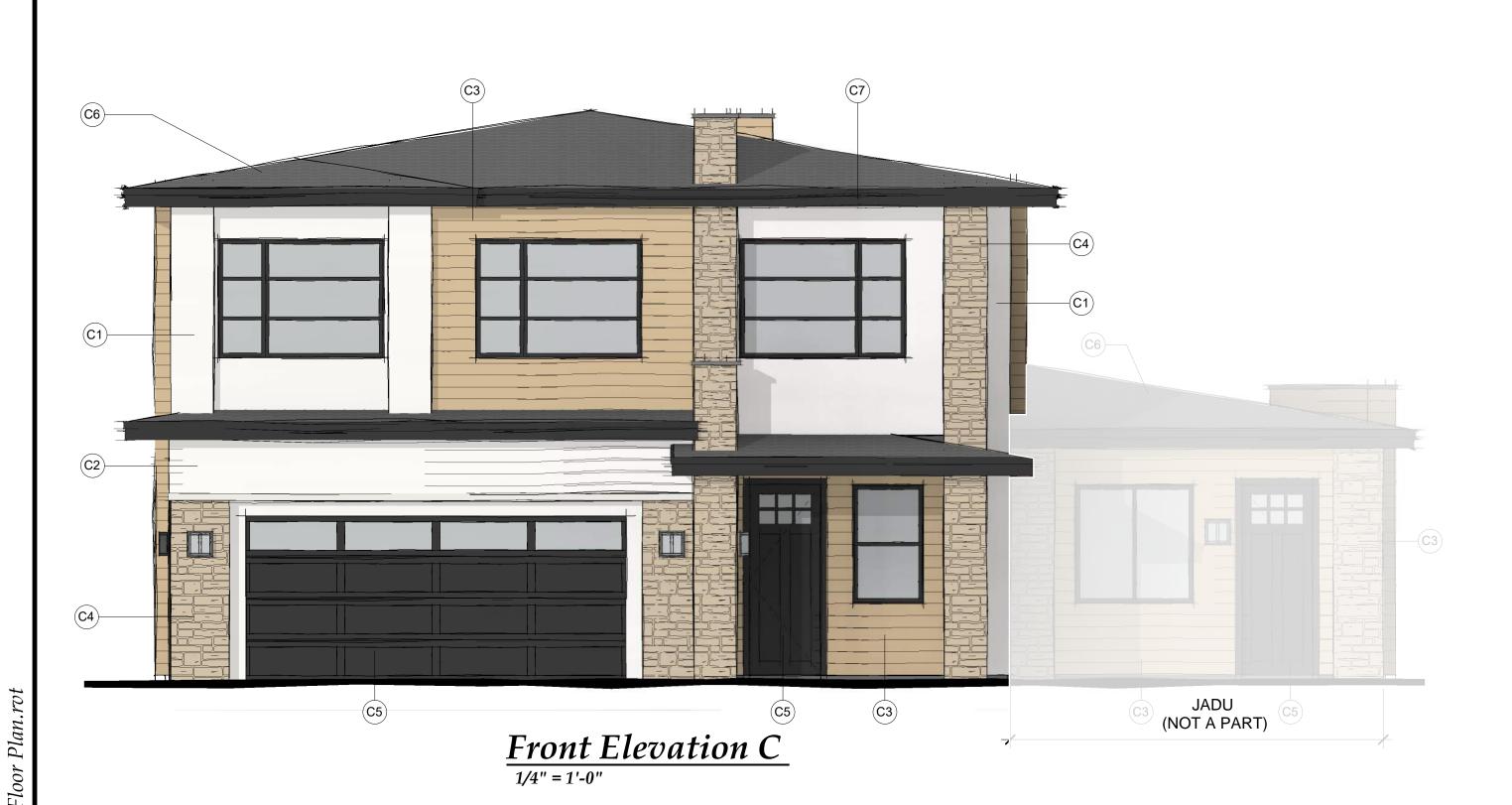
9 Jun. 2022 20-3969

Plan 2420 Floor Plan

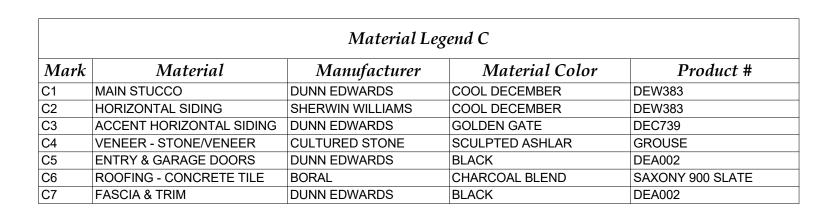
PL2



N











Rear Elevation C

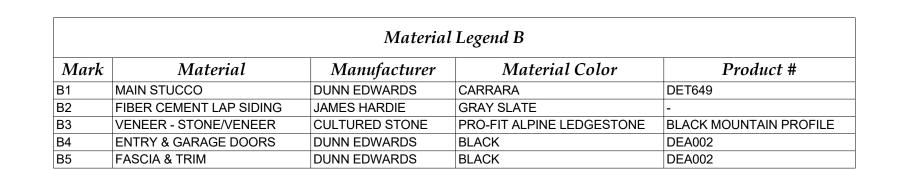


<u>Left Elevation C</u> $\frac{1/8" = 1'-0"}{}$



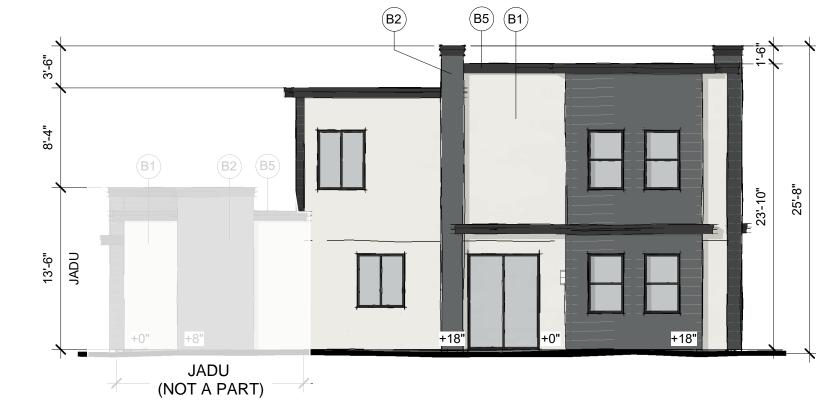


3D View - Elev. - C

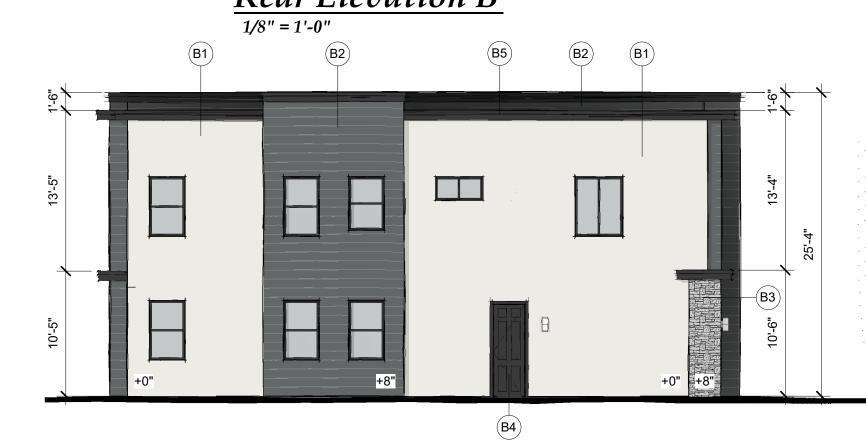




Right Elevation B



Rear Elevation B



 $\frac{Left\ Elevation\ B}{1/8"=1'-0"}$



ELEVATION A
20 IN. H X 3.75 IN. W X 3.75 IN. D
OBERON BLACK INTEGRATED
LED OUTDOOR WALL SCONCE
WAC LIGHTING





Masonite - Front Doors w/Glass





ELEVATION A

36 IN. X 96 IN. CBELLEVILLE 4
LITE EQUAL MODERN EXTERIOR
DOORS FRONT DOOR WITH NO
BRICKMOLD
MASONITE

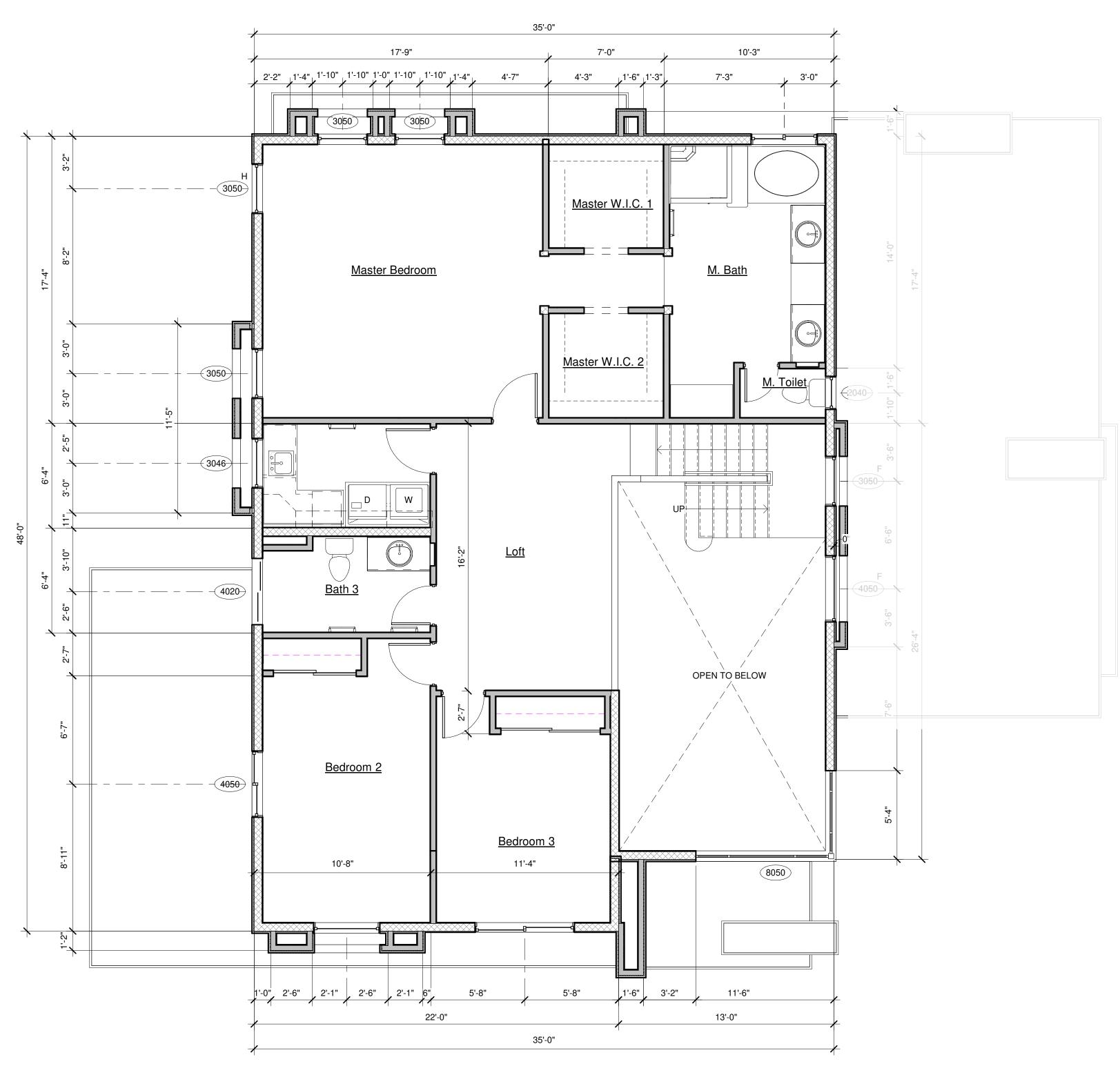
ELEVATION B
36 IN. X 96 IN. BELLEVILLE SIDE
SQUARE LITES PRIMED SMOOTH
FIBERGLASS FRONT DOOR
MASONITE

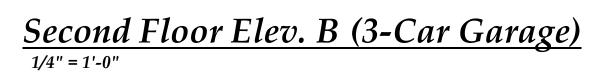


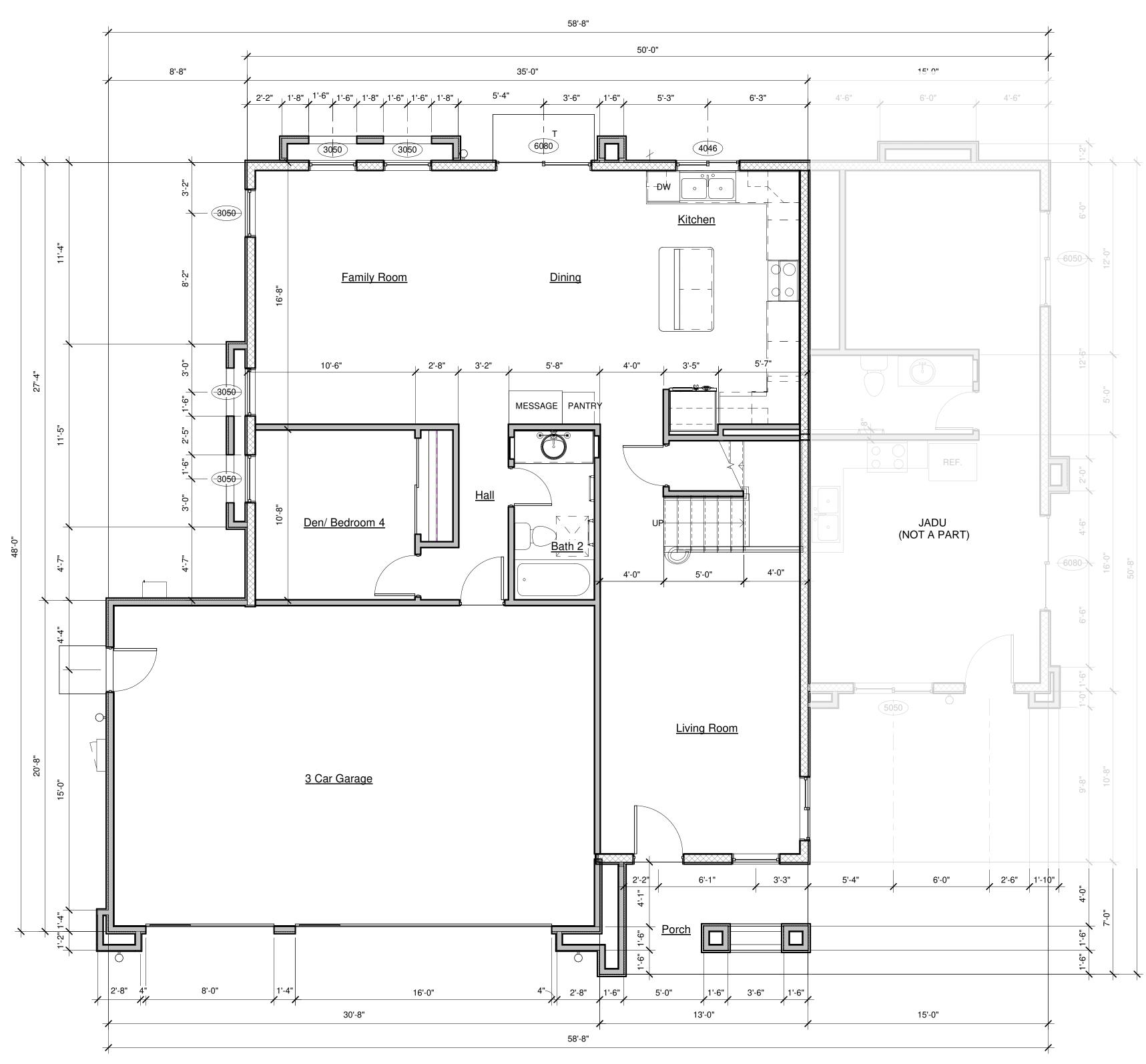


	Proposed 7 Single Family Residences For: New Legacy Corporation					
	Fontana Avenue, Fontan	a, CA 92335				
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	20-3969	\bigwedge				

Plan 2420 Elevations







First Floor Elev. B (3-Car Garage)

1/4" = 1'-0"



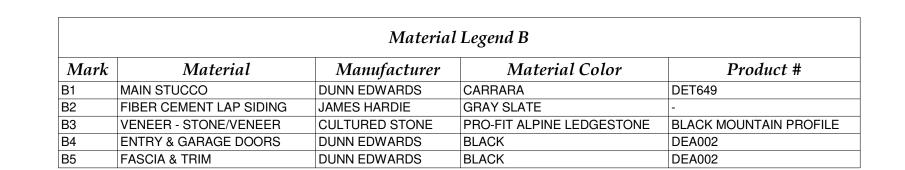
5/4/2022 11:17:32 AM

24

Front Elevation B (3-Car Garage)



3D View - Elev. - B (3-Car Garage)





Right Elevation B (3-Car Garage)



Rear Elevation B (3-Car Garage)

1/8" = 1'-0"



Left Elevation B (3-Car Garage)



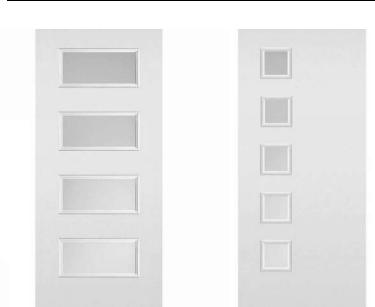
ELEVATION A
20 IN. H X 3.75 IN. W X 3.75 IN. D
OBERON BLACK INTEGRATED
LED OUTDOOR WALL SCONCE
WAC LIGHTING



ELEVATION B
18 IN. H X 6 IN. W X 8.75 IN. D
LARGE 2-LIGHT BLACK
ALUMINUM INTEGRATED LED
OUTDOOR WALL MOUNT
CYLINDER LIGHT SCONCE
VOLUME LIGHTING



Masonite - Front Doors w/Glass



ELEVATION A

36 IN. X 96 IN. CBELLEVILLE 4
LITE EQUAL MODERN EXTERIOR
DOORS FRONT DOOR WITH NO
BRICKMOLD
MASONITE

ELEVATION B
SQUARE LITES PRIMED SMOOTH
FIBERGLASS FRONT DOOR
MASONITE

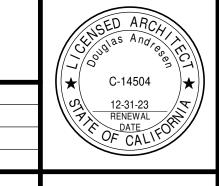
ELEVATION C
36 IN. X 96 IN. CRAFTSMAN 6
LITE PRIMED SMOOTH
FIBERGLASS PREHUNG FRONT
DOOR WITH NO BRICKMOLD
MASONITE





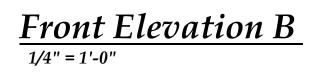
Proposed / Single Family Residences For:
New Legacy Corporation
Fontana Amenue Fontana CA 92335

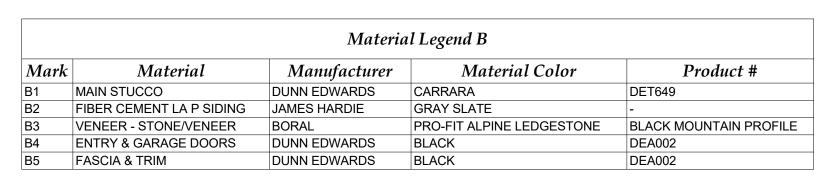
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2420 Elevations (3-Car Garage) PL2.4









Right Elevation - B

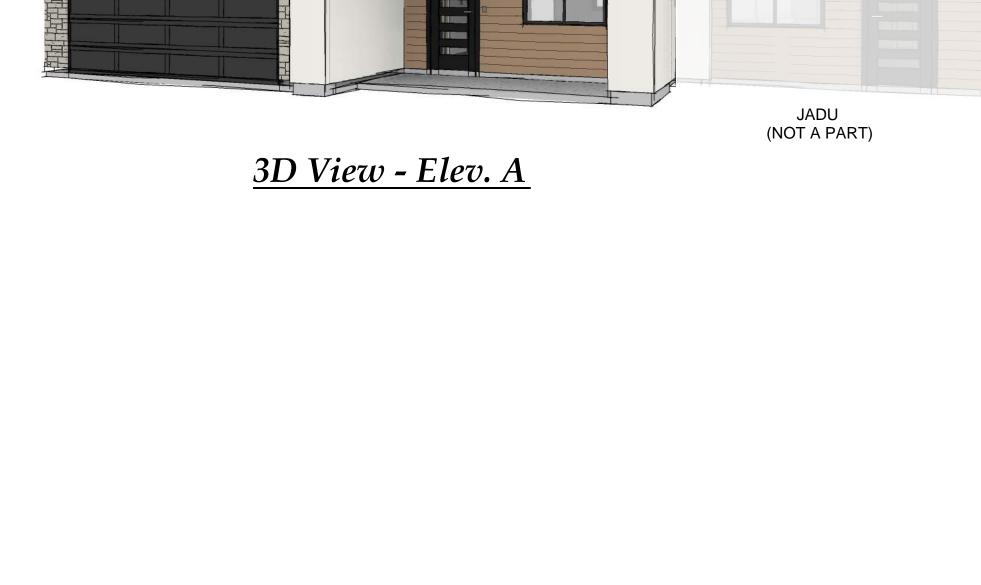


Rear Elevation - B 1/8" = 1'-0"



<u>Left Elevation - B</u>
_{1/8" = 1'-0"}







3D View - Elev. B



Front Elevation A

1/4" = 1'-0"

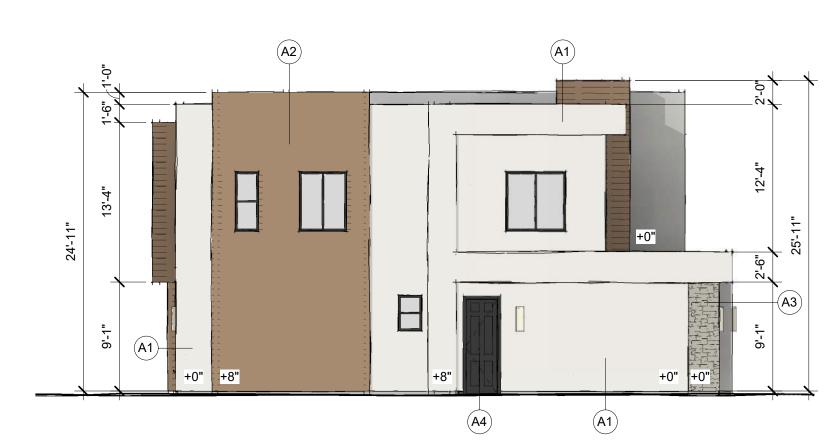
	Material Legend A						
Mark	Material	Manufacturer	Material Color	Product #			
A1	MAIN STUCCO	DUNN EDWARDS	CARRARA	DET649			
A2	ARTISAN SHIPLAP SIDING	DUNN EDWARDS	WOODED ACRE	DE6130			
A3	VENEER - STONE/VENEER	CULTURED STONE	COUNTRY LEDGESTONE	ECHO RIDGE PROFILE			
A4	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002			



Right Elevation - A1/8" = 1'-0"



Rear Elevation - A 1/8" = 1'-0"

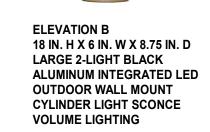


<u>Left Elevation - A</u>

1/8" = 1'-0"

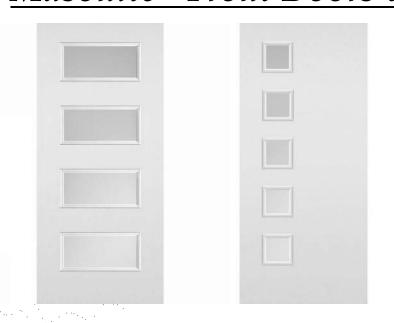


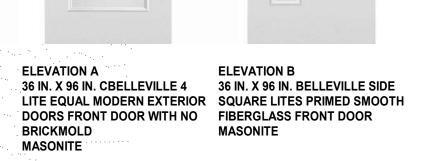
ELEVATION A
20 IN. H X 3.75 IN. W X 3.75 IN. D
OBERON BLACK INTEGRATED
LED OUTDOOR WALL SCONCE
WAC LIGHTING



ELEVATION C 20.5 IN. H X 11.5 IN. W X 9.5 IN. D TRESCOTT 1-LIGHT OUTDOOR BLACK WALL LANTERN SCONCE THE GREAT OUTDOORS

Masonite - Front Doors w/Glass





ELEVATION C
36 IN. X 96 IN. CRAFTSMAN 6
LITE PRIMED SMOOTH
FIBERGLASS PREHUNG FRONT
DOOR WITH NO BRICKMOLD
MASONITE



	ly Residences For:		
	New Legacy	Corporation	
Fontana Avenue, Fontana, CA 92335			
	9 Jun. 2022	\bigwedge_{Λ}	
	20-3969	\bigwedge	

Plan 2443 Elevations

Front Elevation - C

	Material Legend C					
Mark	Material	Manufacturer	Material Color	Product #		
C1	MAIN STUCCO	DUNN EDWARDS	COOL DECEMBER	DEW383		
C2	MAIN HORIZONTAL SIDING	DUNN EDWARDS	COOL DECEMBER	DEW383		
C3	ACCENT HORIZONTAL SIDING	DUNN EDWARDS	GOLDEN GATE	DEC739		
C4	VENEER - STONE/VENEER	CULTURED STONE	SCULPTED ASHLAR	GROUSE		
C5	ENTRY & GARAGE DOORS	DUNN EDWARDS	BLACK	DEA002		
C6	ROOFING - CONCRETE TILE	BORAL	CHARCOAL BLEND	ECHO RIDGE PROFILE		





Rear Elevation C 1/8'' = 1'-0''

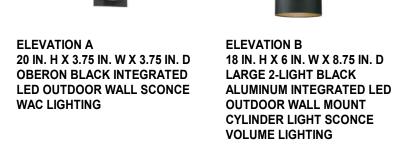


3D View - Elev. C



<u>Left Elevation C</u>
_{1/8" = 1'-0"}







ELEVATION C 20.5 IN. H X 11.5 IN. W X 9.5 IN. D TRESCOTT 1-LIGHT OUTDOOR BLACK WALL LANTERN SCONCE THE GREAT OUTDOORS

Masonite - Front Doors w/Glass







ELEVATION A

36 IN. X 96 IN. CBELLEVILLE 4
LITE EQUAL MODERN EXTERIOR
DOORS FRONT DOOR WITH NO
BRICKMOLD
MASONITE

ELEVATION B
SQUARE LITES PRIMED SMOOTH
FIBERGLASS FRONT DOOR
MASONITE

ELEVATION C
36 IN. X 96 IN. CRAFTSMAN 6
LITE PRIMED SMOOTH
FIBERGLASS PREHUNG FRONT
DOOR WITH NO BRICKMOLD
MASONITE





Proposed 7 Single Fami	C
New Legacy	Corporation
Fontana Avenue, Fonta	
9 J u n. 2022	\bigwedge
20-3969	\bigwedge

Plan 2443 Elevations

GRADING NOTES

- 1. ALL WORK SHALL CONFORM TO THE CITY OF FONTANAS' CITY STANDARDS AND SPECIFICATIONS, CURRENT EDITION SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND AS DIRECTED BY CITY ENGINEER
- 2. INSPECTION OF GRADING SHALL BE IN ACCORDANCE WITH ENGINEERING GRADING REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, 2016 EDITION.
- 3. A GRADING PERMIT FROM THE CITY OF FONTANA SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF GRADING.
- 4. AN ENCROACHMENT PERMIT FROM THE CITY OF FONTANA ENGINEERING SERVICES DEPARTMENT SHALL BE OBTAINED PRIOR TO ANY GRADING WITHIN RIGHT-OF-WAY OR CONSTRUCTION OF THE DRIVEWAY.
- 5. ON-SITE SUB-BASE OR BASE WITHIN TRAVEL AREA MUST BE COMPACTED TO A RELATIVE DENSITY OF 95%
- 6. AREA TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED BY THE SOIL ENGINEER PRIOR TO PLACING FILL.
- 7. ALL GRADING WORK SHALL BE DONE WHILE TAKING ANY REASONABLE NECESSARY STEPS TO PREVENT CREATION OF A NUISANCE INCLUDING BUT NOT LIMITED TO SPILLAGE, DUST, EROSION, AND NOISE CONTROL.
- 8. THE LOCATION OF EXISTING SURFACE AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO SURFACE AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO ANY EXCAVATION (1-800-227-2600)
- 9. ANY IMPROVEMENTS INSTALLED WITHOUT INSPECTION BY ENGINEERING SERVICES DEPARTMENT WILL BE SUBJECT TO REMOVAL.
- 10. INSPECTIONS REQUIRE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA, RELOCATION AND COSTS OF ANY AND ALL UTILITIES INVOLVED. CONTRACTOR MUST INFORM THE CITY OF FONTANA ENGINEERING SERVICE DEPARTMENT OF CONSTRUCTION SCHEDULING AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 12. ALL UNDERGROUND FACILITIES WITHIN STREET SECTIONS SHALL BE IN PLACE PRIOR TO BASE COARSE. INSTALLATION WITH TRENCH COMPACTION TESTED AND APPROVED.
- 13. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ONSITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING EARTHWORK.
- 14. NOTHING IN THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM OBTAINING NECESSARY PERMITS AS REQUIRED BY THE CITY OF FONTANA MUNICIPAL CODE, OR THAT OF OTHER GOVERNING AGENCIES.
- 15. CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY COMPANIES WHERE APPURTENANCES ARE WITHIN RIGHT-OF-WAY AND/OR OBSTRUCTING CONSTRUCTION SO THAT THEY MAY BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
- 16. ANY CHANGE IN THE WORK SHOWN HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF FONTANA ENGINEER.
- 17. A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION WHERE SPECIFIC ELEVATIONS ARE REQUIRED.
- 18. APPROVAL OF THESE PLANS BY THE CITY OR ITS AGENTS DOES NOT RELIEVE THE DESIGN ENGINEER AND THE APPLICANT FROM THE RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST BY THE CITY, THE APPROPRIATE PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL
- 19. DUST CONTROL: AS SOON AS THE GRADING IS COMPLETED ON EACH SECTION, A TEMPORARY SPRINKLER SYSTEM SHALL BE SET UP AND THE AREA SEEDED WITH A COVER CROP SUCH AS BARLEY RYE OR SUDAN GRASS. DEPENDING ON THE SEASON. THE SOWING RATE SHALL NOT BE LESS THAN 150 LBS. PER ACRE FOR BARLEY AND RYE GRASS AND 32 LBS. FOR SUDAN GRASS. WATERING SHALL CONTINUE UNTIL A GROWTH OF 8" MIN. HAS BEEN OBTAINED AND THE COVER CROP IS UNIFORM THROUGHOUT THE AREA. THIS SHALL APPLY TO ANY AREA DISTURBED BY THE DEVELOPER, CONTRACTOR SUBCONTRACTOR OR ANY OTHERS PERFORMING WORK RELATED TO THE PROJECT. ALL STOCK PILE BORROW SITES AND HAUL ROADS SHALL BE TREATED IN A SIMILAR MANNER.
- 20. AFTER CLEARING, EXISTING GROUND SHALL BE SCARIFIED TO MINIMUM OF 6" ON ENTIRE SITE UNTIL THE SURFACE IS FREE FROM UNEVEN FEATURES THAT WOULD TEND TO PREVENT UNIFORM COMPACTION BY THE EQUIPMENT USED.
- 21. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERING GRADING REQUIREMENTS OF THE CALIFORNIA BUILDING CODE 2016 EDITION, AND THE RECOMMENDATIONS OF THE SOILS REPORT:

DATED: JUNE 29, 2018 PREPARED BY: NORCAL ENGINEERING

- 22. THE CONTRACTORS SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE REQUESTING FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION.
- 23. THE CITY OF FONTANA ENGINEERING SERVICES DEPT. WILL NOT GIVE ANY ASSURANCE THAT THIS PLAN IS COMPLETE AND THAT IT WILL MATCH EXISTING FIELD CONDITIONS.
- 24. ASPHALTIC CONCRETE PAVING SHALL BE FURNISHED IN ACCORDANCE WITH SECTION 39 OF STANDARD SPECIFICATIONS, STATE OF CALIFORNIA. EXCEPT AS FOLLOWS: A) THE COMBINED MINERAL AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED FOR 3/4 INCH MINIMUM GRADING FOR THE BASE COURSE, AND 1/2 INCH MINIMUM GRADING FOR THE SURFACE COURSE. THE BITUMINOUS BINDER TO BE MIXED WITH THE MINERAL AGGREGATE SHALL BE STEAM REFINED. PAVING ASPHALT (PG 70-10) CONFORMING TO SECTION 92 OF THE STANDARD SPECIFICATIONS
- OF THE STATE OF CALIFORNIA SHALL BE USED. B) ASPHALT CONCRETE PAVING SHALL BE DONE IN TWO LIFTS, FOR 4 INCHES THICKNESS. THE FIRST LIFT SHALL BE 2 1/2 INCHES WITH 3/4 INCH MAXIMUM MEDIUM GRADING. THE SECOND LIFT SHOULD BE 1 1/2 INCH WITH 1/2 INCH MAXIMUM MEDIUM GRADING.
- 25. PRIOR TO CONSTRUCTION OF ASPHALT CONCRETE PAVEMENT, AN APPLICATION OF WEED KILLER

(CONTROL) SHALL BE APPLIED TO TOP OF CLASS II AB.

C. CITY OF FONTANA ORDINANCES AND REGULATIONS

26. GRADING PLAN SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES: A. 2016 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS B. 2016 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS

NOTES:

A PAD CERTIFICATION, A COMPACTION REPORT, AND ANY OTHER REQUIRED DOCUMENTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH GRADING INSPECTION. BUILDER SHALL PROVIDE THE BUILDING INSPECTOR WITH A FINAL PRECISE GRADING CERTIFICATE FROM THE ENGINEER OF RECORD PRIOR TO BUILDING'S FINAL INSPECTION.

RESIDENTIAL IMPROVEMENT PLAN AT S/E CORNER OF FONTANA AVENUE AND LEMON ST PRELIMINARY GRADING PLAN

SCOPE OF WORK:

- 1. CONSTRUCT ROUGH GRADING OF 7 RESIDENTIAL LOTS 2. CONSTRUCT ASPHALT-CONCRETE ALLEY WITH CONCRETE SWALE.
- 3. CONSTRUCT CATCH BASINS, STORM DRAIN PIPES WATER AND SEWER SYSTEM.

DISTURBED AREAS:

IMPERVIOUS AREAS:	
PAVED AREAS (ALLEY INCLUDING CONCRETE SWALE)	10,357 SF
FUTURE BUILDING AREAS	25,390 SF
TOTAL IMPERVIOUS AREA =	35,747 SF
PERVIOUS AREAS:	
UNPAVED LOT AREAS	51,025 SF
FUTURE PAVER AREAS & FUTURE SIDEWALK (DRIVEWAY	5,474 SF
AND WALKWAYS)	
TOTAL PERVIOUS AREA =	56,499 SF

TOTAL # OF LOTS = 7LOT 1 = 18,957 SFLOT 2 = 18,911 SFLOT 3 = 9.453 SFLOT 4 = 9,454 SFLOT 5 = 9,454 SFLOT 6 = 9,447 SFLOT 7 = 16,889 SF

SOILS AND GEOLOGIST CERTIFICATION

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE FOLLOWING GEOTECHNICAL REPORT FOR THIS PROJECT ENTITLED:

> GEOTECHNICAL ENGINEERING INVESTIGATION PROPOSED RESIDENTIAL DEVELOPMENT SOUTHEAST CORNER OF FONTANA AVENUE AND LEMON ST. FONTANA, CALIFORNIA

JUNE 29, 2018 NORCAL ENGINEERING KEITH D. TUCKER GEOTECHNICAL ENGINEER: DATE:

PRELIM EARTHWORK ESTIMATE

ITEM	CUT (CY)	FILL (CY)	IMPORT (CY)
RAW	2,233	241	1,992

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM AND VERIFY HIS OWN ESTIMATES.

UNDERGROUND STRUCTURES

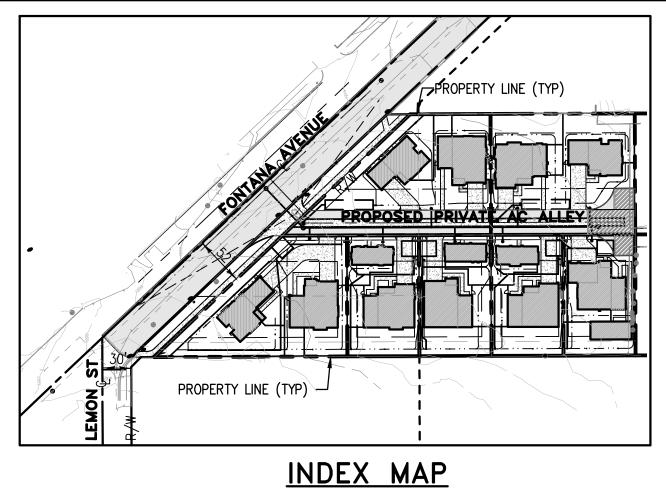
ALL UNDERGROUND STRUCTURES OF UTILITIES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT.

THE OWNER. BY ACCEPTING THESE PLANS OR PROCEEDING WITH THE IMPROVEMENTS PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD THE UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, OR LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON THE RECORDS EXAMINED.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OF STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

NOTICE TO CONTRACTORS

CONTRACTOR AGREES THAT HE SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



SOILS ENGINEER:

NORCAL ENGINEERING. 10641 HUMBOLT STREET LOS ALAMITOS, CA 90720 PH (562) 799-9469; FAX (562) 799-9459

CIVIL ENGINEER:

CORNERSTONE LAND SURVEYING INC. 20730 KNOB PLACE PERRIS, CA 92570 PH (951) 736-0200 CL (949) 370-7099

SHEET 5: EROSION CONTROL DETAILS

UTILITY CONTACTS:

ELECTRIC
SOUTHERN CALIFORNIA EDISON 501 SOUTH MARENGO AVENUE ALHAMBRA, CA 91802 626-308-6313

ATTN: ORLANDO OLIVAS THE GAS COMPANY 1918 WEST LUGONIA AVENUE REDLANDS, CA 92374 909-335-7715

ATTN: DENNIS WARE, PLANNER TELEPHONE AT&T

510-645-2929 ATTN: SUSAN BLACKBURN CITY OF FONTANA 8353 SIERRA AVENUE FONTANA CA 92335 909-350-6632

11142 GARVEY AVENUE EL MONTE, CA 91733 626-448-6183 ATTN: LUIS MONTENEGRO CABLE TELEVISION

FONTANA WATER COMPANY

TIME WARNER TELECOM 3281 EAST GUASTI ROAD SUITE 350 ONTARIO, CA 91761 909-456-3652

UNAUTHORIZED CHANGES & USES:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR. OR LIABLE FOR. UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

ASSESSOR'S **PARCEL NUMBER:**

0193-021-50, -51, -52, -53, -06, -07, & -08,

PREPARED FOR/ OWNER/SUBDIVIDER:

SECURED INCOME GROUP, INC. ATTN: MR. MAX MCDERMOTT 17592 17TH STREET, SUITE 100 TUSTIN, CA. 92780 (714) 721-7788 OFFICE (714) 368-0012 FAX

PROPERTY ADDRESS:

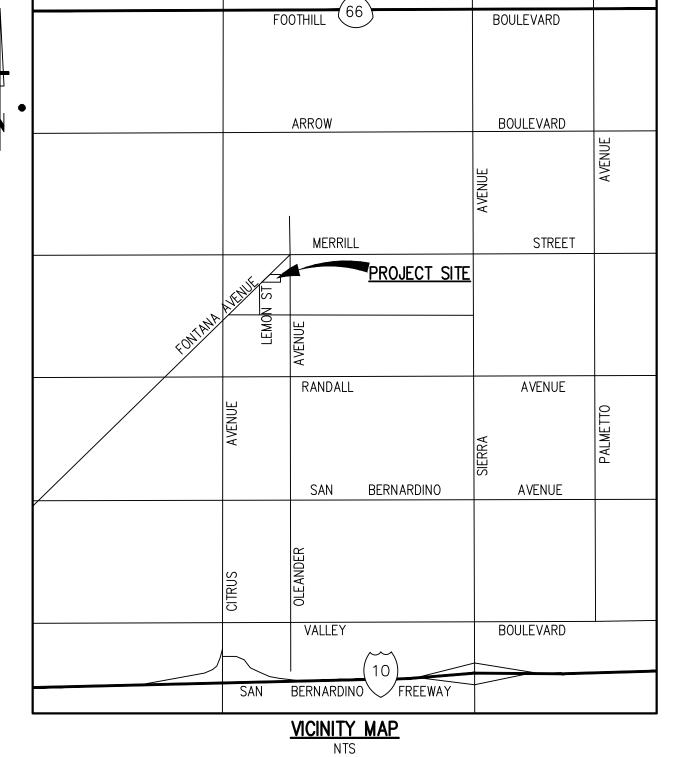
FONTANA AVE AND LEMON ST.

ZONING:

SINGLE FAMILY RESIDENTIAL

SHEET INDEX:

SHEET 1: TITLE SHEET SHEET 2: ROUGH GRADING PLAN SHEET 3: SECTION AND DETAILS SHEET 4: EROSION CONTROL PLAN



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	DENOTES FLOWLINE		FIRE HYDRANT
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12"S	DENOTES EXISTING SEWER	□ WM	EXISTING WATER METER
2'G	DENOTES EXISTING GAS	GM	EXISTING GAS METER
	DENOTES EXISTING CHAIN LINK FENCE	⊗GV	GAS VALVE
	DENOTES PROPOSED SITE WALL	————SD———	DENOTES PROPOSED STORM DRAIN LINE
		S	DENOTES PROPOSED SEWER LINE
\circ	EXISTING IRR. STAND PIPE	W	DENOTES PROPOSED WATER LINE
0	EXISTING POWER POLE	S	DENOTES EXISTING SEWER LINE
HgB	EXISTING HOSEBIB	W-	DENOTES EXISTING WATER LINE
□ <i>MB</i>	EXISTING MAILBOX		
	SIGN		
0	FOUND MONUMENT		
	EXISTING PALM		
	EXISTING TREE		
EG FG FL FF	EXISTING GRADE FINISH GRADE FLOWLINE FINISH FLOOR		

CITY OF FONTANA BENCHMARK NO. 28 ELEVATION = 1222.41 FT. BEING A MAG NAIL IN TOP OF CURB LOCATED AT THE ECR AT THE NE CORNER OF THE INTERSECTION OF MERRILL AVENUE AND OLEANDER AVENUE.

PER RSB 72/97.

OLEANDER AVENUE WHICH BEARS NO-12-30W

Cor ner stone land Surveying Inc. A.L.T.A. • Topographic • Boundary • Construction • Environmental BASIS OF BEARING: BASIS OF BEARINGS IS THE CENTERLINE OF PERRIS, CA 92570

PH (951) 736-0200 CL (949) 370-7099

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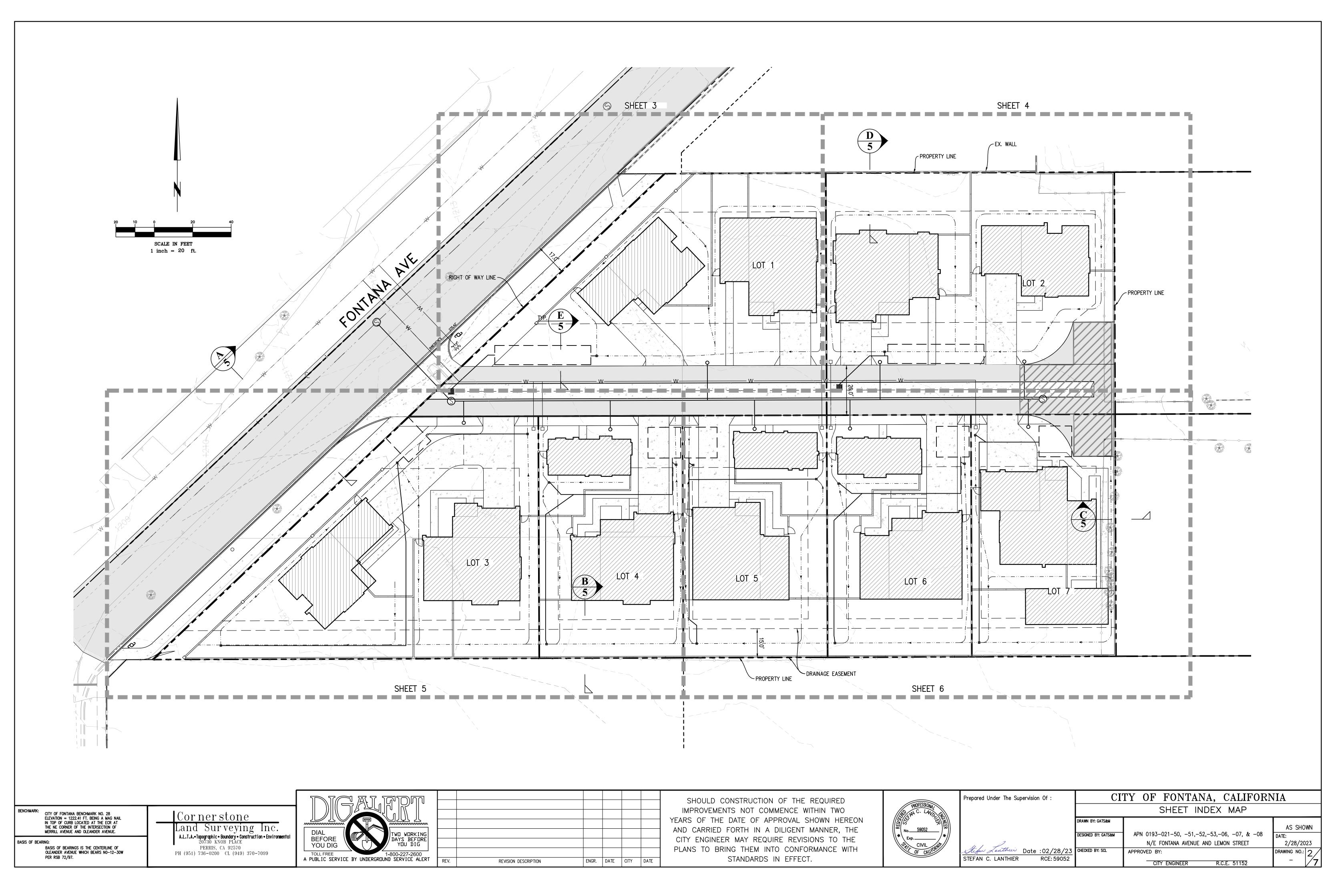
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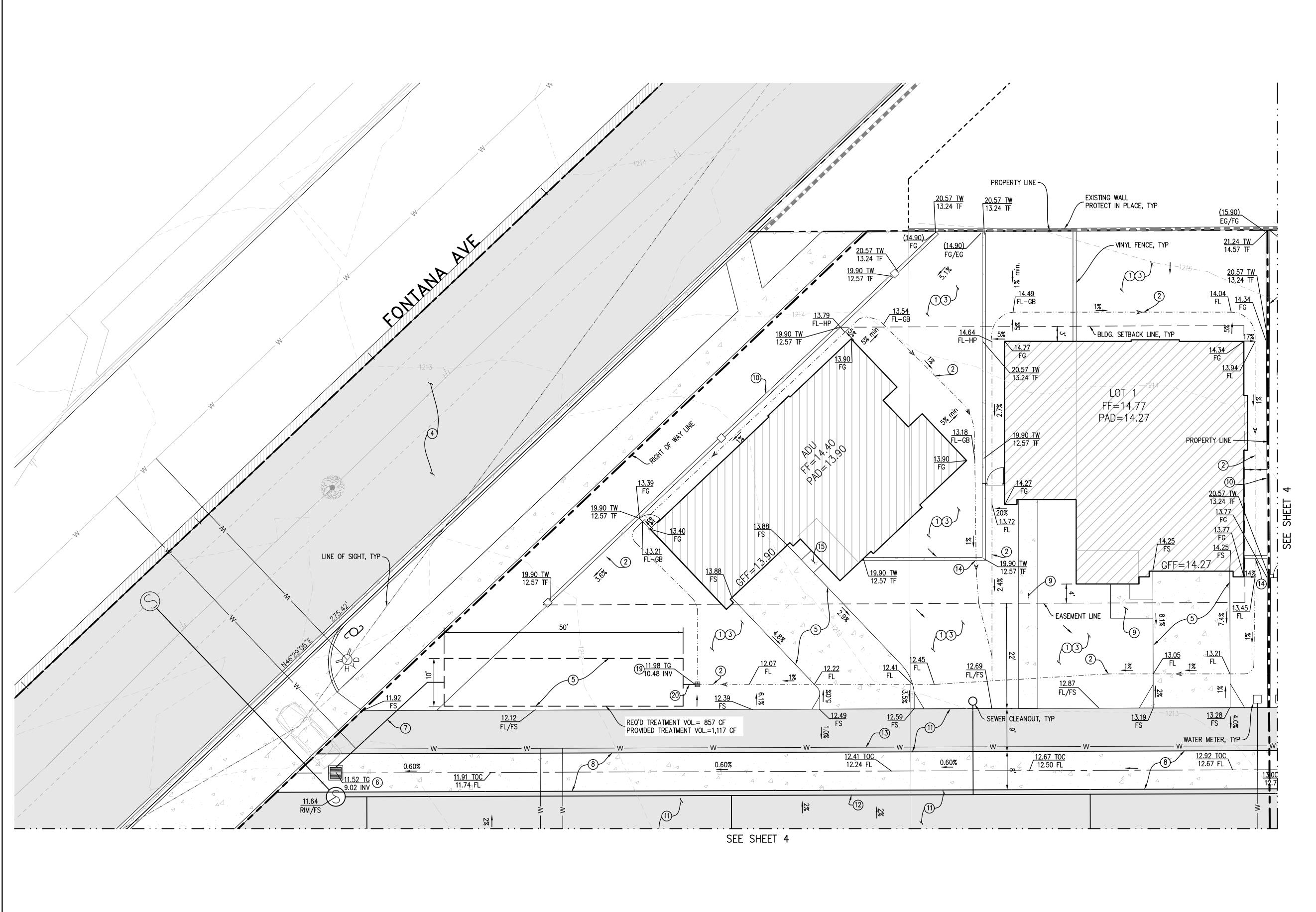
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Prepared Under The Supervision Of :	CI'	TY OF FONTANA, CALIFORI	NIA
		TITLE SHEET	
	DRAWN BY: GATS&M		AS SHOWN
	DESIGNED BY: GATS&M	APN 0193-021-50, -51,-52,-53,-06, -07, & -08 N/E FONTANA AVENUE AND LEMON STREET	DATE: 2/28/2023
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STEFÅN C. LANTHIER RCE: 59052		CITY ENGINEER R.C.E. 51152	- /

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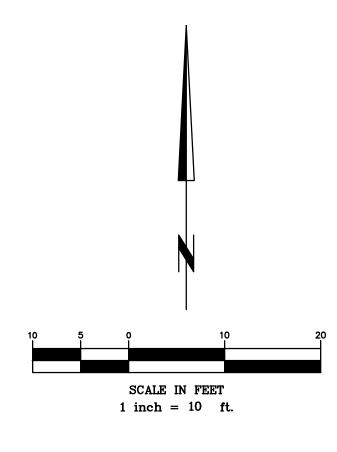




REVISION DESCRIPTION

GRADING & DRAINAGE CONSTRUCTION NOTES

- GRADE THIS AREA PER PLAN AND PER SOILS REPORT RECOMMENDATION.
- (2) CONSTRUCT EARTH SWALE PER DETAILS ON SHEET 3.
- REMOVE TOP 1' TO 2' AND SCARIFY EXPOSED SURFACE BY 12" PER SOILS REPORT.
- CONSTRUCT ST. IMPROVEMENTS PER SEPARATE PLAN. SEE TYP ST. SECTION HEREON.
- 5 CONSTRUCT PORTLAND CEMENT CONCRETE DRIVEWAY (6" THICK)
 OVER 6" THICK COMPACTED AGGREGATE BASE. PROVIDE #4
 REBAR AT 18" O.C. EACH WAY AND EXPANSION AND CONTROL
 JOINTS PER DETAIL _ ON SHEET _.
- 6 INSTALL PRECAST 18"X18" BROOKS CATCH BASIN OR EQUAL.
- 7) INSTALL 8" DIA. PVC STORM DRAIN PIPE (SCHED. 80).
- 8 CONSTRUCT 8' WIDE P.C.C. CONCRETE SWALE PER DETAILS ON SHEET 3. INSTALL EXPANSION AND CONTROL JOINTS PER DETAILS ON SHEET 3.
- 9 CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE WALK.
- (10) CONSTRUCT CMU WALL.
- (11) CONSTRUCT 6.5" THICK ASPHALT-CONCRETE PAVEMENT OVER 12" MIN. OF 95% COMPACTED NATIVE SUBGRADE.
- (12) CONSTRUCT SEWER IMPROVEMENTS PER SEPARATE PLANS.
- (13) CONSTRUCT WATER IMPROVEMENTS PER SEPARATE PLANS.
- PROVIDE WALL OPENING (REMOVE 1 CMU BLOCK) TO PROVIDE DRAINAGE.
- (15) CONSTRUCT PORTLAND CEMENT CONCRETE STEPS PER ARCH PLANS.
- (16) REMOVE AND DISPOSE EX. FENCE.
- (19) CONSTRUCT 12"X12" AREA DRAIN BY NDS OR APPROVED EQUAL
- (20) INSTALL 4" PVC SD PIPE (SCHED. 40) OR APPROVED EQUAL.
- (22) INSTALL STORMTECH MC-7200 CHAMBER WITH INSPECTION PORT PER SECTION 'E' ON SHEET 7 AND PER MANUFACTURER'S SPECIFICAT



BENCHMARK:

CITY OF FONTANA BENCHMARK NO. 28

ELEVATION = 1222.41 FT. BEING A MAG NAIL
IN TOP OF CURB LOCATED AT THE ECR AT
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BASIS OF BEARING:

Corner stone Land Surveying Inc. A.L.T.A. • Topographic • Boundary • Construction • Environmental 20730 KNOB PLACE BASIS OF BEARINGS IS THE CENTERLINE OF OLEANDER AVENUE WHICH BEARS NO-12-30W PERRIS, CA 92570 PH (951) 736-0200 CL (949) 370-7099 PER RSB 72/97.

BEFORE YOU DIG TOLL FREE 1-800-227-2600
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

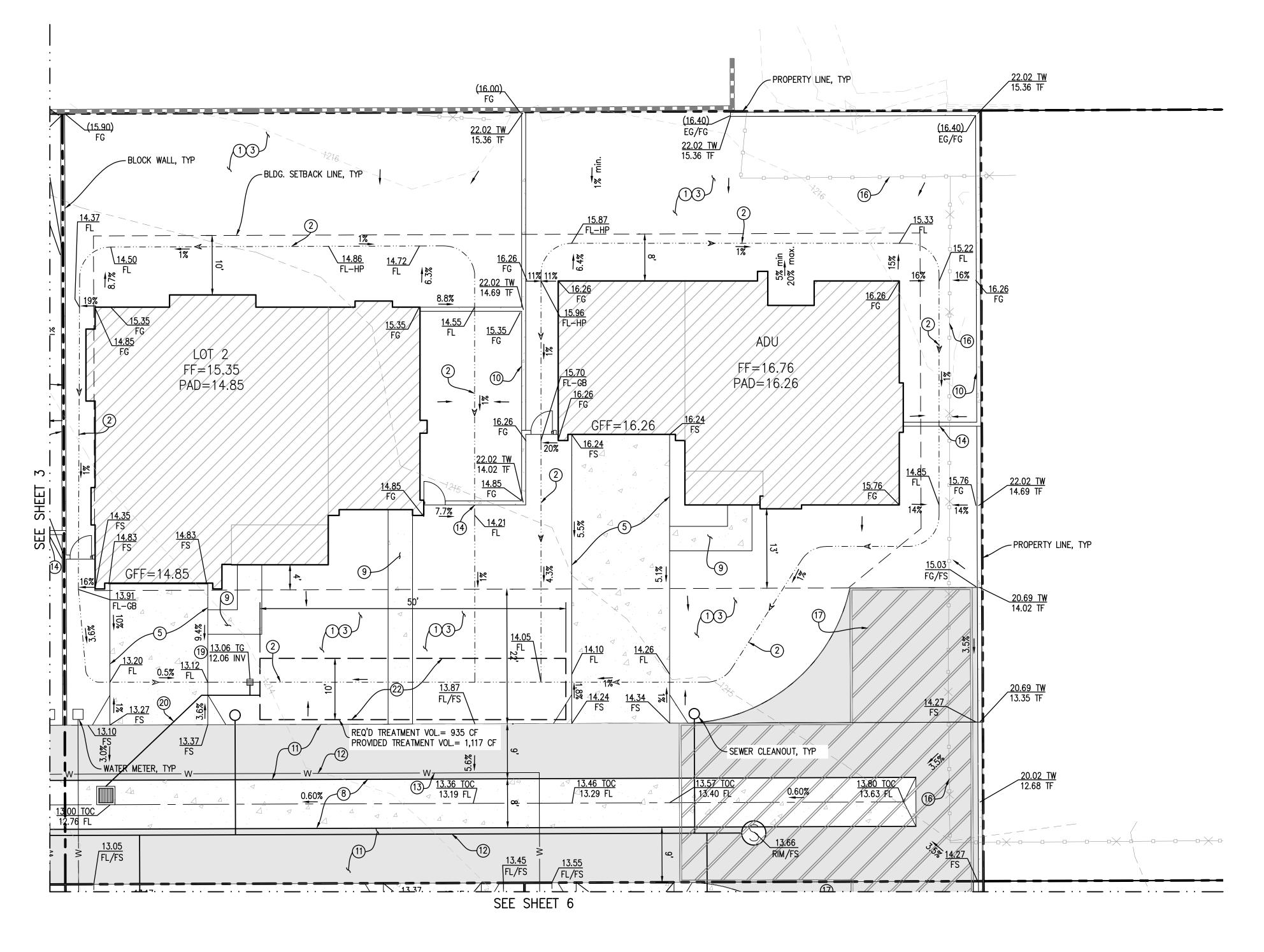
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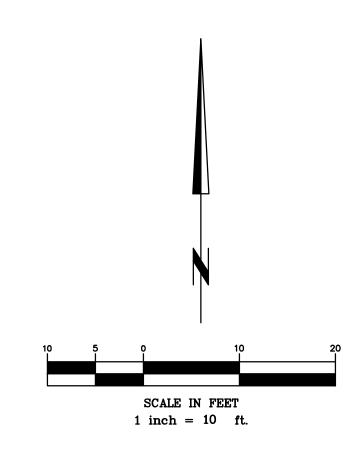
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STEFAN C. LANTHIER		RCE: 59052	

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	DESIGNED BY: GATS&M	APN 0193-021-50, -51,-52,-53,-06, -07, & -08 N/E FONTANA AVENUE AND LEMON STREET	DATE: 2/28/2023
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RCE: 59052		CITY ENGINEER R.C.E. 51152	- / 7



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Cornerstone Land Surveying Inc. A.L.T.A. • Topographic • Boundary • Construction • Environmental 20730 KNOB PLACE PERRIS, CA 92570 PH (951) 736-0200 CL (949) 370-7099

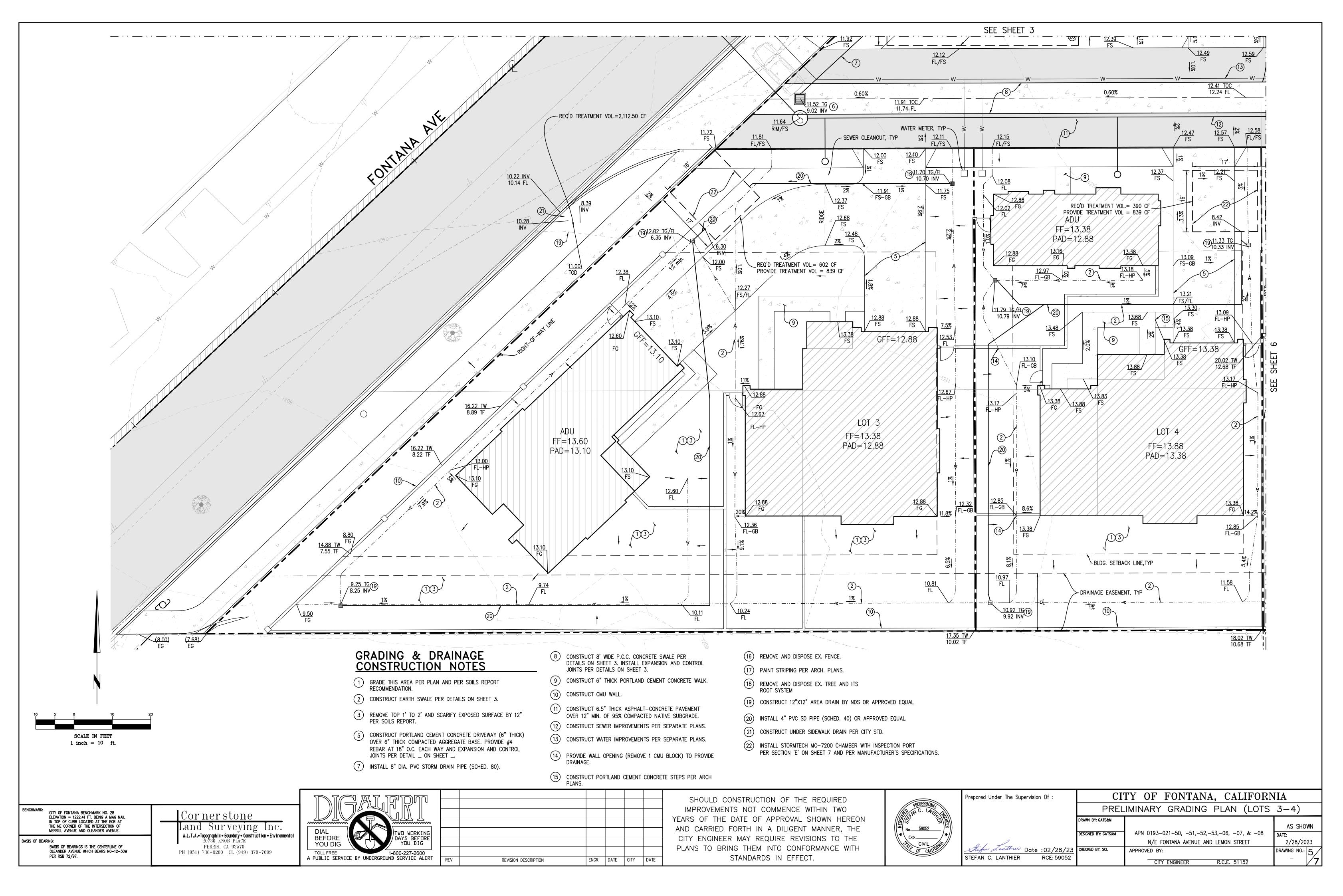
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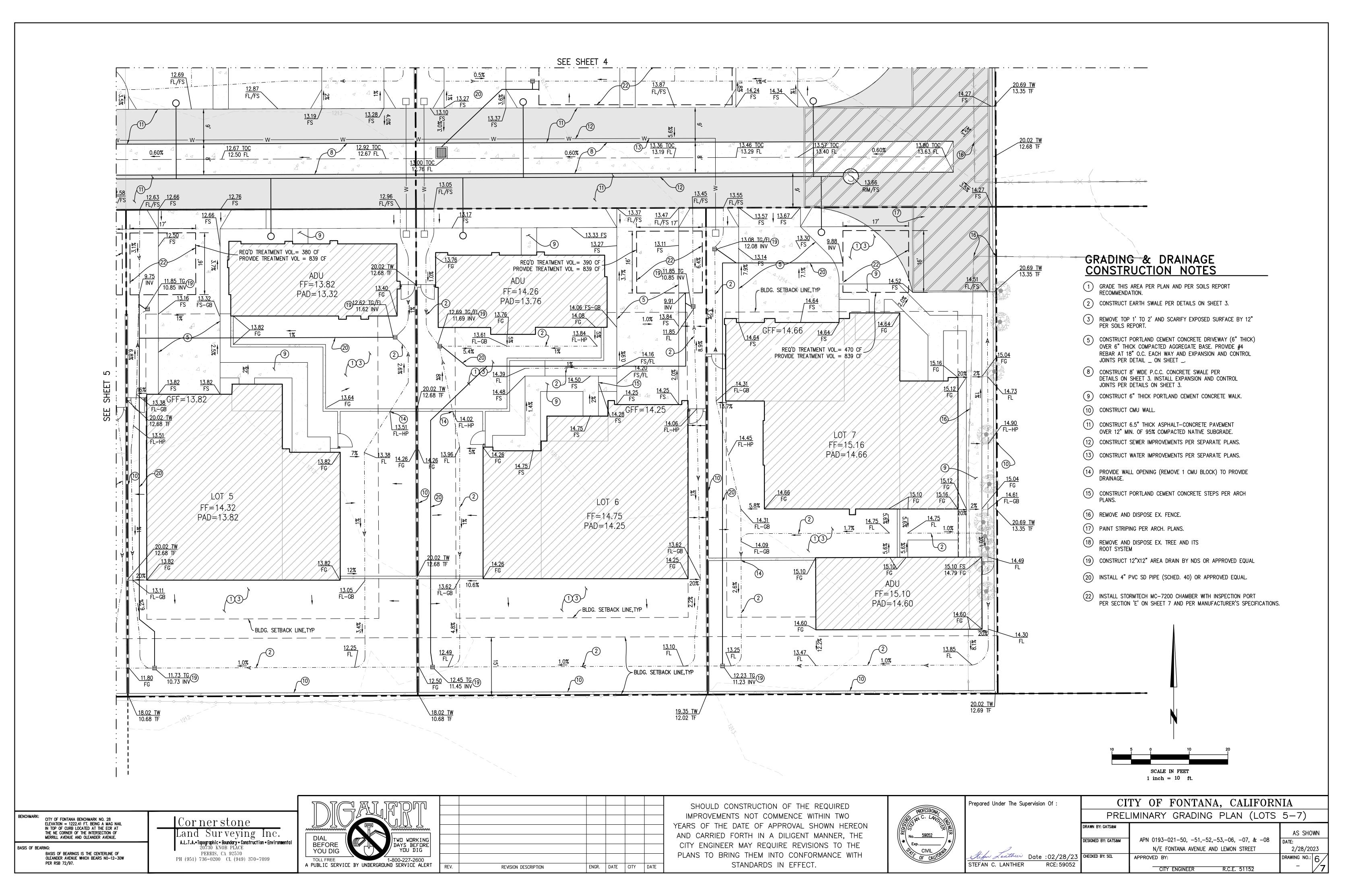
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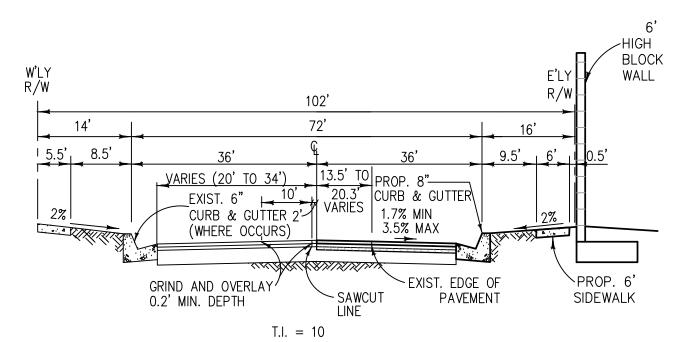
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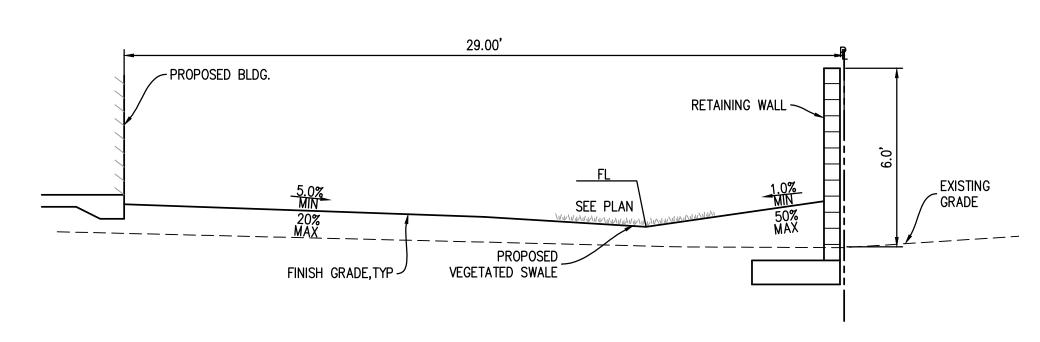




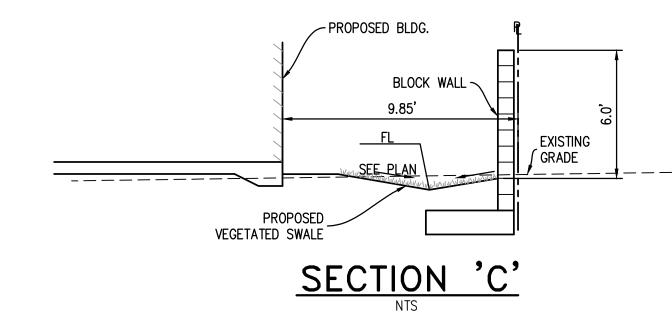


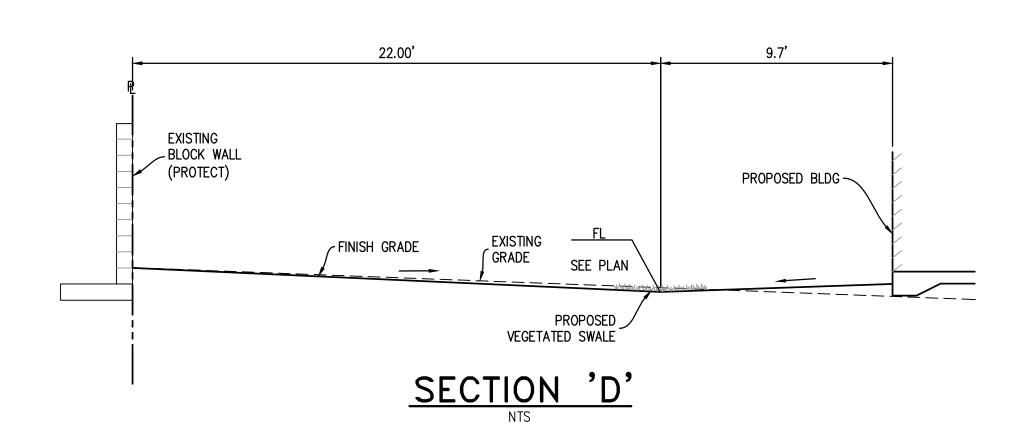
FONTANA AVE

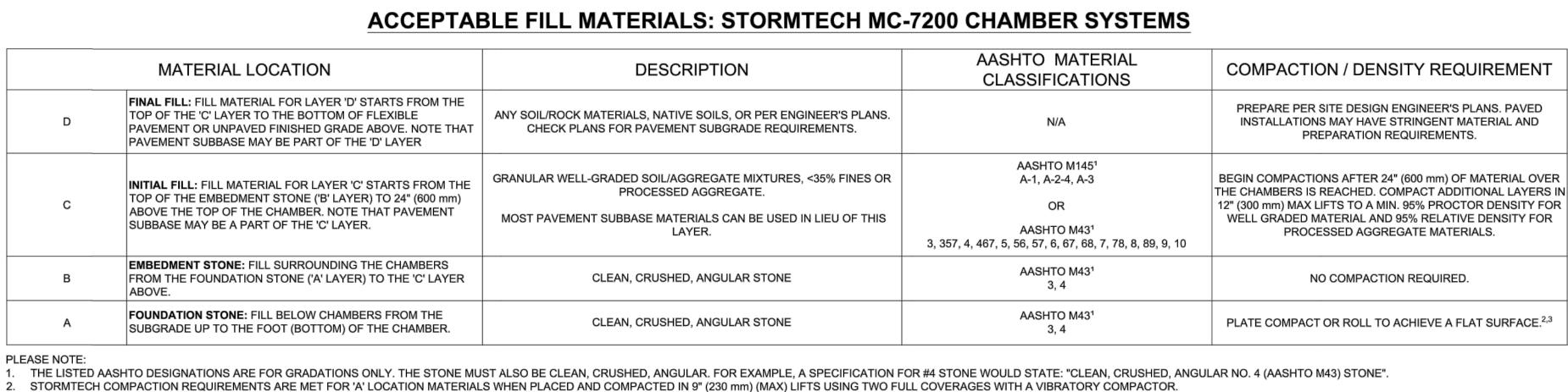
SECTION 'A'



SECTION 'B'

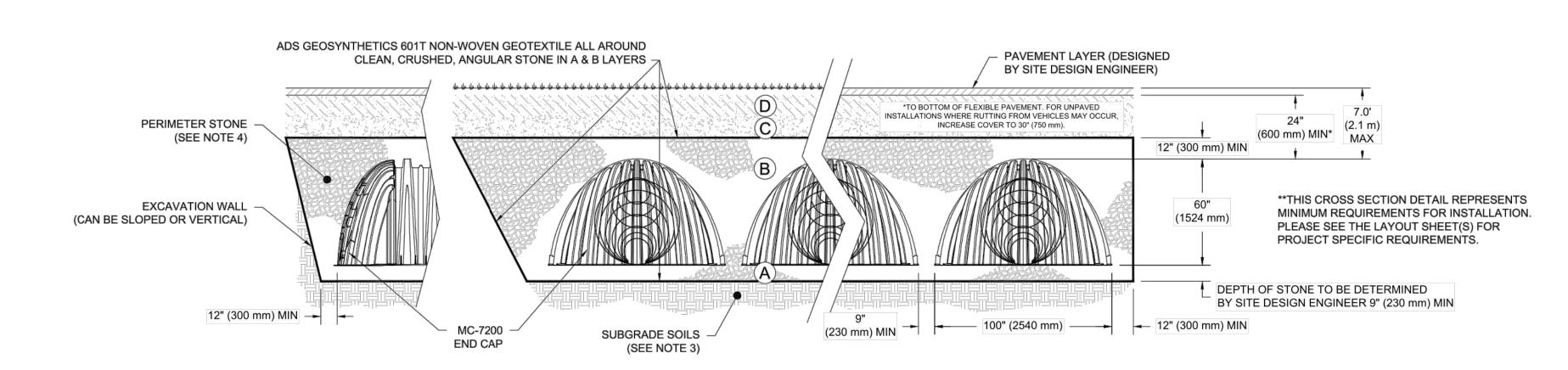






WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR

4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



* FOR COVER DEPTHS GREATER THAN 7.0' (2.1 m) PLEASE CONTACT STORMTECH

NOTES:

- 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
- 2. MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS
- 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT/%.

AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SECTION 'E' (TYP. STORMWATER CHAMBER SECTION)

CITY OF FONTANA BENCHMARK NO. 28 ELEVATION = 1222.41 FT. BEING A MAG NAIL IN TOP OF CURB LOCATED AT THE ECR AT MERRILL AVENUE AND OLEANDER AVENUE. BASIS OF BEARING: BASIS OF BEARINGS IS THE CENTERLINE OF

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REV.	REVISION DESCRIPTION	ENGR.	DATE	CITY	DATE	

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	DESIGNED BY: GATS&M	AFN 0193-021-30, -31,-32,-33,-00, -07, & -08	DATE:	
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STEFAN C. LANTHIER RCE: 59052		CITY ENGINEER R.C.E. 51152		

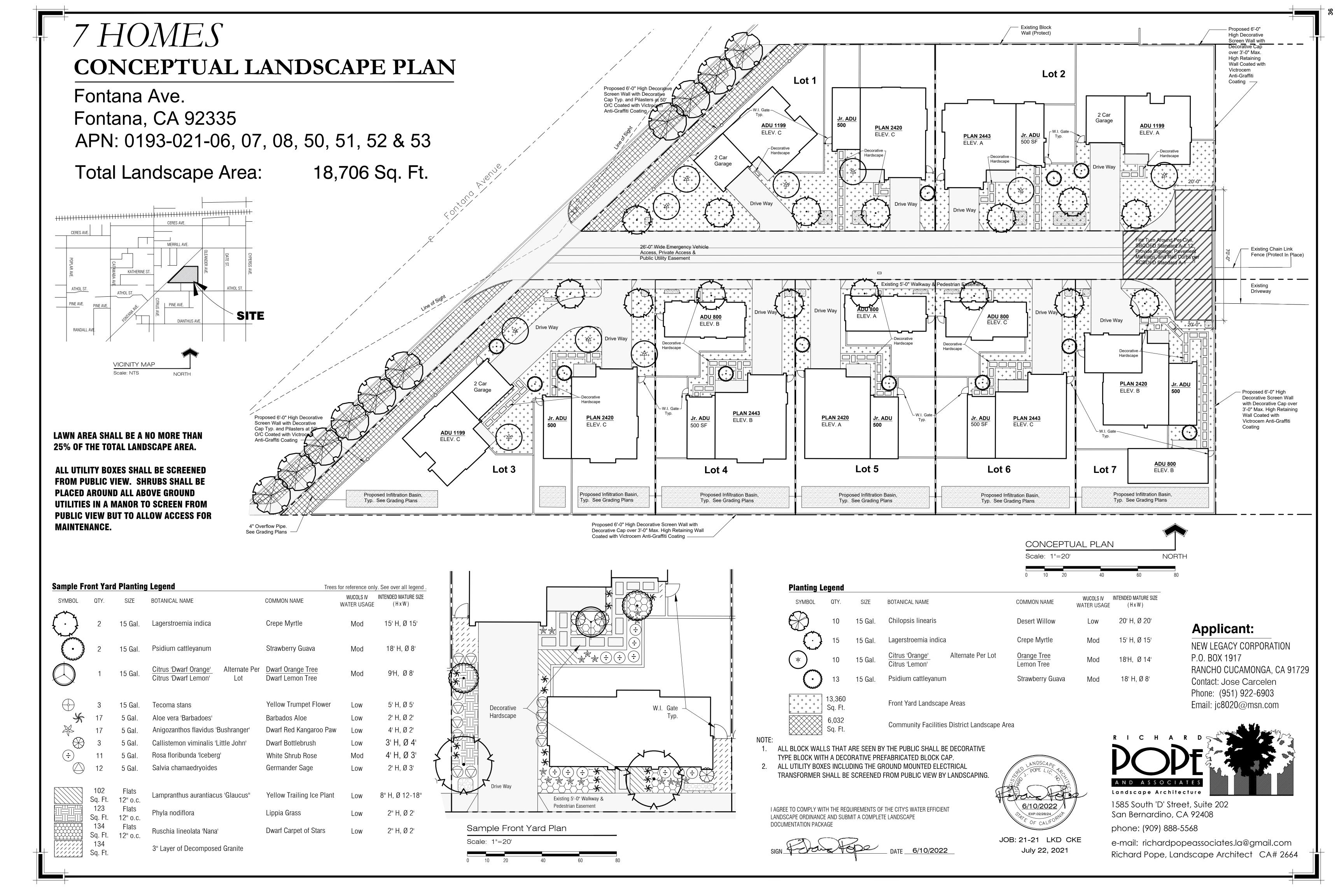
StormTech[®] Chamber System

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2/28/2023



RESOLUTION NO. PC 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING DESIGN REVIEW NO. 21-031 – A REQUEST FOR APPROVAL TO DEVELOP SEVEN (7) NEW SINGLE-FAMILY DWELLING UNITS LOCATED ON SEVEN (7) EXISTING LOTS TOTALING APPROXIMATELY 2.1 ADJUSTED GROSS ACRES PURSUANT TO A CATEGORICAL EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION NO. 15332.

WHEREAS, APNs: 0193-021-06, -07, -08, -50, -51, -52, and -53 were incorporated in the City of Fontana on June 25, 1952, (Annexation No. 1815); and

WHEREAS, on September 14, 2021, the City of Fontana ("the City") received a Design Review Application from Andresen Architecture, Inc. to construct seven (7) new single-family dwelling units for seven (7) existing lots on the east side of Fontana Avenue approximately 390 feet south of the centerline of Merrill Avenue APNs: 0193-021-06, -07, -08, -50, -51, -52, and -53; and

WHEREAS, the seven (7) new single-family dwelling units range in size from 2,410 square feet to 2,470 square feet, and the seven (7) existing lots range in size from 9,453 square feet to 18,958 square feet, for a total of approximately 2.1 adjusted gross acres.

WHEREAS, the project incorporates two (2) floor plans with three (3) different modern architectural styled elevations; and

WHEREAS, pursuant to Article II, (Administrative Procedures), and Article V, (Residential Zoning District), of the Zoning and Development Code, a single-family residential project of five (5) or more dwellings require an approval of a Design Review application by the Planning Commission; and

WHEREAS, the project is Categorically Exempt pursuant to Section No. 15332, Class No. 32 (In-Fill Development) of the California Environmental Quality Act (CEQA) and Section No. 3.22 (Categorically Exempt) of the 2019 Local Guidelines for implementing CEQA; and

WHEREAS, Conditions of Approval have been prepared and attached hereto as **Exhibit "A"** for Design Review No. (DRP No. 21-031); and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and

WHEREAS, all of the notices required by statute and the City Municipal Code have been given as required; and.

WHEREAS, the owners of property within 660 feet of the project site were notified via public hearing notice mailer prior to the Public Hearing; and a notice of the public

hearing was published in the local *Fontana Herald* newspaper on September 8, 2023, posted at City Hall and at the project site; and

WHEREAS, on September 19, 2023, a duly noticed public hearing on Design Review No. 21-031 was held by the Planning Commission to consider testimony and evidence presented by the applicant, City staff, and other interested parties, at the Public Hearing held with respect hereto; and

WHEREAS, the Planning Commission carefully considered all information pertaining to the project, including the evidence, and testimony presented at its public hearing on September 19, 2023; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, **THEREFORE**, the Commission RESOLVES as follows:

Section No. 1. Recitals. The above recitals are incorporated herein by reference.

<u>Section No. 2.</u> <u>CEQA</u>. The Planning Commission hereby determines that the project is Categorically Exempt pursuant to Section No. 15332, Class No. 32 (In-Fill Development), and Section No. 3.22 (Categoric Exempt) of the 2019 Local Guidelines for implementing CEQA

<u>Section No. 3</u>. <u>Findings</u>. The City of Fontana's Planning Commission hereby makes the following findings for Design Review No. 21-031 in accordance with Section No. 30-120 "Findings for Approval" for Design Review of the Zoning and Development Code:

Finding No. 1: The proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.

Findings of Fact:

The project site is located on the east side of Fontana Avenue approximately 390 feet south of the centerline of Merrill Avenue, (APNs: 0193-021-06, -07, -08, -50, -51, -52, and -53). The project site has a General Plan land use designation of Single-Family Residential (R-SF), which includes detached single-family housing with density ranging from 2.1 to 5 dwelling units per acre.

The project is located within the Single-Family Residential (R-1) zoning district with no related Specific Plan. The R-1 zoning district permits detached homes on individual lots within defined neighborhoods. The seven (7) existing lots range in size from 9,453 square feet to 18,958 square feet. The seven (7) new single-family dwelling units will be using two (2) different floor plan styles that range in size from 2,410 square feet to 2,470 square feet. The project incorporates three different architectural styles.

The General Plan is the document that sets the framework for the City of Fontana and provides the overall policies for development

within the community. Furthermore, the General Plan encourages a variety of development including single-family housing pursuant to the City of Fontana's, General Plan Land Use, Zoning, and Urban Design Element, Chapter No. 15, Goal No. 3 (page 15.37-15.38) and Chapter No. 15, Goal No. 7 (page 15.40-15.41).

Finding No. 2:

The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desirable development promoting the public health, safety, and welfare of the community.

Findings of Fact:

The project is located within the Single-Family Residential (R-1) zoning district and has been determined to be aesthetically and architecturally pleasing and compatible with the neighborhood. The neighborhood is contemporary, true to style, and compatible with the surrounding homes with high quality architectural design appropriate and desirable for the community. The development will enhance the character of the surrounding residential area through the aesthetics and design.

The development will be accessed off of Fontana Avenue which is a public street. The project includes off-site and on-site improvements: Fontana Avenue will include additional pavement, curb, cutter, and sidewalks; on-site improvements will include paving of the access easement with curbing on both sides and sidewalk to the south side. The Applicant is proposing appropriate drainage, grading, and perimeter/privacy walls to provide a safe and well-designed neighborhood. The project has been reviewed by the Fontana Planning, Engineering, Building and Safety, and Fontana Fire Prevention Departments ("Departments") for site circulation, access, and safety. The project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access. The individual parcels shall be accessed off a designated easement of approximately 30-foot that will be improved during construction. Each individual lot has a minimum of a 16-footwide driveway to access the property. No parking is allowed on the access easement; however, parking is allowed on Fontana Avenue. The Departments have determined that the project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access provided the project complies with the Conditions of Approval.

Finding No. 3:

The proposal, in its design and appearance, is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact:

The project encompasses improvements that are both appropriate and much needed, not only for the project site, but the surrounding The project includes off-site and on-site improvements: area. Fontana Avenue will include additional pavement, curb, cutter, and sidewalks; on-site improvements will include paving of the access easement with curbing on both sides and sidewalk to the south side. The Applicant is proposing appropriate drainage, grading, perimeter, and privacy walls to provide a safe and well-designed neighborhood. The neighborhood has been reviewed by the Fontana Planning, Engineering, Building and Safety, and Fontana Fire Prevention Departments ("Departments") for site circulation, access, and safety. The Departments have determined that the project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access provided the project complies with the Conditions of Approval. The structures meet all applicable building, zoning, and fire codes and standards and, therefore, shall promote the public health, safety, and welfare of the surrounding community.

Additionally, the project is aesthetically enhanced with architectural detail. The buildings do not exceed the maximum height of 35 feet. The project is an appropriate and desirable development for the community. Each elevation has a modern architectural theme using cool and natural colors with contrasting colors of grey and beige. A variety of design features and materials are provided on the elevations, including architectural pop-outs, stone veneer, wood siding, decorative window treatments, varied rooflines, covered porches, and other features appropriate to the contemporary architecture. The development complies with the required setbacks. All other applicable development standards specified in the Zoning and Development Code are met.

Finding No. 4: The site improvements are appropriate and will result in a safe, well-designed facility.

Findings of Fact:

The project is determined to be appropriate and will result in a safe, well-designed development. The homes are designed and will be developed with appropriate pavement, curb, gutter, and sidewalk. The project includes street improvements to Fontana Avenue, sidewalks, drainage, grading and perimeter and privacy walls to provide a safe and well-designed neighborhood. The project has been reviewed by the Fontana Planning, Engineering, Building and Safety, and Fontana Fire Prevention Departments ("Departments") for site circulation, access, and safety. The Departments have determined that the project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access. The character of the surrounding

Resolution No	. PC 2023-
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neighborhood reflects residential uses with both single-family and multi-family dwellings.

<u>Section No. 4</u>. Approval. Based on the foregoing, the City of Fontana's Planning Commission hereby approves Design Review No. 21-031, subject to the conditions of approval, which are attached hereto as **Exhibits "A"** to this Resolution and incorporated herein by this reference.

<u>Section No. 5</u>. <u>Effective Date</u>. This Resolution shall become effective immediately upon its adoption.

<u>Section No. 6</u>. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the City of Fontana's Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code, Section No. 21081.6.

Section No. 7. Certification. The Secretary shall certify to the adoption of this Resolution.

<u>Section No. 8.</u> <u>Severability</u>. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this **19**th **day of September 2023.**

City of Fontana

Cathline	Fort,	Chairperson

ATTEST:

I, Ralph Thrasher, Secretary of the Planning Commission of the City of Fontana,
California, do hereby certify that the foregoing resolution was duly and regularly adopted
by the Planning Commission at a regular meeting thereof, held on the 19th day of
September 2023, by the following vote, to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

Resolution No. PC 2023		
Ralph Thrasher, Secretary		

Exhibit "A"

CITY OF FONTANA CONDITIONS OF APPROVAL

PROJECT: Master Case No. 21-086 **DATE:** September 19, 2023

Design Review No. 21-031

LOCATION: The project site is located on the east side of Fontana Avenue

approximately 390 feet south of the centerline of Merrill Avenue, (APNs:

0193-021-06, -07, -08, -50, -51, -52, and -53).

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Design Review shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary

- building on site, and successful completion of the first Building and Safety Department inspection, has commenced within this period.
- All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
- 4. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of the work.
- 5. The accessory dwelling units and junior accessory dwelling units shall be reviewed through a Building Permit process, not associated with the Planning Commission approval.
- 6. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the residential structure until corrections are approved in writing by all appropriate staff.
- 7. The Director of Planning, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural relief. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
- 8. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory

processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

- 9. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.
- 10. Foam treatment used for architecture features and/or projections located on the first floor (under 14-foot) shall be covered with concrete or similar durable material a minimum of ¼ inch thick, or as determined by the Director of Planning.
- 11. The development shall maintain an active Homeowner's Association ("HOA") at all times. The City shall be the third party to the HOA's Covenants Conditions and Restrictions solely for the purpose of enforcing property and maintenance standards.

- 12. If solar panel systems are installed on the roof of any residential structure, the installation shall be on top or above the approved roof tile. If a solar panel system is flush mounted to the roof, matching roof tiles shall be replaced immediately upon removal of the solar panels.
- 13. No solid masonry wall shall be higher than nine-foot from top of ground (finish grade) when used in combination with a retaining wall unless otherwise stated for this project.
- 14. All garage doors shall be metal, sectional roll-up and have windows.
- 15. Wall-mounted decorative lighting fixtures shall be provided at the front porch area as well as on each side of the garage door. Wall-mounted decorative lighting fixtures shall be a minimum of 18 inches in height.
- 16. Prior to the issuance of a Certificate of Occupancy, the applicant/developer/property owner shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of Planning or his/her designee.
- 17. All new block walls that can be seen by public view shall be constructed with a decorative block and capped with a prefabricated block cap. New bock walls that cannot be seen by public view could be constructed of CMU block with a masonry cap.
- 18. The following electrical outlets and garage door opener will be provided in all garages:
 - A. Install one automatic garage door opener for the double garage door.
 - B. Install at least one duplex receptacle within garage.
- 19. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager authorized approve conditionally approve such is to or amendment/deletion, provided that City manager shall bring such amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections No. 30-30 and Sections No. 30-31 of the Municipal Code.
- 20. The current Development Fees shall be paid.

Prior to Issuance of Building /Construction Permits

21. The applicant/developer/property owner shall provide clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.

BUILDING AND SAFETY DEPARTMENT:

- 22. The applicant/developer/property owner shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code
- 23. The applicant/developer/property owner shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
- 24. The applicant/developer/property owner shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter No. 5 Article XIV.
- 25. The applicant/developer/property owner shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
- 26. The applicant/developer/property owner shall have the tract map recorded prior to the issuance of any building permits.
- 27. The applicant/developer/property owner shall comply with the following grading requirements:
 - A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.

- F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
- G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
- H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.
 - The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
- I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.);
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.);
 - iii. All proposed drainage structures;
 - iv. Any proposed and/or required walls or fencing.
- 28. The applicant/developer/property owner shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 29. The following items shall be completed and/or submitted to Building & Safety as applicable prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector

For more information related to Building & Safety, please visit our web page at https://www.fontana.org/136/Building-Safety.

ENGINEERING DEPARTMENT:

- 30. The project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
- 31. The applicant/developer/property owner shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
- 32. The applicant/developer/property owner shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

Prior To Issuance of Grading Permit

33. The applicant/developer/property owner shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

Prior To Issuance of Construction Permits

- 34. The applicant/developer/property owner shall record <u>All</u> map's, lot line adjustments, right-of-way dedications, easements, reciprocal access agreement as required for the development.
- 35. The applicant/developer/property owner shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

Prior To Issuance of Final Certificate of Occupancy

- 36. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
- 37. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
- 38. The Applicant/Engineer shall set survey monuments as required by the map and corner records must be recorded with the County.
- 39. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency

Landscape Ordinance (Ordinance 1743, FCC Section 28).

- 40. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
- 41. All storm drains shall be video inspected by applicant/contractor. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
- 42. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

FIRE PROTECTION DISTRICT:

- 43. Jurisdiction. The above referenced project is under the jurisdiction of the San Bernardino County Fire Department (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
- 44. Fire Access Road Width. Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1
- 45. Turnaround. An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; and all roadways shall not exceed a 12 percent grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. California Fire Code Chapter 5 & SBCoFD Standard A-1

- 46. Street Signs. Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. California Fire Code Chapter 5 & SBCoFD Standard A-2
- 47. Fire Lanes. The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2
- 48. Water System Residential. Prior to map recordation, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix B of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet (4"x2.5"x2.5") shall be provided. All fire hydrants shall be spaced no more than six hundred (600) feet as measured along vehicular travel-ways. California Fire Code Chapter 5 & SBCoFD Standard W-2
 - The Fire Flow for this project shall be: 1500 GPM for a 2-hour duration at 20 psi residual operating pressure. Fire Flow is based on a 0-3600 square foot structure.
- 49. Hydrant Marking. Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. <u>SBCoFD Standard W-2</u>
- 50. Water System Certification. The applicant/developer/property owner shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the job-site. California Fire Code Chapter 5
- 51. Combustible Protection. Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. <u>California Fire Code Chapter 5</u>
- 52. Fire Sprinkler-NFPA #13D. An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. California Fire Code Chapter 9 & SBCoFD Standard F-2
- 53. Residential Addressing. The street address shall be installed on the building with numbers that are a minimum of four (4) inches in height and with a one half (½) inch stroke. The address shall be visible from the street. During the hours of darkness, the numbers shall be internally and electrically illuminated with a low voltage power source. Numbers shall contrast with their background and be legible from the street.

- Where the building is fifty (50) feet or more from the roadway, additional contrasting four (4) inch numbers shall be displayed at the property access entrances. <u>California</u> Fire Code Chapter 5 & SBCoFD Standard B-1
- 54. Secondary Access. The development shall have a minimum of two points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. <u>SBCoFD Standard A-1</u>

MANAGEMENT SERVICES:

55. To eliminate the negative fiscal impact on municipal services associated with this proposal, the project will be required to annex into an existing community facilities district (CFD) or form a new community facilities district (CFD) for the purpose of financing the costs of maintenance and operation of the street lighting, landscaping, parkways and the removal of or cover of graffiti within the boundaries of, or along the perimeter of the district. The district's annual levy will include an amount for the maintenance of city parks. The city will determine which is more appropriate for the project, establishing a new district or annexing into an existing district. The district formation or annexation must be completed prior to the issuance of building permits.

END OF CONDITIONS OF APPROVAL



NOTICE OF EXEMPTION

ГО:	Cou 385	k of the Board of nty of San Berna N. Arrowhead Av Bernardino, CA	rdino venue, 2nd Floor	FROM: City of Fontana Planning Department 8353 Sierra Avenue Fontana, CA 92335	
	1.	Project Title:		Case No. 21-086 Review No. 21-031	
	2.	Project Location	Avenue of Meri	oject site is located on the east approximately 390 feet south of the cill Avenue. (APNs: 0193-021-06 and -53).	of the centerline
	3.	(a) Project Loca	tion - City: Fontan	a, CA 92335	
		(b) Project Loca	tion - County: San Be	<u>rnardino</u>	
	4.	a request to c (7) existing lo feet. The seve feet to 2,470	construct seven (7) ts; the lots range in en (7) new single-fa	neficiaries of project: Design Revinew single-family dwelling local size from 9,453 square feet to mily dwelling range in size from project incorporates two (2) fluctural styles.	cated on seven o 18,958 square m 2,410 square
	5.	Name of Public	Agency approving proje	ect: City of Fontana	
	6. Name of Person or Agency carry			Andresen Architectur 17087 Orange Way Fontana, CA 92335	<u>·e</u>
		(a) (b) (c) (d) <u>Sec</u> Ca	Emergency Project C Categorical Exemp ction No. 15332 (Cl lifornia Environmenta emptions) of the 2019 Declared Emergen	otion. State type and class number lass 32, In-Fill Development Fill Quality Act and Section No. 3 Development Fill Developme	Projects) of the 3.22 (Categorical
			ny project was exempt: nent and meets the C	This project site is cor EQA requirement of In-Fill.	nsidered In-Fill
		3. Contact Po	erson: <u>Jon S. Dille, As</u>	ssociate Planner Telephone: (909	<u>9) 350-6681</u>
Da	ate R	eceived for Filin	g:	Salvador Quintanilla	
(Clerk Stamp Here)				Senior Planner	



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section No. 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case (MCN) No. 21-086 - Design Review (DR) No. 21-031

A request for approval to develop seven new single-family dwellings located on seven existing lots totaling approximate 2.1 adjusted gross acres.

Environmental This project qualifies for a categorical exemption pursuant to Section No.

15332 (In-Fill Development Projects) of the California Environmental

<u>Determination</u>: Quality Act and Section No. 3.22

(Certain In-Fill Projects) of the Local Guidelines for implementing

CEQA.

Location of The project site is located on the

Property: east side of Fontana Avenue approximately 390 feet south of the

centerline of Merrill Avenue. (APNs: 0193-021-06, -07, -08, -50, -51, -52,

and -53).

Date of Hearing: September 19, 2023

Place of Hearing: City Hall Council Chambers

8353 Sierra Avenue Fontana. CA 92335

Time of Hearing: 6:00 P.M.

Publish: September 8, 2023

Should you have any questions concerning this project, please contact Jon Dille, Associate Planner, at (909) 350-6681 or e-mail him at jdille@fontanaca.gov.

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

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City of Fontana

8353 Sierra Avenue Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2462Agenda Date: 9/19/2023Agenda #: PH-BCategory: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 21-106, Tentative Tract Map 21-005 (Tract No. 20498) and Design Review No. 21-042; A request for the site and architectural review of forty-six (46) attached row houses with a tot lot and paseos, pursuant to a categorical exemption in accordance with CEQA Guidelines section 15332.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2023-___; and,

- 1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development), and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,
- 2. Approve Tentative Tract Map No. 21-005 (Tract No. 20498) and Design Review No. 21-042.

APPLICANT:

Calabash Fontana Holding LLC 34 Woodcrest Irvine, CA 92603

LOCATION:

The project site is located 8162 Calabash Avenue (Assessor Parcel Number: 0230-011-36).

REQUEST:

Tentative Tract Map No. 21-005 (Tract No. 20498) is a request for a condominium map of forty-six (46) attached row houses.

Design Review No. 21-042 is a request for site and architectural review and approval for the construction of forty-six (46) attached row houses on 2.5 acres including a tot lot.

PROJECT PLANNER:

Alejandro Rico, Associate Planner

BACKGROUND INFORMATION:

Land Use Designations:

File #: 21-2462Agenda Date: 9/19/2023Agenda #: PH-BCategory: Public Hearing

	General Plan Designation	Zoning District Form Based Code	Existing Land Use
Site:	Walkable Mixed-Use Corridor & Downtown (WMXU-1)	Route 66 Gateway	Vacant Lot
North:	Walkable Mixed-Use Corridor & Downtown (WMXU-1)	Route 66 Gateway	Vacant Lot and Commercial Shopping Center
South:	Walkable Mixed-Use Corridor & Downtown (WMXU-1)	Route 66 Gateway	Vacant Lot
East:	Walkable Mixed-Use Corridor & Downtown (WMXU-1)	Route 66 Gateway	Single-Family Residences
West:	Walkable Mixed-Use Corridor & Downtown (WMXU-1)	Route 66 Gateway	Vacant Lot

PROJECT DESCRIPTION:

A. Project Area: Approximately 2.5

B. Building Analysis:

Plan 1:	2 bedrooms, 2 baths	4 units	1,095 square feet
Plan 2:	2 bedrooms, 2 baths	16 units	1,153 square feet
Plan 3:	4 bedrooms, 3 baths	22 units	1,143 square feet
Plan 4:	3 bedrooms, 3 baths	2 units	1,243 square feet
Plan 5:	3 bedrooms, 3 baths	2 units	1,246 square feet

C. Parking Analysis:

Required:

1.5 Spaces for units of two (2) bedrooms or more 69 parking spaces are required

Proposed:

Two garage spaces per unit 92 total parking spaces

ANALYSIS:

The applicant, Calabash Fontana Holding LLC ("Applicant"), is requesting that the Planning Commission review and approve Tentative Tract Map No. 21-005 (TTM No. 20498) and Design Review No. 21-042 to construct forty-six (46) attached rowhome units and a tot lot. The proposed unit's range in size from 1,095 square feet to 1,246 square feet and will be constructed within the Route 66 District of the Form Based Code.

Tentative Tract Map:

The proposed Tentative Tract Map No. 21-005 (Tract No. 20498) is intended to allow the developer to sell each unit for condominium purposes. A Homeowners Association (HOA) will be established for maintenance of the public areas such as the drive aisles, landscaping and recreation area. The

File #: 21-2462 Agenda Date: 9/19/2023
Agenda #: PH-B Category: Public Hearing

applicant is proposing forty-six (46 units on a 2.5 acre site which calculates to a density of 18.4 units per acre. This density is within the eighteen (18 to thirty-nine (39 units per acre range that is required in the Route 66 District.

Vehicular access to the site will come from Calabash Avenue located to the east of the project site. Foothill Boulevard, which is a Major Highway, is approximately 260 feet north. The entry to the site is gated but allows a turnaround space for vehicles to exit the site.

Design Review:

The project site is located within the Route 66 District of the Form Based Code which requires that an applicant select a specific building and entry type. The Applicant is proposing row house style buildings with a progressive Tuscany architectural style. Row houses are intended to be a series of attached units that are side by side with ground floor access. An asymmetrical design is shows elevation plans that vary in height, architectural design and color for each row house. The architecture features a progressive Tuscany design with tile roofs, shutters, window tails, window ledges, stone veneer and parapet walls. Porch entries are proposed along Calabash Avenue and the perimeter paseo located throughout the perimeter of the project site. These porches are to be constructed with veneer wrapped columns, pitched roof and carriage lights along the wall. Landscaping is incorporated to the design of the project to enhance the pedestrian experience.

An amenity area is a key feature of the project that includes a tot lot located near the rear of the site. This area is accessed through an interior sidewalk adjacent to the drive aisle and paseos located on the perimeter of the site. The paseos are adjacent to the side and rear property lines and will include landscaping. This layout allows for enhanced visibility from the front entries of the units. The buildings are setback approximately 20 feet from the property line which ensures visibility in this common area.

Grading/Walls

The existing site is vacant and undeveloped and the Applicant is proposing to install six (6) foot high block walls along the interior and rear property lines for screening purposes. The project site is at a higher grade along the western portion of the site and retaining walls are required. Combined walls are limited to a nine (9) foot height maximum per the Zoning Code and the Applicant is meeting this requirement by offsetting freestanding walls from retaining walls as needed.

Pedestrian access to the site is a key focus of the Form Based Code. Porch entries are proposed along Calabash Avenue and the perimeter of the site to emphasize pedestrian connectivity.

Environmental

The project qualifies for a Categorical Exemption pursuant to Section No. 15332, (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA) and Section No. 3.22 (Class 32-In-Fill Projects) of the 2019 Local Guidelines for Implementing CEQA. This project site is considered In-Fill Development and meets the CEQA requirements of In-fill: (1) The project is consistent with the Walkable Mixed-Use Corridor & Downtown (WMXU-1) General Plan land use designation and the Form Based Code (FBC) Route 66 subdistrict designation and regulations; (2) The project site is less than five (5) acres at approximately 2.5 adjusted gross acres; (3) The project site is not within any known sensitive or threatened habitat area; (4) The project site will not have any

File #: 21-2462
Agenda #: PH-B
Agenda Date: 9/19/2023
Category: Public Hearing

significant effect related to traffic, noise, air quality, or water quality; and (5) There are adequate public utilities services for the development of the proposed condominium complex.

MOTION:

Approve staff's recommendation

ATTACHMENTS:

- 1. Vicinity Map
- 2. Project Plans
- 3. Planning Commission Resolution, Finding, and Conditions of Approval
- 4. Notice of Exemption
- 5. Notice of Public Hearing



Project Site

NORTH



VICINITY MAP

DATE: September 19, 2023

CASE: Master Case No. 21-106

Tentative Tract Map No. 20498

(TTM NO. 21-005)

Design Review No. 21-042

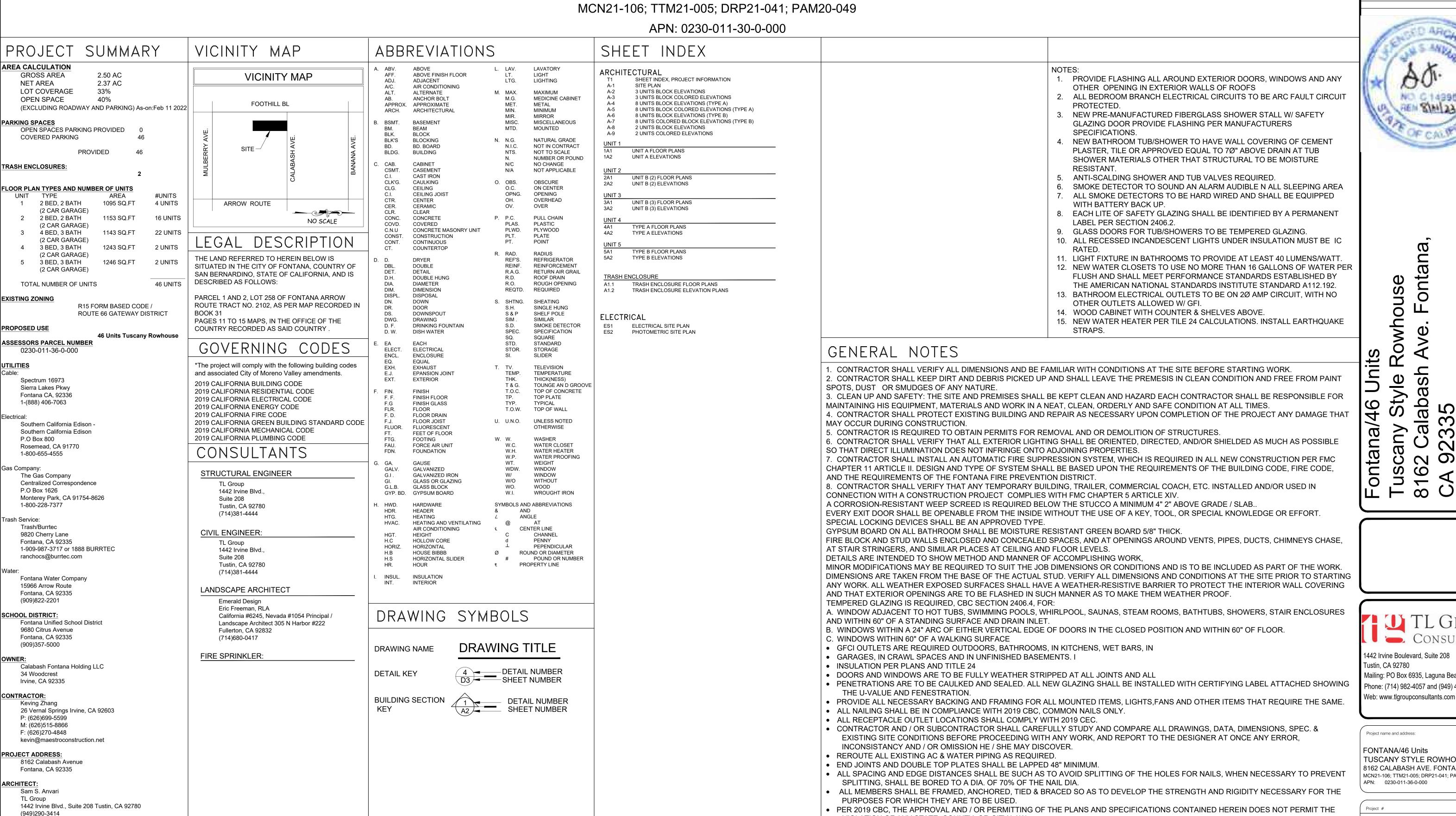
CONSTRUCTION TYPE

OCCUPANCY TYPE

Fontana CA/46 Units

Progressive Tuscany Style

8162 Calabash Ave. Fontana, CA 92335



DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER

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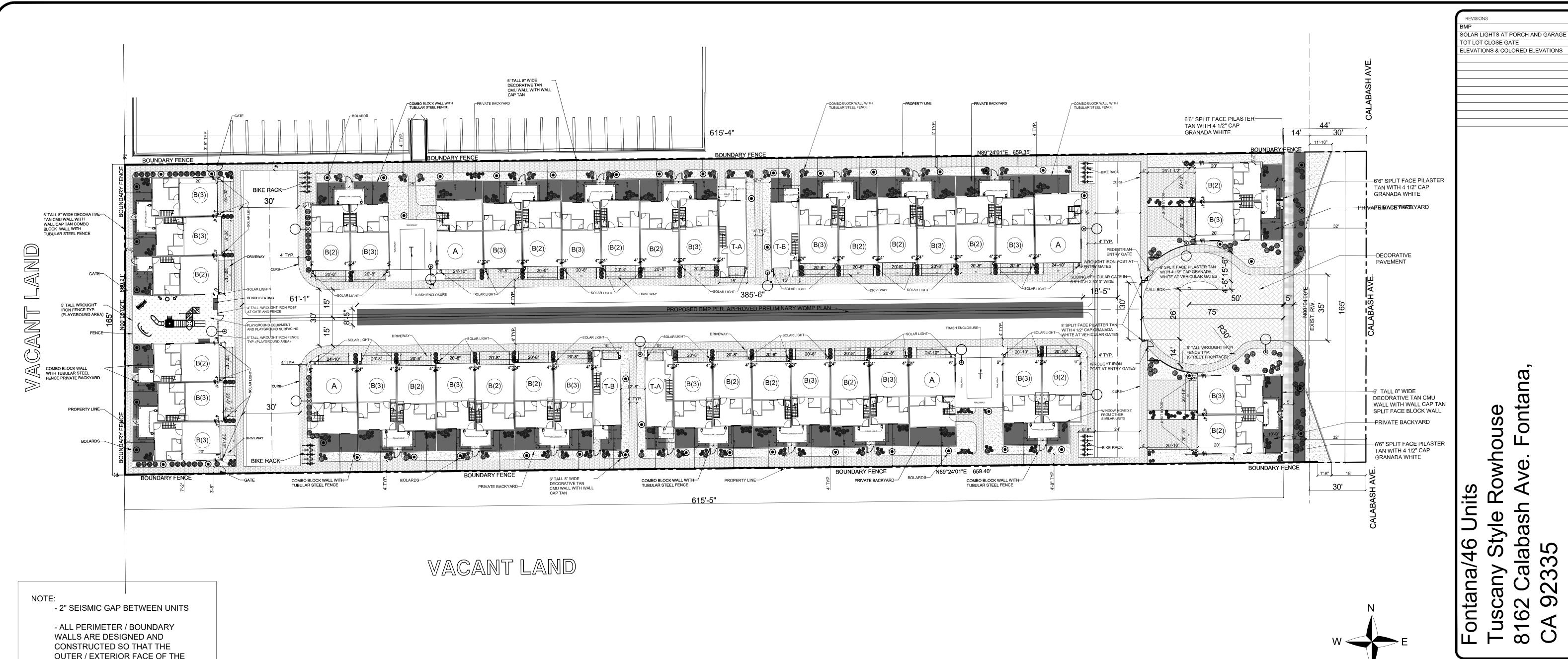
TL Group

1442 Irvine Boulevard, Suite 208 Tustin. CA 92780 Mailing: PO Box 6935, Laguna Beach, CA 92607 Phone: (714) 982-4057 and (949) 457 1617

Project name and address:

FONTANA/46 Units TUSCANY STYLE ROWHOUSE 8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000

ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED & BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE	
PURPOSES FOR WHICH THEY ARE TO BE USED.	
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PER 2019 CBC, THE APPROVAL AND / OR PERMITTING OF THE PLANS AND SPECIFICATIONS CONTAINED HEREIN DOES NOT PERMIT THE	Project #
VIOLATION OF ANY STATE, COUNTY, OR CITY LAW.	Date: JULY 01, 2023
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SITE DATA	1		
Zoning	Fror	n-Based Code	
Gross lot area	108,802 SF		
Net lot area	101,541 SF	100 %	
Buildings footprint	73,215 SF		
Drive aisle			
Drive pathways	24,806 SF		
Landscape/Playground %	21,019 SF	24 %	
DENSITY CALCU	LATION		
Acreage: 108,900 SF-43,560		2.5 Acres	
Allowable Density	18 to 39 units/Acre		
Number of units proposed	46		
Proposed density: 46/2.5	18.4		
PARKING CALCU	LATION		
Required parking:			
3-bedroom units: 46x1.5		69	
Guest Parking			
Proposed Parking			
46x2-car garages		92	

WALLS IS CLOSE TO THE LOT LINE

WITHIN 2 INCHES.

LEGAL DESCRIPTION THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF FONTANA, COUNTRY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 AND 2, LOT 258 OF FONTANA ARROW ROUTE TRACT NO. 2102, AS PER MAP RECORDED IN BOOK 31 PAGES 11 TO 15 MAPS, IN THE OFFICE OF THE COUNTRY RECORDED AS SAID COUNTRY.

ASSESSOR'S PARCEL NO. 0230-011-36-0-000

OWNER APPLICANT CALABASH FONTANA HOLDING LLC 34 WOODCREST IRVINE, CA 92603

EXHIBIT PREPARER TL GROUP CONSULTANTS

EXHIBIT PREPARED FEBRUARY 28, 2022

PROJECT DESCRIPTION 46 UNITS TUSCANY STYLE ROWHOUSE

PROPERTY ADDRESS 8162 CALABASH AVE, FONTANA, CA

R15 FORMED BASE CODE / **ROUTE 66 GATEWAY DISTRICT**

BASIS OF BEARING THE BEARING SHOWN HERE ARE BASED UPON THE CENTERLINE OF CALABASH AVENUE BEING N 0°04" 00" E AS SHOWN ON TRACT NO. 2102 FONTANA ARROW ROUTE TRACT, FILED IN BOOK 31, PAGE 11 THROUGH 15 OF MAPS, RECORDS OF SAN BERNARDINO, COUNTY.

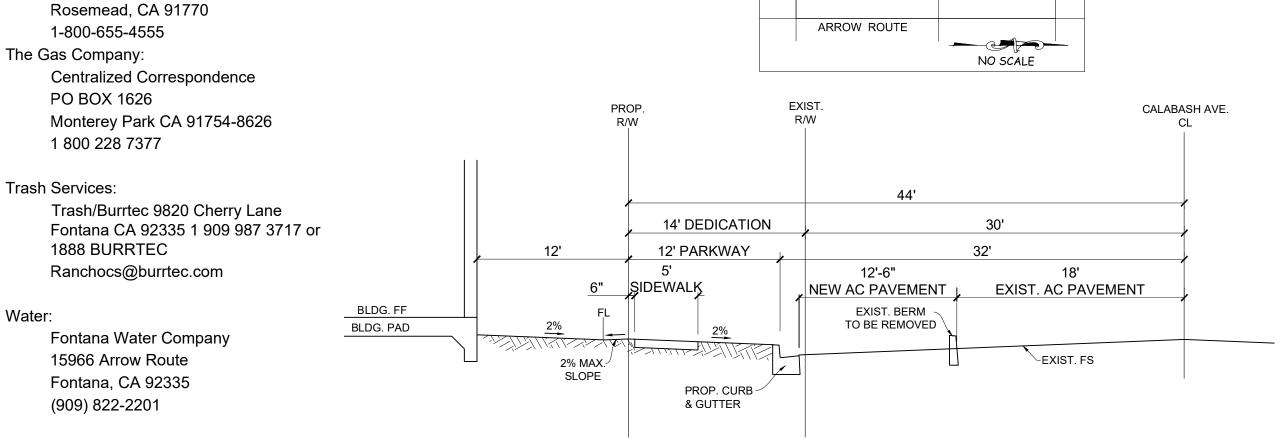
LOT SIZE 103,290 S.F.

LOT COVERAGE

SCHOOL DISTRICT: Fontana Unified School District 9680 Citrus Avenue Fontana, CA 92335 (909) 357-5000

UTILITIES: Public Works Department Cable: 16489 Orange Way Fontana, CA 92335 16973 Sierra Lakes Pkwy Fontana, CA 92336 (909) 350-6760 1-(888) 406-7063 Electrical: Southern California Edison - Southern California Edison P.O Box 800 Rosemead, CA 91770

FOOTHILL BL SITE -ARROW ROUTE NO SCALE EXIST. PROP. R/W



ontana Tuscany a 0 2 816,

SCALE: 1" = 25'

VICINITY MAP

TL GROUP CONSULTANTS 1442 Irvine Boulevard, Suite 208

21-106

Tustin, CA 92780 Mailing: PO Box 6935, Laguna Beach, CA 92607 Phone: (714) 982-4057 and (949) 457 1617 Web: www.tlgroupconsultants.com

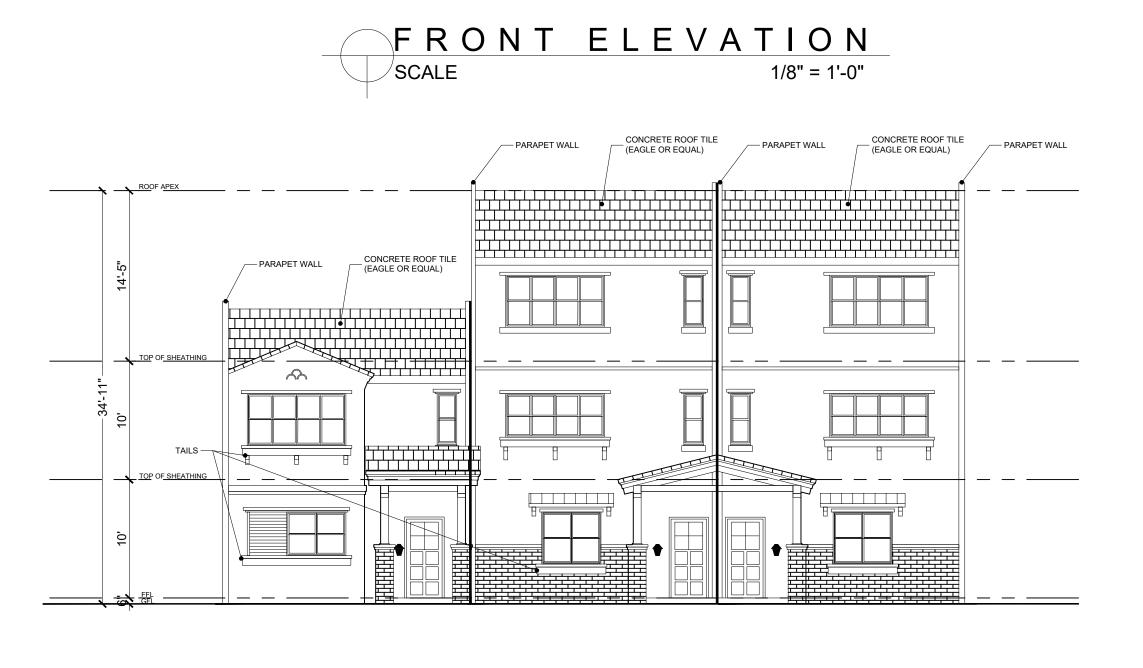
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FONTANA/46 Units

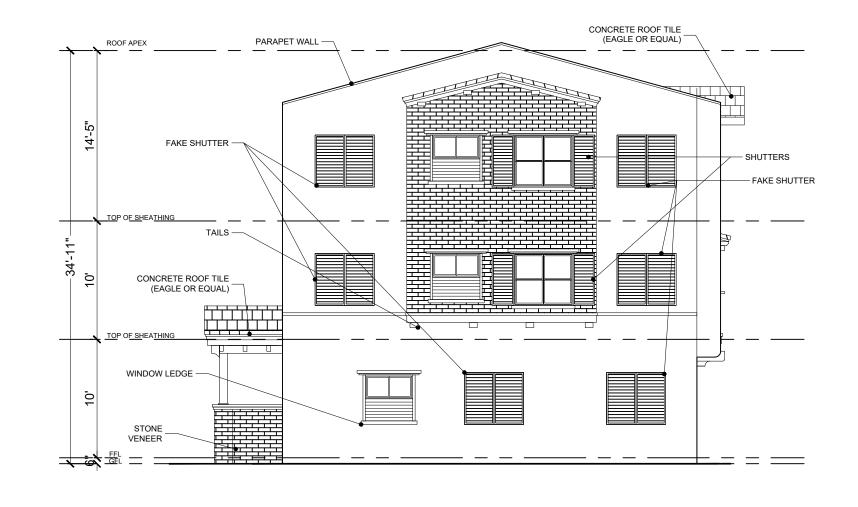
TUSCANY STYLE ROWHOUSE

8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000 Project # Date: JULY 01, 2023 Sheet title : SITE PLAN Scale: AS NOTED

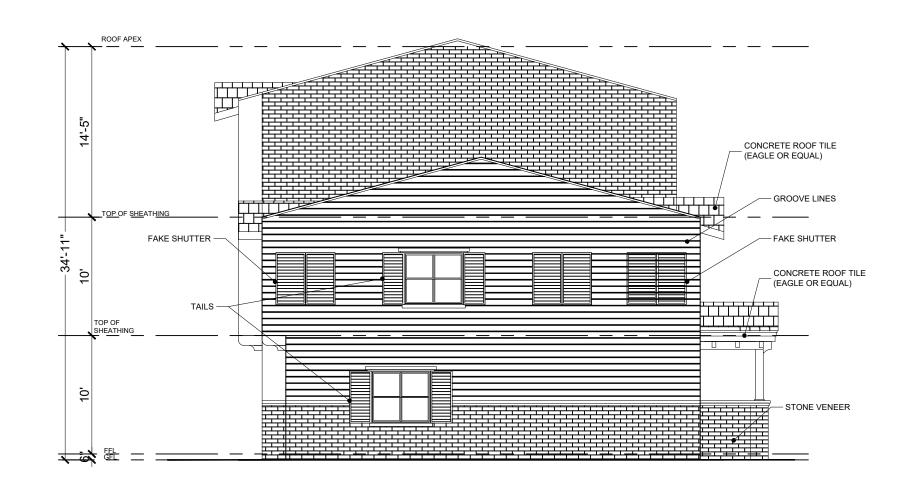




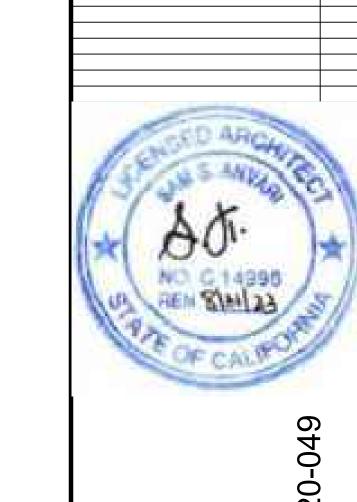












Tuscany Style Rowhouse
8162 Calabash Ave. Fontana,
CA 92335
MCN21-106; TTM21-005; DRP21-041; PAI



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Web: www.tlgroupconsultants.com

Project name and address:

FONTANA/46 Units
TUSCANY STYLE ROWHOUSE
8162 CALABASH AVE. FONTANA, CA 92335
MCN21-106; TTM21-005; DRP21-041; PAM20-049
APN: 0230-011-36-0-000

Project #

Date: JULY 01, 2023

Sheet title:

3 UNITS BLOCK ELEVATIONS

Drawn by:

Scale: AS NOTED

A-2



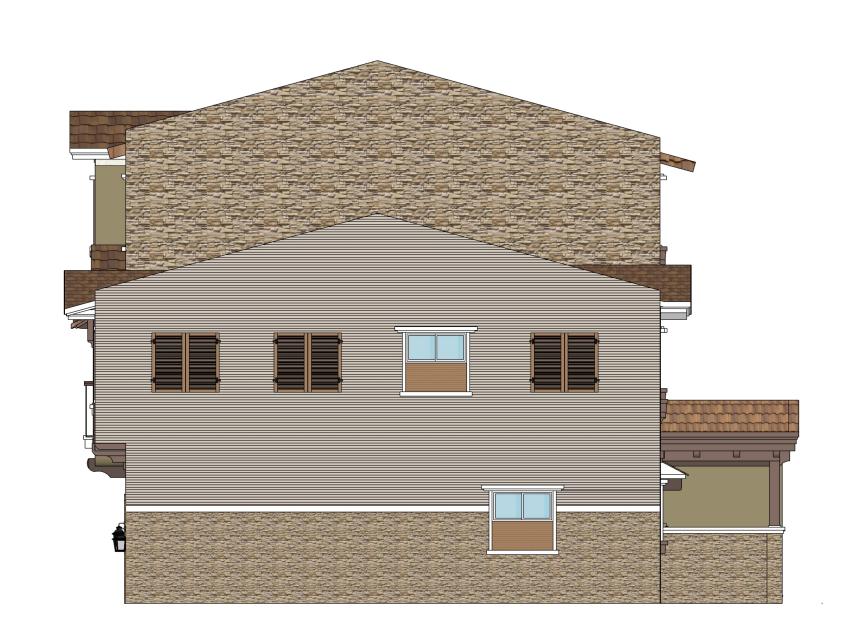
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

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S	cowhouse	Ave. Fontana,	005. DRP21-041. PAM20-049	-

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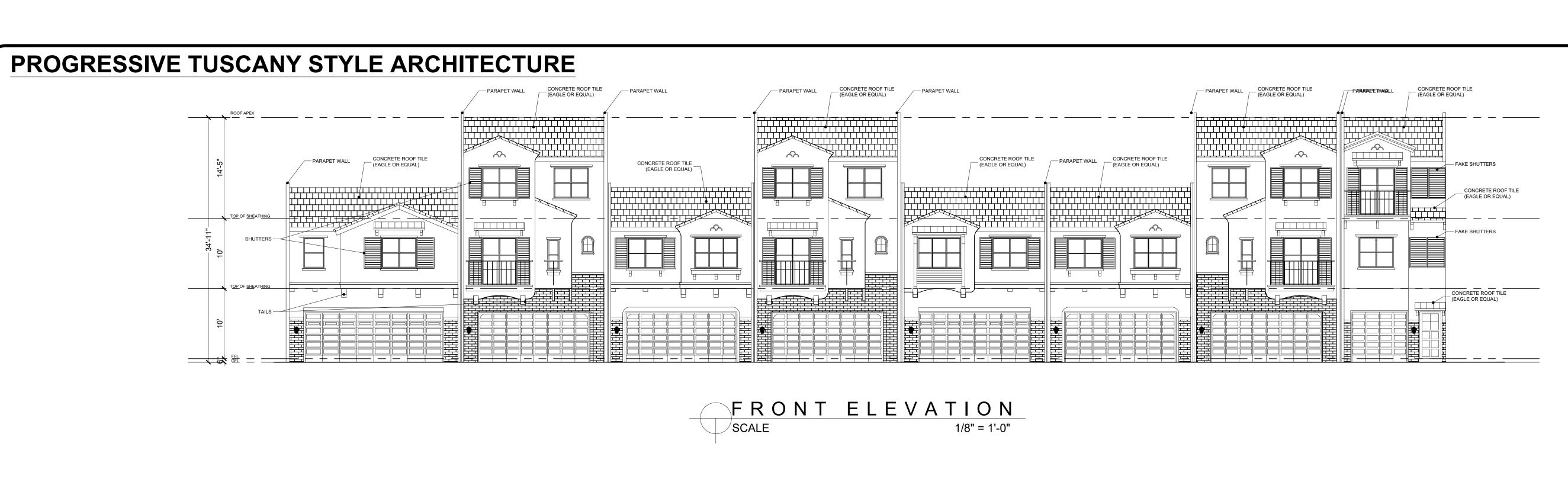
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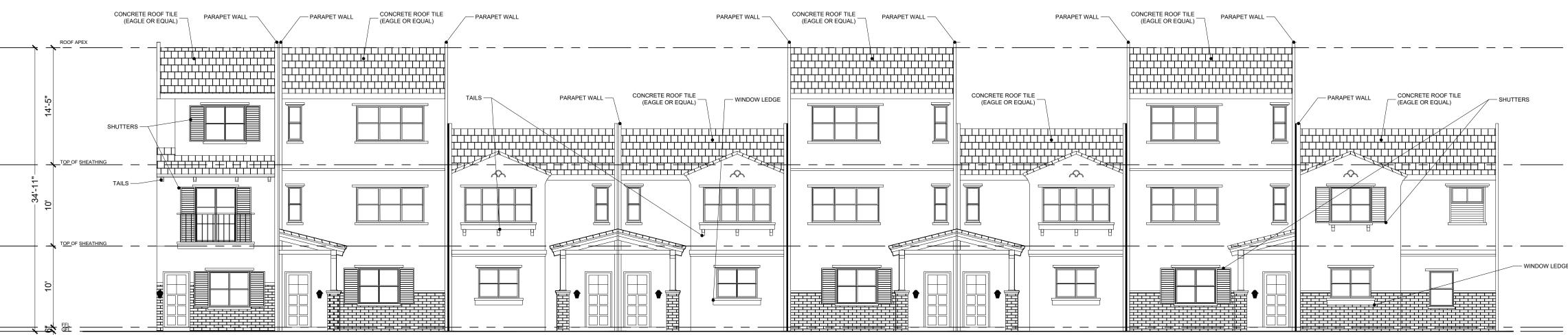
FONTANA/46 Units
TUSCANY STYLE ROWHOUSE
8162 CALABASH AVE. FONTANA, CA 92335
MCN21-106; TTM21-005; DRP21-041; PAM20-049
APN: 0230-011-36-0-000

Project #
Date: JULY 01, 2023
Sheet title:
3 UNITS BLOCK
COLORED ELEVATIONS

Drawn by:
Scale: AS NOTED

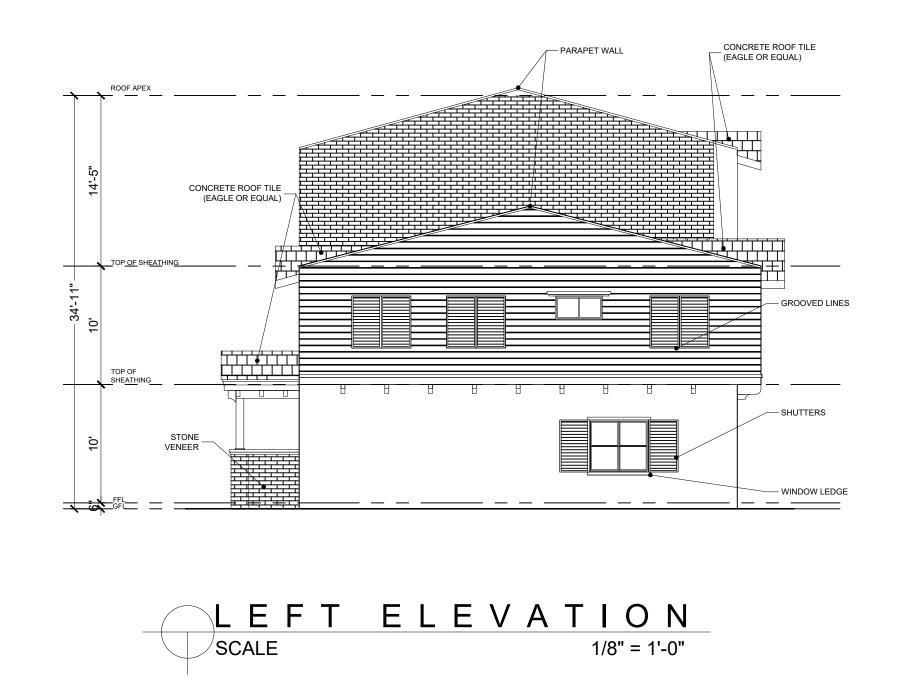
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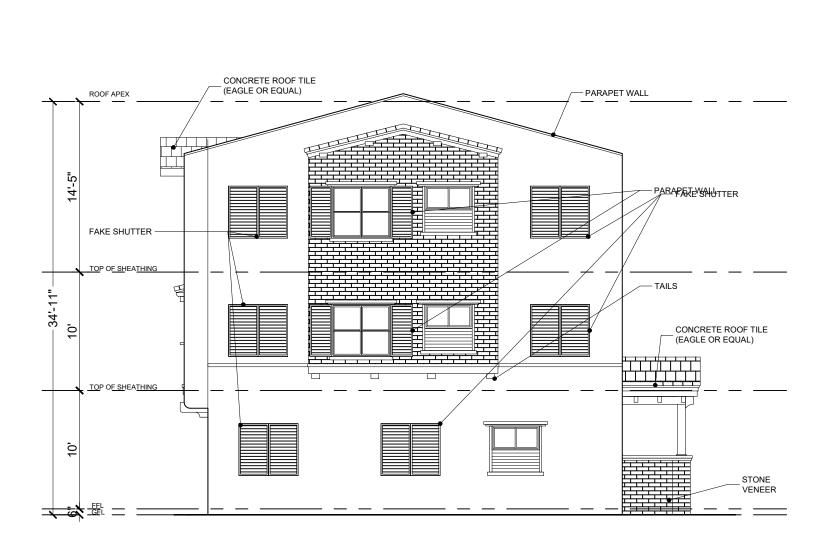




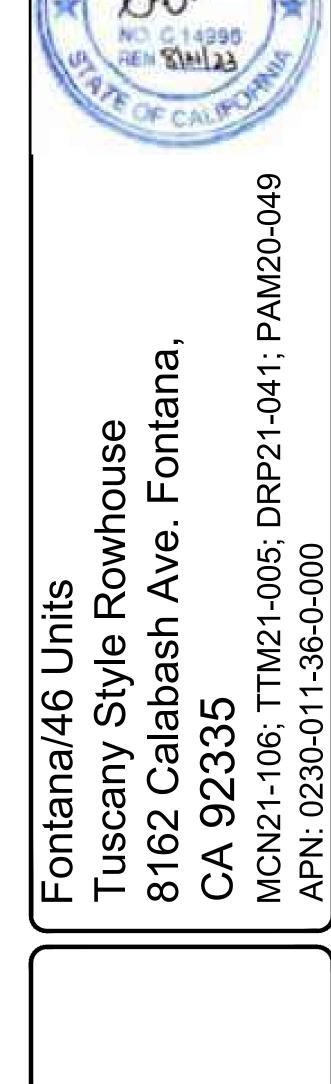
REAR ELEVATION

SCALE 1/8" = 1'-0"





RIGHT ELEVATION
SCALE 1/8" = 1'-0"



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TUSCANY STYLE ROWHOUSE

MCN21-106; TTM21-005; DRP21-041; PAM20-049

8162 CALABASH AVE. FONTANA, CA 92335

8 UNITS BLOCK ELEVATIONS (TYPE A)

A-4

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Phone: (714) 982-4057 and (949) 457 1617

Tustin, CA 92780

Project name and address:

FONTANA/46 Units

APN: 0230-011-36-0-000

Date: JULY 01, 2023

Scale: AS NOTED

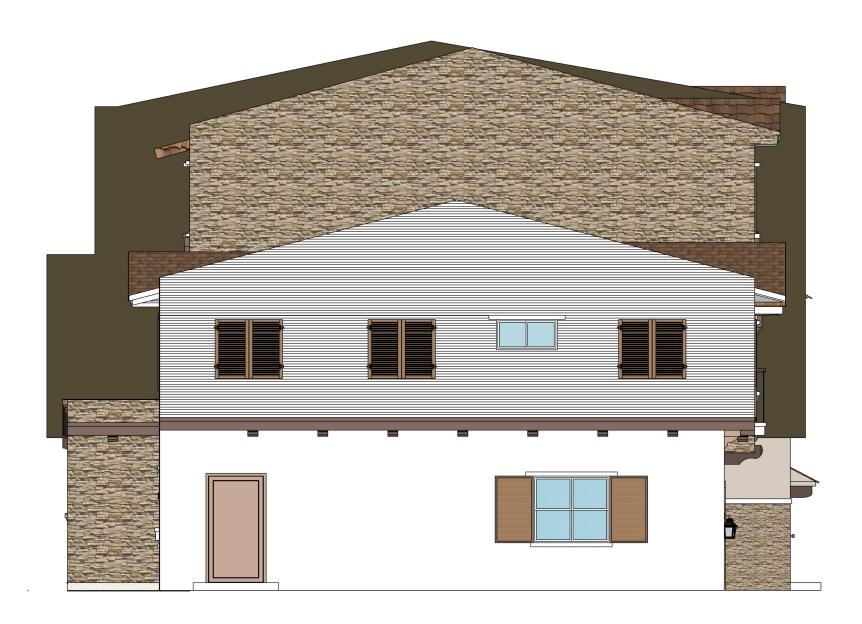
Project #



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Fontana

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Project name and address: FONTANA/46 Units TUSCANY STYLE ROWHOUSE 8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000

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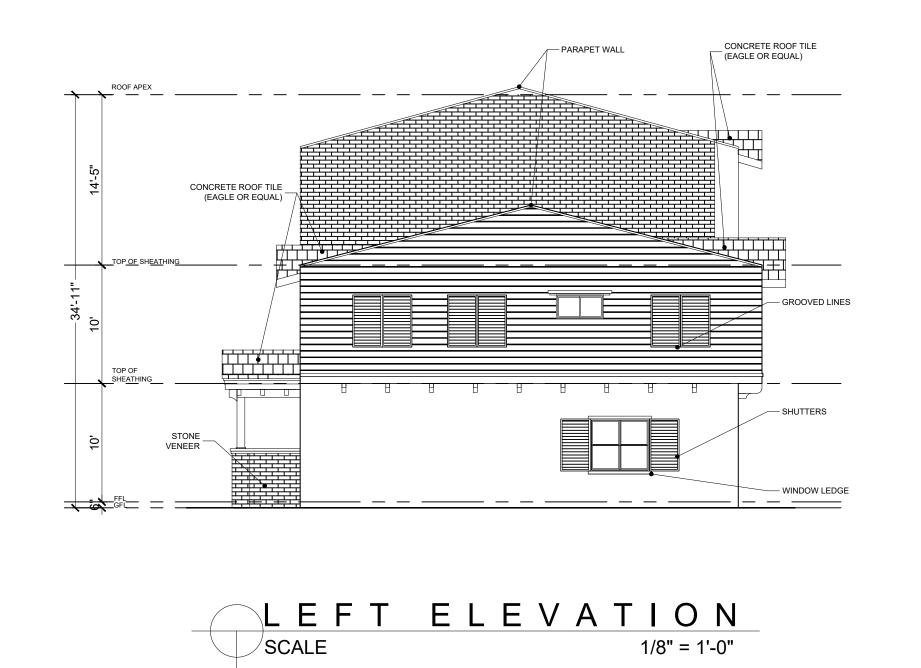
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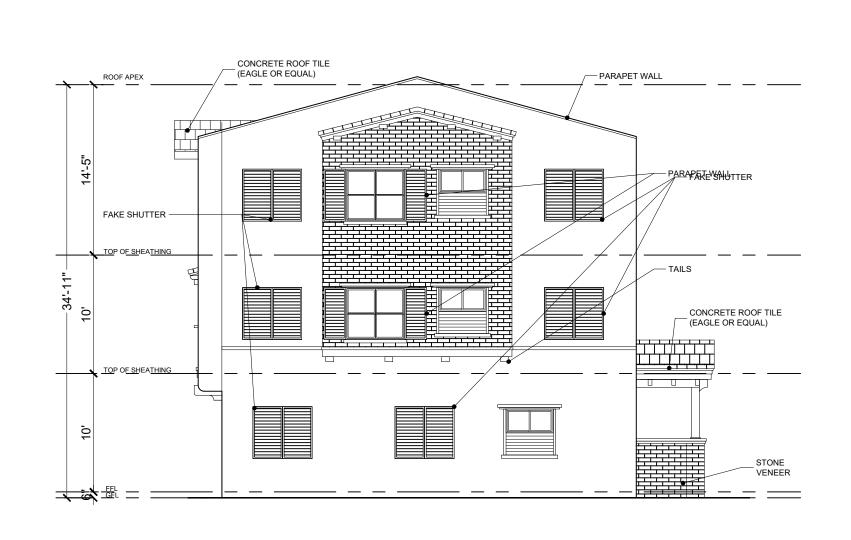




REAR ELEVATION

SCALE 1/8" = 1'-0"





RIGHT ELEVATION

SCALE 1/8" = 1'-0"

Fontana/46 Units

Tuscany Style Rowhouse
8162 Calabash Ave. Fontana,
CA 92335

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TUSCANY STYLE ROWHOUSE

MCN21-106; TTM21-005; DRP21-041; PAM20-049

8162 CALABASH AVE. FONTANA, CA 92335

8 UNITS BLOCK ELEVATIONS (TYPE B)

A-6

Mailing: PO Box 6935, Laguna Beach, CA 92607

Phone: (714) 982-4057 and (949) 457 1617

Tustin, CA 92780

Project name and address:

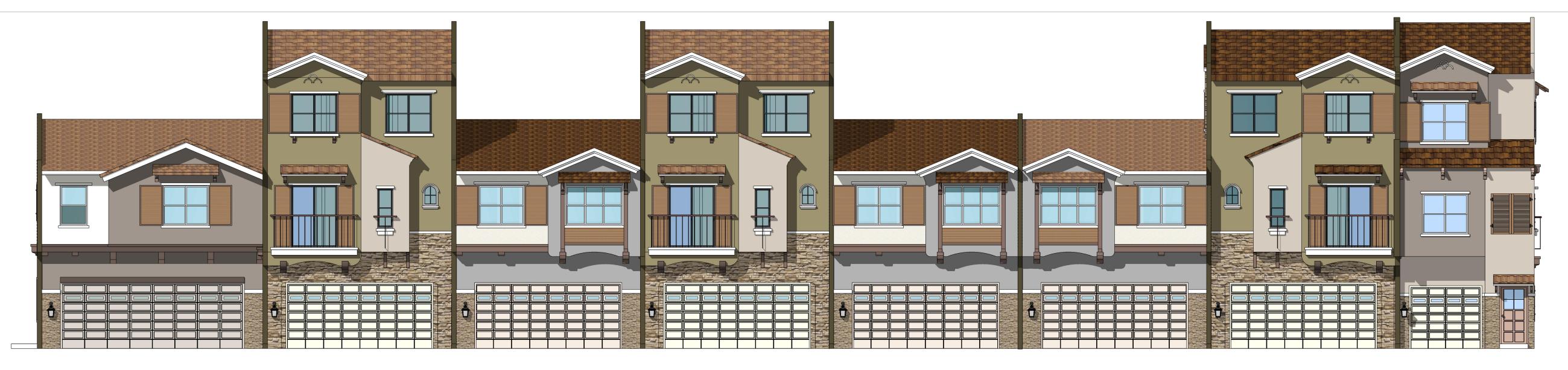
FONTANA/46 Units

APN: 0230-011-36-0-000

Date: JULY 01, 2023

Scale: AS NOTED

Project #



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Fontana/46 Units
Tuscany Style Rowhouse
8162 Calabash Ave. Fontana,

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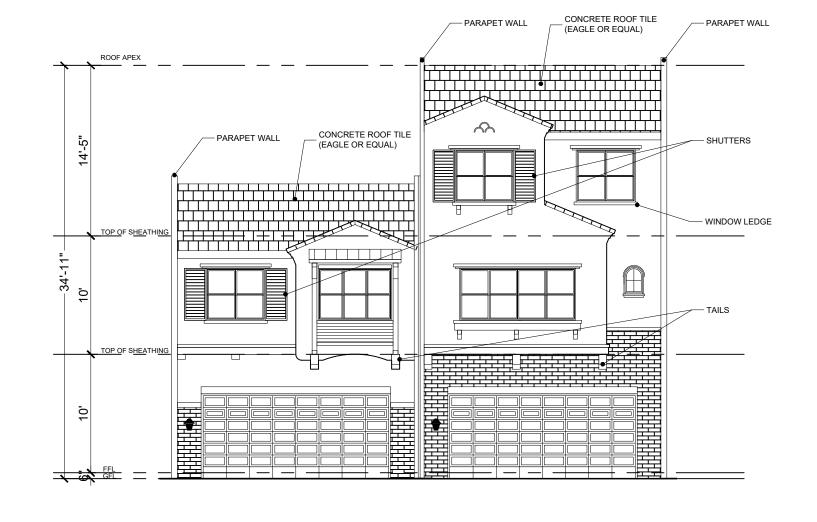
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Tustin, CA 92780

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FONTANA/46 Units
TUSCANY STYLE ROWHOUSE
8162 CALABASH AVE. FONTANA, CA 92335
MCN21-106; TTM21-005; DRP21-041; PAM20-049
APN: 0230-011-36-0-000

Project #
Date: JULY 01, 2023
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8 UNITS BLOCK
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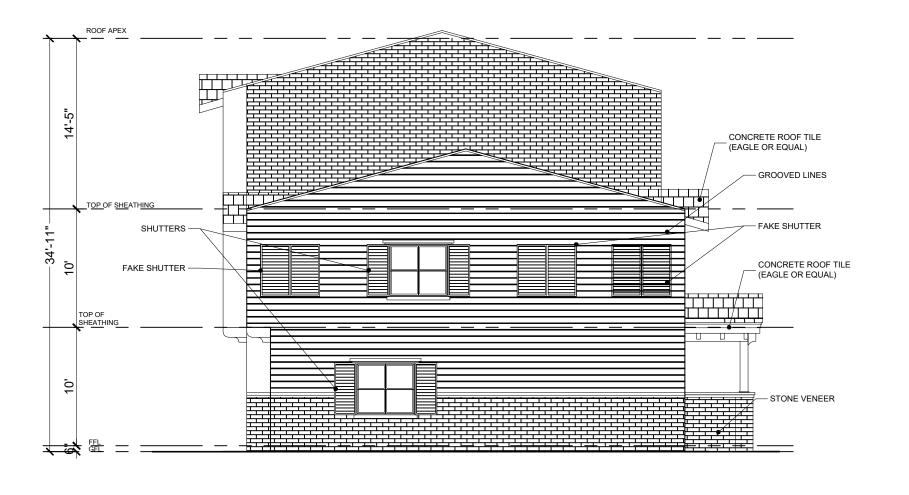




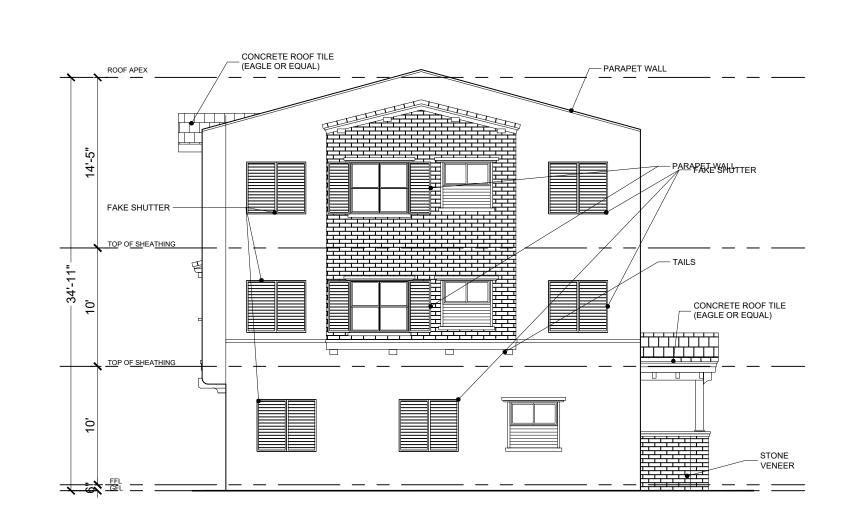


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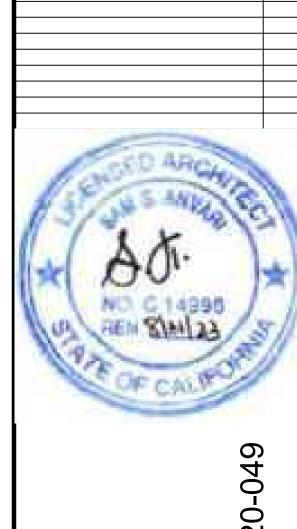
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RIGHT ELEVATION
SCALE 1/8" = 1'-0"



| Fontana/46 Units | Tuscany Style Rowhouse | 8162 Calabash Ave. Fontana, | CA 92335 | MCN21-106; TTM21-005; DRP21-041; PAM20



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Project name and address:

FONTANA/46 Units
TUSCANY STYLE ROWHOUSE
8162 CALABASH AVE. FONTANA, CA 92335
MCN21-106; TTM21-005; DRP21-041; PAM20-049
APN: 0230-011-36-0-000

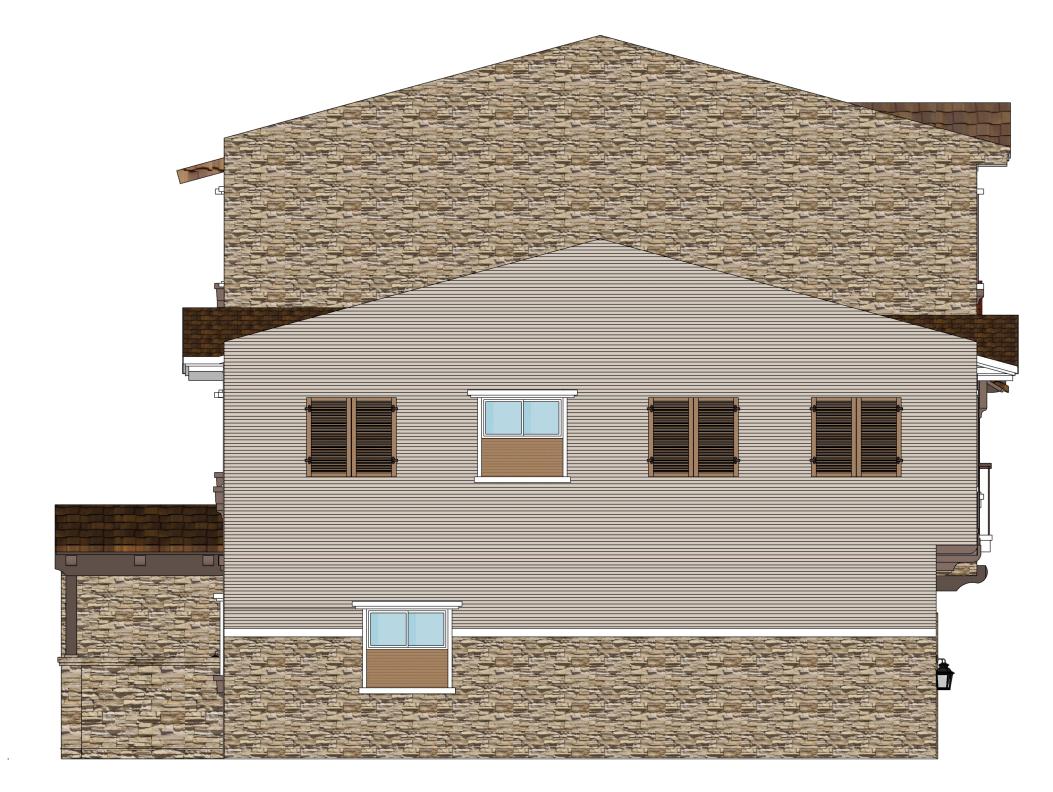
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Date: JULY 01, 2023	
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	A-8
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FRONT ELEVATION



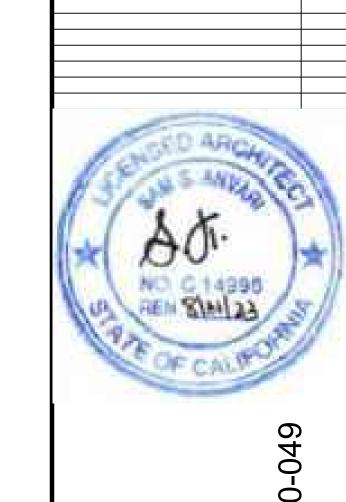
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



Tuscany Style Rowhouse 8162 Calabash Ave. Fontana, CA 92335 MCN21-106; TTM21-005; DRP21-041; PA

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Project name and address:

FONTANA/46 Units
TUSCANY STYLE ROWHOUSE
8162 CALABASH AVE. FONTANA, CA 92335
MCN21-106; TTM21-005; DRP21-041; PAM20-049
APN: 0230-011-36-0-000

Project #

Date: JULY 01, 2023

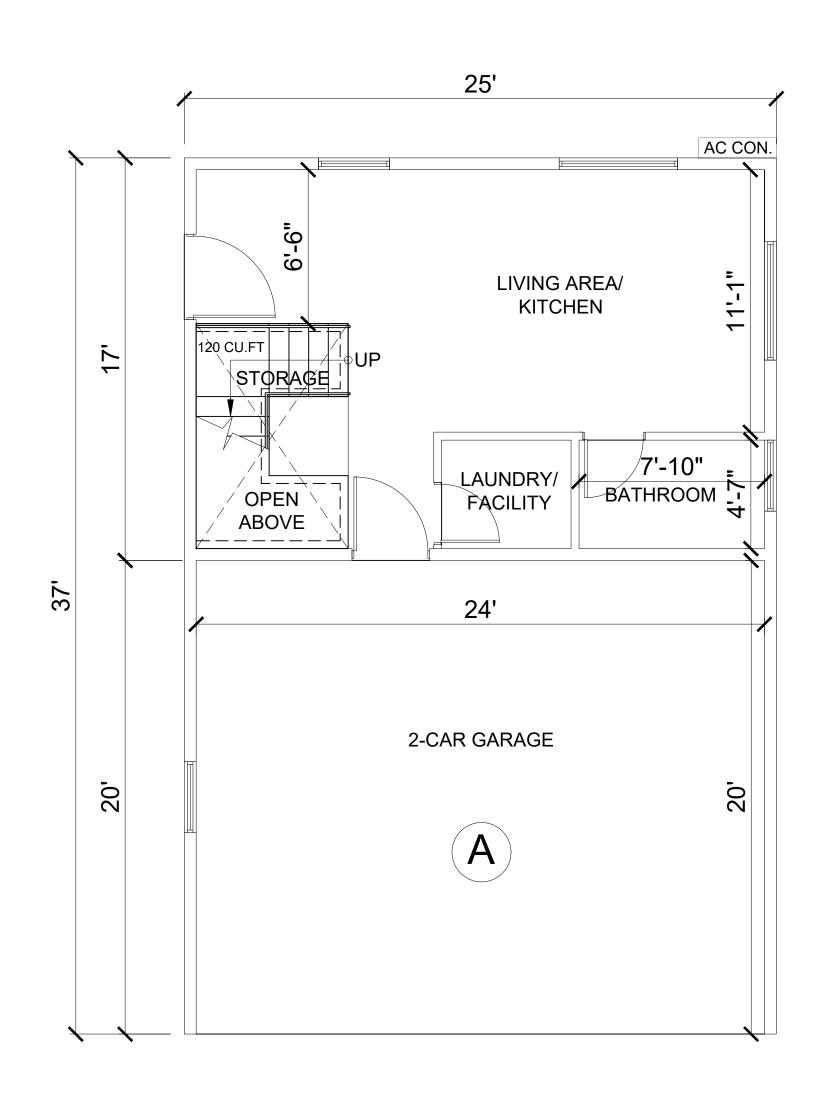
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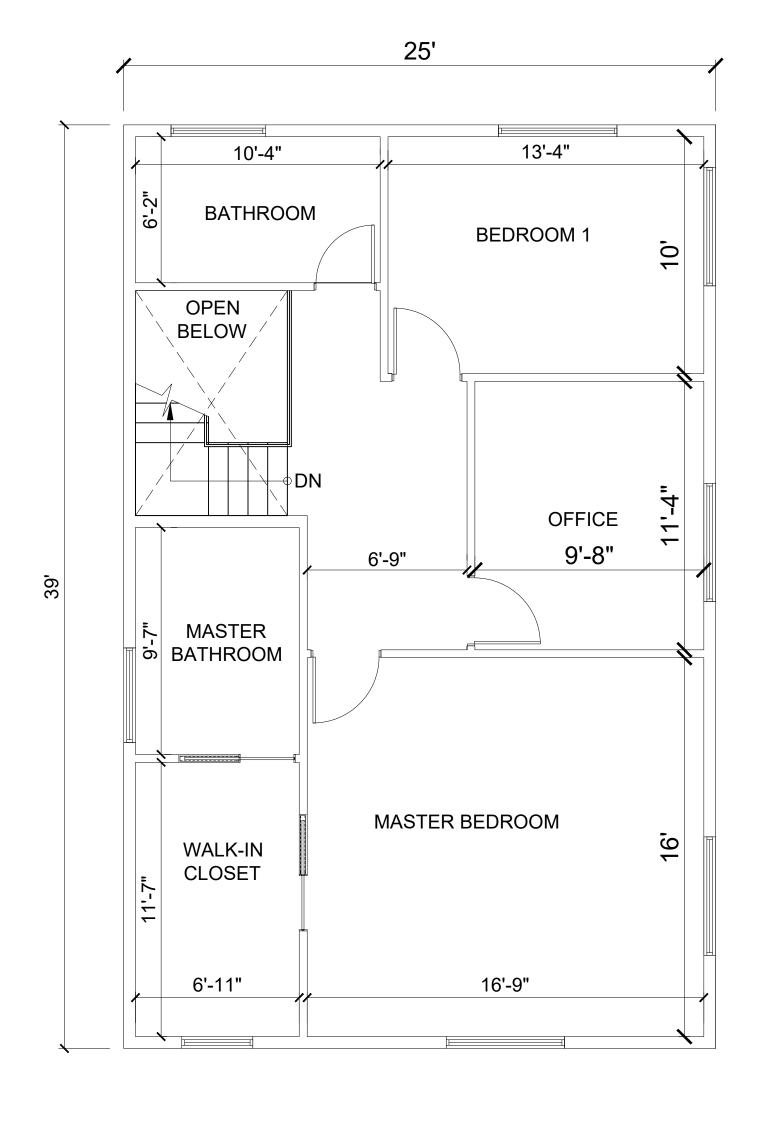
2 UNITS BLOCK
COLORED ELEVATIONS

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FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



NOTE: END UNITS WILL HAVE WINDOWS AT EXPOSED EXTERIOR WALLS.

la,		PAM20-049	
Fontana/46 Units Tuscany Style Rowhouse 8162 Calabash Ave. Fontana	CA 92335	MCN21-106; TTM21-005; DRP21-041; PAN	APN: 0230-011-36-0-000

FONTANA/46 Units
TUSCANY STYLE ROWHOUSE
8162 CALABASH AVE. FONTANA, CA 92335
MCN21-106; TTM21-005; DRP21-041; PAM20-049
APN: 0230-011-36-0-000

Project #

Date: JULY 01, 2023
Sheet title:

UNIT A
FLOOR PLAN

Drawn by:
Scale: AS NOTED

Scale: AS NOTED

TL GROUP CONSULTANTS

Mailing: PO Box 6935, Laguna Beach, CA 92607

Phone: (714) 982-4057 and (949) 457 1617

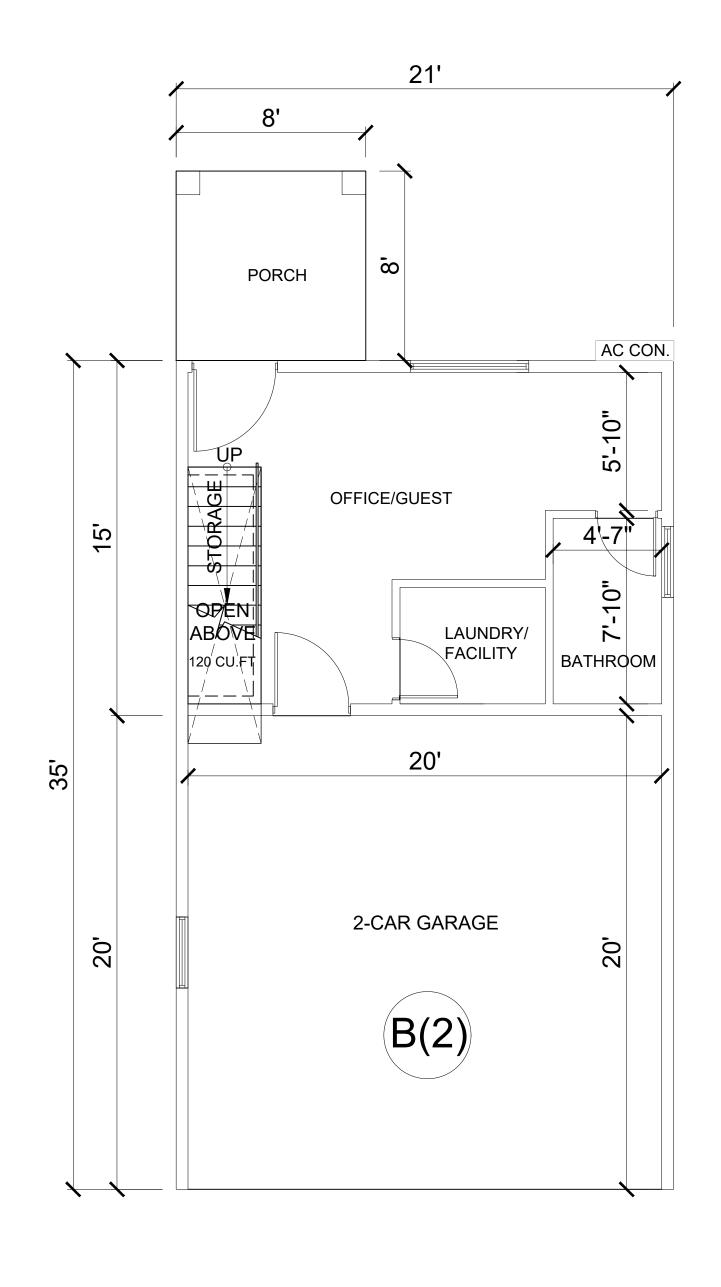
1442 Irvine Boulevard, Suite 208

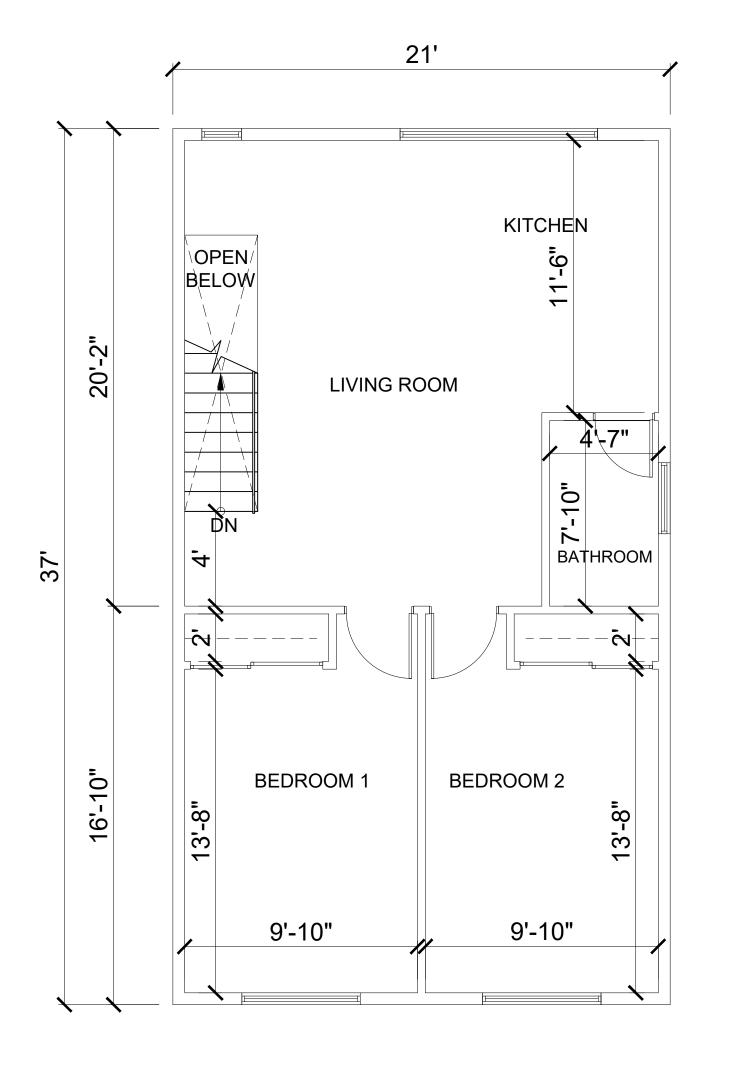
Web: www.tlgroupconsultants.com

Tustin, CA 92780

Project name and address:







FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE: END UNITS WILL HAVE WINDOWS AT EXPOSED EXTERIOR WALLS.

Fontana/46 Units Tuscany Style Rowhouse 8162 Calabash Ave. Fontana, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000	X S	THE WAY AND	\$ 0 1 5 1 5 1 5 1 5 1 5 1 5 1 5 1 5 1 5 1	1. 4998 MINA MINA MINA	No.	
	Fontana/46 Units	Tuscany Style Rowhouse	8162 Calabash Ave. Fontana,	CA 92335		APN: 0230-011-36-0-000

1442 Irvine Boulevard, Suite 208

Web: www.tlgroupconsultants.com

Mailing: PO Box 6935, Laguna Beach, CA 92607

TUSCANY STYLE ROWHOUSE 8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000

> UNIT B(2) FLOOR PLAN

> > 2A1

Phone: (714) 982-4057 and (949) 457 1617

Tustin, CA 92780

Project name and address:

Project #

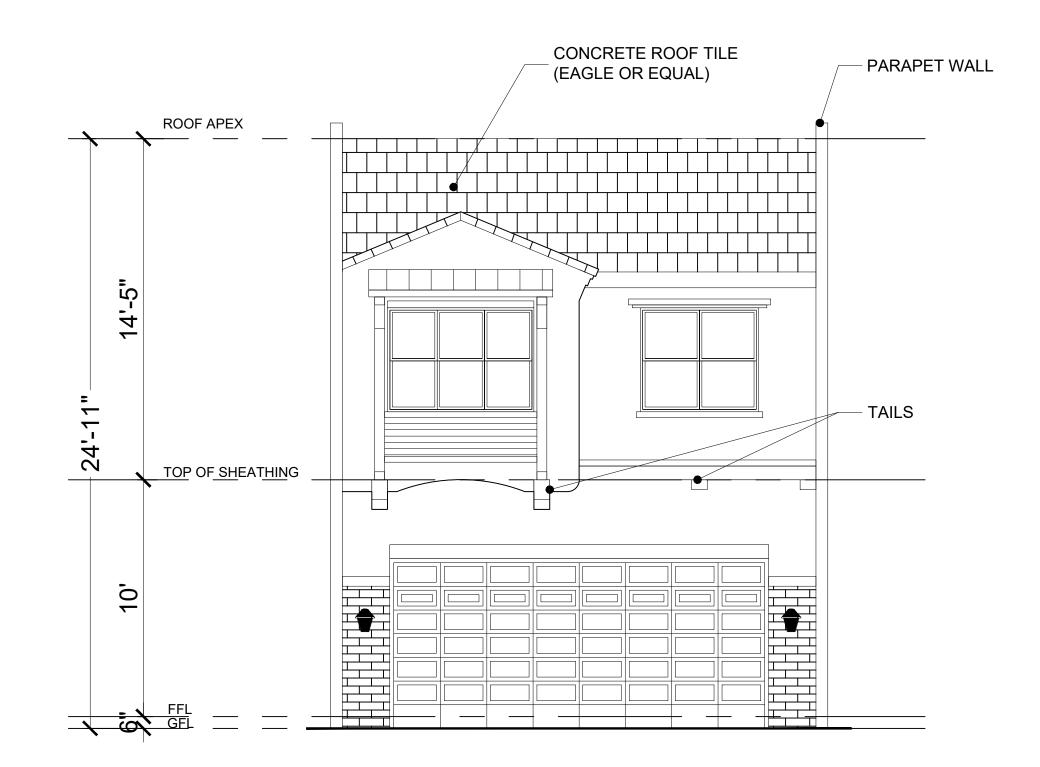
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Date: JULY 01, 2023

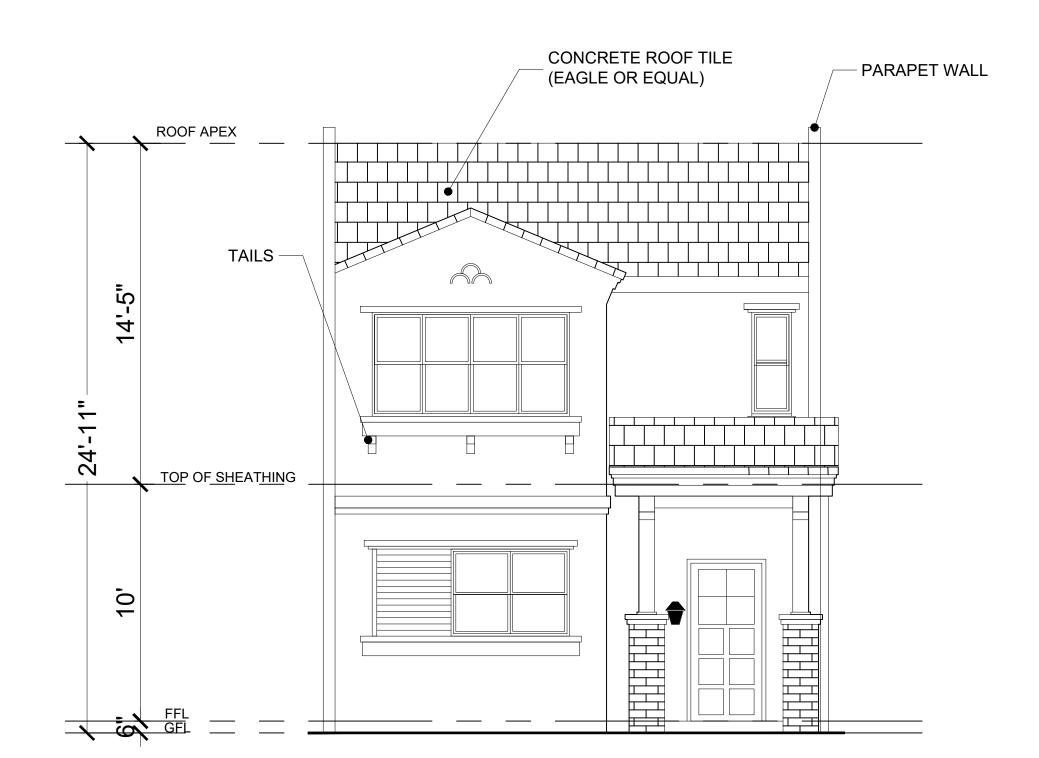
Scale: AS NOTED

FONTANA/46 Units

PROGRESSIVE TUSCANY STYLE ARCHITECTURE



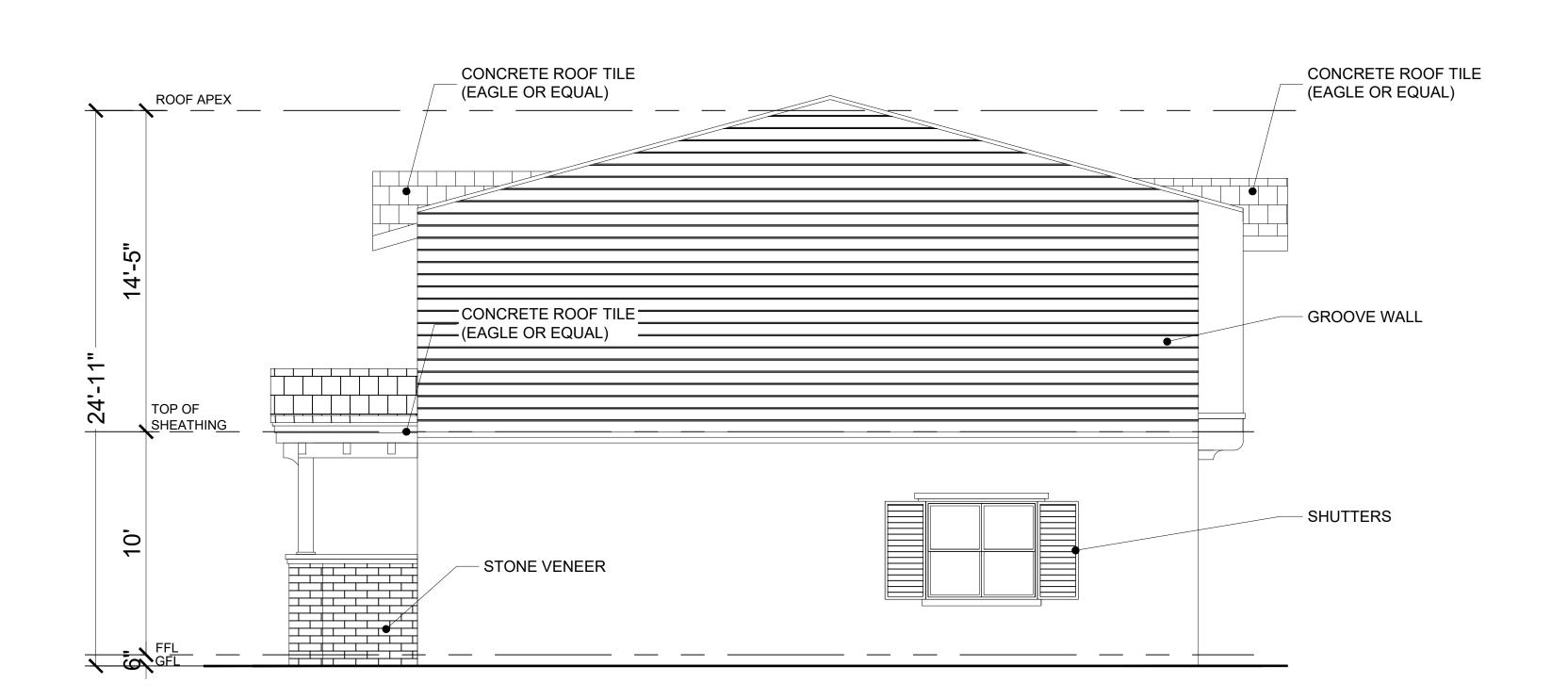




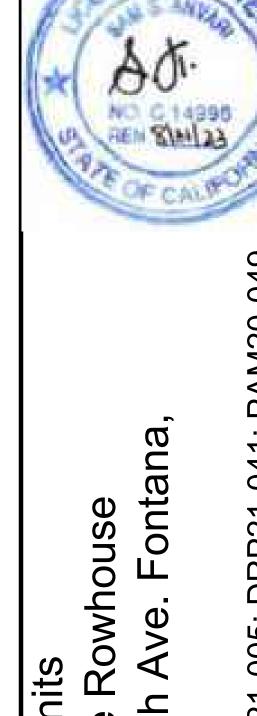




RIGHT ELEVATION
SCALE 1/4" = 1'-0"



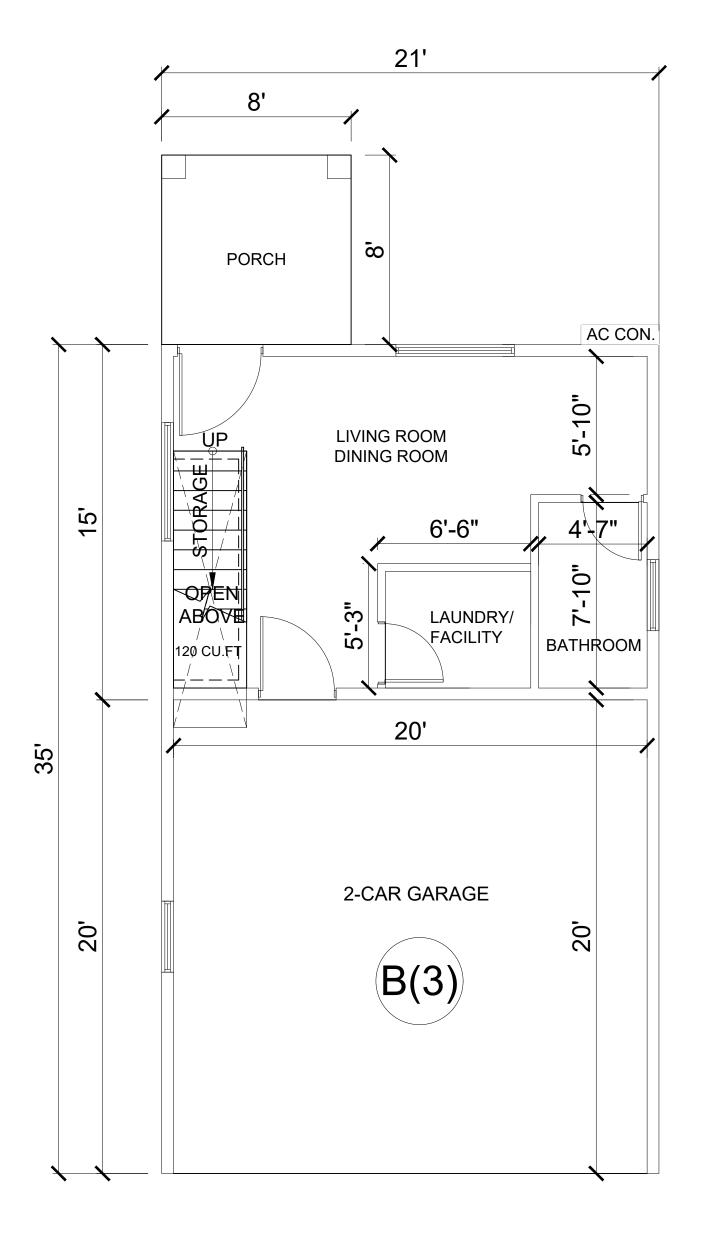
SCALE ELEVATION
1/4" = 1'-0"



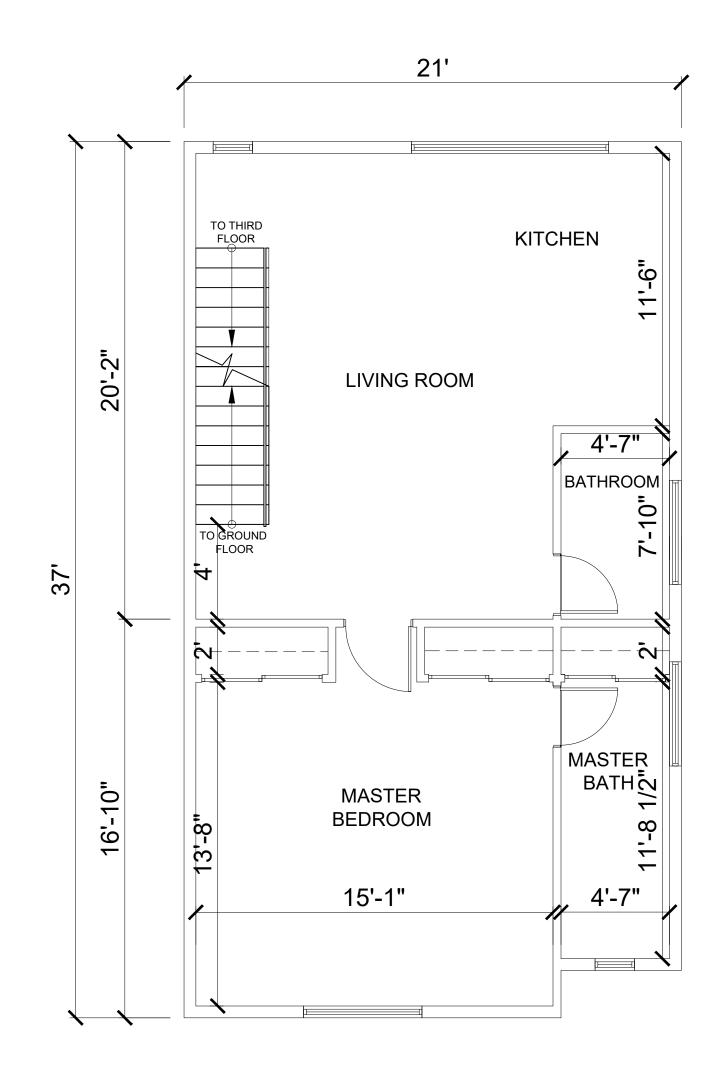
UNIT B(2) ELEVATION PLAN

Date: JULY 01, 2023

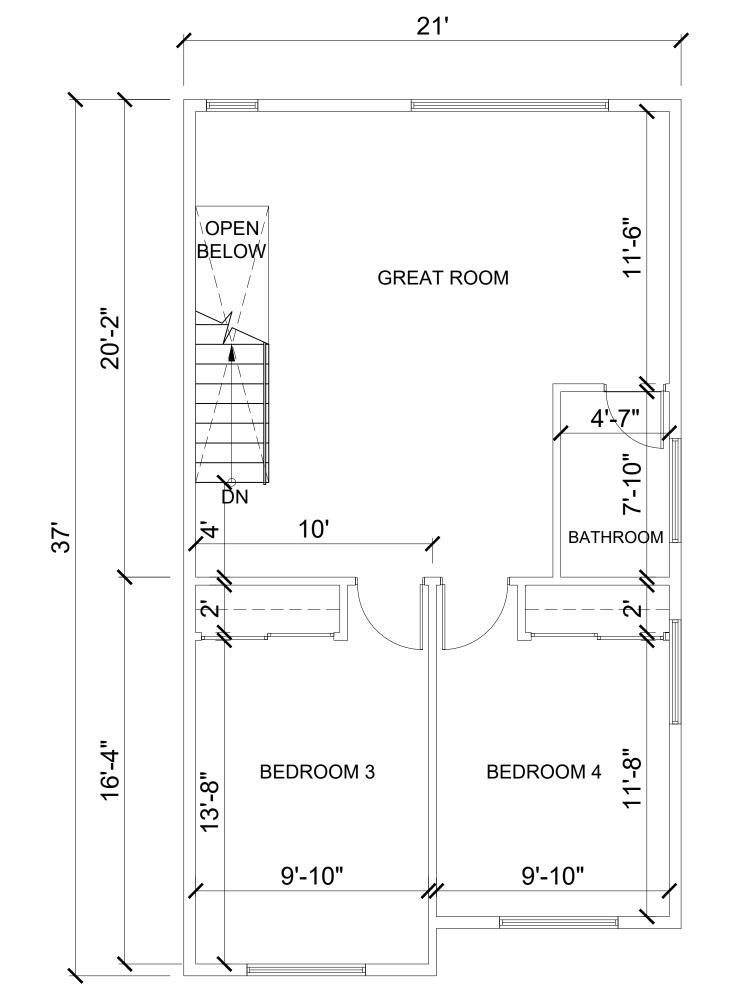
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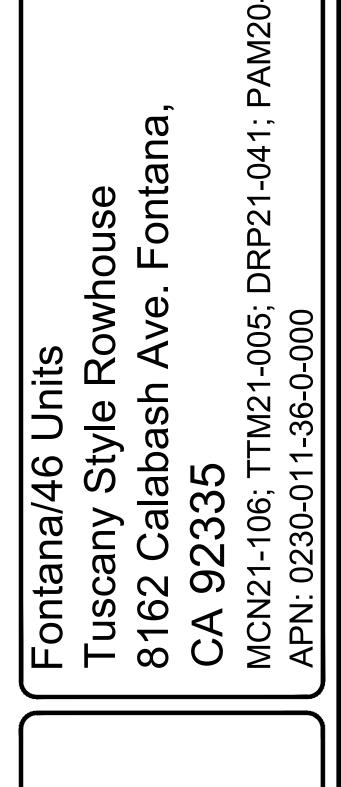


NOTE: END UNITS WILL HAVE WINDOWS AT EXPOSED EXTERIOR WALLS.

1/4" = 1'-0"

THIRD FLOOR PLAN

SCALE



TL GROUP CONSULTANTS

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TUSCANY STYLE ROWHOUSE

8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000

> UNIT B(3) FLOOR PLAN

> > 3A1

Tustin, CA 92780

Project name and address:

Project #

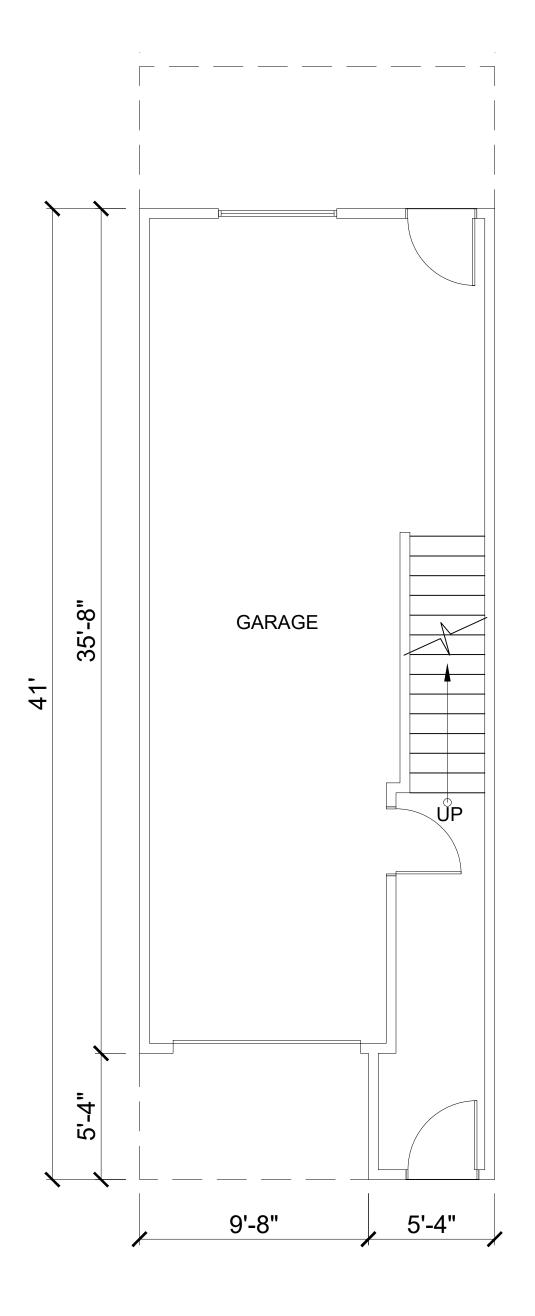
Sheet title :

Date: JULY 01, 2023

Scale: AS NOTED

FONTANA/46 Units

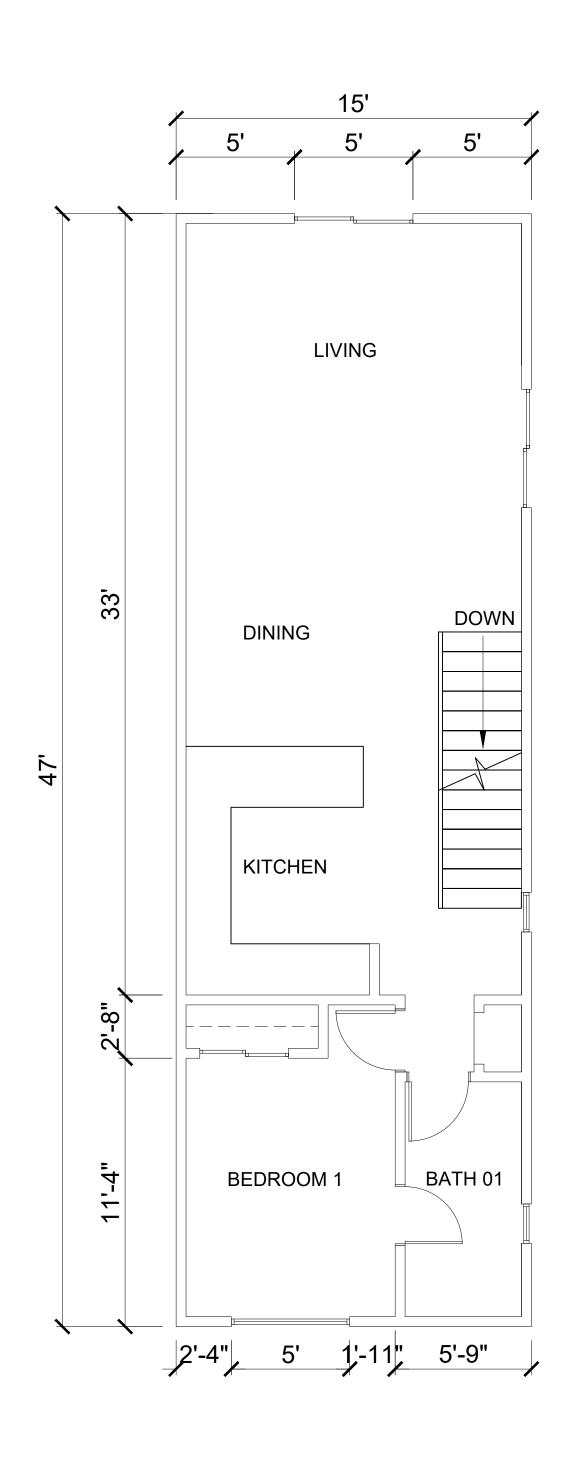




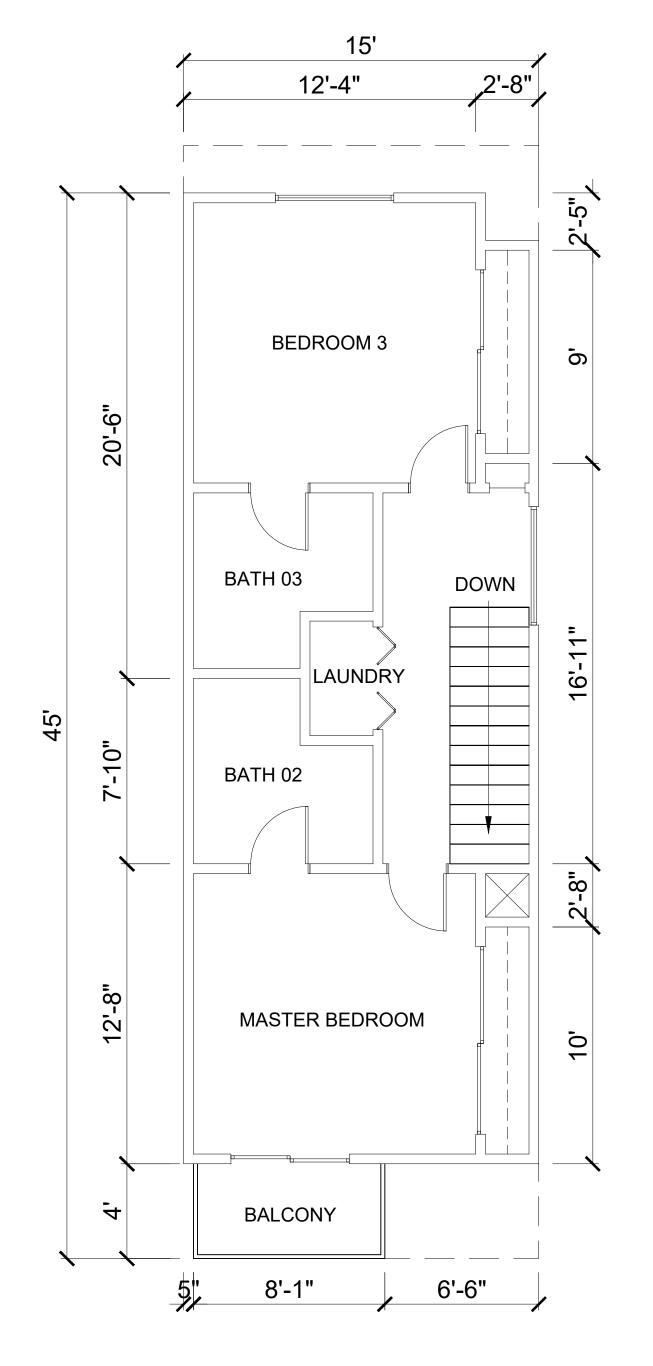
FIRST FLOOR PLAN

1/4" = 1'-0"

SCALE

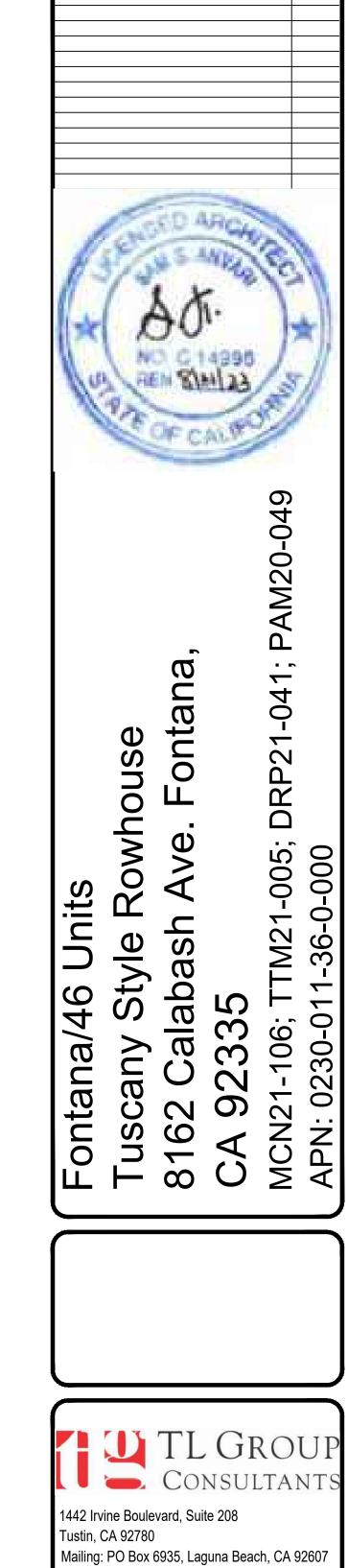








NOTE: END UNITS WILL HAVE WINDOWS AT EXPOSED EXTERIOR WALLS.



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Web: www.tlgroupconsultants.com

TUSCANY STYLE ROWHOUSE

8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000

> TYPE A FLOOR PLAN

> > 4A1

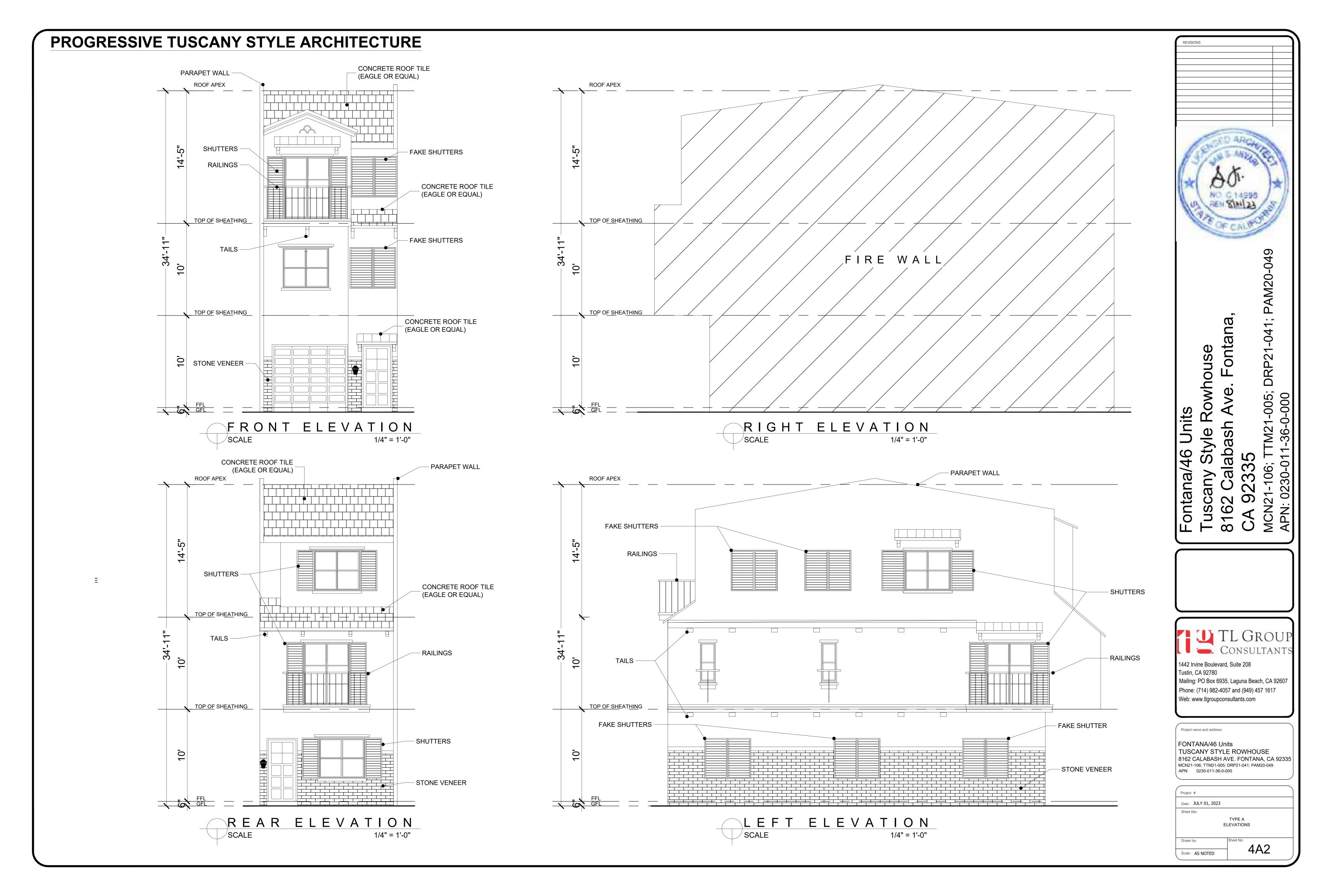
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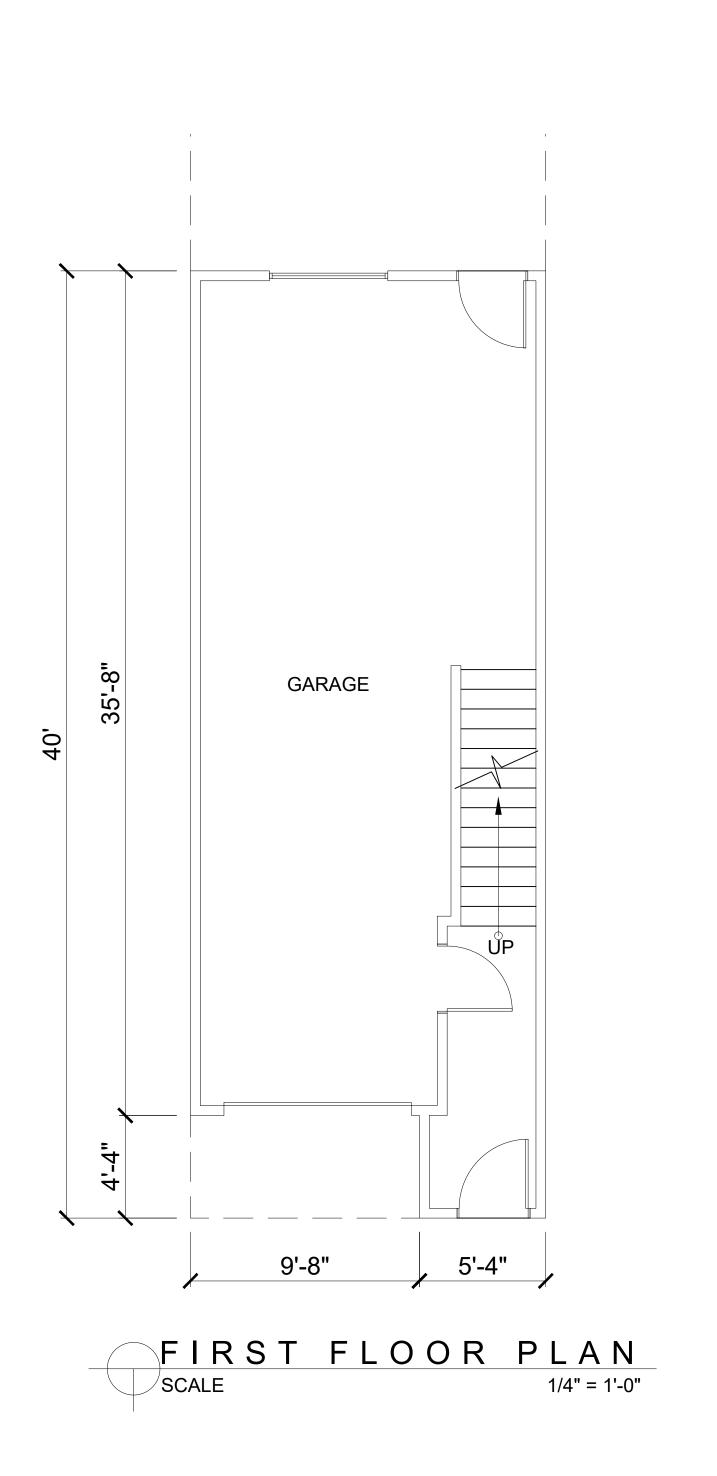
Project #

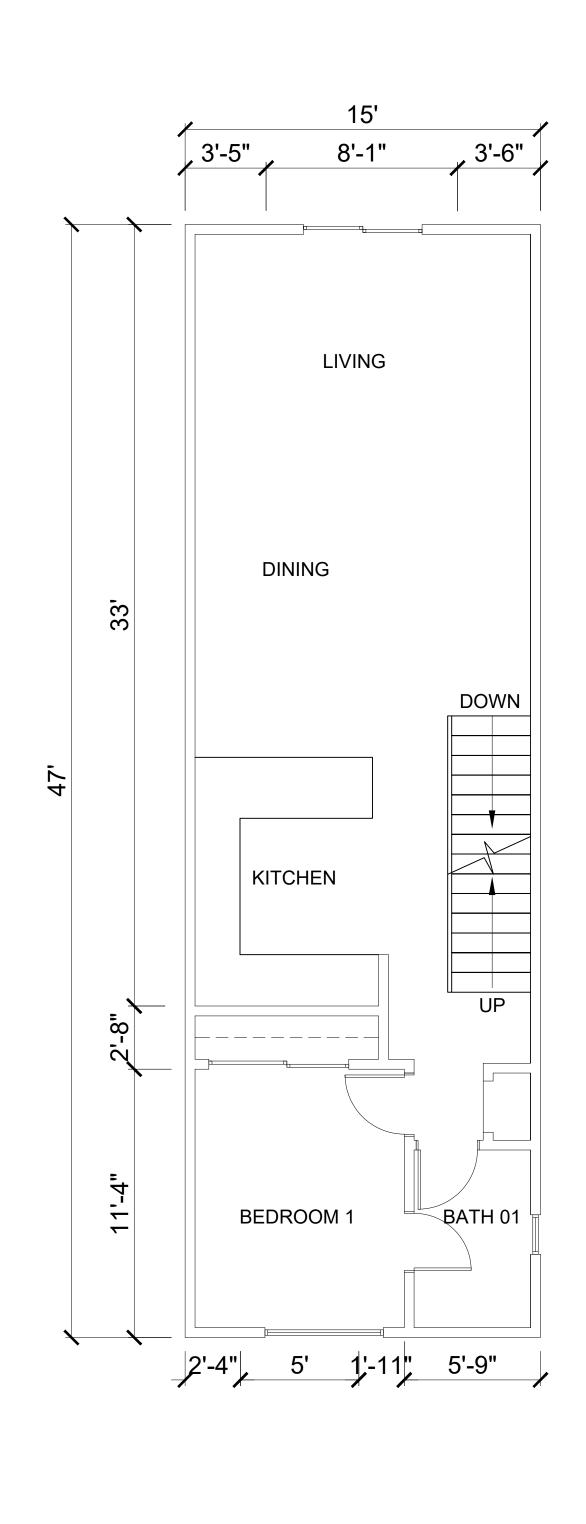
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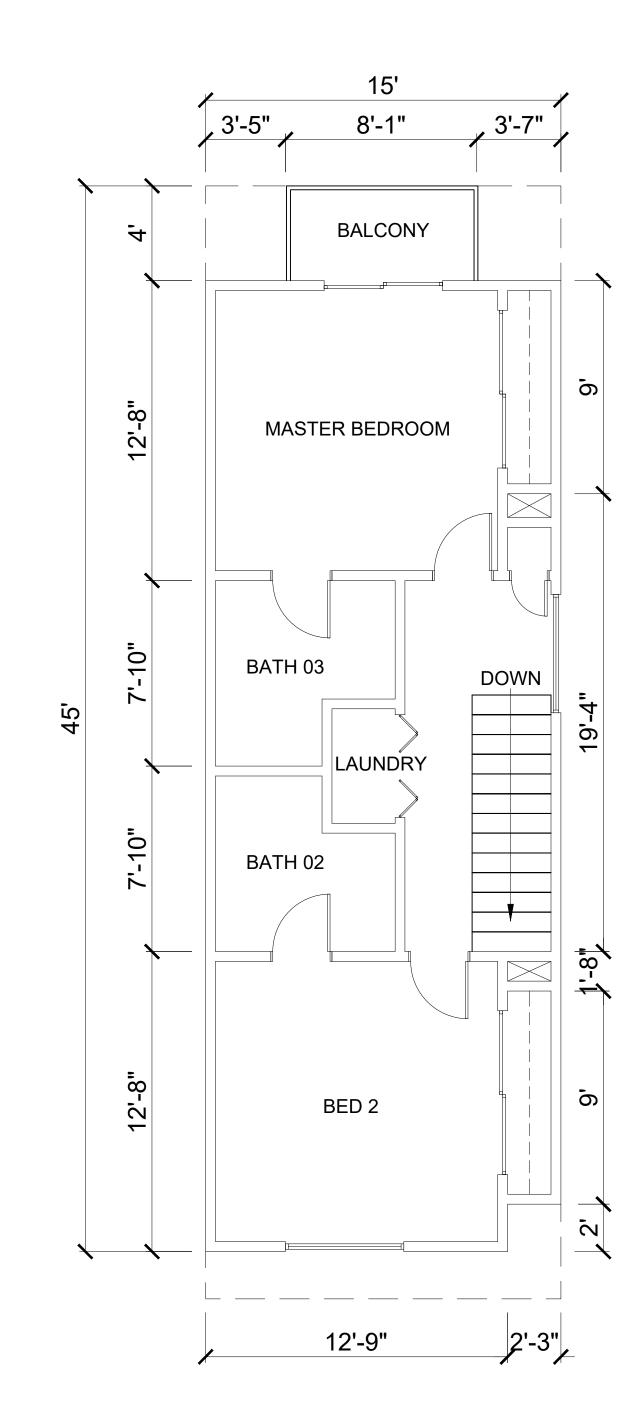
FONTANA/46 Units





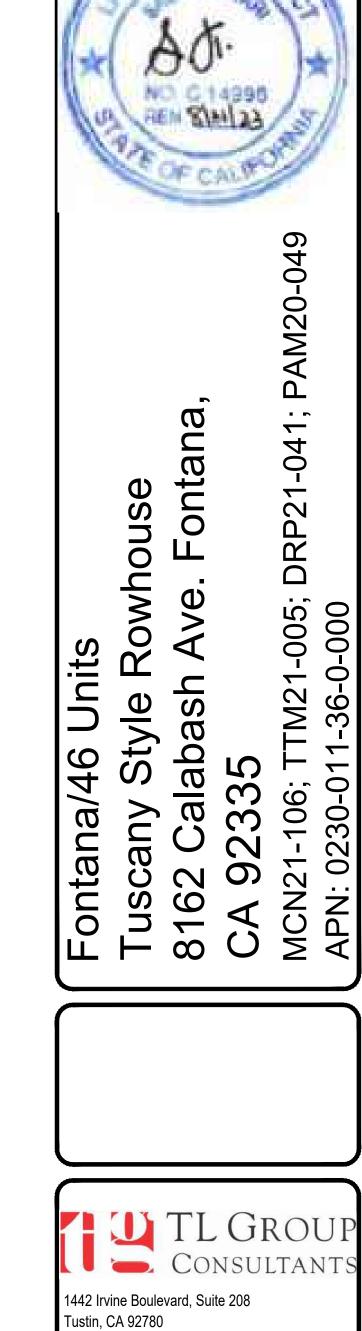


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE: END UNITS WILL HAVE WINDOWS AT EXPOSED EXTERIOR WALLS.



Mailing: PO Box 6935, Laguna Beach, CA 92607

TUSCANY STYLE ROWHOUSE 8162 CALABASH AVE. FONTANA, CA 92335 MCN21-106; TTM21-005; DRP21-041; PAM20-049 APN: 0230-011-36-0-000

> TYPE B FLOOR PLAN

> > 5A1

Phone: (714) 982-4057 and (949) 457 1617

Web: www.tlgroupconsultants.com

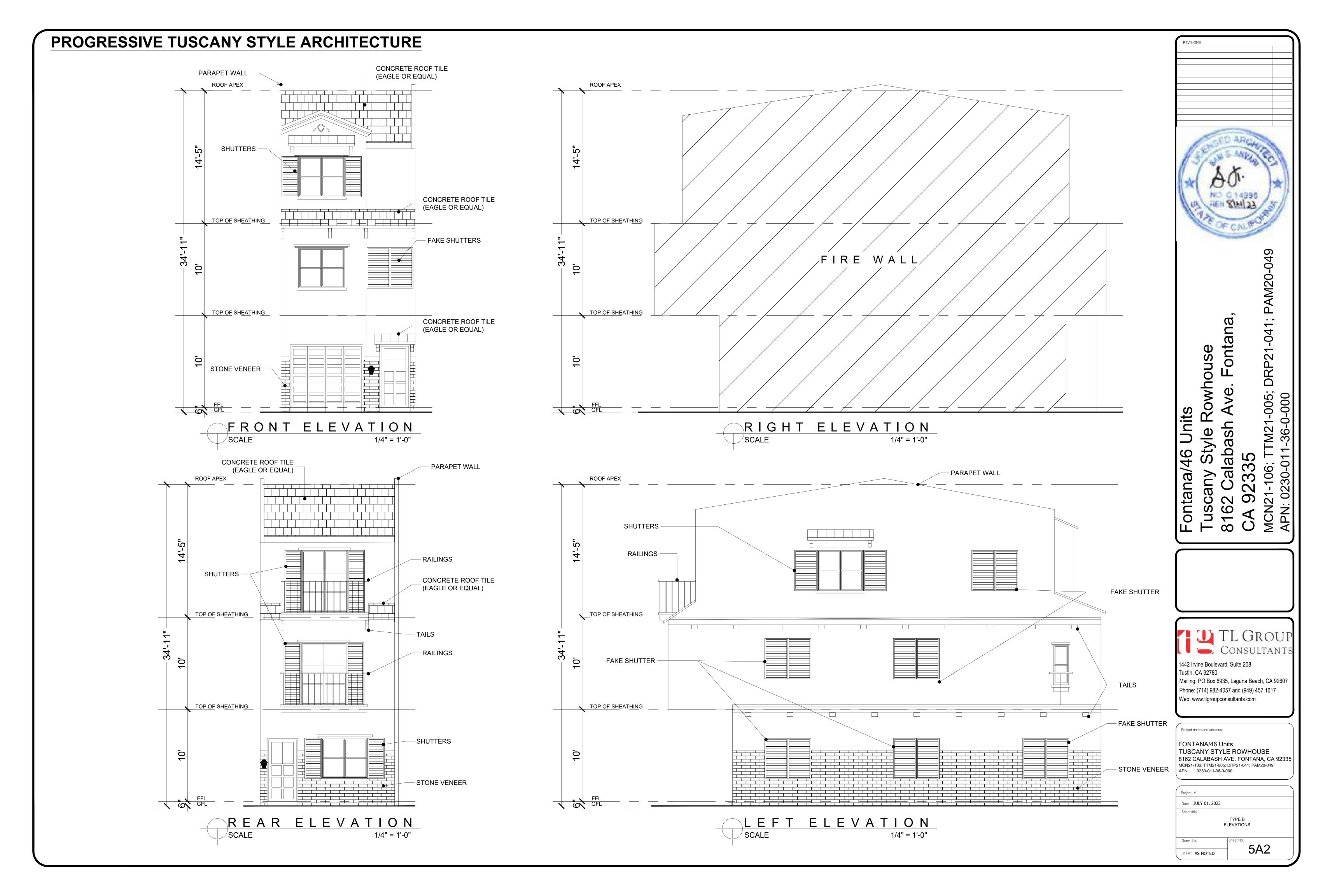
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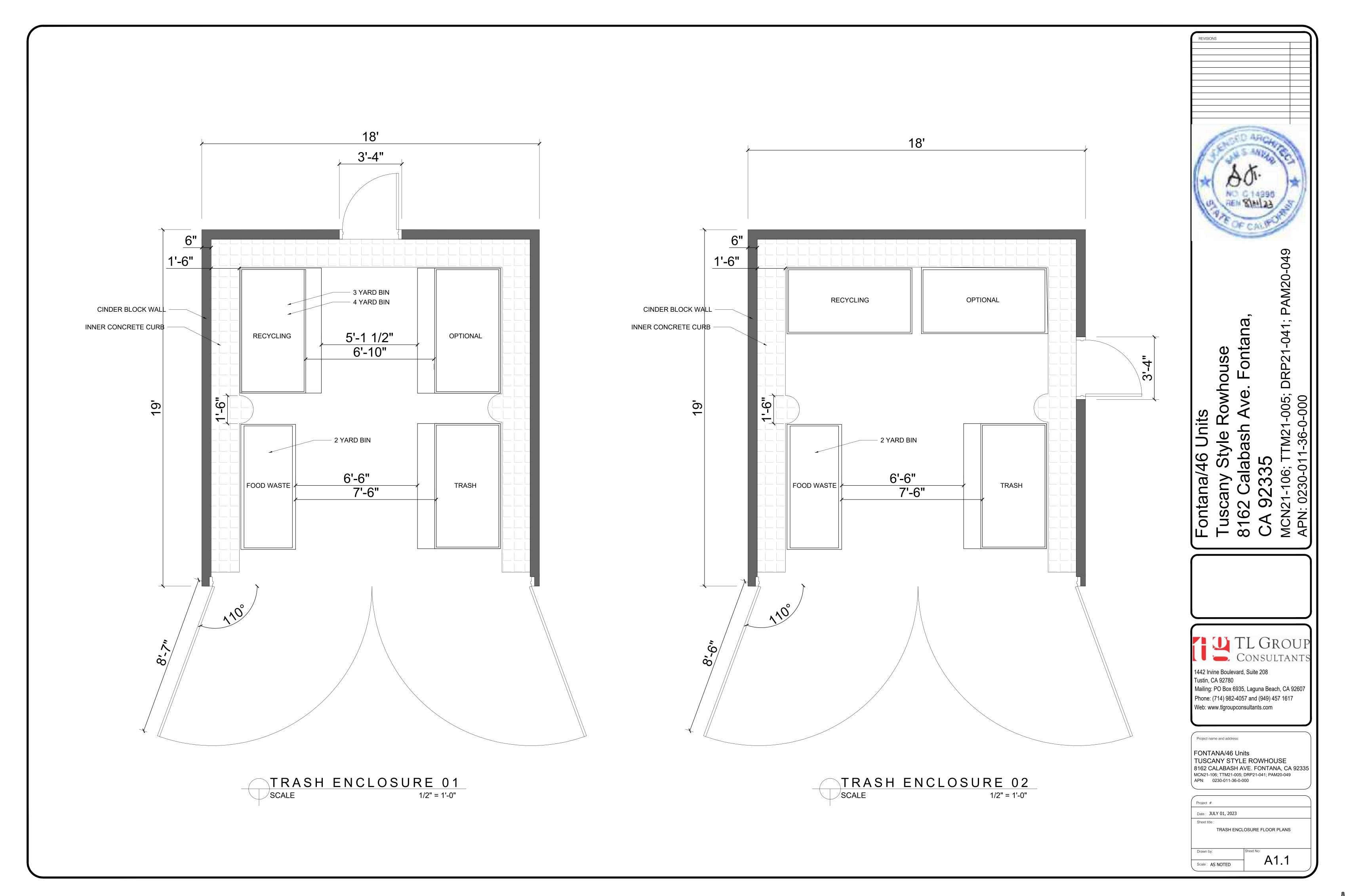
Project #

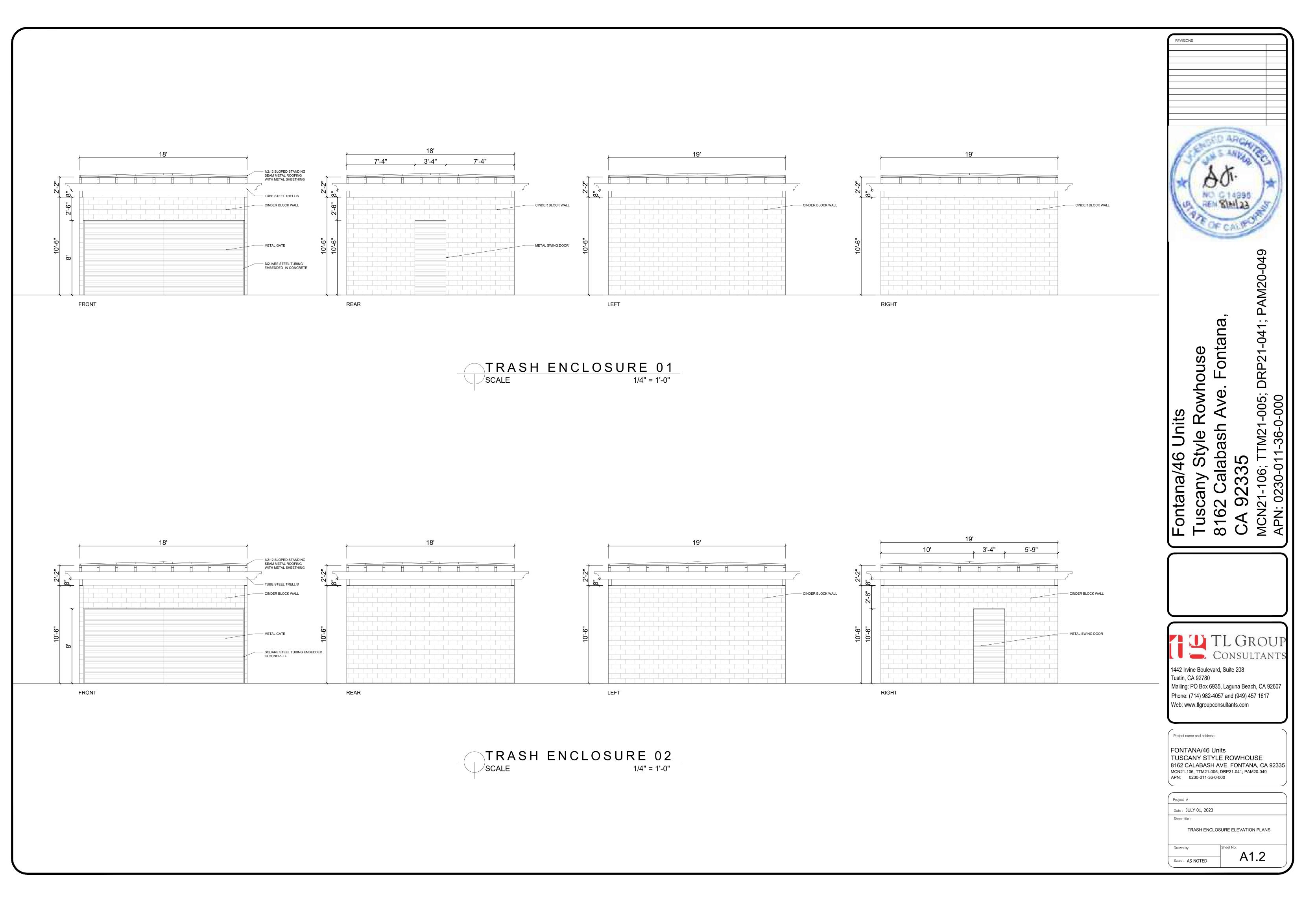
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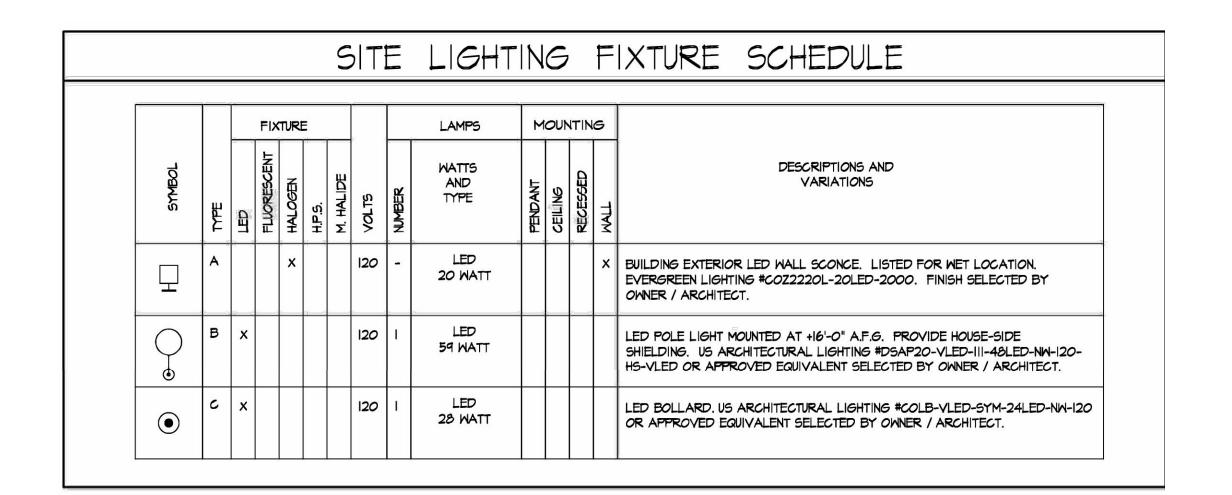
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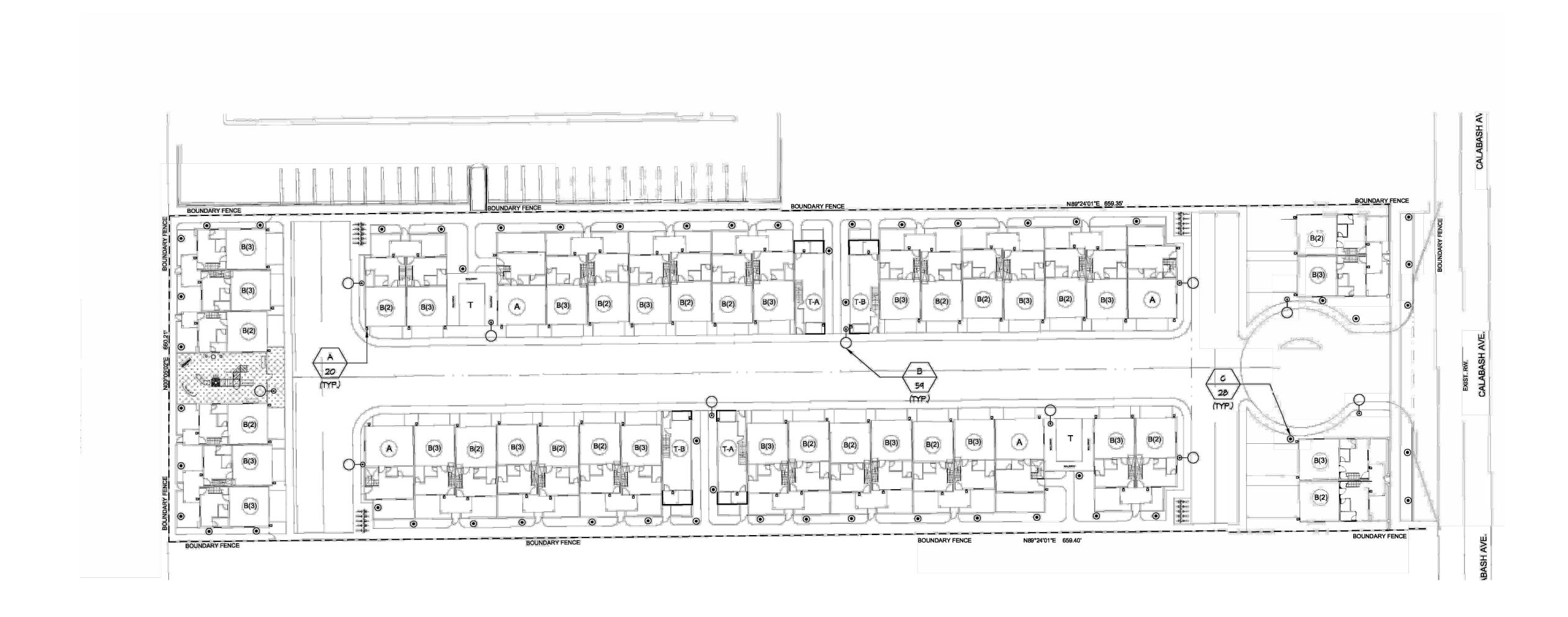
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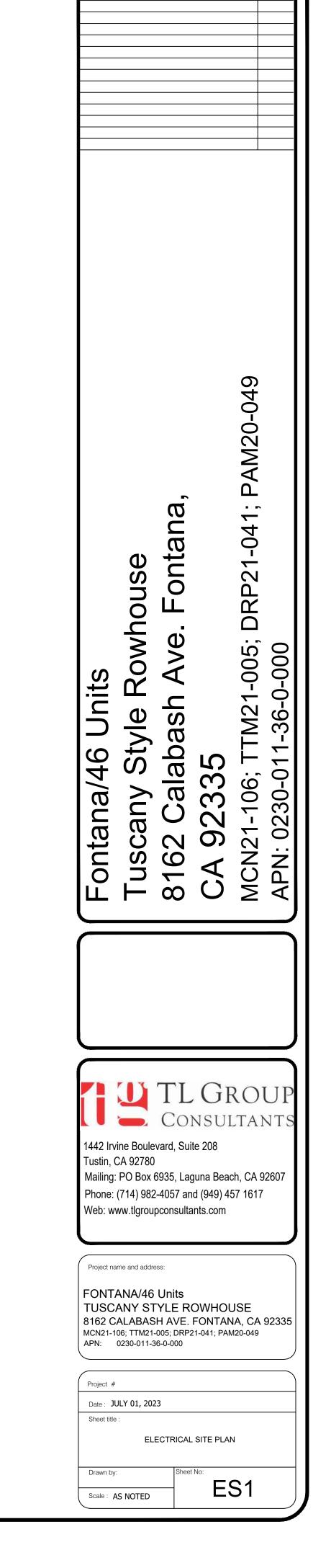


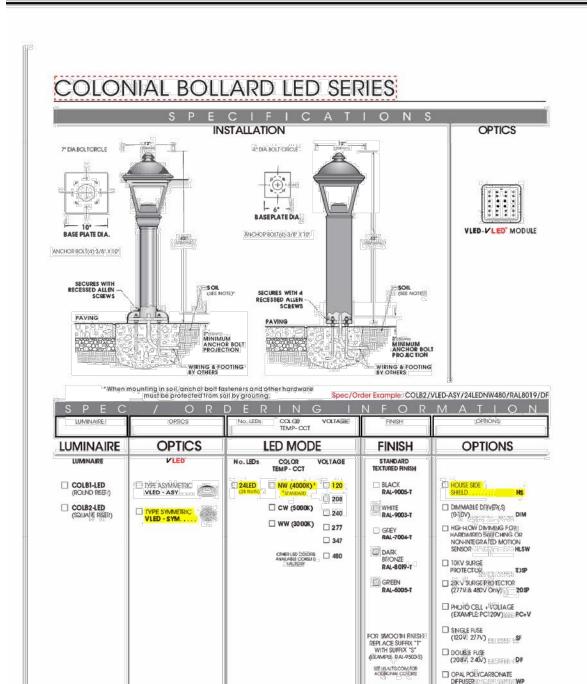












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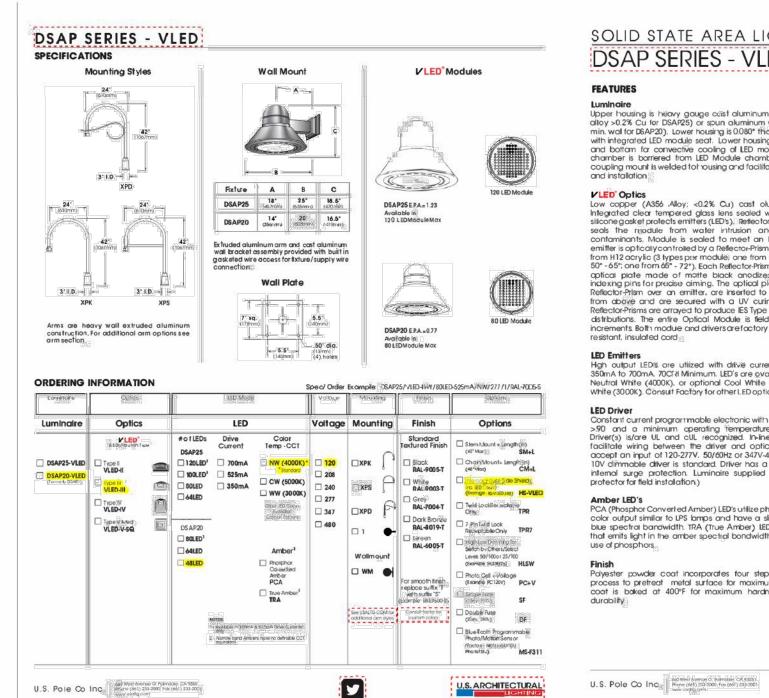
Sun Valley Lighting

CONSULT FACTORY FOR CUSTOM COLORS

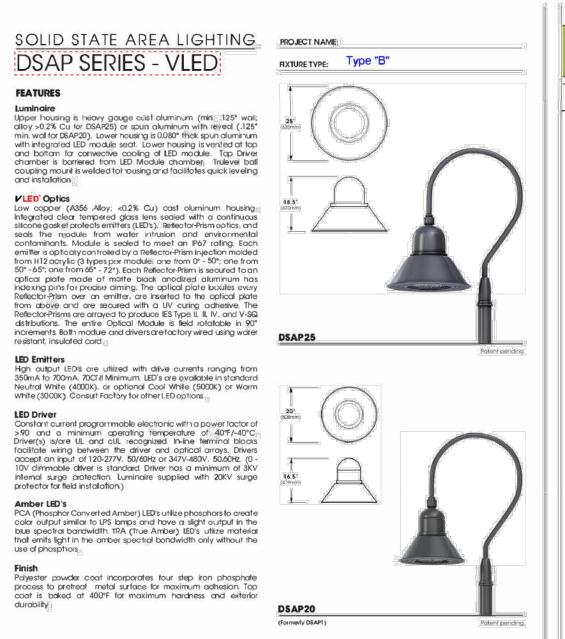
CONSULT FACTORY FOR DANIES OF THE PROPERTY OF

SUN VALLEY





LIGHT FIXTURES CUTSHEETS



Statistics

Description

North East Walkway

South East Walkway

South Trash Enclosure

North Walkway

Playground

North Trash Enclosure

Symbol

Avg

4.5 fc

0.4 fc

2.1 fc

0.5 fc

15.2 fc

1.2 fc

17.1 fc

7.9 fc

14.5 fc

2.1 fc

resistant, insulated cord 55



Min

0.2 fc

0.2 fc

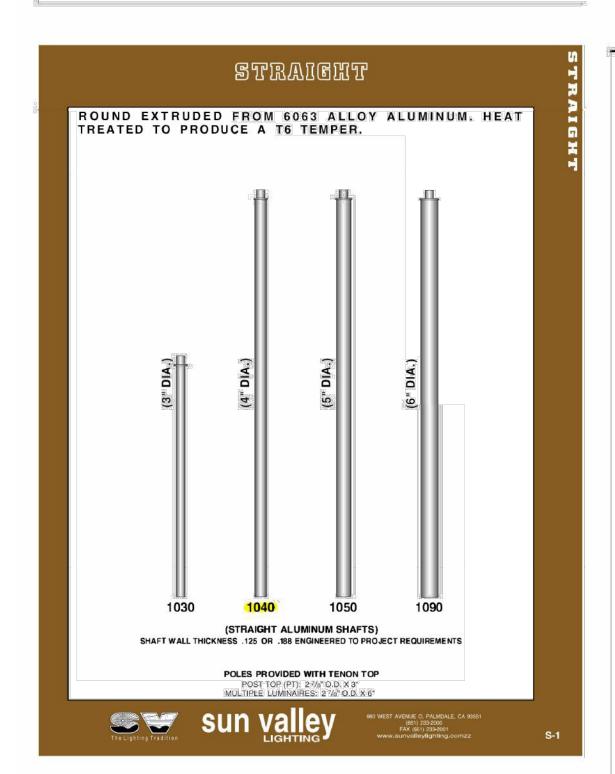
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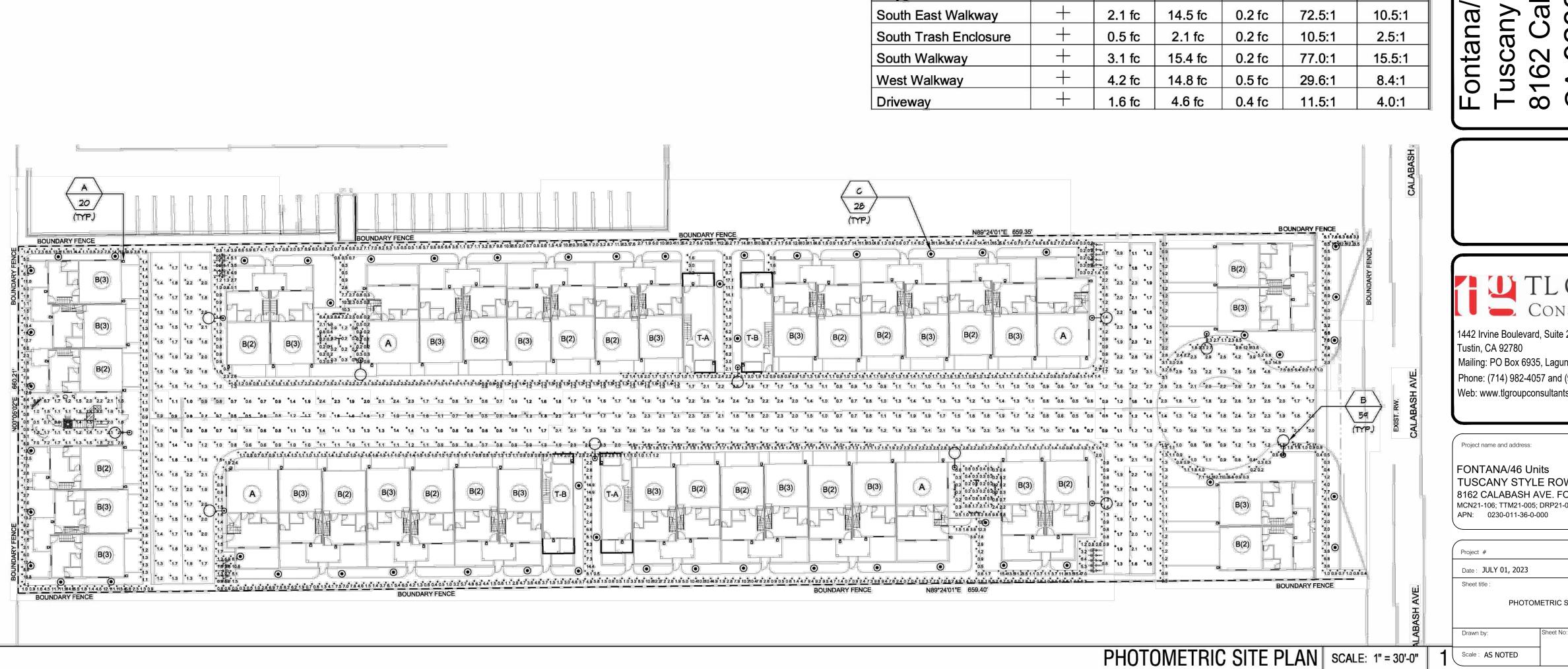
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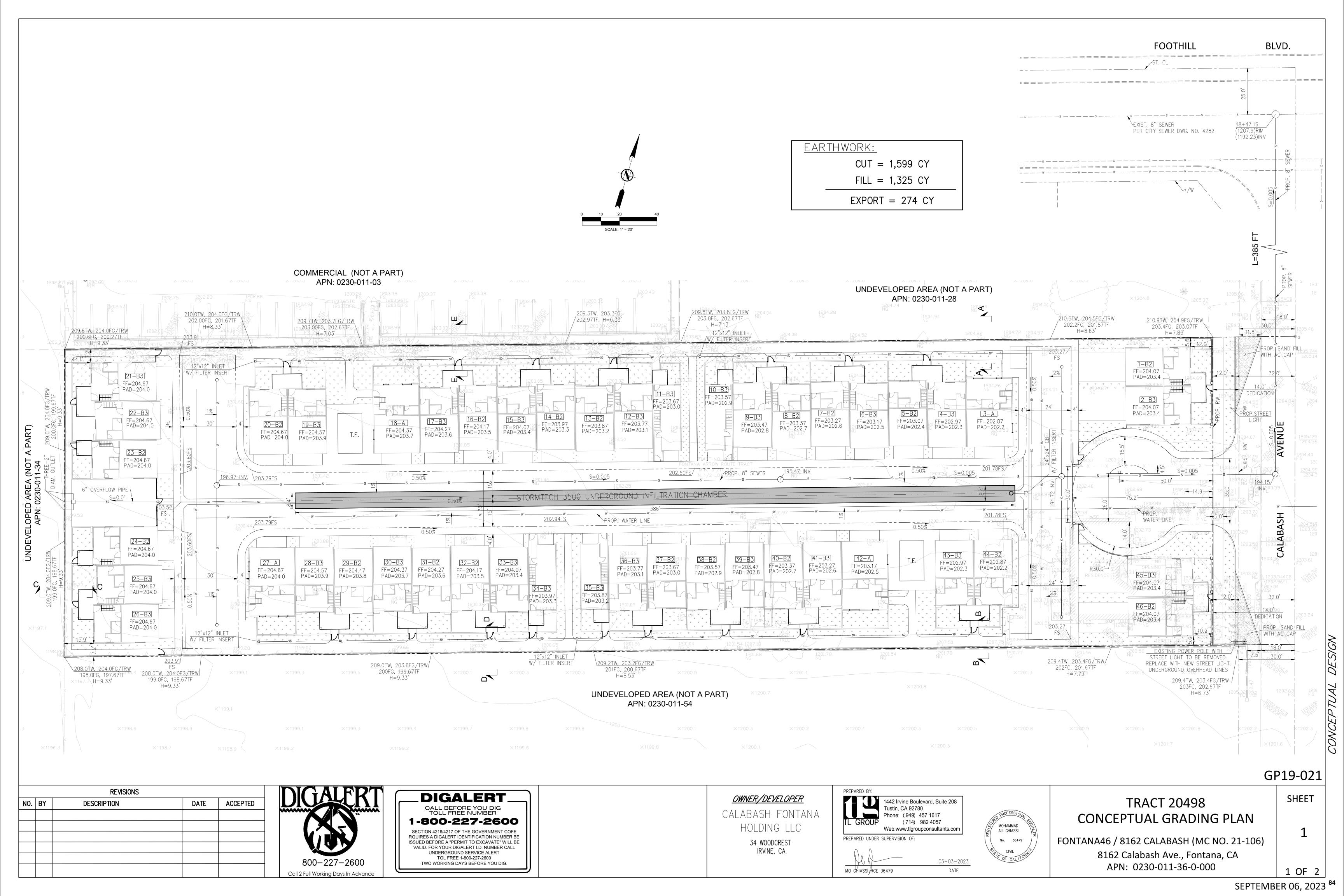
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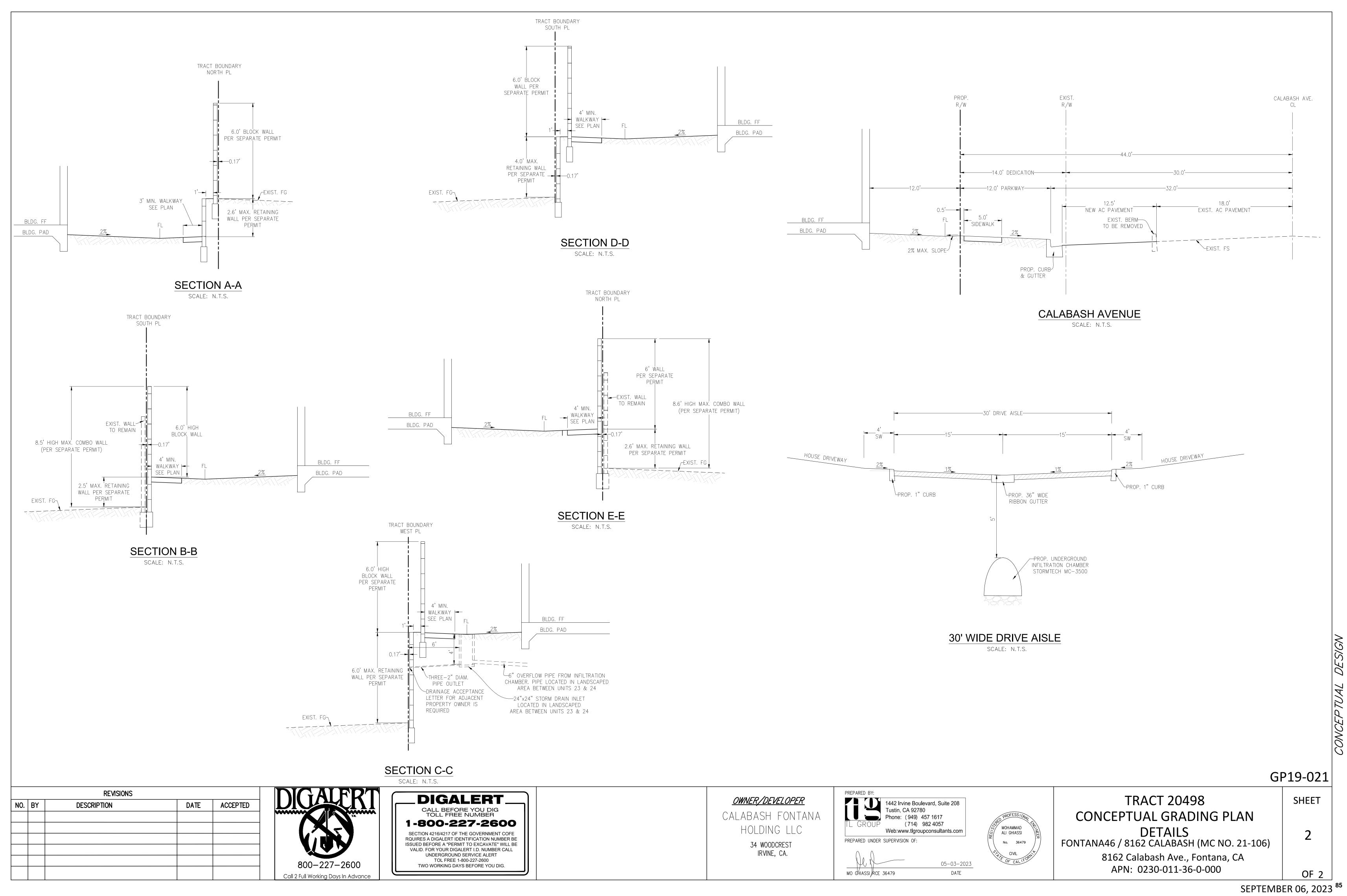
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10.5:1

2.5:1



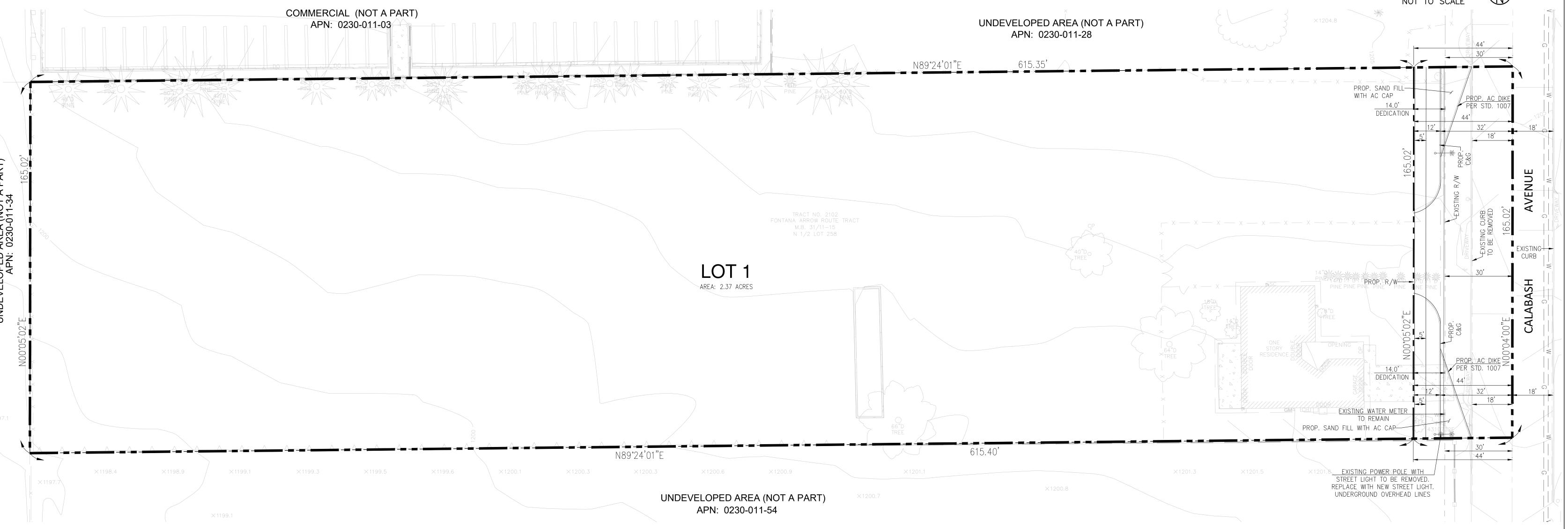


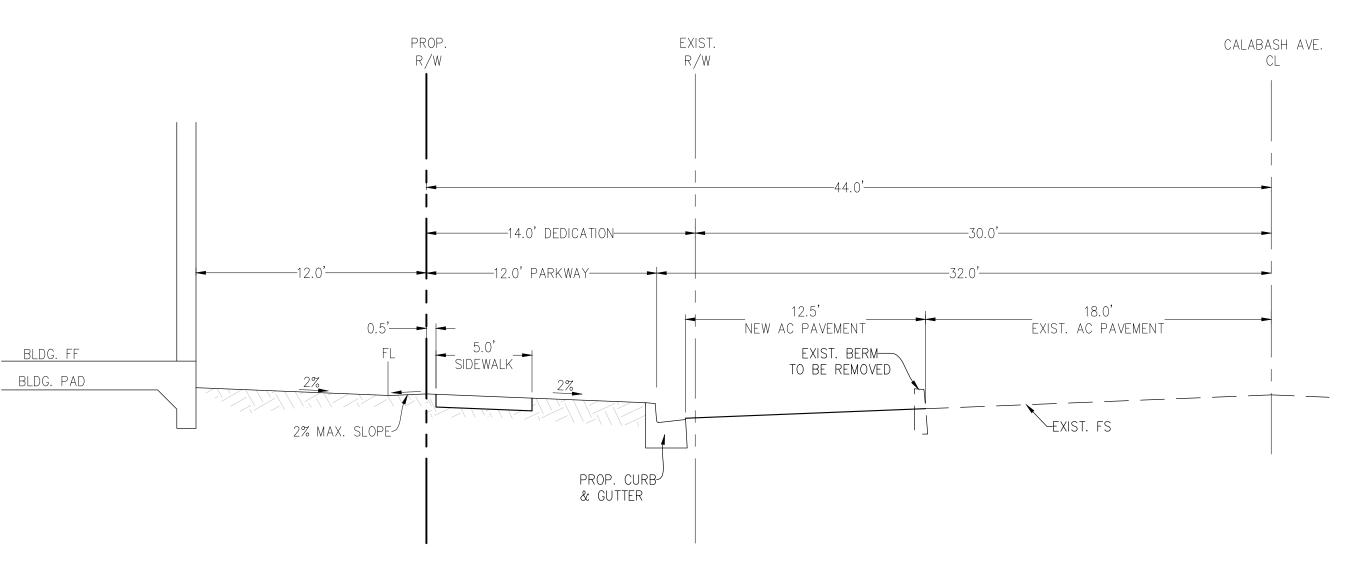
CITY OF FONTANA

TENTATIVE TRACT MAP NO. 20498 FOR CONDOMINIUM PURPOSES









CALABASH AVENUE

SCALE: N.T.S.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE NORTH 1/2 OF LOT 258 OF FONTANA ARROW ROUTE TRACT NO. 2102, AS PER MAP RECORDED IN BOOK 31 PAGES 11 TO 15 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONVEYANCING PURPOSES ONLY: APN 0230-011-36-0-000 AREA: 108,801.83 S.F. (2.498 ACRES)

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF CALABASH AVENUE, BEING N 0° 04' 00" E AS SHOWN ON TRACT NO. 2102, FONTANA ARROW ROUTE TRACT, FILED IN BOOK 31, PAGES 11 THROUGH 15 OF MAPS, RECORDS OF SAN BERNARDINO

BENCH MARK:

NATIONAL GEODETIC SURVEY BENCHMARK PID: EV9252 ELEVATION = 1150.05 FEET (NAVD 88 DATUM) RECOVERY NOTE BY METRO WATER DISTR SO. CALIFORNIA 1994 (JDG) RANCHO CUCAMONGA, AT THE INTERSECTION OF ARROW ROUTE AND ETIWANDA AVENUE, 147 FEET (44.8 M) NORTH OF THE CENTERLINE OF ARROW ROUTE, 37 FEET (11.3 M) EAST OF THE CENTERLINE OF ETIWANDA AVENUE, 1 FOOT (0.3 M) WEST OF A FIRE HYDRANT, 75 FEET (22.9 M) NORTH OF POWER POLE NO. 4018433E, FOUND 1-3/8 BRASS DISK FLUSH IN TOP OF CURB STAMPED E.P.P. 1 BM. REFERENCE MWD FB 2002 01 102.

ASSESSOR'S PARCEL NO:

0230-011-36

PROPOSED ZONING: HIGH DENSITY RESIDENTIAL - 50-UNIT CONDOMINIUMS

EXISTING LAND USE:

WALKABLE MIXED USE CORRIDOR & DOWNTOWN (WMXU-1)

AREA SUMMARY:

GROSS AREA: 2.50 ACRES LOT 1 AREA: 2.37 ACRES STREET DEDICATION AREA: 0.13 ACRE NET AREA: 2.37 ACRES

CITY OF FONTANA 8353 SIERRA AVE FONTANA, CA 92335

> SO. CALIF. GAS COMPANY 1981 W. LUGONIA AVE. REDLANDS, CA 92374 (909) 335-7967 SO. CALIF. EDISON COMPANY

300 N. PEPPER AVE. RIALTO, CA 92376 (909) 820-5598 - UNDERGROUND (909) 875-5100 - TRANSMISSION (213) 637-1233 - PIPELINES (909) 357-6505 - DISTRIBUTION

22311 BROOKHURST ST. SUITE 203 HUNTINGTON BEACH, CA 92646 (714) 963-7964

UTILITY PROVIDERS:

2592 DUPONT DR. IRVINE, CA 92612 (800) 659-9698

(909) 350-6632 EMERGENCIES: (800) 427-2200





OWNER:

34 WOODCREST

IRVINE, CA 92603

ENGINEER:

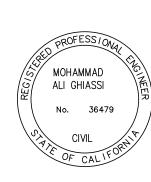
TUSTIN, CA 92780

(949) 457-1617

(714) 982-4057

CALABASH FONTANA HOLDING LLC

1442 IRVINE BOULEVARD, SUITE 208



CITY OF FONTANA TENTATIVE TRACT MAP NO. 20498



Email: charles@emeraldladesign.com



BRACHYCHITON POPULNEUS





RHUS LANCEA



OLEA EUROPAEA 'WILSONII'



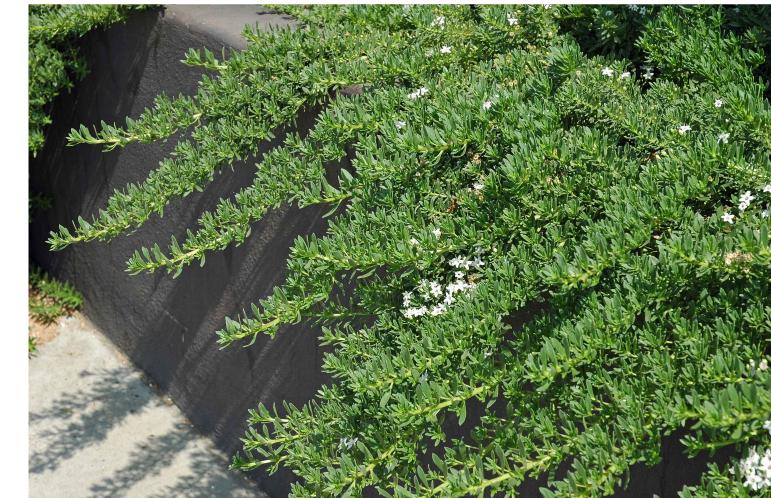
MACFADYENA UNGUIS CATI



DIANELLA REVOLUTA 'LITTLE REV'



ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'



MYOPORUM PARVIFOLIUM



BULBINE FRUTESCENS



LANTANA 'NEW GOLD'



ELAEAGNUS 'FRUITLANDII'



RHAMNUS CALIFORNICA 'EVE CASE'



HESPERALOE PARVIFOLIA



CALLISTEMON 'LITTLE JOHN'

Email: charles@emeraldladesign.com



































RESOLUTION PC NO. 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING TENTATIVE TRACT MAP NO. 20498 (TTM NO. 21-005) TO SUBDIVIDE A PARCEL OF APPROXIMATELY 2.5 ACRES FOR CONDOMINIUM PURPOSES AND DESIGN REVIEW NO. 21-042 FOR THE CONSTRUCTION OF A 46-UNIT MULTI-FAMILY CONDOMINIUM PROJECT LOCATED AT 8162 CALABASH AVENUE (APN: 0230-011-36) PURSUANT TO A CATEGORICAL EXEMPTION IN ACCORDANCE WITH CEQA GUIDELINES SECTION 15332.

WHEREAS, the location of 8162 Calabash Avenue, APN: 0230-011-36, was incorporated into the City of Fontana in 1952; and

WHEREAS, on October 25, 2021 the City of Fontana ("the City") received a Tentative Tract Map and Design Review application from Calabash Fontana Holdings LLC to subdivide a parcel of approximately 2.5 Acres for condominium purposes and to construct a 46-unit multi-family condominium project at the location of 8162 Calabash Avenue, APN: 0230-011-36; and

WHEREAS, Section 30-116 of the Fontana Municipal Code requires Planning Commission Design Review approval for residential projects of five or more units; and

WHEREAS, the project qualifies for a categorical exemption pursuant to Section No. 15332, Class 32, (Infill Development) of the California Environmental Quality Act (CEQA), and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the California Environmental Quality Act; and

WHEREAS, Conditions of Approval have been prepared and attached hereto as Exhibit "A" for Tentative Tract Map No. 21-005 (TTM No. 20498) and as Exhibit "B" for Design Review Permit No. (DRP) No. 21-042; and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and

WHEREAS, all of the notices required by statute and the City Municipal Code have been given as required; and

WHEREAS, the owners of property within 660 feet of the proposed project site were notified via public hearing notice mailer prior to the Public Hearing; and a notice of the public hearing was published in the local *Fontana Herald* newspaper on September 8, 2023, and posted at City Hall and at the project site; and

WHEREAS, on September 19, 2023, the Planning Commission held a public hearing and received public testimony on Tentative Tract Map No. 20498 (TTM No. 21-005) and Design Review No. 21-042; and

WHEREAS, the Planning Commission carefully considered all information pertaining to the proposed project and all the evidence and testimony presented at its public hearing on September 19, 2023; and

WHEREAS, all other legal prerequisites to the adoption of this resolution have occurred.

NOW, **THEREFORE**, the Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are incorporated herein by reference.

Section 2. CEQA. The Planning Commission hereby determines that the project qualifies for a Categorical Exemption pursuant to Section No. 15332, (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA) and Section No. 3-22 (In-Fill Projects) of the 2019 Local Guidelines for Implementing CEQA. This project site is considered In-Fill Development and meets the CEQA requirements of In-fill: (1) The project is consistent with the Walkable Mixed-Use Corridor & Downtown (WMXU-1) General Plan land use designation and the Form Based Code (FBC) Transitional subdistrict designation and regulations; (2) The project site is less than five (5) acres at approximately 2.5 adjusted gross acres; (3) The project site is not within any known sensitive or threatened habitat area; (4) The project site will not have any significant effect related to traffic, noise, air quality, or water quality; and (5) There are adequate public utilities services for the development of the proposed condominium complex.

<u>Section 3</u>. <u>TTM Findings.</u> The City of Fontana's Planning Commission hereby makes the following findings for Tentative Tract Map No. 21-005 (TTM No. 20498) in accordance with Section No. 26-55(e), pursuant to Section No. 30-293, of the Fontana Municipal Code:

Finding No. 1: The proposed tract map is consistent with the City's General Plan and any applicable specific plan.

Findings of Fact:

Tentative Tract Map No. 21-005 (TTM No. 20198) is for a subdivision of a parcel for condominium purposes. Tentative Tract Map No. 21-005 is consistent with the General Plan Land Use Designation for the project site, which is Walkable Mixed-Use Downtown and Corridors (WMXU-1). The WMXU-1 land use designation category is described by the General Plan as a land use category that is intended for the creation of areas that allow residents and visitors to walk, bike, and take transit to other uses for work, study, shopping, entertainment, recreation, and civic activities; and to provide compact residential development within walking distance of planned public transit stops and neighborhood shopping areas. The development of this 46-unit multi-family project will continue to support the intent of the WMXU-

1 land use designation. The Tentative Tract Map will establish a condominium development within one parcel (APN: 0230-011-36) of 2.5 acres, for the construction of a 46-unit multi-family condominium project, which is a permitted land use in the General Plan.

Finding No. 2:

The design or improvements of the proposed Tentative Tract Map is consistent with the General Plan and any applicable Specific Plan.

Findings of Fact:

The design of Tentative Tract Map No. 21-005 is for a subdivision of one parcel, for condominium purposes, of 2.5 acres to accommodate the development which is consistent with the General Plan. The development conforms to the requirements of the General Plan, the City of Fontana Municipal Code, and the Form Based Code (FBC) zoning designation standards. The project includes all on-site and off-site improvements including connection to public sewer, public storm drain, streets, gutter, sidewalks, drainage, and grading to provide a safe and well-designed project for the area.

Finding No. 3: The site is physically suitable for the type and density of development proposed.

Findings of Fact:

The project site of approximately 2.5 adjusted gross acres is of an adequate size to accommodate the multi-family development. The project meets all development standards and the City has implemented certain conditions as prescribed in the "Conditions of Approval," attached hereto as Exhibit A, as to satisfy all applicable codes. Therefore, the site is suitable for this type of development.

Finding No. 4:

The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or will not substantially and avoidably injure fish or wildlife or their habitat.

Findings of Fact:

The design of Tentative Tract Map No. 21-005 (TTM No. 20498) is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat. The project will not have a significant effect on the environment as a result of the project's implementation. The site is approximately 2.5 acres of land that is substantially surrounded by urban uses. The site is consistent with the General Plan and zoning. All streets, schools, water, and fire protection have been previously developed and are currently provided in the general area of the project. The project site has no value as habitat for endangered, rare, or threatened species. Therefore, it has been determined that the project qualifies for a categorical exemption pursuant to Section No. 15332, Class 32, (Infill Development) of the California Environmental Quality Act (CEQA), and Section No. 3.22 of the 2019 Local Guidelines for

Page 3 of 24 108

Implementing the California Environmental Quality Act. The project site is located within the city's development infill boundary, and it is currently surrounded by existing development. All services such as fire, police, sewer, water, and electricity are available to the project site.

Finding No. 5: The design of the subdivision or type of improvements will not cause serious public health problems.

Findings of Fact:

The design of Tentative Tract Map No. 21-005 (TTM No. 20498) will not cause public health problems. The development complies with the Zoning and Development Code and the General Plan. Improvements include connection to public sewer, connection to public storm drain, sidewalks, drainage, and grading to provide a safe and well-designed project for the area. Therefore, the project shall promote the public health, safety, and welfare of the surrounding community.

Finding No. 6: That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

Findings of Fact:

The design of Tentative Tract Map No. 21-005 (TTM No. 20498) and corresponding public improvements will not conflict with access easements acquired by the public. The lot is accessed from Calabash Avenue, which is a publicly maintained street. Currently there are no other public access easements through or within the project site. The subject property is not located within the Fire Hazard Overlay Zone; thus, the project is not subject to the requirements of the Fire Hazard Overlay Zone.

<u>Section 4</u>. <u>Design Review Findings</u>. The City of Fontana's, Planning Commission hereby makes the following findings for Design Review No. 21-042 in accordance with Section No. 30-120 of the Fontana Zoning and Development Code:

Finding No. 1: That proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.

Findings of Fact:

The project is for the construction of 46 multi-family condominiums units, which is consistent with the General Plan designation for the project site which is Walkable Mixed-Use Downtown and Corridors (WMXU-1). The WMXU-1 land use designation category is described by the General Plan as a land use category that is intended for the creation of areas that allow residents and visitors to walk, bike, and take transit to other uses for work, study, shopping, entertainment, recreation, and civic activities, and to provide compact residential

Page 4 of 24 109

development within walking distance of planned public transit stops and neighborhood shopping areas. The General Plan sets the framework for the goals of the City and provides the overall policies for development within the community but does not specifically regulate development standards.

The project is located in the Route 66 District of the Form Based Code (FBC) zoning designation. The Route 66 District is an area that seeks to create a lively and walkable land use mix of residential and commercial uses. New development should preserve and exemplify the character of the existing neighborhood. The 46-unit multi-family condominium development will meet all zoning and development standards set forth in the Fontana Municipal Code and, therefore, is consistent with the General Plan, including the required density range. The forty-six (46) units on a 2.5 acre site calculates to a density of 18.4 units per acre. This density is within the eighteen (18) to thirty-nine (39) units per acre range required by the Route 66 District. The project site is not located in a Specific Plan.

Finding No. 2:

The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe and desirable development promoting the public health, safety, and welfare of the community.

Findings of Fact:

The project complies with the City of Fontana Zoning and Development Code. Improvements including streets, sidewalks, drainage, and grading, will provide a safe and well-designed project. Additionally, the development meets all setback, height, landscaping, design, architecture, parking, access and safety requirements.

The site improvements have been reviewed by the City of Fontana Fire, Building and Safety, and Engineering Departments. During the project review process, changes were made to the plans to ensure that the project is well-designed. Street lighting and on-site lighting have been included to provide ample visibility at night. Landscaping has been incorporated to create an attractive atmosphere along adjacent parcels.

Finding No. 3:

The proposal, in its design and appearance is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact:

The project has been designed to enhance and compliment the surrounding neighborhood. The architectural theme for the project is

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progressive Tuscany. The result is a high-quality architectural design appropriate and desirable for the surrounding neighborhood. The development will enhance the character of the surrounding neighborhood through the aesthetics and design.

Architectural relief utilized for the buildings consists of tile roof, shutters, window tails, window ledges, stone veneer and parapet walls. The use of neutral earth tone colors, pop-outs and varied design between the units will further compliment the architectural style.

The project enhances the surrounding neighborhood by developing a lot that incorporates architectural style which complements the surrounding homes. All buildings are designed with tile roofing material coordinated to match the color scheme of each elevation. Additionally, all garage doors will incorporate windows and the landscaping will utilize plants to complement the architecture of the building and the development as a whole.

The design of the project was reviewed by the Engineering Department, Fire Department and Police Department to ensure the project is in compliance with local ordinances and State Code requirements to address safety concerns.

Finding No. 4: The site improvements are appropriate and will result in a safe, well-designed facility.

Findings of Fact:

The development complies with the City of Fontana Zoning and Development Code. Improvements at the site include streets, sidewalks, drainage, and grading, will provide a safe and well-designed neighborhood.

The site improvements have been reviewed by the City of Fontana Fire, Building and Safety, and Engineering Departments. During the project review process, changes were made to the plans to ensure that the project is well-designed. Street lighting and on-site lighting have been included to provide ample visibility at night. Landscaping has been incorporated to create an attractive atmosphere along adjacent parcels.

<u>Section 5</u>. Approval. Based on the foregoing, the City of Fontana Planning Commission hereby approves Tentative Tract Map No. 20498 (TTM No. 21-005) and Design Review No. 21-042 subject to the findings listed above and the conditions of approval which are attached hereto as **Exhibits "A and B"** respectively.

Section 6. Effective Date. This Resolution shall become effective immediately upon its adoption.

Resolution PC No. 2023-

City of Fontana

<u>Section 7.</u> Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the City of Fontana's Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code Section No. 21081.6.

Section 8. Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

<u>Section 9.</u> <u>Severability</u>. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.

APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this **19**th **day of September 2023**.

Cathline Fort, Chairperson
ATTEST:
I, Ralph Thrasher, Secretary of the Planning Commission of the City of Fontana California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 19 th day o September 2023, by the following vote, to-wit:
AYES: NOES: ABSENT: ABSTAIN:
Ralph Thrasher, Secretary

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EXHIBIT "A"



CITY OF FONTANA CONDITIONS OF APPROVAL

PROJECT: Master Case No. (MCN) 21-106 **DATE:** September 19, 2023

Tentative Tract Map No. 20498 (TTM No. 21-005)

LOCATION: 8162 Calabash Avenue (APN: 0230-011-36)

PLANNING DEPARTMENT:

1. The rights and privileges granted by this project shall not become effective, nor shall the applicant commence the use for which this project is granted, until both of the following have occurred:

- a. All requirements of the Fontana City's Municipal Code shall be complied with.
- b. All Conditions of Approval imposed on this project have been fulfilled.
- 2. The applicant shall defend, indemnify, and hold harmless the City of Fontana or its agents, officers, and employees from any claim, action or proceeding against the City of Fontana or its agents, officers, or employees to attack, set aside, void, or annul an approval of the Planning Commission and/or City Council concerning this subdivision, which action is brought within the time period provided for in Government Code Section 66499.37. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense. The applicant shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

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In the event of any such third-party action or proceeding, the City shall have the right to retain its own separate legal counsel to defend the interests of the City. The applicant shall be responsible for reimbursing the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

- 3. Tentative Tract Map No. 20498 (TTM No. 21-005) shall comply with all applicable development standards of, Chapter 26 (Subdivisions), Chapter 30 (Zoning and Development, and the Subdivision Map Act.
- 4. The applicant/developer shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of Planning. A note to this effect shall be placed on the map prior to recordation of the final map.
- All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
- 6. Tentative Tract Map No. 20498 (TTM No. 21-005) shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion of the first Building and Safety Department inspection, has commenced within this period.
- 7. The development shall maintain an active Homeowner's Association ("HOA") at all times. The City shall be the third party to the HOA's Covenants Conditions and Restrictions solely for the purpose of enforcing property and maintenance standards.

ENGINEERING DEPARTMENT:

8. The project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line

- shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
- 9. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
- The Applicant shall maintain all improvements and utilities within the public right-ofway, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

11. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

PRIOR TO MAP RECORDATION

12. Applicant shall provide a Subdivision Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

- 13. Applicant shall record all map's, right-of-way dedications, easements, drainage acceptance agreement (from Assessor's Parcel No. 0230-011-34) as required for the development.
- 14. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

- 15. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
- 16. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
- 17. The Applicant/Engineer shall set survey monuments as required by the map and corner records must be recorded with the County.
- 18. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be

- maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
- 19. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
- 20. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

BUILDING AND SAFETY:

- 21. The applicant shall design the project to show compliance with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Residential Code
 - c. California Electrical Code
 - d. California Mechanical Code
 - e. California Plumbing Code
 - f. California Energy Code
 - g. California Fire Code
 - h. California Green Building Standards Code
- 22. The applicant shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
- 23. The applicant shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
- 24. The applicant shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.
- 25. The applicant shall comply with the following grading requirements:

- a. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
- b. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
- c. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
- d. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
- e. No water course or natural drainage shall be obstructed.
- f. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
- g. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
- h. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.
- i. The on site drainage system shall, as a minimum, be designed to handle the run off generated by a ten (10) year storm. Check for flooding of all on site structures (buildings) and all adjacent properties during a hundred (100) year storm.
- j. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - The relationship between the proposed finished on site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.); and
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.); and
 - iii. All proposed drainage structures; and
 - iv. Any proposed and/or required walls or fencing.
- 26. The applicant is required to obtain permits for the removal and/or demolition of structures.
- 27. In addition to approval from Building & Safety, the applicant is required to obtain approval from the California Regional Water Quality Control Board, Santa Ana Region for the Private Sewage Disposal System.
- 28. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 29. The following items (as applicable) shall be completed by the applicant and submitted to Building & Safety prior to the issuance of building permits for this project:
 - a. Precise grading plans shall be approved
 - b. Rough grading completed
 - c. Compaction certification
 - d. Pad elevation certification
 - e. Rough grade inspection signed off by a City Building Inspector
- 30. The project will need to comply with all accessibility provisions found in Ch 11A & 11B of the CBC.

FONTANA FIRE PREVENTION DISTRICT:

- 31. <u>Jurisdiction.</u> The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
- 32. Fire Access Road Width. Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys, and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code Chapter 5 & SBCoFD Standard A-1.
- 33. <u>Turnaround.</u> An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. <u>California Fire Code Chapter 5 & SBCoFD Standard A-1.</u>
- 34. <u>Street Signs:</u> Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. California <u>Fire Code Chapter 5 & SBCoFD Standard A-2.</u>
- 35. <u>Fire Lanes.</u> The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs

- shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.
- 36. <u>Hydrant Marking</u>. Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCoFD Standard W-2.
- 37. Water Improvement Plan: The applicant shall submit "Water Improvement Plans" to Fontana Fire Prevention. W.I.P. to indicate the existing & proposed fire hydrant locations, building construction type and square foot size. Once approved by Fire Department, applicant will provide stamped/approved W.I.P to water purveyor for their construction needs. FIRE WATER SUPPLY SHALL BE INSPECTED AND IN WORKING CONDITION PRIOR TO PLACING COMBUSTIBLE MATERIALS ON THE JOBSITE. California Fire Code Chapter 5.
- 38. <u>Combustible Protection.</u> Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
- 39. <u>Fire Sprinkler-NFPA</u> #13D. An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. <u>California Fire Code Chapter 9 & SBCoFD Standard F-2</u>.
- 40. <u>Fire Sprinkler-NFPA #13R.</u> An automatic fire sprinkler system complying with NFPA 13R and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. <u>California Fire Code Chapter 9 & SBCoFD Standard F-3</u>
- 41. <u>Fire Extinguishers.</u> Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. <u>California Fire Code Chapter 9.</u>
- 42. <u>Commercial Addressing.</u> Commercial, industrial, and multi-family developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum eight (8) inches in height and with a one (1) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated contrasting six (6) inch numbers shall be displayed at the property access entrances. <u>California Fire Code Chapter 5 & SBCoFD Standard B-1</u>

- 43. <u>Illuminated Site Diagram.</u> The applicant shall submit for review and approval a site diagram plan to the Fire Department. The applicant shall install at each entrance to a multi-family complex an illuminated diagrammatic representation of the complex, which shows the location of each unit and each fire hydrant. <u>California Fire Code Chapter 5 & SBCoFD Standard B-1</u>
- 44. <u>Security Gates.</u> In commercial, industrial, and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. <u>California Fire Code Chapter 5 & SBCoFD Standard A-3</u>
- 45. <u>San Bernardino County Fire Standards/Codes:</u> Items not directly called out on these Conditions of Approval, shall also adhere to currently adopted San Bernardino County Fire Standards, California Fire Code, & NFPA.

END OF CONDITIONS

EXHIBIT "B"



CITY OF FONTANA CONDITIONS OF APPROVAL

DATE: September 19, 2023

PROJECT: Master Case No. (MCN) 21-106

Design Review (DR) No. 21-042

LOCATION: 8162 Calabash Avenue (APN: 0230-011-36)

PLANNING DEPARTMENT:

 The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until both of the following have occurred:

- A. All of the improvements, construction, alteration and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's issuance of a Certificate of Occupancy or other document evidencing the City's final inspection and acceptance of the work; and
- B. All other Conditions of Approval imposed by this project have been fulfilled.
- 2. The applicant shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs,

liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

- 3. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the structure until corrections are approved in writing by all appropriate staff.
- 4. The development shall maintain an active Homeowner's Association ("HOA") at all times. The City shall be the third party to the HOA's Covenants Conditions and Restrictions solely for the purpose of enforcing property and maintenance standards.
- 5. The applicant shall provide fully improved access from Calabash Avenue to the project site prior to the issuance of a building permit.
- 6. This Design Review Permit shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion of the first Building and Safety Division inspection, has commenced within this period.
- 7. This project shall comply with all applicable provisions, regulations and development standards of the City of Fontana Municipal Code.
- 8. Any foam treatment used for architecture treatments and/or projections located on the first floor (under 14 feet) shall be covered with concrete or similar durable material a minimum of ½ inch thick, or as determined by the Director of Planning.
- 9. The applicant shall provide up-lighting on the perimeter and up-light proposed trees to the satisfaction of the Director of Planning and his/her designee.
- 10. The applicant shall post a publicly visible sign on the project site with the telephone number and 24-hour point of contact for dust, noise, and construction complaints. The 24-hour point of contact shall be available 24 hours a day, 7 days a week and have authority to commit additional assets to control dust, or respond to construction complaints after hours, on weekends and on holidays. Construction shall be limited to 7:00am to 6:00pm on weekdays, 8:00am to 5:00pm on Saturdays, and no construction on Sundays and Holidays.
- 11. Historic Archaeological Resources

- A. Upon discovery of any tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project while evaluation takes place.
- B. Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.
- C. Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.
- 12. The construction contractor will use the following source controls at all times:
 - A. Construction shall be limited to 7:00 am to 6:00 pm on weekdays, 8:00 am to 5:00 pm on Saturdays, and no construction on Sundays and Holidays unless it is approved by the building inspector for cases that are considered urgently necessary as defined in Section 18-63(7) of the Municipal Code.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the

following path controls, except where not physically feasible, when necessary:

- 1. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
- 2. Temporarily enclose localized and stationary noise sources.
- 3. Store and maintain equipment, building materials, and waste materials as far as practical from as many sensitive receivers as practical.

PRIOR TO ISSUANCE OF GRADING PERMIT

13. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building or grading plans prior to issuance of any building or grading permits.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

- 14. Development fees and Planning Department final inspection fee must be paid prior to Certificate of Occupancy.
- 15. Prior to the issuance of a Certificate of Occupancy, the applicant shall underground all utilities, which for the purpose of this condition shall include all boxes, structures and/or other equipment located in the public rights-of-way, any public utility easement(s), and on any private property, to the satisfaction of the Director of Planning.

ENGINEERING DEPARTMENT:

- 16. The project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
- 17. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
- 18. The Applicant shall maintain all improvements and utilities within the public right-ofway, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

19. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

PRIOR TO MAP RECORDATION

20. Applicant shall provide a Subdivision Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

- 21. Applicant shall record all map's, right-of-way dedications, easements, drainage acceptance agreement (from Assessor's Parcel No. 0230-011-34) as required for the development.
- 22. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

- 23. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
- 24. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
- 25. The Applicant/Engineer shall set survey monuments as required by the map and corner records must be recorded with the County.
- 26. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
- 27. All sewers shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Contractor performing the video inspection must have a NASSCO PACP, LACP, and MACP certification. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff with an accompanying full report. Videos to be inspected and approved by City Inspector. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
- 28. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

BUILDING AND SAFETY:

- 29. The applicant shall design the project to show compliance with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Residential Code
 - c. California Electrical Code
 - d. California Mechanical Code
 - e. California Plumbing Code
 - f. California Energy Code
 - g. California Fire Code
 - h. California Green Building Standards Code
- 30. The applicant shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
- 31. The applicant shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
- 32. The applicant shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.
- 33. The applicant shall comply with the following grading requirements:
 - a. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - b. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - c. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - d. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - e. No water course or natural drainage shall be obstructed.
 - f. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - g. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - h. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic

- calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.
- i. The on site drainage system shall, as a minimum, be designed to handle the run off generated by a ten (10) year storm. Check for flooding of all on site structures (buildings) and all adjacent properties during a hundred (100) year storm.
- j. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - A. The relationship between the proposed finished on site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.); and
 - B. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.); and
 - C. All proposed drainage structures; and
 - D. Any proposed and/or required walls or fencing.
- 34. The applicant is required to obtain permits for the removal and/or demolition of structures.
- 35. In addition to approval from Building & Safety, the applicant is required to obtain approval from the California Regional Water Quality Control Board, Santa Ana Region for the Private Sewage Disposal System.
- 36. The applicant shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 37. The following items (as applicable) shall be completed by the applicant and submitted to Building & Safety prior to the issuance of building permits for this project:
 - a. Precise grading plans shall be approved
 - b. Rough grading completed
 - c. Compaction certification
 - d. Pad elevation certification
 - e. Rough grade inspection signed off by a City Building Inspector
- 38. The project will need to comply with all accessibility provisions found in Ch 11A & 11B of the CBC.

FONTANA FIRE PREVENTION DISTRICT:

39. <u>Jurisdiction.</u> The above referenced project is under the jurisdiction of the Fontana fire Protection District (herein "Fire Department"). Prior to any construction occurring

- on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
- 40. <u>Fire Access Road Width.</u> Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys, and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. <u>California Fire Code</u> Chapter 5 & SBCoFD Standard A-1.
- 41. <u>Turnaround.</u> An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns. <u>California Fire Code Chapter 5 & SBCoFD Standard A-1.</u>
- 42. <u>Street Signs:</u> Approved temporary or permanent street signs shall be installed throughout the project prior any combustible materials being placed on the construction site. <u>California Fire Code Chapter 5 & SBCoFD Standard A-2.</u>
- 43. <u>Fire Lanes.</u> The applicant shall submit a site plan to the Fire Department for review and approval of all proposed signage and striping for all fire access roadways. All curbs adjacent to fire lanes shall be painted red and "No Parking, Fire Lane" signs shall be installed on public and private roads in accordance with approved standards. SBCoFD Standard A-2.
- 44. <u>Hydrant Marking</u>. Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. <u>SBCoFD Standard W-2</u>.
- 45. Water Improvement Plan: The applicant shall submit "Water Improvement Plans" to Fontana Fire Prevention. W.I.P. to indicate the existing & proposed fire hydrant locations, building construction type and square foot size. Once approved by Fire Department, applicant will provide stamped/approved W.I.P to water purveyor for their construction needs. FIRE WATER SUPPLY SHALL BE INSPECTED AND IN WORKING CONDITION PRIOR TO PLACING COMBUSTIBLE MATERIALS ON THE JOBSITE. California Fire Code Chapter 5.
- 46. <u>Combustible Protection.</u> Prior to combustibles being placed on the project site an approved paved roadway providing fire access and fire hydrants providing an acceptable fire flow shall be installed. California Fire Code Chapter 5.
- 47. <u>Fire Sprinkler-NFPA</u> #13D. An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor

- shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. <u>California Fire Code Chapter 9 & SBCoFD Standard F-2.</u>
- 48. <u>Fire Sprinkler-NFPA #13R.</u> An automatic fire sprinkler system complying with NFPA 13R and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. <u>California Fire Code Chapter 9 & SBCoFD Standard F-3</u>
- 49. <u>Fire Extinguishers.</u> Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. <u>California Fire Code</u> Chapter 9.
- 50. Commercial Addressing. Commercial, industrial, and multi-family developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum eight (8) inches in height and with a one (1) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated contrasting six (6) inch numbers shall be displayed at the property access entrances. California Fire Code Chapter 5 & SBCoFD Standard B-1
- 51. <u>Illuminated Site Diagram.</u> The applicant shall submit for review and approval a site diagram plan to the Fire Department. The applicant shall install at each entrance to a multi-family complex an illuminated diagrammatic representation of the complex, which shows the location of each unit and each fire hydrant. <u>California Fire Code Chapter 5 & SBCoFD Standard B-1</u>
- 52. <u>Security Gates.</u> In commercial, industrial, and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. <u>California Fire Code Chapter 5 & SBCoFD Standard A-3</u>
- 53. San Bernardino County Fire Standards/Codes: Items not directly called out on these Conditions of Approval, shall also adhere to currently adopted San Bernardino County Fire Standards, California Fire Code, & NFPA.

END OF CONDITIONS

NOTICE OF EXEMPTION

TO:	Clerk of the Board of Supervisors County of San Bernardino 385 N. Arrowhead Avenue, 2nd Floor San Bernardino, CA 92415-0130	FROM: City of Fontana Planning Department 8353 Sierra Avenue Fontana, CA 92335
1.	. Project Title: MCN 21-106, Tentative Tract Map No.	. 21-005 (TTM No. 20498) and DRP 21-042
2.	. Project Location - Specific: 8162 Calabash Avenue	(APN: 0230-011-36)
3.	(a) Project Location - City: <u>Fontana, CA 92335</u>(b) Project Location - County: <u>San Bernardino</u>	
4.	Description of nature, purpose, and beneficiaries of <u>Tract Map No. 21-005 (TTM No. 20498) is a reques</u> <u>family project along with associated improvement</u>	st to develop on a 2.5-acre site with a 46-unit multi-
4.	Name of Public Agency approving project: City of Fo	ontana_
5.	34	alabash Fontana Holding LLC I Woodcrest vine, CA 92603
6.		
No (C) pro pro us Th is	Reason why project was exempt: The project qualified o. 15332, (Class No. 32, In-Fill Development Project) and Section No. 3.22 (In-Fill Projects) of the 2 roject site is considered In-Fill Development and roject is consistent with the Walkable Mixed-Use Cose designation and the Form Based Code (FBC) Rohe project site is less than five (5) acres at approximation of within any known sensitive or threatened has ignificant effect related to traffic, noise, air quality, tilities services for the development of the propose	ject) of the California Environmental Quality Act 019 Local Guidelines for Implementing CEQA. This meets the CEQA requirements of In-fill: (1) The corridor & Downtown (WMXU-1) General Plan land oute 66 subdistrict designation and regulations; (2) nately 2.5 adjusted gross acres; (3) The project site abitat area; (4) The project site will not have any or water quality; and (5) There are adequate public
8.	. Contact Person: <u>Alejandro Rico, Associate Planner</u>	Telephone: (909) 350-6558
Da		Rina Leung Senior Planner
	(Clerk Stamp Here)	



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case No. (MCN) 21-106, Tentative Tract Map No. 20498 (TTM21-005) and Design Review No. (DRP) 21-042

A request of the Planning Commission to review and approve Tentative Tract Map No. 20498 (TTM21-005) and Design Review No. 21-042 for a forty-six (46) unit condominium project along with associated improvements.

Environmental Determination:

This project has been determined to be Exempt pursuant to Section No. 15332 Class 32 (In-Fill Development) of the California Environmental Quality Act (CEQA) and Section No. 3.22 (Categorical Exemption) of the 2019 Local Guidelines for Implementing the California Environmental Quality Act.

Location of Property: 8162 Calabash Avenue (APN: 0230-011-

,

<u>Date of</u> September 19, 2023 Hearing:

Place of City Hall Council Chambers Hearing: 8353 Sierra Avenue

8353 Sierra Avenue Fontana, CA 92335

<u>Time of</u> 6:00 P.M Hearing:







Should you have any questions concerning this project, please contact Alejandro Rico, Associate Planner, at (909) 350-6558 or by email at arico@fontanaca.gov

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION AT THE PLANNING DEPARTMENT, CITY HALL. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.



City of Fontana

8353 Sierra Avenue Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2228 **Agenda Date: 9/19/2023** Agenda #: PH-C Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. (MCN) 22-040, General Plan Amendment (GPA) 22-001, and Zoning District Map Amendment (ZCA) No. 22-001 to, pursuant to a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, amend the General Plan land use designation from Single-Family Residential (R-SF) to Multi-Family Medium/High Density Residential (R-MFMH) and change the zoning from Single-Family Residential (R-1) to Multi-Family Medium/High Density Residential (R-4) on a site of approximately 6.4 acres. No development is proposed as part of this project.

RECOMMENDATION:

Based on the information contained in this staff report, staff recommends that the Planning Commission adopt Resolution No. PC 2023- , and forward a recommendation to the City Council to:

- 1. Adopt the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and direct staff to file a Notice of Determination; and
- 2. Adopt a resolution approving General Plan Amendment (GPA) No. 22-001; and
- Adopt an ordinance approving Zoning District Map Amendment (ZCA) No. 22-001.

APPLICANT:

SP Acquisition, LLC. Jason Korengold 130 Vanita, Suite 200 Aliso Viejo, CA 92656

LOCATION:

The site is located on the north side of Merrill Avenue between Alder Avenue and Laurel Avenue (APNs: 0246-151-50, -51, -52, -56, -71, and -77).

REQUEST:

- 1. General Plan Amendment (GPA) No. 22-001 a request to amend the General Plan land use designation from Single-Family Residential (R-SF) to Multi-Family Medium/High Density Residential (R-MFMH).
- 2. Zoning District Map Amendment (ZCA) No. 22-001 a request to change the zoning designation from Single-Family Residential (R-1) to Multi-Family Medium/High Density Residential (R-4).

File #: 21-2228 **Agenda Date:** 9/19/2023 Agenda #: PH-C Category: Public Hearing

PROJECT PLANNER:

Alexia De La Torre, Assistant Planner and Salvador Quintanilla, Senior Planner

BACKGROUND INFORMATION:

A. Existing Land Use Designation

	General Plan	Zoning	Existing Land Use
Site:	Residential-Single Family (R-SF)	Single-Family Residential (R-1)	Parcels are primarily vacant with the exception of one (1) existing single-family house
North:	Residential-Single Family (R-SF)	Single-Family Residential (R-1)	Single-Family Homes
South:	Residential-Single Family (R-SF)	Single-Family Residential (R-1)	Single-Family Homes/Elementary School
East:	Residential-Single Family (R-SF)	Single-Family Residential (R-1)	Single-Family Homes
West:	Residential-Single Family (R-SF)	Single-Family Residential (R-1)	Single-Family Homes

PROJECT DESCRIPTION:

Background Information: The current site is vacant and surrounded by residential development. The site is located on the north side of Merrill Avenue and west of Alder Avenue, which both streets are classified as a Secondary Highway. The existing General Plan Land Use Designation is Single-Family Residential (R-SF) and the existing Zoning District is Single Family (R-1). No development is proposed as part of this project.

B. Project Site Area: Approximately 6.4 acres

C. Current Density: 2.1 - 5 du/ac

D. Proposed Density: 24.1 - 39 du/ac

The applicant is requesting to amend the General Plan Land Use Designation from Single-Family Residential (R-SF) to Multi-Family Medium/High Density Residential (R-MFMH) and the Zoning District from Single-Family (R-1) to Multi-Family Medium/High Density Residential (R-4). At this time the applicant is not proposing any development on the site.

The proposed amendment is consistent with the following goals and policies of the Housing Element in the General Plan:

File #: 21-2228 **Agenda Date:** 9/19/2023 Agenda #: PH-C Category: Public Hearing

- Provide adequate housing to meet the needs of all residents in Fontana.
- Provide a high standard of quality in existing affordable housing stock.

Furthermore, the proposed project will meet the following policies of the Housing Element of the General Plan:

- Goal No.1, Policy No. 1.1, by providing a "Establish a range of rental and for sale housing" opportunities in the city" and
- Goal No. 1, Policy No. 1.3 "Promote the development and access to housing affordable to all income levels in Fontana"

The proposed project is adjacent to two streets classified as Secondary Highways. These streets currently provide public transportation along Alder Avenue and Merrill Avenue. The stops will be a benefit to future tenants as they will have a short walk to public transportation stations. Future tenants would also have a school within walking distance.

The amendment will present an opportunity for development to be constructed at a higher density which will allow City to have a wider variety of housing types for residents. This amendment will increase the unit count and provide opportunity for attainable or market rate housing. Also, this amendment will assist the City of Fontana in meeting its Regional Housing Needs Assessment (RHNA) numbers. This change will increase the unit count from the existing maximum of 32 residential units (6.4 acres \times 5.0/acres = 32) to 249 residential units (6.4 acres \times 39 units/acre = 249). The proposed amendment will increase the potential residential units count by 217 units. The potential for additional new housing is consistent with State housing goals as well as the City's goal to encourage additional housing opportunity. Any future development will come before the Planning Commission for consideration.

Environmental:

An Initial Study (IS)/Mitigated Negative Declaration, and Mitigation Monitoring and Reporting Program has been prepared for this project pursuant to the California Environmental Quality Act (CEQA) and the 2019 Local Guidelines for Implementing CEQA. The IS concluded that no impacts would be caused by the project; therefore, a Mitigated Negative Declaration and a Notice of Determination have been prepared for the Planning Commission's consideration. The Initial Study/Mitigated Negative Declaration, and Mitigation Monitoring and Reporting Program can be found at https://www.fontanaca.gov/2137/Environmental-Documents.

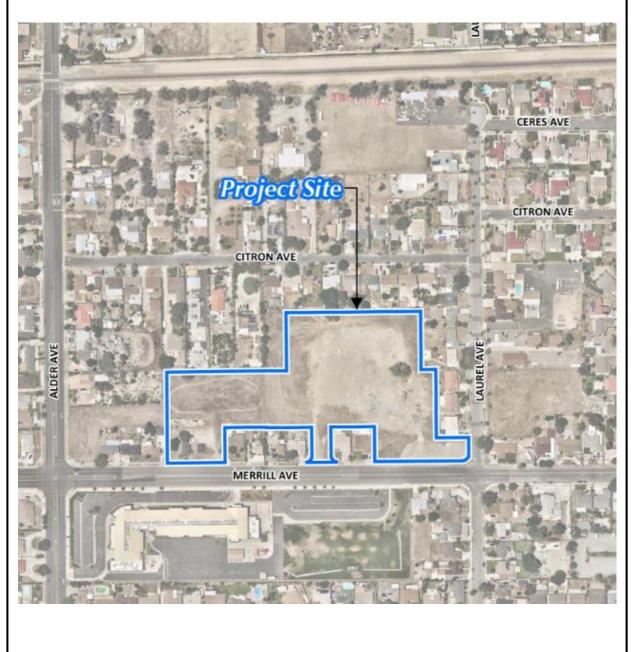
MOTION:

Approve staff's recommendation.

ATTACHMENTS:

- 1. Vicinity Map
- 2. Existing and Proposed General Plan Land Use Designation
- 3. Existing and Proposed Zoning District
- 4. Planning Commission Resolution and Findings
- 5. Notice of Determination
- Notice of Intent to Adopt a Mitigated Negative Declaration and Public Hearing Notice

Agenda Date: 9/19/2023 **Category:** Public Hearing File #: 21-2228 Agenda #: PH-C



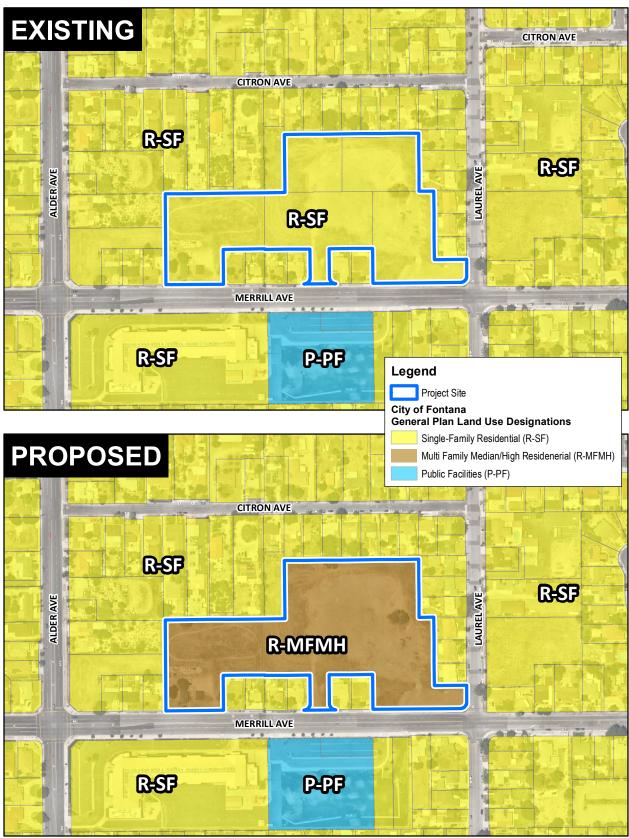
CITY OF FONTANA PLANNING DEPARTMENT

VICINITY MAP

DATE: September 19, 2023

CASE: Master Case No. 22-040

General Plan Amendment No. 22-001 Zone Change Application No. 22-001



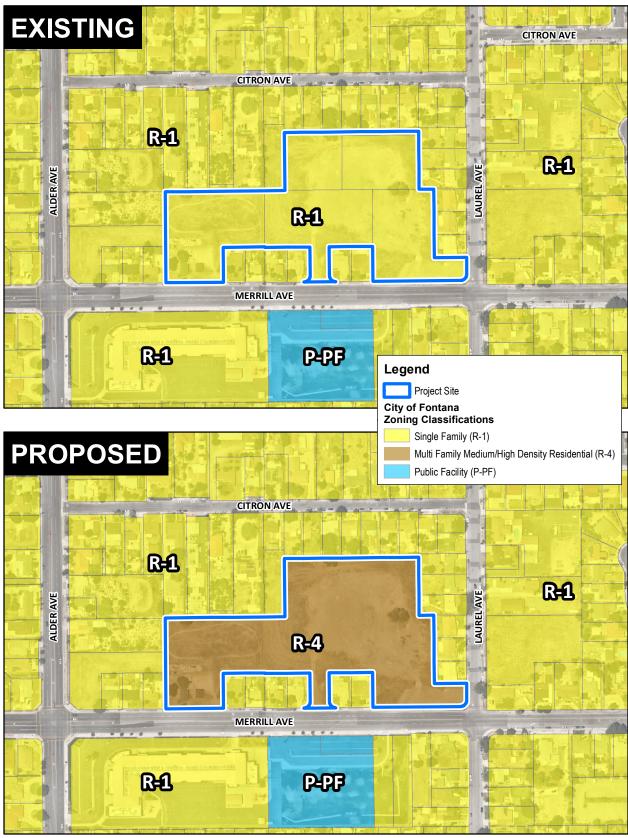
Source(s): City of Fontana (2021), ESRI, Nearmap Imagery (2022), SB County (2022)

Figure 3



Proposed General Plan Amendment

City of Fontana Page X-X



Source(s): City of Fontana (2021), ESRI, Nearmap Imagery (2022), SB County (2022)

Figure 4



Proposed Change of Zone

City of Fontana Page X-X

RESOLUTION PC NO. 2023-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA RECOMMENDING THAT THE CITY COUNCIL APPROVE PURSUANT TO A MITIGATED NEGATIVE DECLARATION, A GENERAL PLAN AMENDMENT (GPA) 22-001 AND ZONING DISTRICT MAP AMENDMENT (ZCA) NO. 22-001 TO CHANGE THE GENERAL PLAN LAND USE DESIGNATION FROM SINGLE-FAMILY RESIDENTIAL (R-SF) TO MULTI-FAMILY MEDIUM/HIGH DENSITY RESIDENTIAL (R-MFMH) AND THE ZONING FROM SINGLE-FAMILY RESIDENTIAL (R-1) TO MULTI-FAMILY MEDIUM/HIGH DENSITY RESIDENTIAL (R-4) ON AN APPROXIMATELY 4.6 ACRE SITE.

WHEREAS, on January 25 ,2022, the City of Fontana ("the City") received an application from Jason Korengold ("Applicant"), on behalf of SP Acquisition LLC, for General Plan Amendment No. 22-001 and Zoning District Map Amendment No. 22-001 to amend the General Plan land use designation on the north side of Merrill Avenue, between Alder Avenue and Laurel Avenue (APNs: 0246-151-50, -51 -52, -56, -71 and -77) from Single-Family Residential (R-SF) to Multi-Family Medium/High Density Residential (R-MFMH) and to change the zoning from Single-Family Residential (R-1) to Multi-Family Medium/High Density Residential (R-4) for approximately 4.6 gross acres; and,

WHEREAS, an amendment to the General Plan and Zoning Code will provide an opportunity for the development of a higher density and a wider variety of housing types for residents; and

WHEREAS, an amendment to the General Plan and Zoning Code will provide opportunity for attainable or market rate housing; and

WHEREAS, an amendment to the General Plan and Zoning Code will assist the City in meeting its Regional Housing Needs Assessment (RHNA) numbers; and

WHEREAS, General Plan Amendment No. 22-001 and Zoning Code Amendment No. 22-001 are supported by the goals and policies of the General Plan; and

WHEREAS, pursuant to the California Environmental Act (CEQA), an Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Program were completed on July 28, 2023, and concluded that no significant impacts would be caused by the project, therefore, a Mitigated Negative Declaration has been recommended for adoption; and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and,

WHEREAS, the owners of property within 660 feet of the proposed project site were notified via public hearing notice mailer prior to the Public Hearing; and a notice

of the public hearing was published in the *Fontana Herald* newspaper on August 25, 2023, at City Hall and at the project site; and,

WHEREAS, the Commission carefully considered all information, evidence, and testimony presented at its public hearing on September 19, 2023 pertaining to the General Plan Amendment No. 22-001 and Zoning District Map Amendment No. 22-001; and,

WHEREAS, all other legal prerequisites to the adoption of this resolution have occurred.

NOW, **THEREFORE**, the Planning Commission RESOLVES as follows:

Section 1. Recitals. The above recitals are incorporated herein by reference.

<u>Section 2</u>. <u>CEQA.</u> The Planning Commission has reviewed and considered the Initial Study, Mitigated Negative Declaration, and Mitigation Monitoring and Reporting Program, any oral or written comments received, and the administrative record prior to making any decision on the proposed project. The Planning Commission finds that the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program contain a complete and accurate reporting of all the environmental impacts associated with the Project. The Planning Commission further finds that the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program has been completed in compliance with the 2019 Local CEQA Guidelines and the State CEQA Guidelines.

<u>Section 3.</u> General Plan Amendment Findings. The City of Fontana Planning Commission hereby makes the following findings for General Plan Amendment No. 22-001 in accordance with Section 30-31 "Purpose" of the Fontana Zoning and Development Code:

Finding:

The purpose and intent is to keep an updated General Plan to reflect the current desires and needs of the citizens for the long-term growth of the City.

Findings of Fact:

An amendment of the General Plan Land Use Designation of the site from Single-Family Residential (R-SF) to Multi-Family Medium/High Density Residential (R-MFMH) would allow for the future construction of potentially 249 residential units as opposed to the current 32 units allowed in this total area combined. The amendment provides the opportunity for the City to gain additional residential units to provide more housing. This project will bring a variety of residential units to the City from market rate to attainable units. The additional residential units will help the long-term growth of the City, as well as reduce the RHNA number for the City. Furthermore, amendment is consistent with the goals and policies in the General Plan and reflects the current desires and needs of the citizens.

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<u>Section 4.</u> Zoning District Map Amendment Findings. The City of Fontana Planning Commission hereby makes the following findings for Zoning District Map Amendment No. 22-001 in accordance with Section 30-40 "Purpose" of the Fontana Zoning and Development Code:

Finding:

The Zoning and Development Code may be amended by changing the development standards (text) or zoning designation map boundaries of any zone whenever such an amendment is deemed necessary to protect or promote the public's health, safety, or general welfare or when modification is viewed as appropriate in the context of generally accepted planning principles, surrounding land uses, and the General Plan.

Findings of Fact:

The zoning designation change from Single-Family Residential (R-1) to Multi-Family Medium/High Density Residential (R-4) will allow for the construction of potentially 249 residential units as opposed to the current 32 units within this area. The surrounding streets are adequate to for the future development of multi-family. The proposed project will bring long-term growth for the City and will promote and motivate additional growth around this area. The zone change will allow the development of a multi-family project which will reviewed by the Planning, Fire, and Building Department. Additionally, the future development will be required to meet all the Fire Code, Building Code, and Fontana Municipal Code. Therefore, the proposed zone change will promote public's health, safety, or general welfare.

<u>Section 5</u>. <u>Recommendation</u>. Based on the foregoing, the City of Fontana Planning Commission recommends that the City Council adopt a resolution adopting the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Reporting Program and direct staff to file the Notice of Determination and approving General Plan Amendment No. 22-001 and Zoning District Map Amendment No. 22-0001 subject to the findings as indicated herein.

Section 6. Effective Date. This Resolution shall become effective immediately upon its adoption.

<u>Section 7.</u> Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code section 21081.6.

<u>Section 8.</u> Certification. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

Section 9. Severability. If any provision of this Resolution or the application of any such provision to any person or circumstance is held invalid, such invalidity shall

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Resolution PC No. 2023
not affect other provisions or applications of this Resolution that can be given effect without the invalid provision or application.
PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this 19 th day of September 2023.
City of Fontana
Cathline Fort, Chairperson
ATTEST:
I, Ralph Thrasher, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on this 19 th day of September 2023, by the following vote, to-wit:
AYES: NOES: ABSENT: ABSTAIN:
Ralph Thrasher, Secretary

Page 4 of 4 143

NOTICE OF DETERMINATION

TO: <u>X</u>	County Clerk, County of San Bernardino	FROM:	City of Fontana Planning Department 8353 Sierra Avenue
	Office of Planning and Research		Fontana, CA 92335
SUBJEC	T: Filing of Notice of Determination in Resources Code.	n Compliand	e with Section 21152 of the Public
Project 1	Fitle: General Plan Amendment (GPA)		and Zoning District Map Amendment - Alder and Merrill GPA and Zone
	Change.	110. 22-040	<u> </u>
	earinghouse Number: <u>N/A</u>		
Name of	Person or Agency carrying out project	t: <u>Jason Ko</u>	engold, SP Acquisition, LLC.
Project L	Location: The project site is located of Avenue and Laurel Avenue (A		side of Merrill Avenue between Alder 51-50, -51, -5256, -71, and -77)
Project L	Zoning District Map Amen designation from Single-Fam Density Residential (R-MFN	0) for a propodument to a sily Residentian (H) and chartistic-Family/Hig	osed General Plan Amendment and a amend the General Plan land use al (R-SF) to Multi-Family Medium High ange the zoning from Single-Family h Density Residential (R-4). No
	c certify that the City of Fontana appro , and made the following determination		ove-described project on September
 The project will _X_ will not have a significant effect on the environment. Mitigation measures X were were not made a condition of the approval of the project. A Statement of Overriding Considerations was _X_ was not adopted for this project. Findings X were were not made pursuant to the provisions of CEQA. The location and custodian of the documents which comprise the record of proceedings for the Addenda are specified as follows: Custodian: City of Fontana, Planning Department Location: 8353 Sierra Avenue, Fontana, CA 92335 			
			alvador Quintanilla enior Planner
Date Rec	eived for Filing		



NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION AND NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

The Project site is not on any properties listed under Section 65962.5 of the Government Code.

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case No. 22-040: General Plan Amendment (GPA) No. 22-001, and Zone Change (ZC) No. 22-001

The Project consists of a proposed General Plan Amendment and a Zone Change for a 6.4-acre property ("Project Site") that is located north of Merrill Avenue, between Alder Avenue and Laurel Avenue. The General Plan Amendment would change the General Plan land use designation from Single-Family Residential (R-SF) to Multi-Family Medium High Density Residential (R-MFMH) and the zoning from Single-Family Residential (R-1) to Multi-Family Medium/High Density Residential (R-4). No development is proposed as part of this project.

Environmental Determination:

Pursuant to Section No. 15070 of the California Environmental Act (CEQA) and pursuant to Section No. 6.04 of the 2019 Local Guidelines for Implementing CEQA an Initial Study (IS), Mitigated Declaration (MND), Negative Mitigation Monitoring and Reporting Program has been prepared for this project. Based on the information in the Initial Study, no significant impact is anticipated as a result of project implementation, with mitigation incorporated, and a Mitigated Negative Declaration has been prepared for the Planning Commission's consideration.



Location of Property:

The Project Site is located North of Merrill Avenue between Alder Avenue and Laurel Avenue. The approximately 6.4-acre Project Site includes six (6) parcels, including Assessor Parcel Numbers (APNs) 0246-151-50, -51, -52, -56, -71, and -77.

Date of Hearing: September 19, 2023

Place of Hearing: City Hall Council Chambers

8353 Sierra Avenue Fontana, CA 92335

Time of Hearing: 6:00 p.m.

The Initial Study and Mitigated Negative Declaration are available for public review from August 24, 2023 until September 18, 2023, at the Planning Department counter and on the City of Fontana's website, https://www.fontanaca.gov/2137/Environmental-Documents. Should you have any questions concerning this project, please contact Alexia De La Torre, Assistant Planner, at (909) 350-6568 or at adelatorre@fontanaca.gov or Salvador Quintanilla, Senior Planner, at (909) 350-6656 or squintanilla@fontanaca.gov.

ANY INTERESTED PARTY MAY APPEAR AND PRESENT ANY INFORMATION WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION IN THE PLANNING DEPARTMENT, CITY HALL.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

Publish date: August 25, 2023



City of Fontana

8353 Sierra Avenue Fontana, CA 92335

Action Report

Planning Commission

File #: 21-2481 **Agenda Date:** 9/19/2023 **Category:** Director Comments Agenda #: DC-A

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO:

Planning Commission

FROM:

Patty Nevins, Director of Planning

RE:

Agenda for Upcoming City Council Items

DATE:

September 19, 2023

The items listed below are for agenda forecast purposes and are subject to change.

CITY	COLINCIL	SEPTEMBER	26	2023
CILI	COUNCIL	OLL I LINIDLIX	20.	2023

PLANNER

PLACEMENT

1. APL#23-016

Appeal for MCN#22-107; MUP#22-007; ASP#22-028 New 75-foot wireless monopalm with antennas

17010 Sierra Lakes Pkwy. Ma

Mai Thao

Public Hearing

CITY COUNCIL OCTOBER 10, 2023

PLANNER

PLACEMENT

No items listed for this meeting, as of the date of this memo.



MEMORANDUM

TO:

Planning Commission

FROM:

Patty Nevins, Director of Planning

RE:

Agenda for Upcoming Planning Commission Items

DATE:

September 19, 2023

The items listed below are for agenda forecast purposes and are subject to change.

PLANNING COMMISSION OCTOBER 3, 2023	PLANNER	PLACEMENT
MCN#23-090; ZCA#23-003 Zoning and Development Code Update Citywide	Salvador Quintanilla	Public Hearing
PLANNING COMMISSION OCTOBER 17, 2023	PLANNER	PLACEMENT
 MCN#23-065; CUP#23-009; CUP#23-010 Valley Truck Sales and Repair 15170 & 15132 Valley Blvd. 	Alexia De La Torre	Public Hearing
 MCN#23-092; GPA#23-003; ZCA#23-004; ZCA#23-005; ASP#23-037 Land Use Redesignation from OS to I-L/M-1 Tokay Ave. and Arrow Blvd. 	Rina Leung	Public Hearing