

City of Fontana

8353 Sierra Avenue
Fontana, CA 92335



Regular Agenda

Resolution PC No. 2022-035

Tuesday, September 6, 2022

6:00 PM

Grover W. Taylor Council Chambers

Planning Commission

Cathline Fort, Chair

Raj Sangha, Vice Chair

Idilio Sanchez, Secretary

Matthew Gordon, Commissioner

Ralph Thrasher, Commissioner

Welcome to a meeting of the Fontana Planning Commission.

Welcome to a meeting of the Fontana Planning Commission. A complete agenda packet is located in the binder on the table in the lobby of the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335. To address the Planning Commission, please fill out a card located at the entrance to the right indicating your desire to speak on either a specific agenda item or under Public Communications and give it to the City Clerk. Your name will be called when it is your turn to speak. In compliance with Americans with Disabilities Act of 1990 (42 USC § 12132), the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335 is wheelchair accessible, and a portable microphone is available. Upon request, this agenda will be made available in appropriate alternative forms to persons with disabilities, as required by Section 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such a request to the City Clerk's Office at (909) 350-7602 at least 48 hours before the meeting, if possible. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection in the Grover W. Taylor Council Chambers 8353 Sierra Avenue Fontana, CA 92335.

Traduccion en Español disponible a peticion. Favor de notificar al Departamento "City Clerk". Para mayor informacion, favor de marcar el numero (909) 350-7602.

CALL TO ORDER/ROLL CALL:

- A. Call To Order/Roll Call:

INVOCATION/PLEDGE OF ALLEGIANCE:

- A. Invocation/Pledge of Allegiance:

PUBLIC COMMUNICATIONS:

This is an opportunity for citizens to speak to the Planning Commission for up to three minutes on items not on the Agenda, but within the Planning Commission's jurisdiction. The Planning Commission is prohibited by law from discussing or taking immediate action on non-agendized items.

- A. Public Communications:

CONSENT CALENDAR:

All matters listed under CONSENT CALENDAR will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time Planning Commission votes on them, unless a member of the Planning Commission requests a specific item be removed from the Consent Calendar for discussion. Does any member of the public wish to address the Planning Commission regarding any item on the Consent Calendar before the vote is taken?

- A. Approval of Minutes

Approve the Regular Planning Commission Meeting Minutes of August 16, 2022.

CC-A Approval of Minutes of August 16, 2022.

21-1638

Attachments: [Draft Planning Commission Minutes of August 16, 2022](#)

Approve Consent Calendar Item as recommended by staff.

PUBLIC HEARINGS:

To comment on Public Hearing Items, you may submit comments via e-mail at planning@fontana.org. In the subject of your e-mail please indicate whether you are in favor or opposition of the item. Comments must be received no later than 5:00 p.m. on the day of the meeting. You may also fill out a card at the meeting and give it to the City Clerk. Public Comments should be no longer than three (3) minutes. If you challenge in court any action taken concerning a Public Hearing item, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

All Public Hearings will be conducted following this format:

- (a) hearing opened
- (b) written communication
- (c) council/staff comments
- (d) applicant comments
- (e) oral - favor
- (f) oral - opposition
- (g) hearing closed

PH-A Master Case No. 22-036 and Design Review No. 22-019; A request for site and architectural review and approval for the construction of 249 single-family homes ranging in size from 1,905 square feet to 3,251 square feet in the Arboretum Specific Plan.

21-1624

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings, and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022 - ____: and,

- 1. Determine that the project has been reviewed under a previous Final Environmental Impact Report (State Clearing House No. (2006071109), pursuant to Section 15162 through 15164 of the California Environmental Quality Act (CEQA) Guidelines and Section 8.10 of the City of Fontana's 2019 Local Guidelines for Implementing CEQA and direct staff to file the Notice of Determination; and,**

2. Approve Design Review No. 22-019.**APPLICANT:**

Adrian Hermanson
Lennar Homes of California
980 Montecito Drive, Suite 302
Corona, CA 92879

LOCATION:

The project site is located on the southwest corner of Duncan Canyon Road and Sierra Avenue.

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

Attachments: [Attachment No. 1 - Vicinity Map](#)
[Attachment No. 2 - Project Plans](#)
[Attachment No. 3 - Planning Commission Resolution, Findings, and Conditions of Approval](#)
[Attachment No. 4 - Notice of Determination](#)
[Attachment No. 5 - Notice of Public Hearing](#)

PH-B Master Case No. 21-017; Variance No. 21-002; Tentative Tract Map No. 20307 (TTM No. 21-001); Design Review No. 21-005 - A request for approval to subdivide an existing parcel comprised of approximately 2.03 acres into nine individual lots for single family development along with a variance to reduce the required lot depth for Lot Nos. 1, 2, 3, 7, 8, and 9, and to develop the proposed lots with nine single family homes.

[21-1651](#)

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022-____; and,

1. Determine that the project is Categorically Exempt pursuant Section No. 15332, (Class No. 32, In-Fill) and Section No. 3-18 (In-Fill Projects of the 2019 Local Guidelines for implementing CEQA, and direct staff to file a Notice of Exemption;

2. Approve Variance No. 21-002;

3. Approve Tentative Tract Map 20307 (TTM No. 21-001);

4. Approve Design Review No. 21-005.**APPLICANT:**

Omar Marroquin
1188 W Marshall Blvd.
San Bernardino, CA 92405

LOCATION:

The project site is located on the southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13).

PROJECT PLANNERS:

Rina Leung, Senior Planner
Nicole Campbell, Assistant Planner

Attachments: [Attachment No. 1 - Vicinity Map](#)

[Attachment No. 2 - Project Plans](#)

[Attachment No. 3 - Planning Commission Resolution Findings and Conditions of Approval](#)

[Attachment No. 4 - Notice of Exemption](#)

[Attachment No. 5 - Notice of Public Hearing](#)

UNFINISHED BUSINESS:

A. None

NEW BUSINESS:

A. None

DIRECTOR COMMUNICATIONS:

A. Director Communications:

DC-A Upcoming cases scheduled for City Council and Planning Commission. [21-1639](#)

An update of future City Council agenda items for September 13, 2022 and September 27, 2022 for the Planning Commission's information.

An update of future Planning Commission agenda items for September 20, 2022 and October 4, 2022 for the Planning Commission's information.

Attachments: [Upcoming City Council Items Memo](#)
[Upcoming Planning Commission Items Memo](#)

COMMISSION COMMENTS:

A. Planning Commission Remarks:

WORKSHOP:

A. None

ADJOURNMENT:

A. Adjournment

Adjourn to the next Regular Planning Commission Meeting on Tuesday, September 20, 2022 at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-1638
Agenda #: CC-A

Agenda Date: 9/6/2022
Category: Consent Calendar

FROM:
Planning

TITLE:
Approval of Minutes

RECOMMENDATION:
Approve the minutes of the Planning Commission Meeting of August 16, 2022.

DISCUSSION:
The Planning Commission will consider approval of the minutes of a Regular Planning Commission meeting of August 16, 2022. The draft minutes are attached to this report for the Planning Commission to review and approval.

MOTION:
Approve staff recommendation.



City of Fontana

Planning Commission

Minutes

Cathline Fort, Chair
Raj Sangha, Vice Chair
Idilio Sanchez, Secretary
Matthew Gordon, Commissioner
Ralph Thrasher, Commissioner

Tuesday, August 16, 2022 6:00 P.M. Grover W. Taylor Council Chambers

CALL TO ORDER/ROLL CALL:

A. Call to Order/Roll Call:

A regular meeting of the City of Fontana Planning Commission was held on Tuesday, August 16, 2022. Chair Fort called the meeting to order at 6:03 p.m.

Present: Chair Fort, Vice Chair Sangha, Secretary Sanchez,
Commissioners Gordon, and Thrasher

Absent: None

INVOCATION/PLEDGE OF ALLEGIANCE:

A. Invocation/Pledge of Allegiance:

Following the Invocation by Commissioner Gordon, the Pledge of Allegiance was led by Secretary Sanchez.

PUBLIC COMMUNICATIONS:

A. Public Communications:

None.

CONSENT CALENDAR:**A. Approval of Minutes:**

Approve the Regular Planning Commission Meeting Minutes of July 19, 2022.

ACTION: A Motion was made by Commissioner Gordon and seconded by Secretary Sanchez and passed unanimously by a vote of 5-0 to approve the Consent Calendar.

The motion carried by the following vote:

Aye: Chair Fort, Vice Chair Sangha, Secretary Sanchez, Commissioner Gordon, and Thrasher

Absent: None

PUBLIC HEARINGS:

PH-A Master Case No. 21-029R1 and Design Review No. 21-009R1 - Revision of a previously approved design review approval including the replacement of the three-story condominium units with two-story condominium units, addition of one unit to Building No. 16, provision of three (3) additional parking spaces to the proposed site plan, and adjustment of certain buildings, all for development of a 72-unit multi-family condominium project along with associated improvements on a 3.76-acre site.

Chair Fort opened Public Hearing.

Salvador Quintanilla, Senior Planner presented the staff report.

The commission and staff discussed the changes and the amended conditions of the project.

The applicant, Mohammad Monshizadeh, on behalf of MCO Development, Inc., stated that he read and agreed to the Conditions of Approval.

The commission and the applicant discussed revisions such as minimizing the footprints of the units which, allowed for additional landscaping. The applicant mentioned several other enhanced revisions to the project such as landscape, barbeques, and amenities.

No one spoke in favor or opposition of this item.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022-031; and,

1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development), and Section No. 3.22 of the 2019 Local Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and,

2. Approve Design Review Project No. 21-009R1.

ACTION: Motion was made by Secretary Sanchez, seconded by Commissioner Gordon, and passed unanimously by a vote of 5-0 to adopt Public Hearing – PH-A.

The motion carried by the following vote:

Aye: Chair Fort, Vice Chair Sangha, Secretary Sanchez, Commissioners Gordon and Thrasher

Absent: None

PH-B Master Case No. 21-093; Tentative Tract Map No. 20397 (TTM No. 21-004) and Design Review No. 21-036 - A request to establish a condominium map and to construct a 22-unit multi-family condo complex with associated improvements on approximately 1.1 adjusted gross acres.

Chair Fort opened Public Hearing.

Salvador Quintanilla, Senior Planner presented the staff report.

The commission and staff briefly discussed the projects' entrances and exits along Foothill Boulevard and Banana Avenue.

The applicant, Mohammad Monshizadeh, on behalf of MCO Development, Inc., stated that he read and agreed to the Conditions of Approval.

No one spoke in favor or opposition of this item.

The Public Hearing was closed.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022-032; and,

1. Determine that the project is categorically exempt pursuant to Section No. 15332 (Class No. 32, Infill Development), and Section No. 3.22 of the 2019 Local

Guidelines for Implementing the CEQA, and direct staff to file a Notice of Exemption; and;

- 2. Approve Tentative Tract Map No. 20397 (TTM No. 21-004); and**
- 3. Approve Design Review Project No. 21-036.**

ACTION: Motion was made by Commissioner Gordon, seconded by Commissioner Thrasher, and passed unanimously by a vote of 5-0 to adopt Public Hearing Item – PH-B.

The motion carried by the following vote:

Aye: Chair Fort, Vice Chair Sangha, Secretary Sanchez, Commissioner Gordon and Thrasher

Absent: None

PH-C Master Case No. 19-087: Tentative Parcel Map 19-013 (TPM No. 20151), Conditional Use Permit (CUP) No. 19-030, Conditional Use Permit (CUP) No. 22-025, and Administrative Site Plan (ASP) No. 19-056: A request to construct and operate a Dutch Bros drive-through coffee shop and a Chipotle drive-through, fast food restaurant along with a multiple tenant commercial use comprise of a total of approximately 5,822 square feet. The applicant is proposing to subdivide the site comprised of 1.51 acres into two (2) lots.

Chair Fort opened Public Hearing.

Rina Leung, Senior Planner presented the staff report.

The commission and staff discussed stacking levels of the projects; in addition, a discussion ensued regarding traffic control measures and the comparison of stacking levels to other business in the city. The commission briefly discussed the exits of the projects and asked staff for clarification on the operations of the drive-thru.

Staff also commented on the routing of traffic and that traffic would be controlled by the staff monitoring the site, and signage.

The Commission and staff discussed a possible future implementation of a full-service drive-thru to the project versus mobile orders; staff recommended adding a condition of approval. A discussion also took place regarding the exit points of the projects and potential concerns or hazards for pedestrians or drivers exiting and entering the facility; staff clarified on the use of lower landscaping and multiple entry and exiting points throughout the project. In addition, a discussion took place regarding the usage of exit only signage.

The Commission and staff discussed the possibility of bringing back the item to the commission, if the drive thru converts from an order only to a regular drive-thru. Staff

answered questions regarding monuments signs and potential occupants of building T1 and T2.

The applicant, Jeffrey Gill, on behalf of IGI Property, stated that he read and agreed to the Conditions of Approval.

The applicant commented on the use of the parking for the project, traffic control measures and exit only signage. The commission and applicant also discussed potential occupants for the vacant buildings and the timing or opening of the project.

Commissioner Gordon thanked the Applicant for bringing the project to the city.

No one spoke in favor or opposition of this item.

The Public Hearing was closed.

Patty Nevins, Director of Planning and the Commission discussed suggestions on how to proceed should there be a need to convert the mobile only drive-thru to a regular menu board. A discussion also took place regarding Condition of Approval No. 14; Director Patty Nevins commented that currently staff would work with the business if problems arise, and the code does provide for a Conditional Use Permit to come back to the commission should there be additional issues or concerns.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022-033; and

- 1. Find that the project is Categorical Exemption pursuant to Section No. 15332, (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA) and Section No. 3-18 (Infill Projects) of the 2019 Local Guidelines for Implementing CEQA, and direct staff to file a Notice of Exemption;**
- 2. Approve Tentative Parcel Map 19-013 (TPM No. 20151), Conditional Use Permit No. 19-030, Conditional Use Permit No. 22-025, and Administrative Site Plan No. 19-056 with the modification to Condition No. 8 of the Conditional Use Permit No. 22-025 and Administrative Site Plan No. 19-056 to require that any changes to the drive-thru operation of Chipotle be approved by the Director of Planning. Also, Condition No. 20 of the Administrative Site Plan was added to require additional traffic circulation improvements along the northeastern drive aisle.**

ACTION: Motion was made by Secretary Sanchez, seconded by Vice Chair Sangha, and passed unanimously by a vote of 5-0 to adopt Public Hearing Item – PH-C.

The motion carried by the following vote:

Aye: Chair Fort, Vice Chair Sangha, Secretary Sanchez, Commissioners Gordon and Thrasher

Absent: None

PH-D Master Case No. 21-072; Revision to Tentative Parcel Map No. 19156 (TPM No. 13-005 R1) and Design Review No. 21-027 - A proposal for site and architectural review and a revision to the Tentative Parcel Map to subdivide the site and the development of six (6) industrial commerce center buildings totaling approximately 3.43 million square feet along with other site improvements on a site of approximately 215 acres.

Chair Fort opened Public Hearing.

Rina Leung, Senior Planner presented the staff report and commented that Twelve comment letters were received for this project.

The Commission and staff discussed freeway routes for directing traffic.

Consultant, Traffic Engineer Haseeb Qureshi, who prepared the traffic study documents, commented on truck routes and their consistency with the settlement agreement that was agreed upon with the County of San Bernardino. A brief discussion took place regarding specific locations for roadway improvements.

Chair Fort asked staff for clarification on types of roadway improvements.

Planning Commission adjourned meeting to a recess at 7:22 p.m.

Planning Commission reconvened meeting at 7:37 p.m.

The Commission and staff discussed several route requirements such as additional turn lanes, through lanes, and signal modifications along Cedar Avenue and Valley Boulevard, Cedar Avenue and Slover Avenue, and Cedar Avenue and Jurupa Avenue; Staff noted that this project would bring three new traffic signal lights on the intersections of Locust Avenue and 7th Street, Armstrong Road and & 7th Street, and Jurupa Avenue and Locust Avenue; no improvements would be made to the Cedar Bridge.

The Commission and staff also discussed the enforcement of truck routes by using signage and educating drivers. Additionally, there was a discussion regarding the number of expected trips, the volume of traffic and peak hour commute, and how the increase in vehicular traffic would impact local schools.

Consultant, Traffic Engineer Haseeb Qureshi spoke about the air quality study and the net reduction in air quality emissions as a result of this project; Commissioner Gordon noted that a new environmental impact report was not required.

The applicant, Steve Hollis, on behalf of IDI Logistics, stated that he read and agreed to the Conditions of Approval.

The applicant commented on several improvements to the project and the following through of street improvements; mentioned the widening of Jurupa Ave. and restoration of open space. The Applicant also commented on traffic concerns and traffic management plans with the city.

The Commission and Applicant briefly discussed employment opportunities, the widening of Jurupa Avenue, air quality issues, and the implementation of the city's air quality new ordinance.

The following individuals spoke in opposition:

- Jasmin Cunningham
- Ana Carlos
- Elizabeth Sena
- Israel Rodriguez
- Eneida Rodriguez
- Joaquin Castellejos
- Samantha Herrera
- Ben
- Jorge Perez
- Gary Grossion
- Ricardo Rodriguez

The following individual spoke in favor:

- Andrea De Leon

The Public Hearing was closed.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022-034; and,

- 1. Adopt the Addendum and Mitigation, Monitoring, and Reporting Program (MMRP) to the West Valley Logistics Center Specific Plan Environmental Impact Report (SCH NO. 2012071058) and direct staff to file a Notice of Determination;**
- 2. Approve Revision to Tentative Parcel Map No. 19156 (TPM No. 13-005 R1); and**
- 3. Approve Design Review No. 21-027, and modified Condition of Approval No. 50**

of Design Review No. 21-027, and Condition of Approval No. 16 of Tentative Parcel Map No. 13-005R1 to add “or as approved by the City Engineer”.

ACTION: Motion was made by Secretary Sanchez, seconded by Commissioner Thrasher, and passed unanimously by a vote of 5-0 to adopt Public Hearing – PH-D.

The motion carried by the following vote:

Aye: Chair Fort, Vice Chair Sangha, Secretary Sanchez, Commissioners Gordon, and Thrasher

Absent: None

DIRECTOR COMMUNICATIONS:

A. Director Communications: None

COMMISSION COMMENTS:

A. Public Communication Commission Comments:

Secretary Sanchez commented on the ongoing project and all improvements that the project would bring to the community; he also spoke about the importance of offering jobs in the community.

Commissioner Gordon commented on the public’s discourse and interruptions of the meeting; agreed with Secretary Sanchez’s comments regarding the importance of offering jobs in the community. He also thanked staff for their hard work.

Vice Chair Sangha thanked the Information Technology Department for the setup of the commission meeting and staff for their reports. He also commented on the city’s success bringing a good variety of developments to the city; and the benefits the West Valley Logistics Center/IDI project will bring to the City of Bloomington.

Chair Fort agreed with the comments that were previously stated by her fellow commissioners. Chair Fort also commented on the Commissions responsibility to be responsible and make difficult decisions. Chair Fort thanked the public and developers for speaking out at tonight’s meeting and thanked the public for sharing their comments.

ADJOURNMENT:

By consensus, the meeting adjourned at 8:52 p.m. to the next Regular Planning Commission Meeting on Tuesday, September 6, 2022, at 6:00 p.m. in the Grover W. Taylor Council Chambers located at 8353 Sierra Avenue, Fontana, California.

Susana Gallardo
Administrative Assistant

**THE FOREGOING MINUTES WERE APPROVED BY THE PLANNING COMMISSION
ON THE 6th DAY OF SEPTEMBER 2022.**

Cathline Fort
Chairperson



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-1624
Agenda #: PH-A

Agenda Date: 9/6/2022
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 22-036 and Design Review No. 22-019; A request for site and architectural review and approval for the construction of 249 single-family homes ranging in size from 1,905 square feet to 3,251 square feet in the Arboretum Specific Plan.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached findings, and conditions of approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022 - ____: and,

1. Determine that the project has been reviewed under a previous Final Environmental Impact Report (State Clearing House No. (2006071109), pursuant to Section 15162 through 15164 of the California Environmental Quality Act (CEQA) Guidelines and Section 8.10 of the City of Fontana's 2019 Local Guidelines for Implementing CEQA and direct staff to file the Notice of Determination; and,
2. Approve Design Review No. 22-019.

APPLICANT:

Adrian Hermanson
Lennar Homes of California
980 Montecito Drive, Suite 302
Corona, CA 92879

LOCATION:

The project site is located on the southwest corner of Duncan Canyon Road and Sierra Avenue.

REQUEST:

Design Review No. 22-019 is a request for site and architectural review and approval to construct 249 single-family homes ranging in size from 1,905 square feet up to 3,251 square feet.

PROJECT PLANNER:

Cecily Session-Goins, Associate Planner

BACKGROUND INFORMATION:

A. Land Use Designations:

	<u>General Plan Designation</u>	<u>Zoning and District</u>	<u>Existing Land Use</u>
Site:	Residential Planned Community (R-PC)	Arboretum Specific Plan (The Gardens)	Vacant
North:	Residential Planned Community (R-PC) and Community Commercial (C-C)	Arboretum Specific Plan (The Resort)	Vacant
South:	Residential Planned Community (R-PC)	Arboretum Specific Plan (The Gardens)	Vacant
East:	Multiple-family high density residential (R-MFH) and General Commercial (C-G)	Multiple-family high density residential (R-5) and General Commercial (C-2)	Vacant
West:	Residential Planned Community (R-PC)	Arboretum Specific Plan (The Gardens)	Vacant

B. Previous Approvals:

1. On September 23, 2009, the City Council approved the Arboretum Specific Plan and the Arboretum SP Environmental Impact Report (Resolution 2009-089)
2. On November 8, 2016, the City Council approved a specific plan amendment to change the existing land use designation from R-MF (Residential Multi-Family) - 8.1 to 16.0 dwelling units per acre to R-MF (Residential Multi-Family) - 3.0 to 8.0 dwelling units per acre.
3. On June 22, 2021, the City Council approved a specific plan amendment to allow for a density transfer from within the Gardens Village Planning Area as well as Tentative Tract Map No. 20363 to subdivide the subject site for the purpose of single-family residential development.

PROJECT DESCRIPTION:

A. Project Area: Approximately 44.5 acres

B. Building Analysis:

Plan	S.F.	No. of Bedrooms	No. of Bathrooms	No. of Garage Spaces
Average 4,000 square foot lots				
1	2,449	4	3	2
2	2,666	4	3	2
3	2,877	4	3	2
Average 4,950 square foot lots				
1	1,905	3	2	2
2	2,985	5	3	3
3	3,105	5	3	3
Average 6,000 square foot lots				
1	2,336	4	3	3
2	3,251	5	4	3
3	3,339	4/3 and junior accessory dwelling unit)	3.5	3

C. Building Height

Permitted: 35 feet (maximum)

Proposed: 27 feet (maximum)

ANALYSIS:

The applicant, Adrian Hermanson on behalf of Lennar Homes of California, is requesting that the Planning Commission review and approve Design Review No. 22-019 to construct 249 single-family homes ranging in size from 1,905 square feet up to 3,339 square feet to be constructed on Tract Map No. 20363 within Garden Village planning area (G-8, G-9 and G-10) of the Arboretum Specific Plan.

Design Review:

The applicant is proposing Spanish, Prairie and California Craftsman architectural styles. The styles are included in the menu of residential architectural styles in the Arboretum Specific Plan. The Spanish elevations will utilize white and light earth tone colors, concrete S-tiles for roofing, arched door openings, decorative shutters and other style-appropriate details. The Prairie style homes will feature concrete flat tile roofs, light siding tones, stone veneer, and hip roofs. Homes utilizing the California Craftsman style have stone accents, decorative knee braces, exposed rafter tails, board and batten, and other elements contributing to the architectural style.

The development will comply with the required setbacks and will not exceed the maximum height or maximum lot coverage. All other applicable development standards in the Arboretum Specific Plan will be met.

Environmental:

Pursuant to the Initial Study (IS) prepared for the Arboretum Specific Plan, a Final EIR (SCH No. 2006071109) was prepared for the project and was certified by the City Council on September 23,

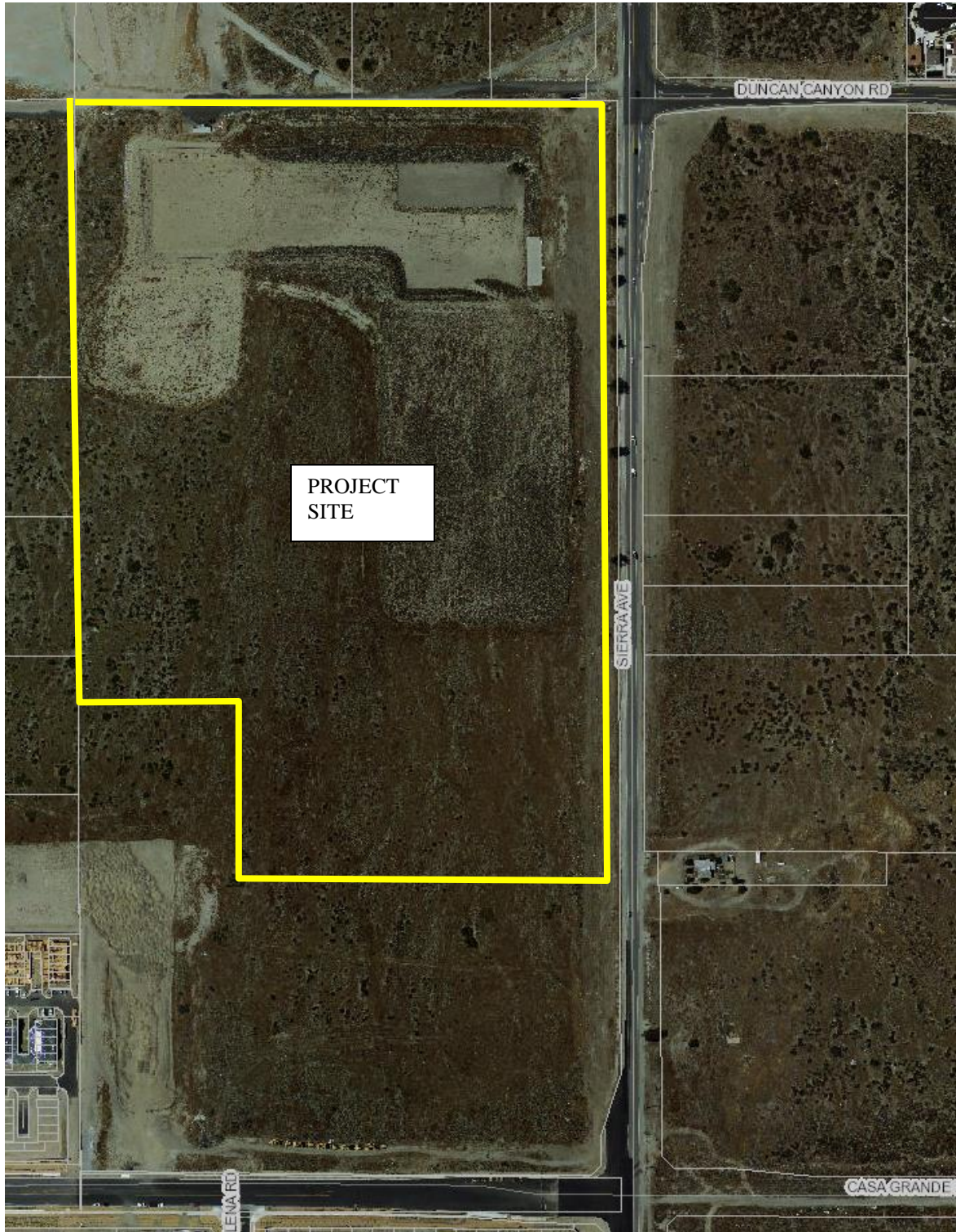
2009. Based on CEQA Guidelines, Sections 15162 through 15164 et seq, and Section 8.10 of the City of Fontana's 2019 local CEQA Guidelines, staff has determined that the previously certified Final EIR has adequately identified the impacts associated with Design Review No. 22-019; a Notice of Determination is determined to be adequate for this project and has been prepared for the Planning Commission's consideration. The Final EIR for the Arboretum Specific Plan can be viewed at the following link: <https://www.fontana.org/1278/Arboretum-Specific-Plan>.

MOTION:

Approve staff's recommendation

ATTACHMENTS:

1. Vicinity Map
2. Project Plans
3. Planning Commission Resolution, Findings, and Conditions of Approval
4. Notice of Determination
5. Notice of Public Hearing

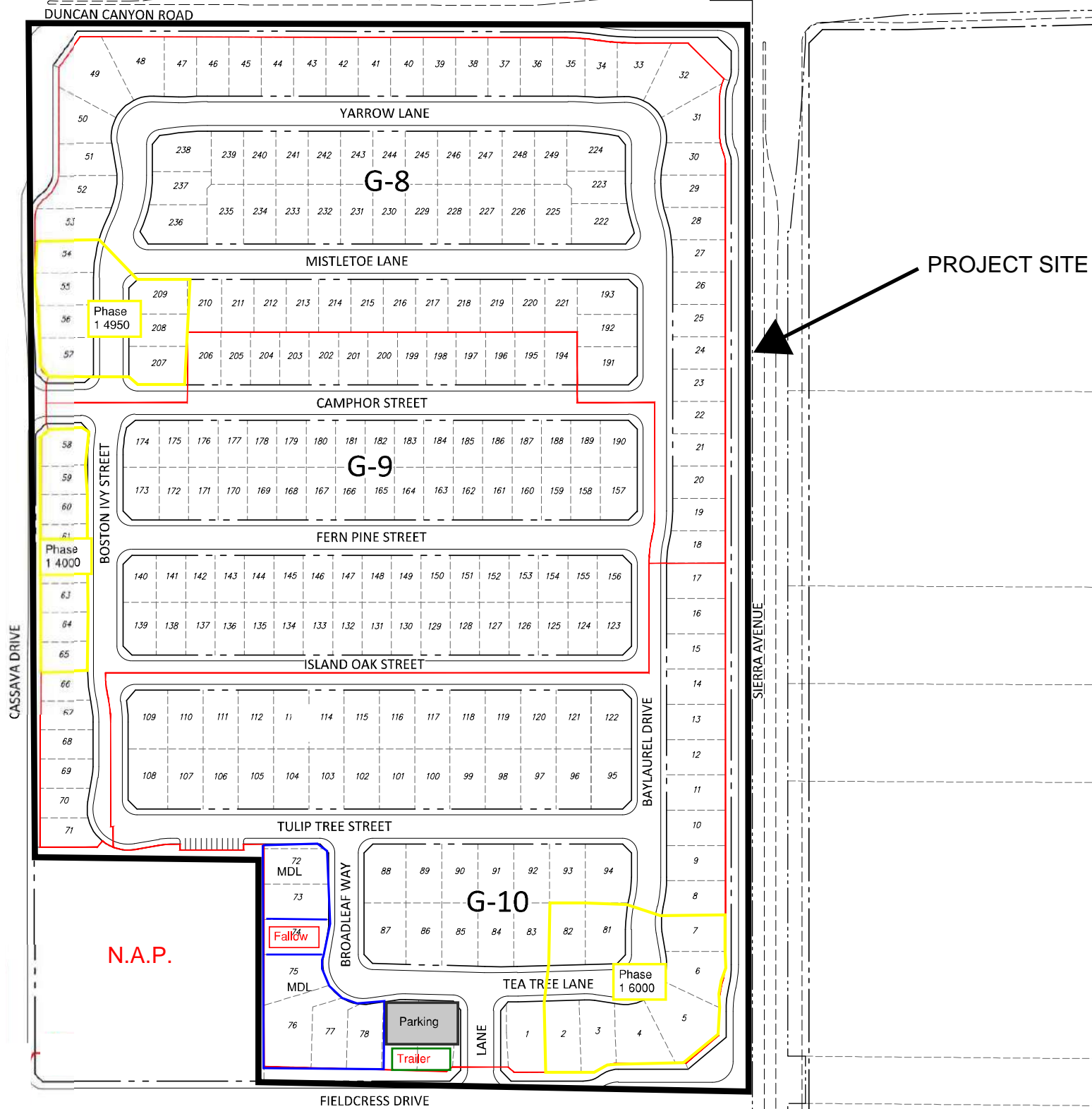


CITY OF FONTANA PLANNING DEPARTMENT

VICINITY MAP

DATE: September 6, 2022

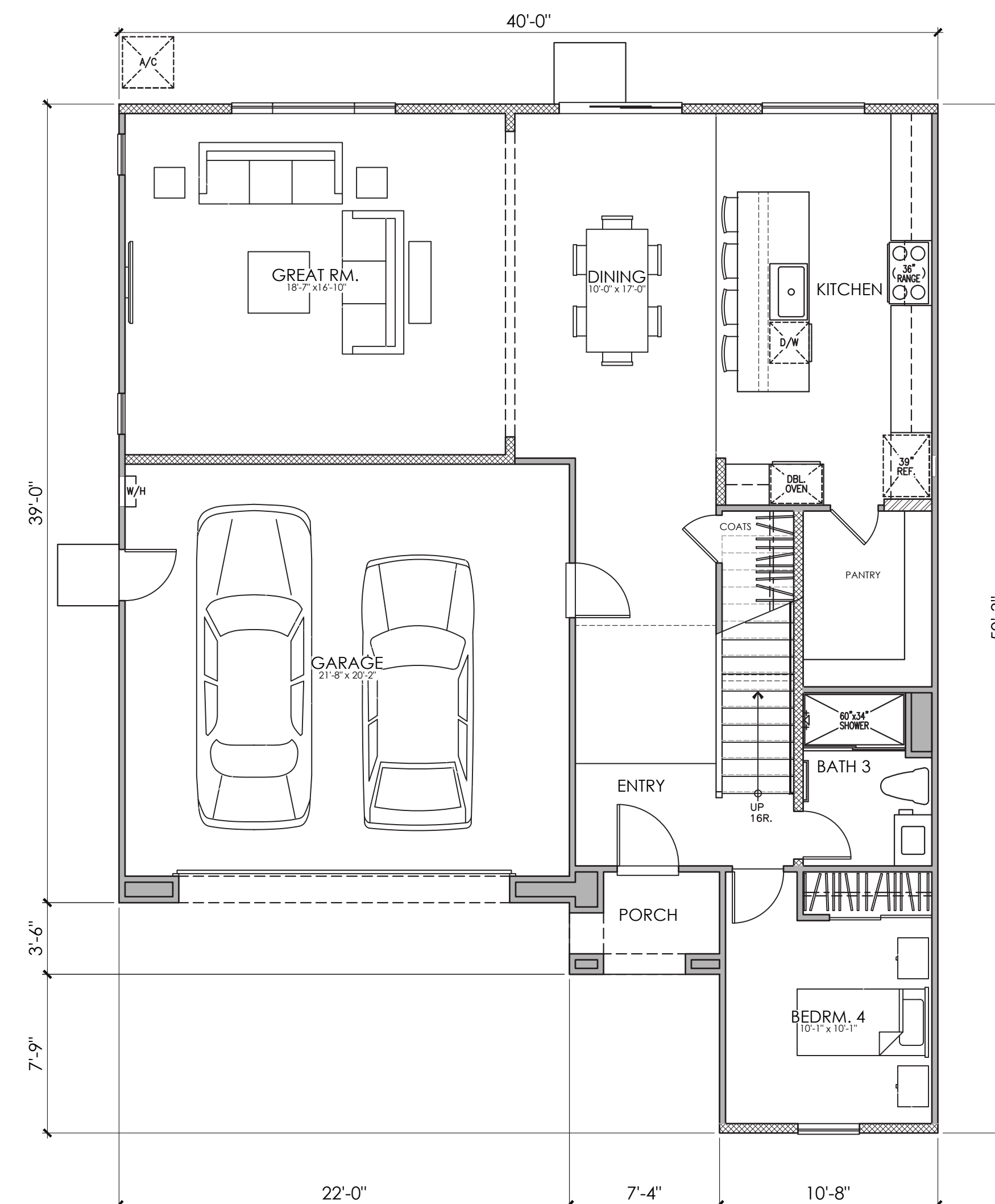
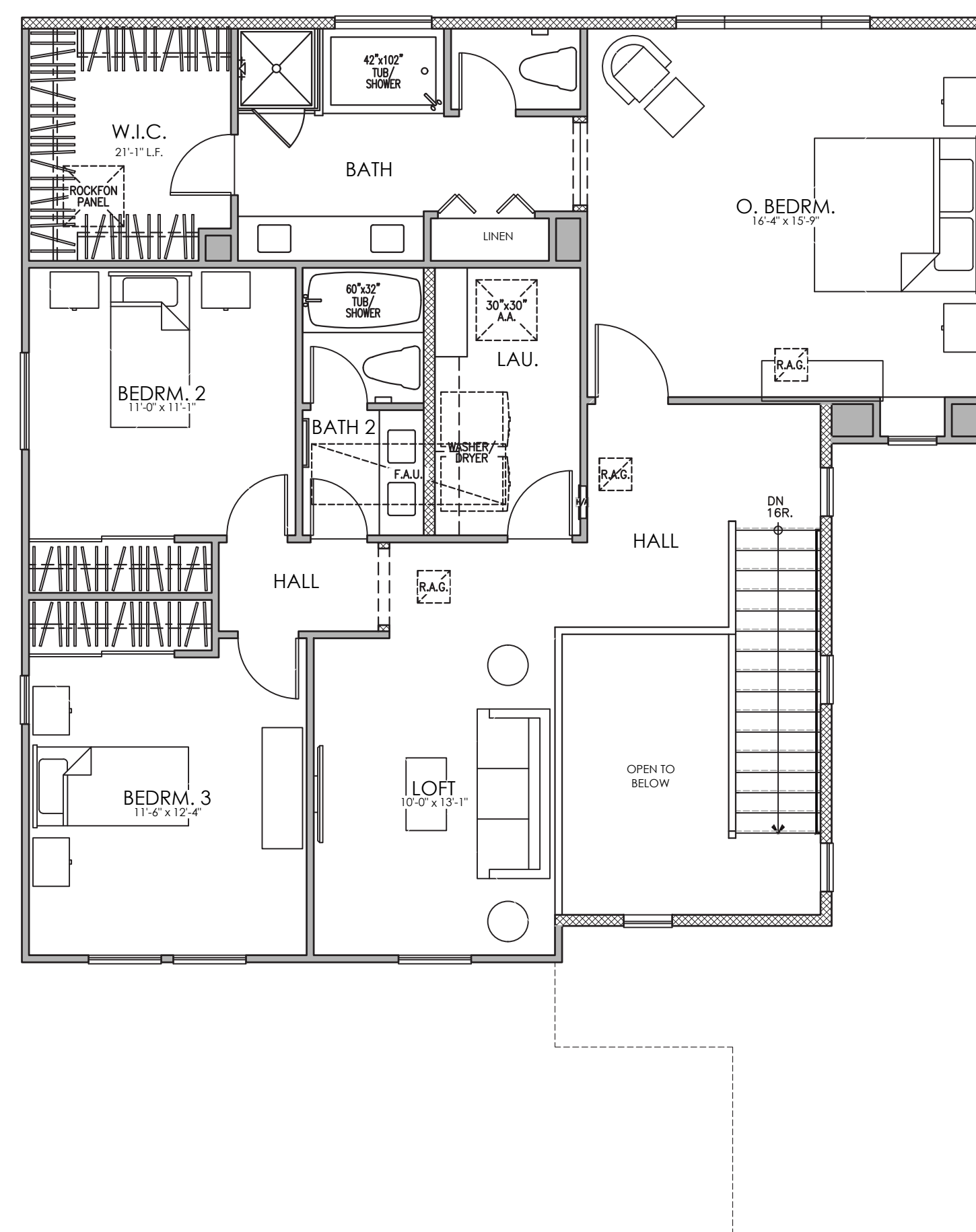
CASE: Master Case No. 22-036
Design Review No. 22-019



ARBORETUM

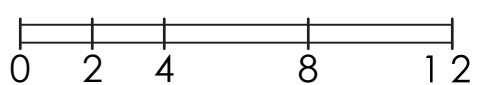
FONTANA, CA

4000's / 50'x 80'



AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,197 SQ. FT.
SECOND FLOOR AREA	1,252 SQ. FT.
TOTAL DWELLING	2,449 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	449 SQ. FT.
PORCH "A"	37 SQ. FT.
PORCH "B"	35 SQ. FT.
PORCH "C"	67 SQ. FT.

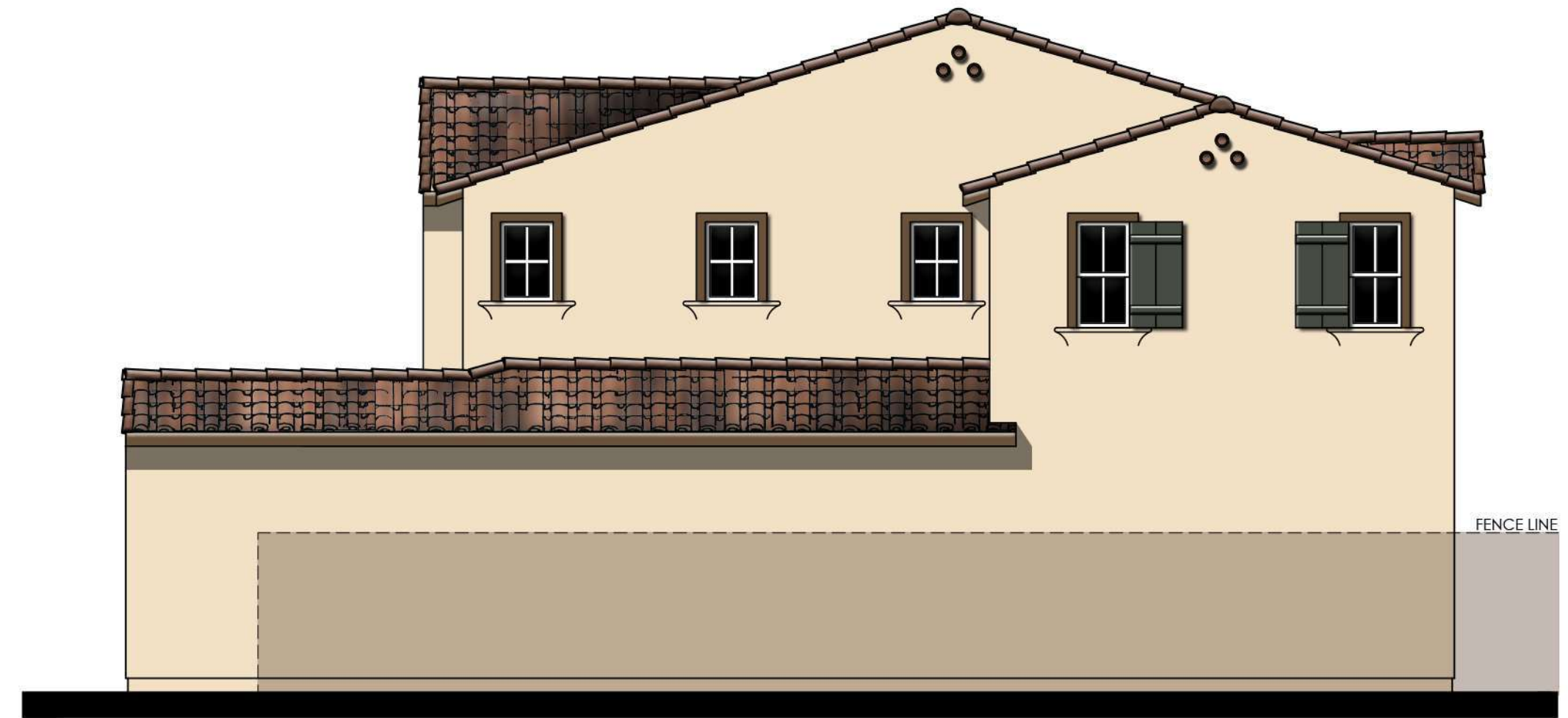




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



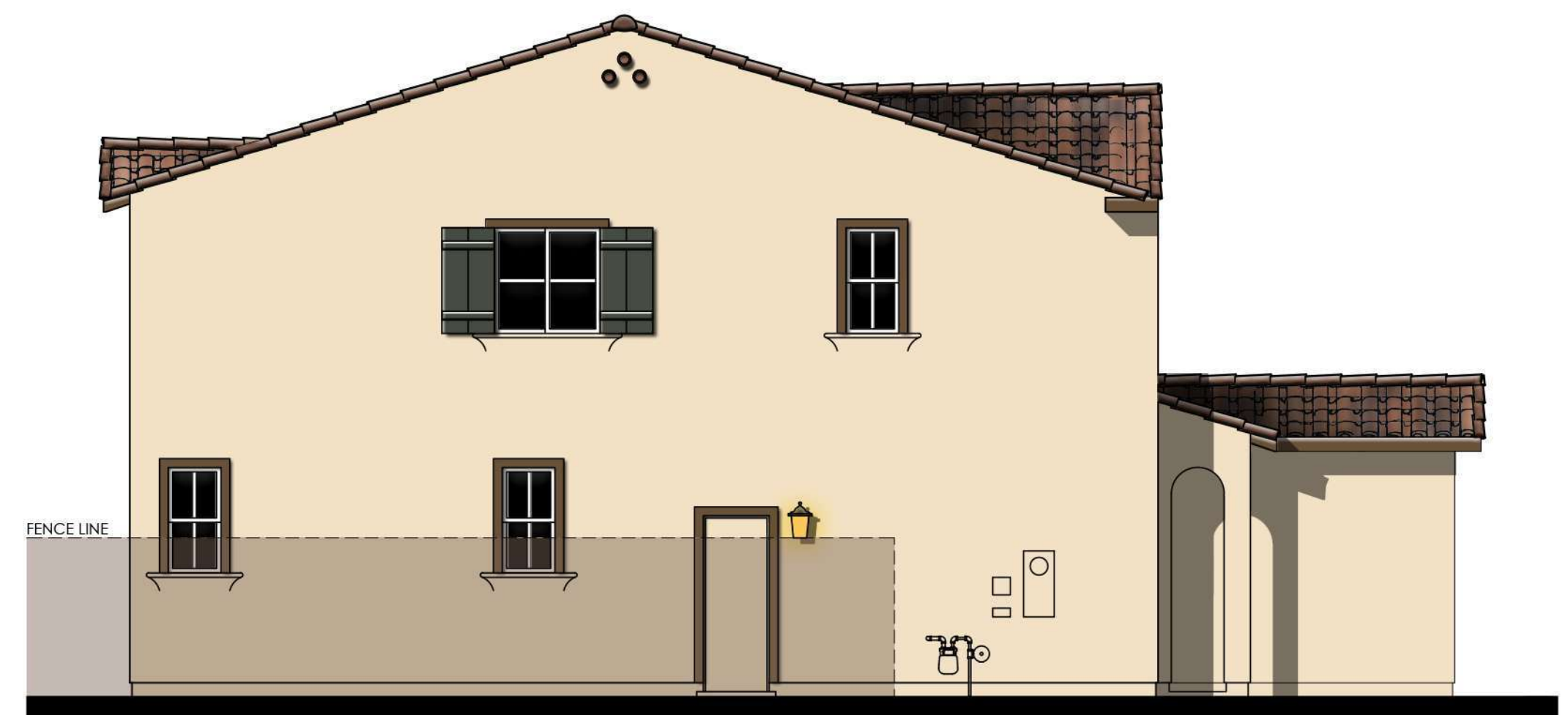
RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

- | | |
|----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | SIMULATED CLAY PIPES |
| WALL: | STUCCO |
| WINDOWS: | VINYL W/ GRIDS |
| WINDOW GRILLE: | DECORATIVE WROUGHT FOAM |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |

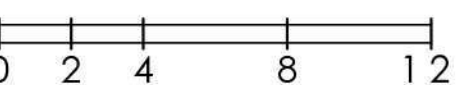


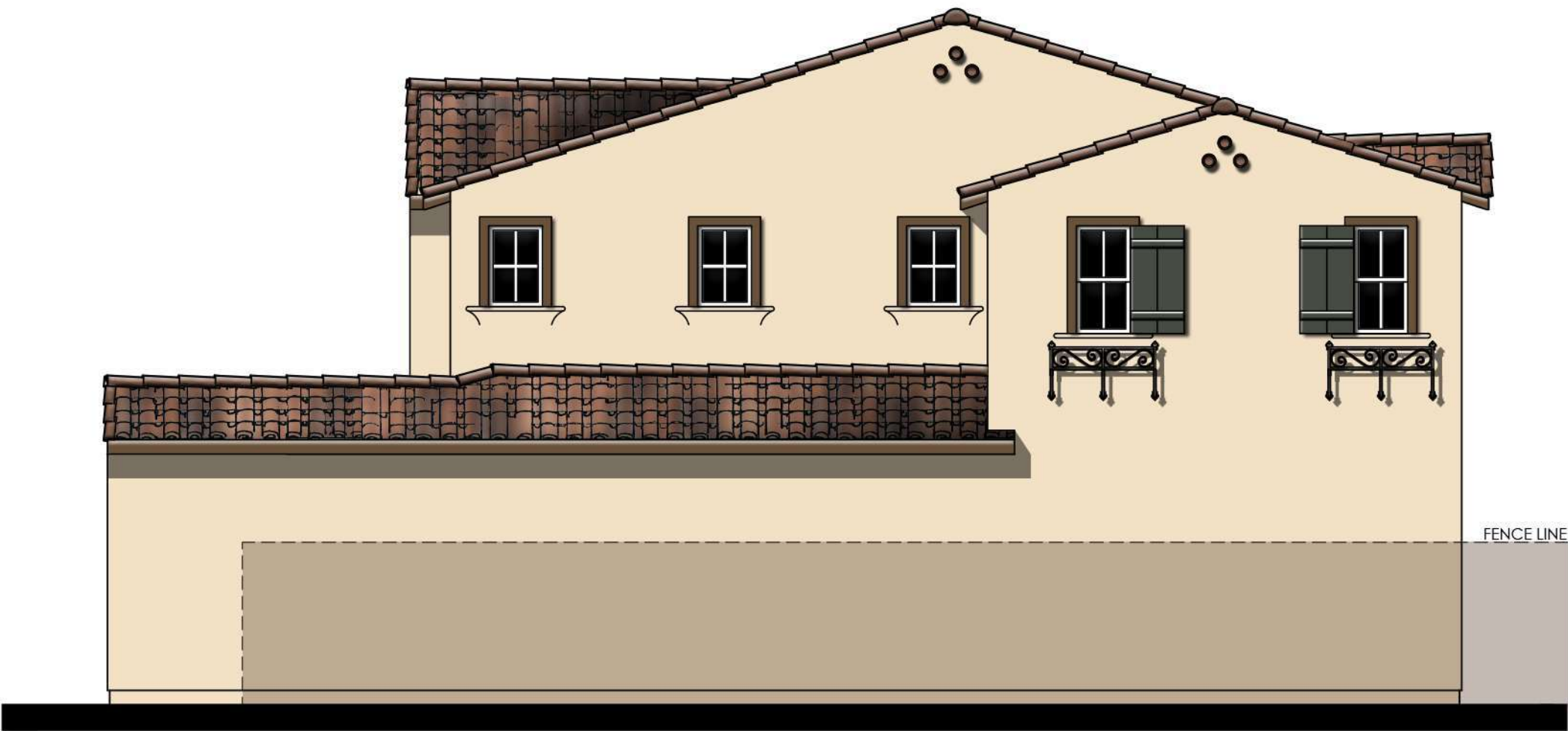
REAR



LEFT

COLOR SCHEME 1
PLAN 1A (PLAN 2449A)
SPANISH ELEVATIONS





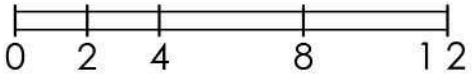
RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | SIMULATED CLAY PIPES |
| WALL: | STUCCO |
| WINDOWS: | VINYL W/ GRIDS |
| WINDOW GRILLE: | DECORATIVE WROUGHT FOAM |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |



LEFT

COLOR SCHEME 1
PLAN 1A (PLAN 2449A)
SPANISH ELEVATIONS WITH EXTRA EMBELLISHMENTS





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL/ KNEE BRACE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
WALL:	STUCCO/ LAP SIDING
	STUCCO/ STONE VENEER
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
POT SHELF:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
PORCH:	COLUMN W/ STONE VENEER

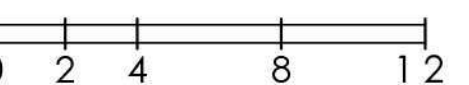


REAR



LEFT

COLOR SCHEME 4
PLAN 1B (PLAN 2449B)
PRAIRIE ELEVATIONS





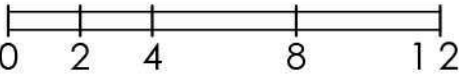
RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



LEFT

COLOR SCHEME 4
PLAN 1B (PLAN 2449B)
PRAIRIE ELEVATIONS WITH EXTRA EMBELLISHMENTS

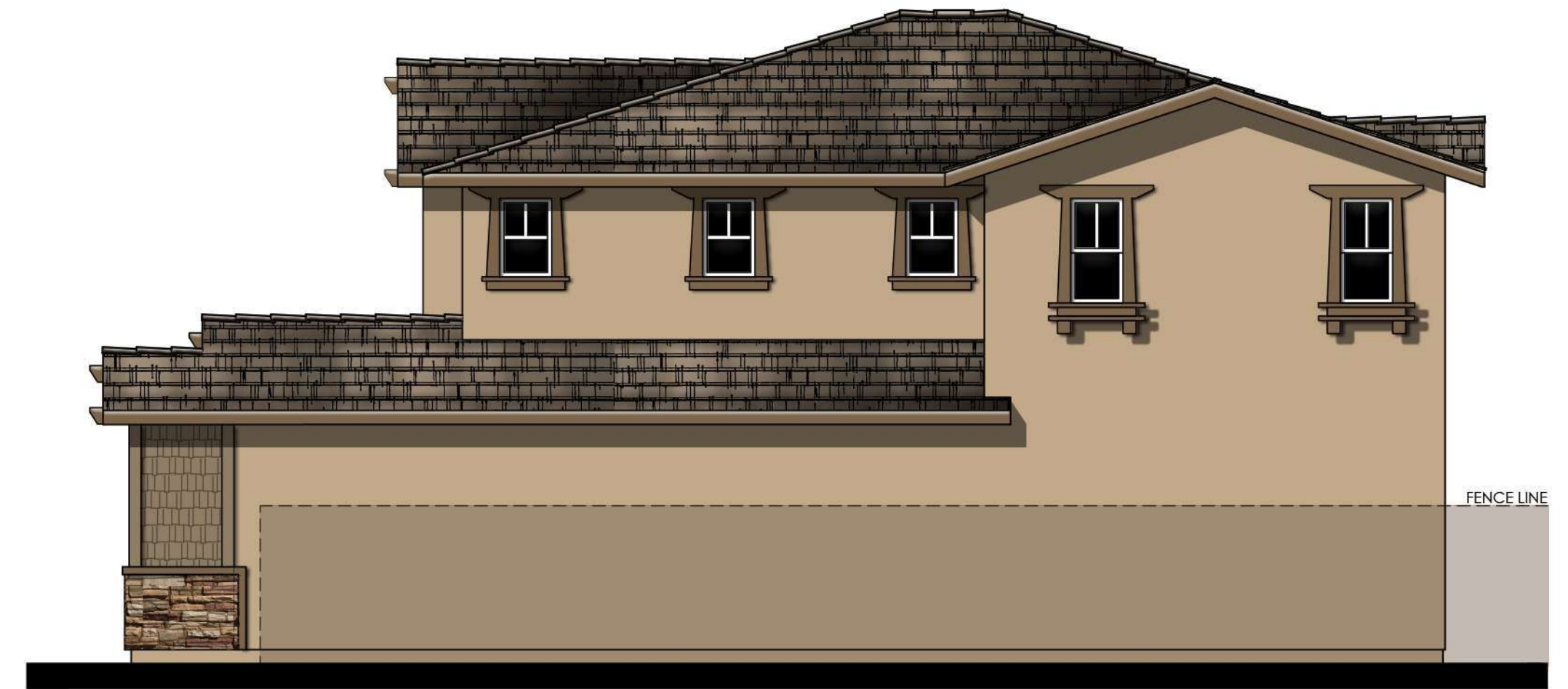




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |

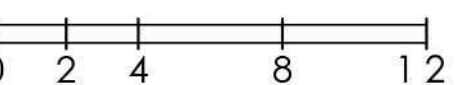


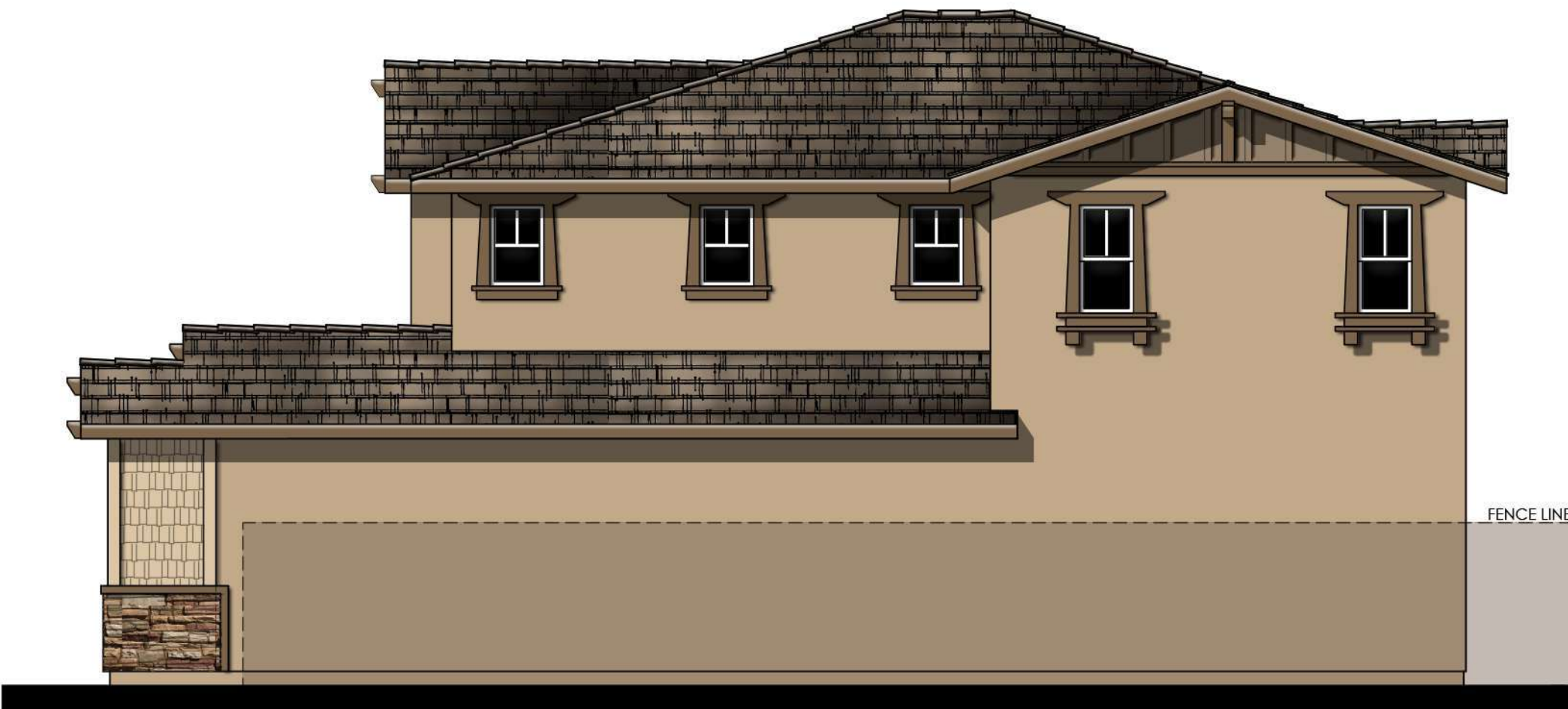
REAR



LEFT

COLOR SCHEME 7
PLAN 1C (PLAN 2449C)
CALIFORNIA CRAFTSMAN ELEVATIONS





RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |



LEFT

COLOR SCHEME 7
PLAN 1C (PLAN 2449C)
CALIFORNIA CRAFTSMAN ELEVATIONS WITH EXTRA EMBELLISHMENTS





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SPANISH



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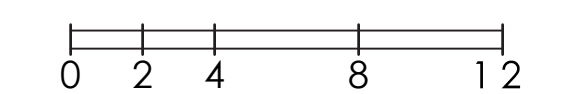
PRAIRIE

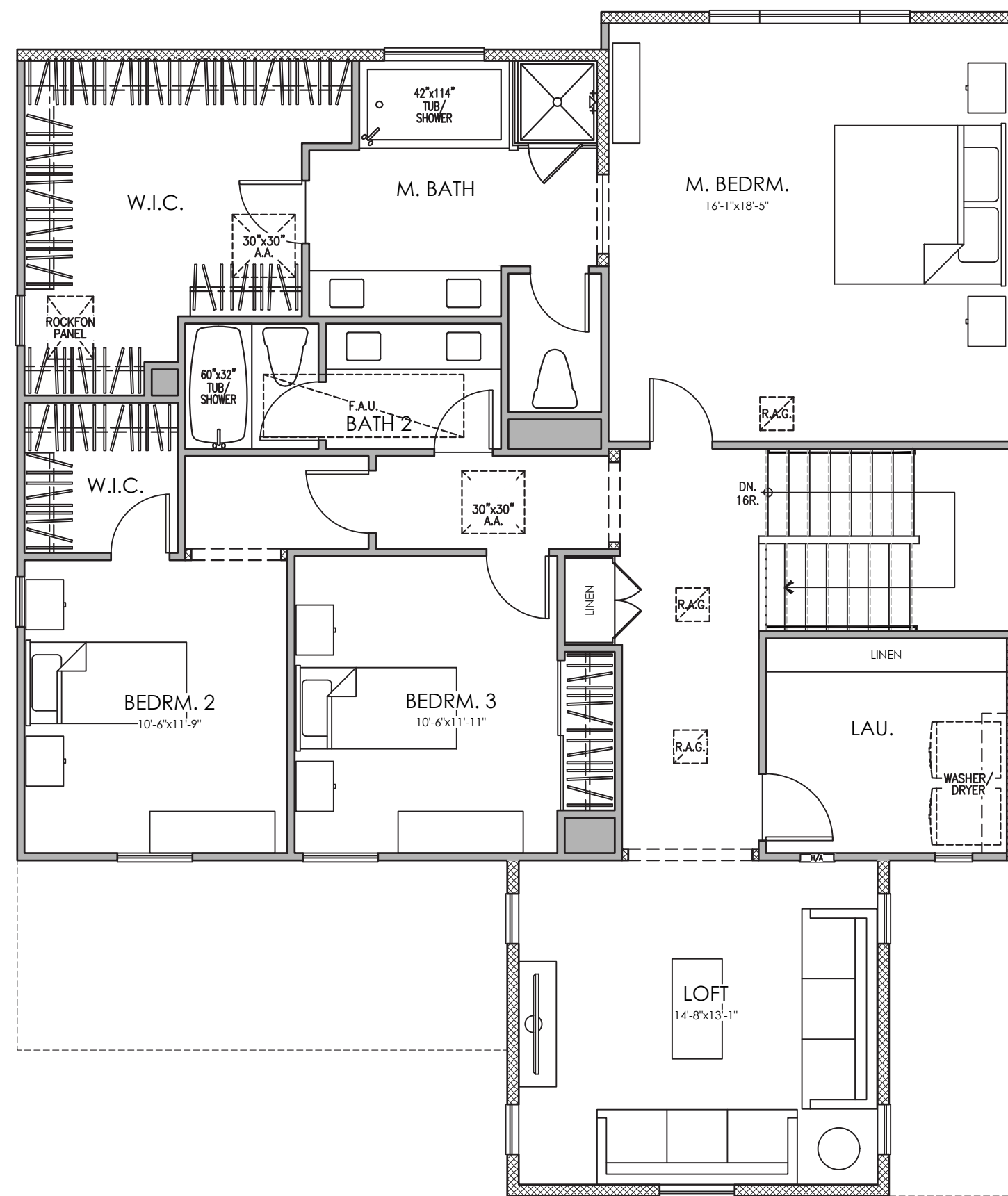


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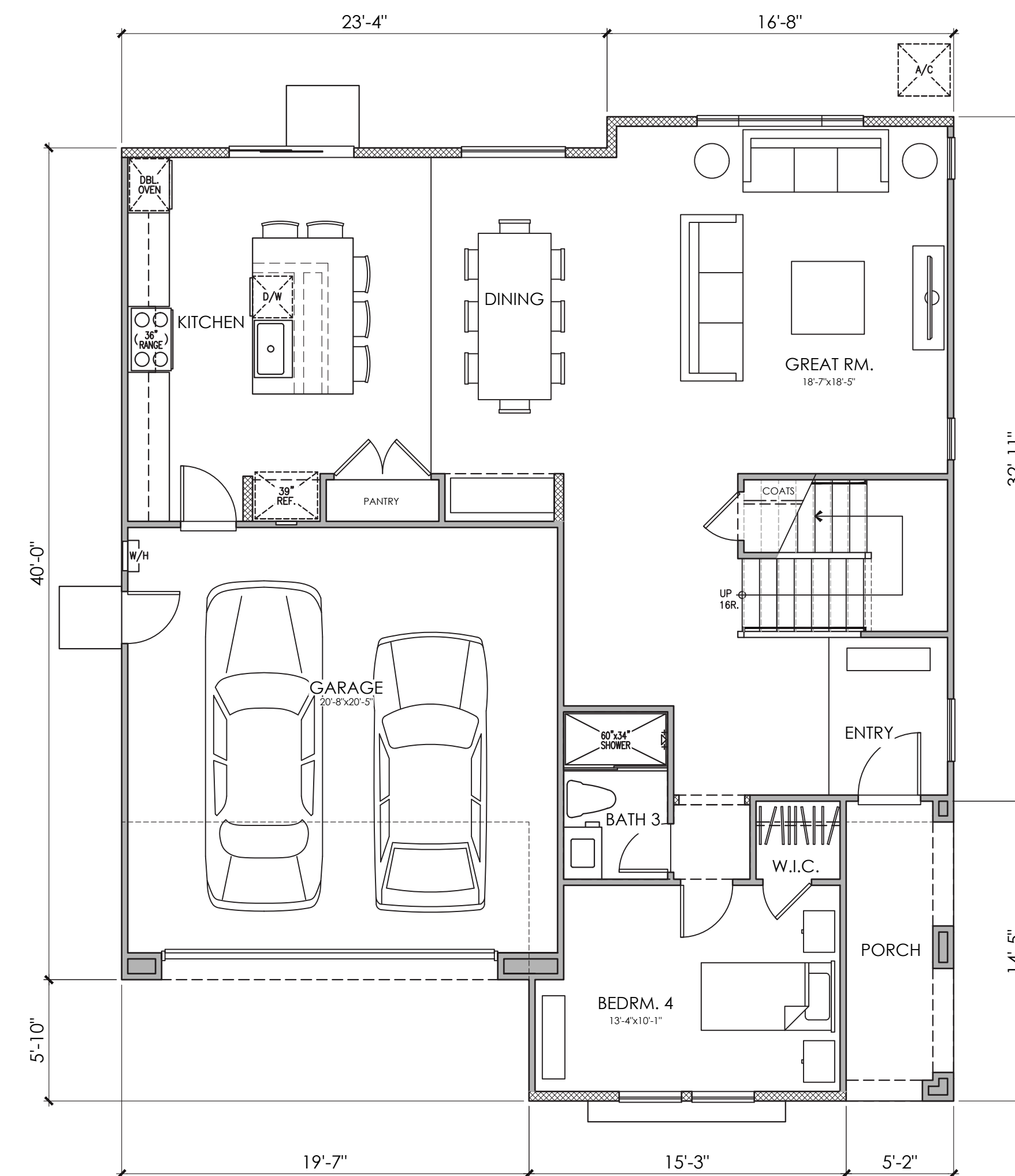
CALIFORNIA CRAFTSMAN

PLAN 2 (PLAN 2666) FRONT ELEVATIONS





SECOND FLOOR

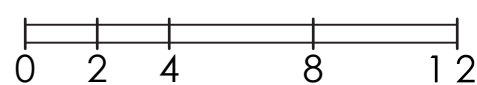


FIRST FLOOR

PLAN 2 (PLAN 2666)
4 BEDROOM, 3 BATH, LOFT
FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	1,214 SQ. FT.
SECOND FLOOR AREA	1,452 SQ. FT.
TOTAL DWELLING	2,666 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	435 SQ. FT.
PORCH "A"	74 SQ. FT.
PORCH "B"	74 SQ. FT.
PORCH "C"	67 SQ. FT.

TOTAL CONDITIONED + UNCONDITIONED SPACE = 3,241





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FRONT

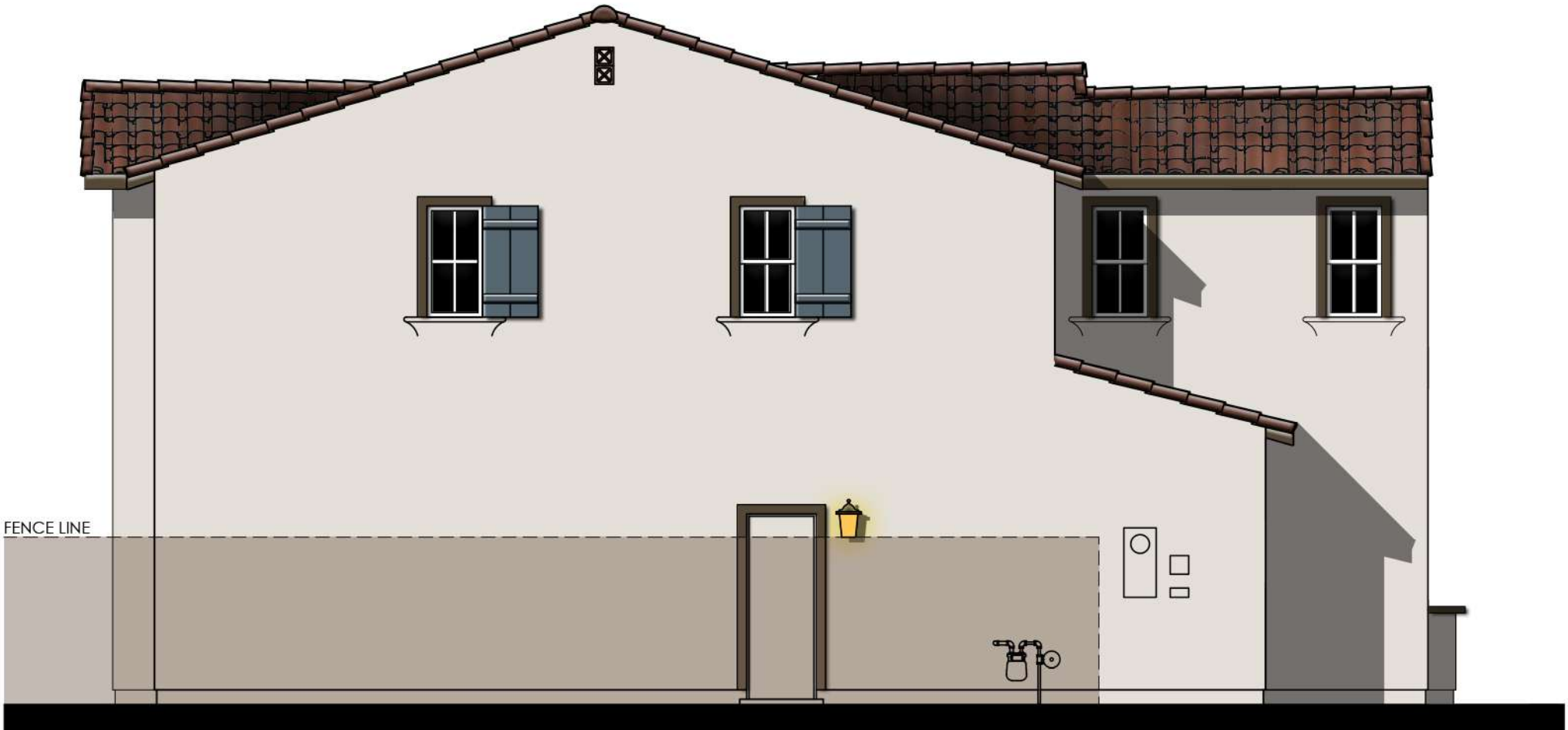


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | SIMULATED CLAY PIPES |
| WALL: | STUCCO |
| WINDOWS: | VINYL W/ GRIDS |
| WINDOW GRILLE: | DECORATIVE WROUGHT FOAM |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |



REAR



LEFT

COLOR SCHEME 2
PLAN 2A (PLAN 2666A)
SPANISH ELEVATIONS

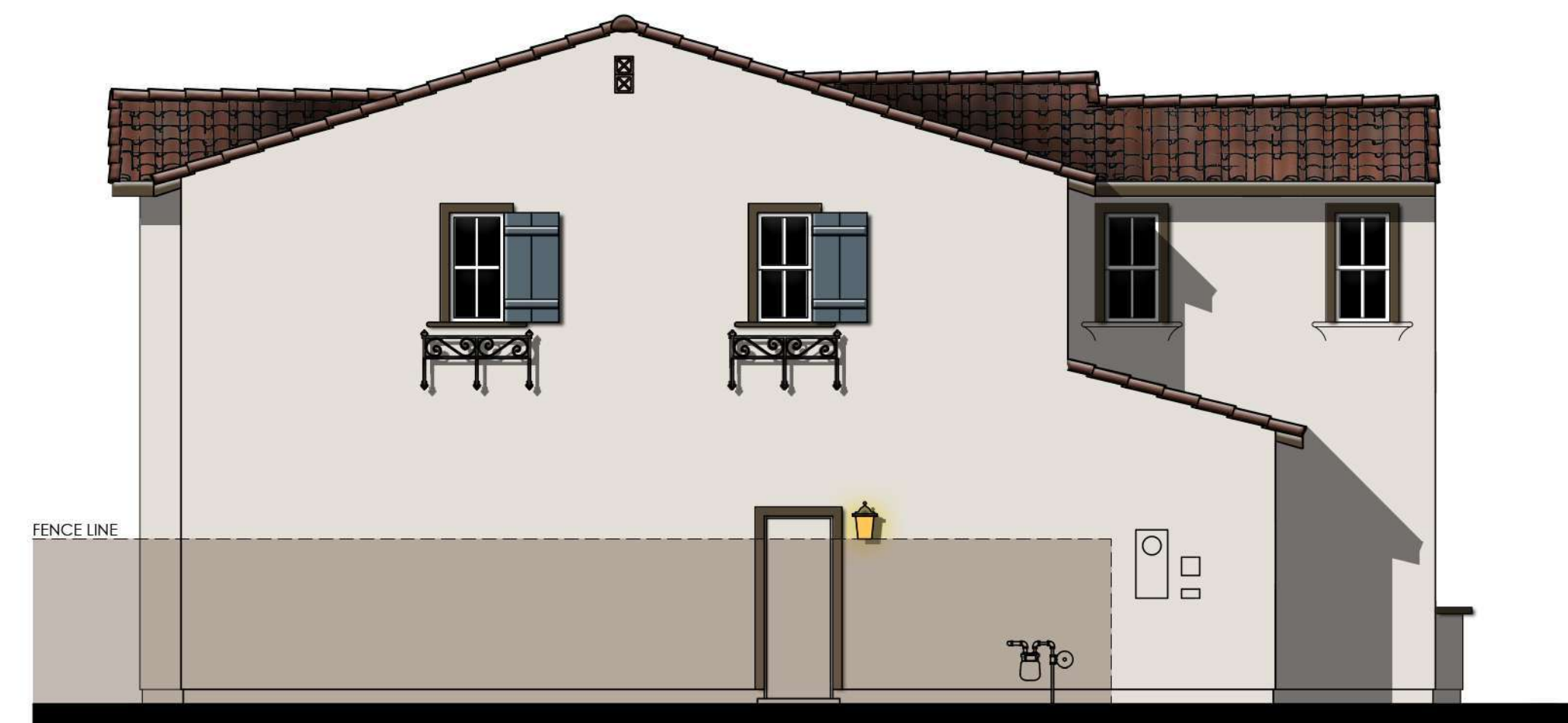




RIGHT

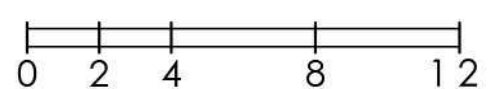
MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE LOW PROFILE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	SIMULATED CLAY PIPES
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
WINDOW GRILLE:	DECORATIVE WROUGHT FOAM
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM



LEFT

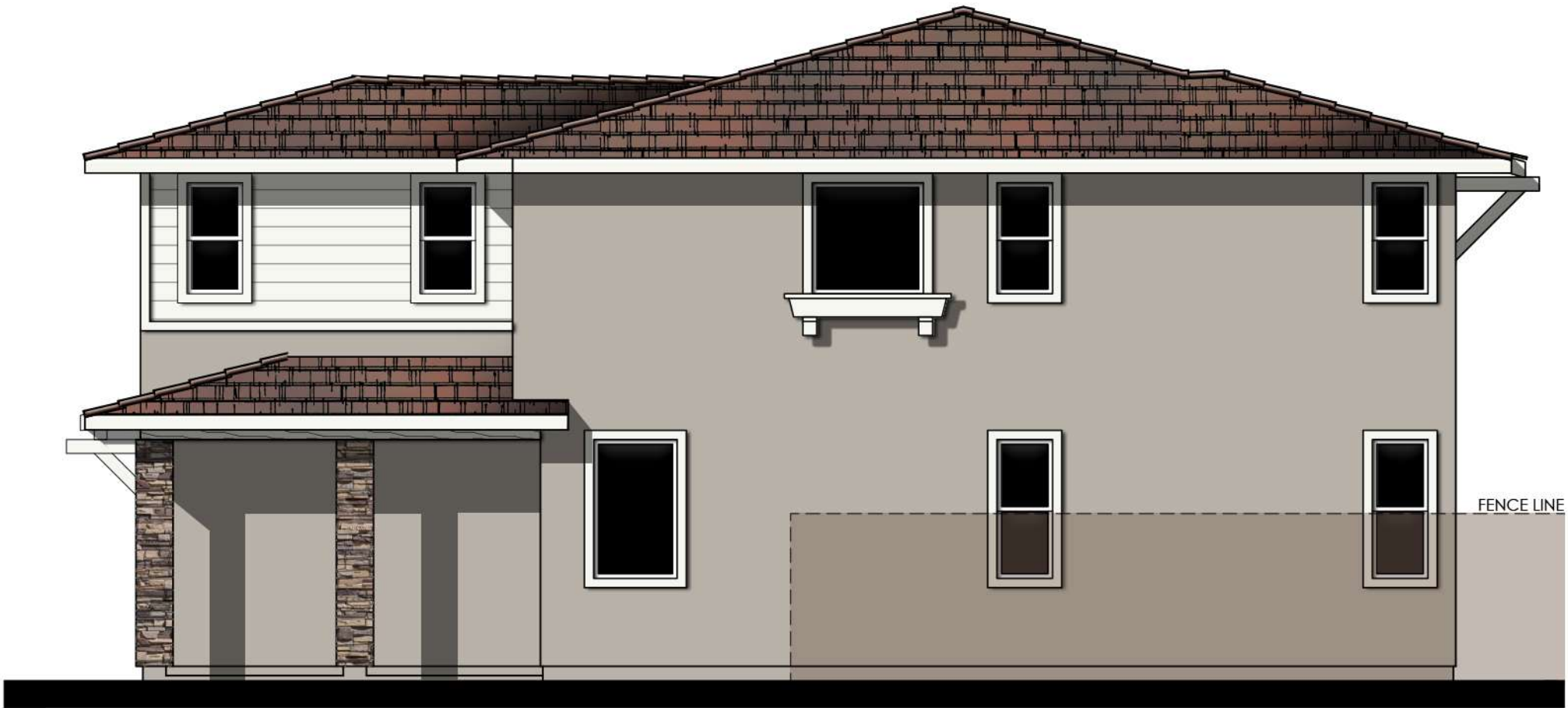
COLOR SCHEME 2
PLAN 2A (PLAN 2666A)
SPANISH ELEVATIONS WITH EXTRA EMBELLISHMENTS





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FRONT



RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



REAR



LEFT

COLOR SCHEME 5
PLAN 2B (PLAN 2666B)
PRAIRIE ELEVATIONS

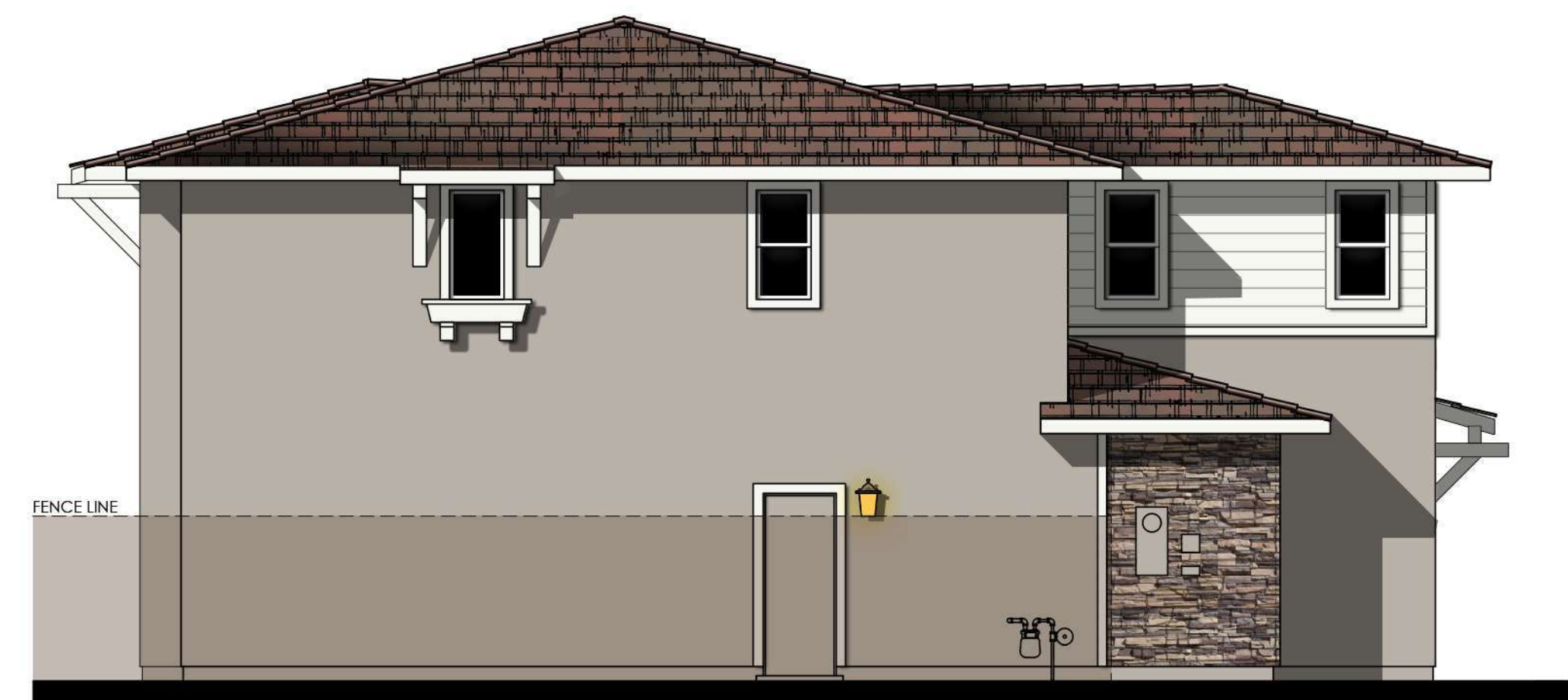




RIGHT

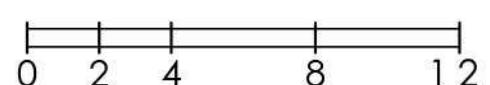
MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL/ KNEE BRACE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
WALL:	STUCCO/ LAP SIDING
	STUCCO/ STONE VENEER
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
POT SHELF:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
PORCH:	COLUMN W/ STONE VENEER



LEFT

COLOR SCHEME 5
PLAN 2B (PLAN 2666B)
PRAIRIE ELEVATIONS WITH EXTRA EMBELLISHMENTS





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FRONT



RIGHT

MATERIALS LEGEND

- (WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |



REAR



LEFT

COLOR SCHEME 8
PLAN 2C (PLAN 2666C)
CALIFORNIA CRAFTSMAN ELEVATIONS





RIGHT

MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL/ KNEE BRACE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER
WALL:	STUCCO/ SHINGLES
WINDOWS:	VINYL W/ GRIDS
POT SHELF:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
WAINSCOT:	STONE VENEER
PORCH:	COLUMN W/ STONE VENEER



LEFT

COLOR SCHEME 8

PLAN 2C (PLAN 2666C)

CALIFORNIA CRAFTSMAN ELEVATIONS WITH EXTRA EMBELLISHMENTS





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Refer to landscape drawings for wall, tree, and shrub locations

SPANISH



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Refer to landscape drawings for wall, tree, and shrub locations

PRAIRIE



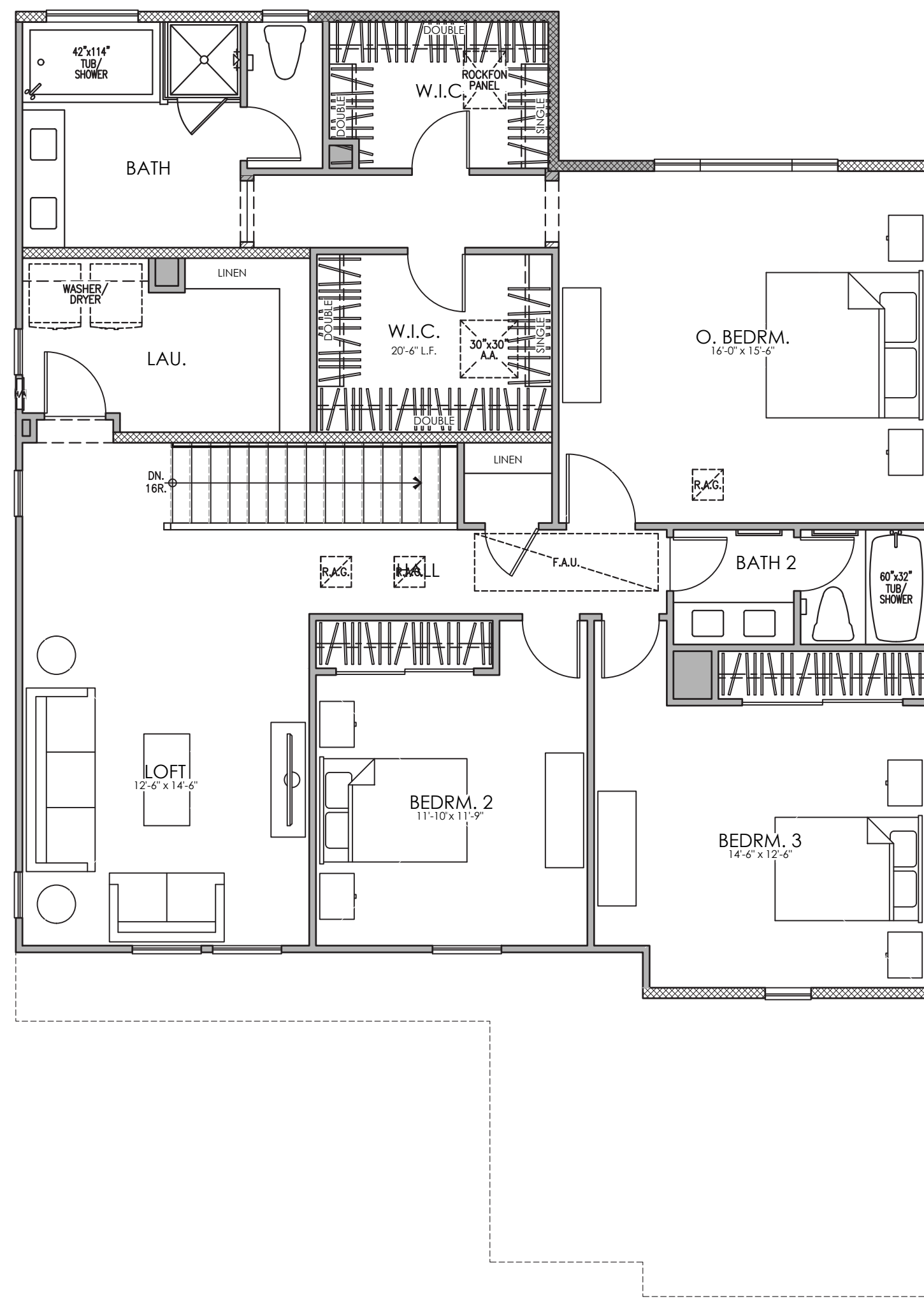
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Refer to landscape drawings for wall, tree, and shrub locations

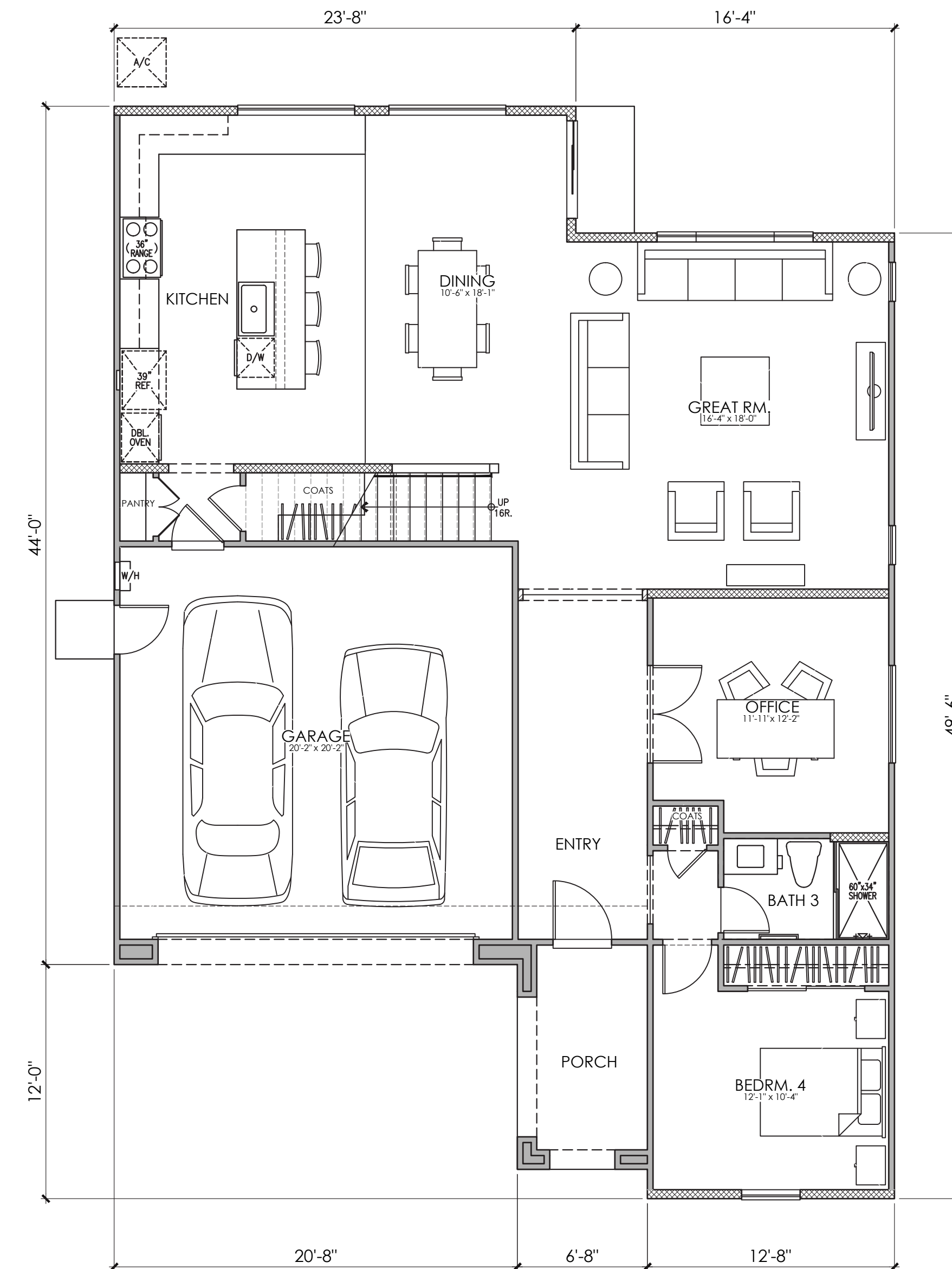
CALIFORNIA CRAFTSMAN

PLAN 3 (PLAN 2877) FRONT ELEVATIONS

0 2 4 8 12



SECOND FLOOR

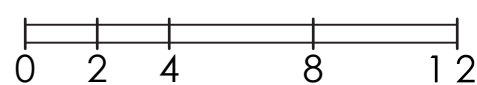


FIRST FLOOR

PLAN 3 (PLAN 2877)
4 BEDROOM, 3 BATH, LOFT, OFFICE
FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	1,362 SQ. FT.
SECOND FLOOR AREA	1,515 SQ. FT.
TOTAL DWELLING	2,877 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	417 SQ. FT.
PORCH "A"	77 SQ. FT.
PORCH "B"	77 SQ. FT.
PORCH "C"	75 SQ. FT.

TOTAL CONDITIONED + UNCONDITIONED SPACE = 3,427





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

MATERIALS LEGEND
(WHERE OCCURS)

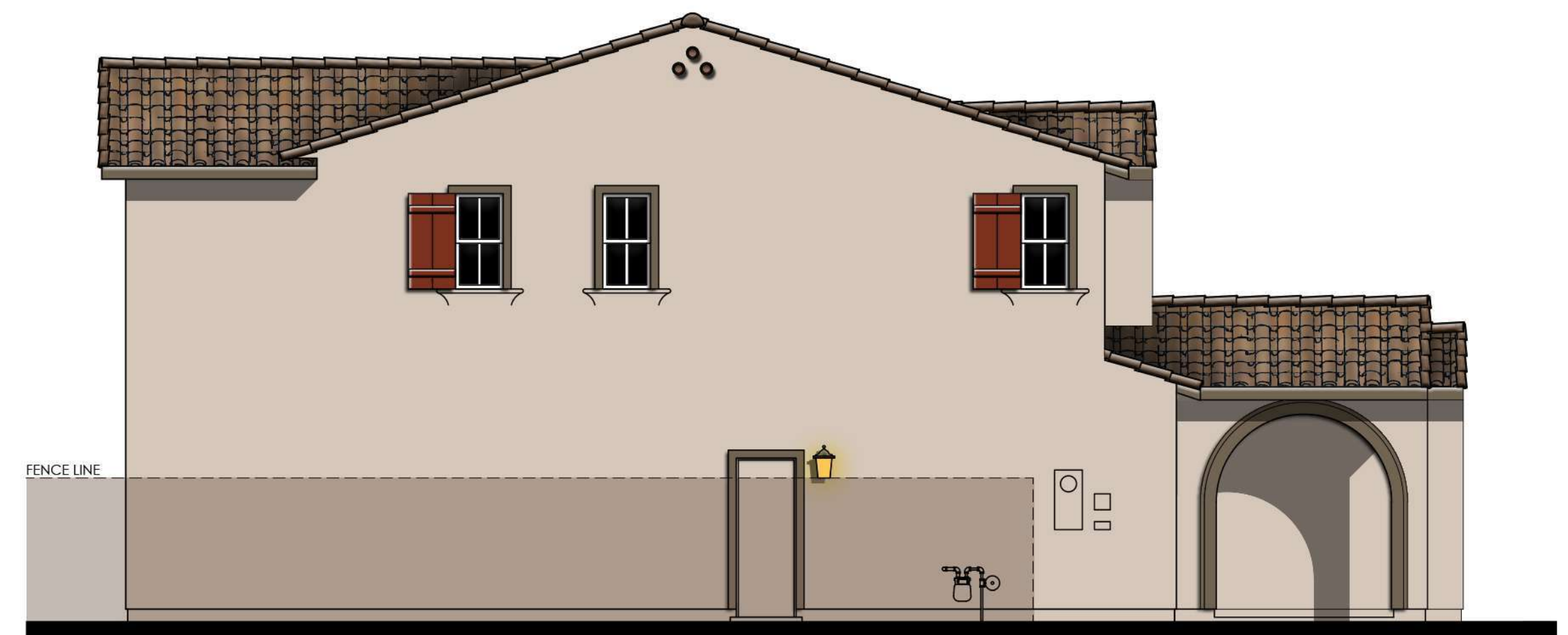
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE LOW PROFILE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	SIMULATED CLAY PIPES
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
WINDOW GRILLE:	DECORATIVE WROUGHT FOAM
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM



RIGHT

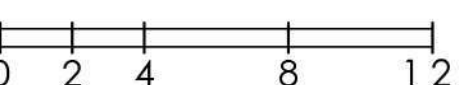


REAR



LEFT

COLOR SCHEME 3
PLAN 3A (PLAN 2877A)
SPANISH ELEVATIONS



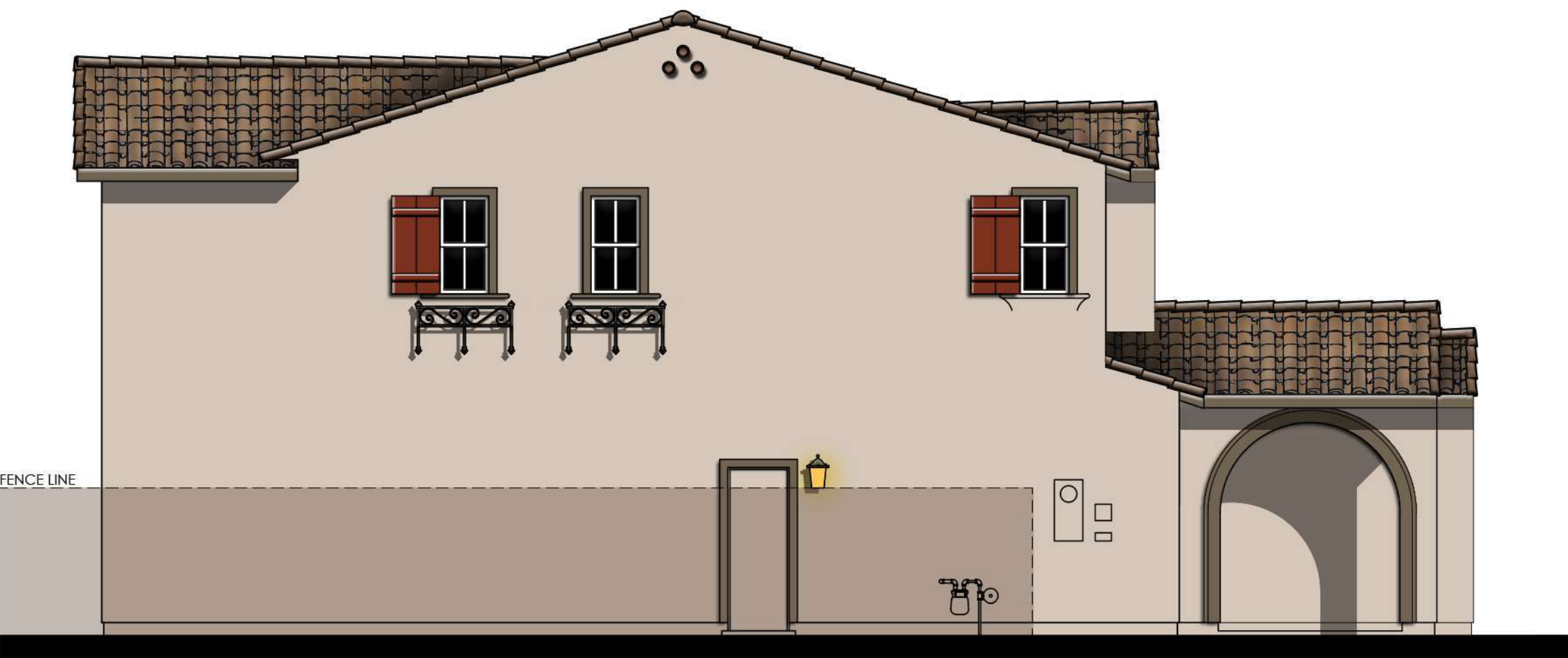


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | SIMULATED CLAY PIPES |
| WALL: | STUCCO |
| WINDOWS: | VINYL W/ GRIDS |
| WINDOW GRILLE: | DECORATIVE WROUGHT FOAM |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |



REAR



LEFT

COLOR SCHEME 3
PLAN 3A (PLAN 2877A)
SPANISH ELEVATIONS WITH EXTRA EMBELLISHMENTS





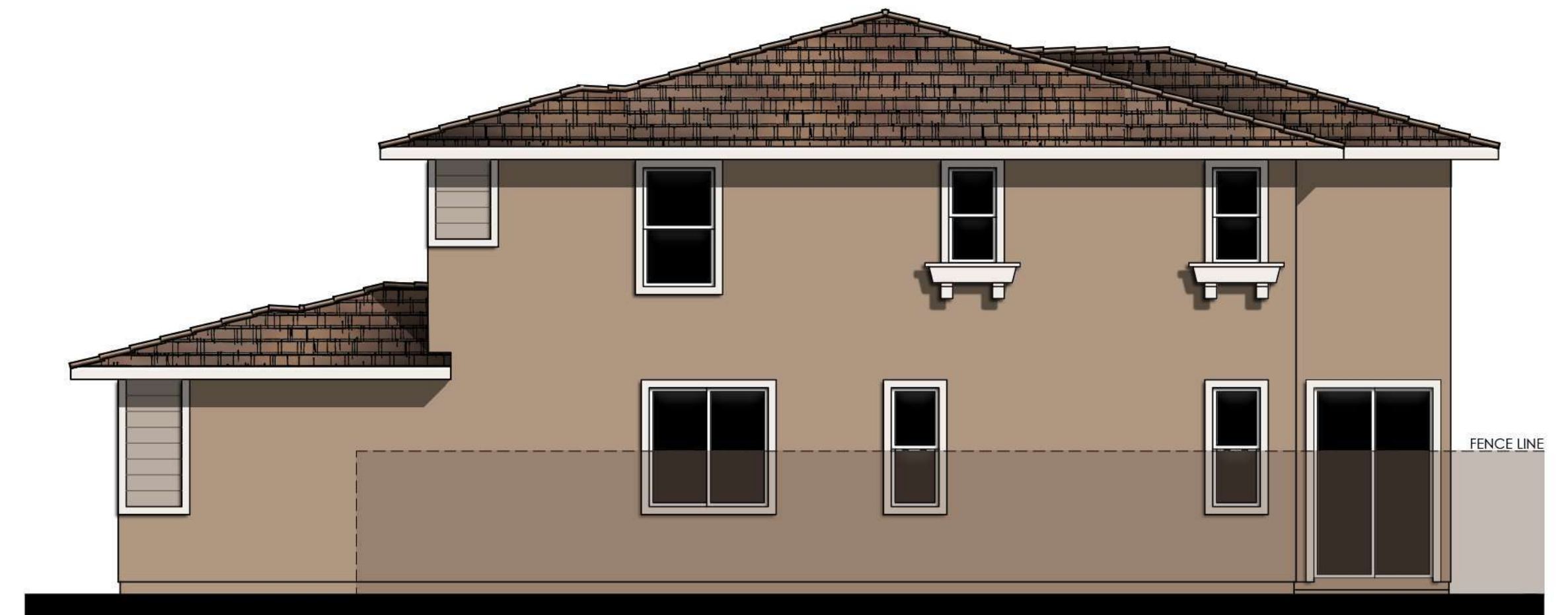
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

MATERIALS LEGEND
(WHERE OCCURS)

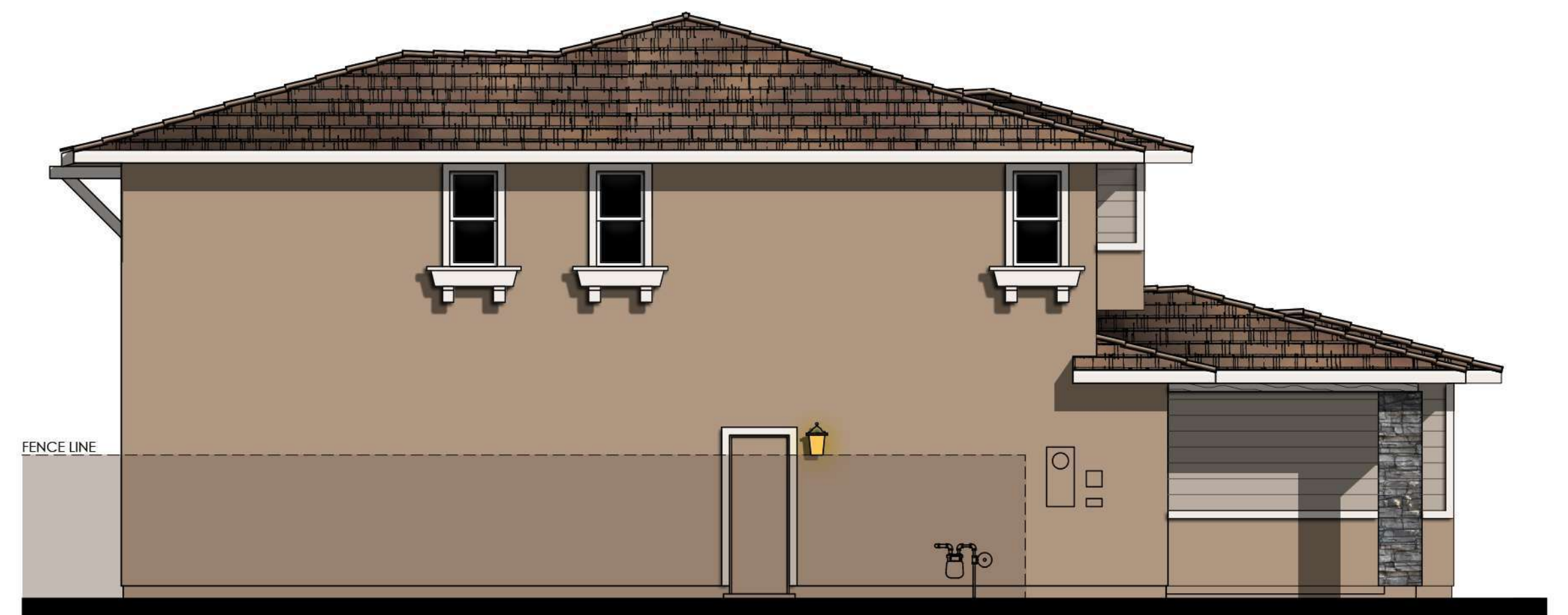
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



RIGHT

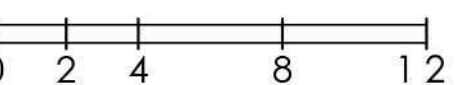


REAR



LEFT

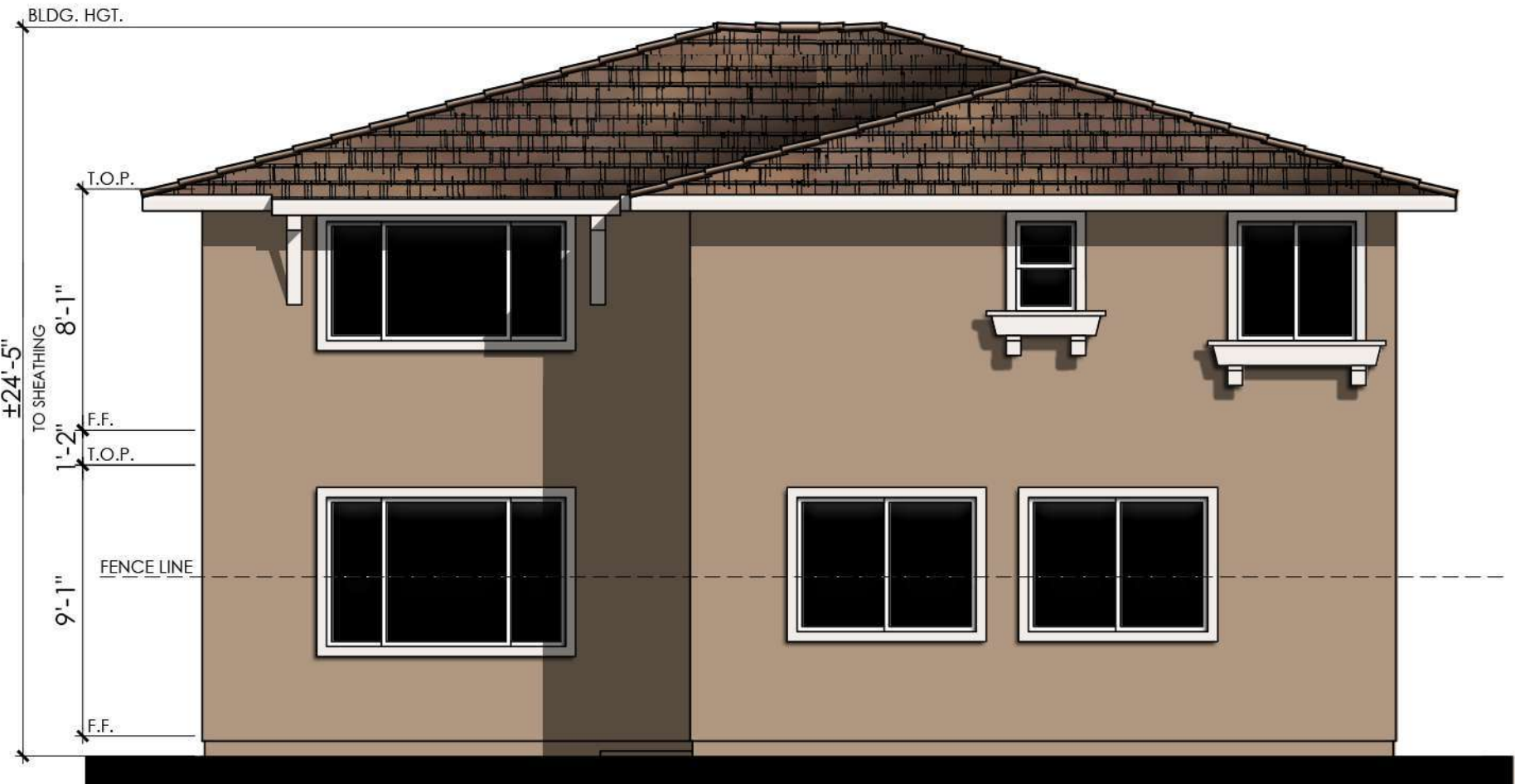
COLOR SCHEME 6
PLAN 3B (PLAN 2877B)
PRAIRIE ELEVATIONS



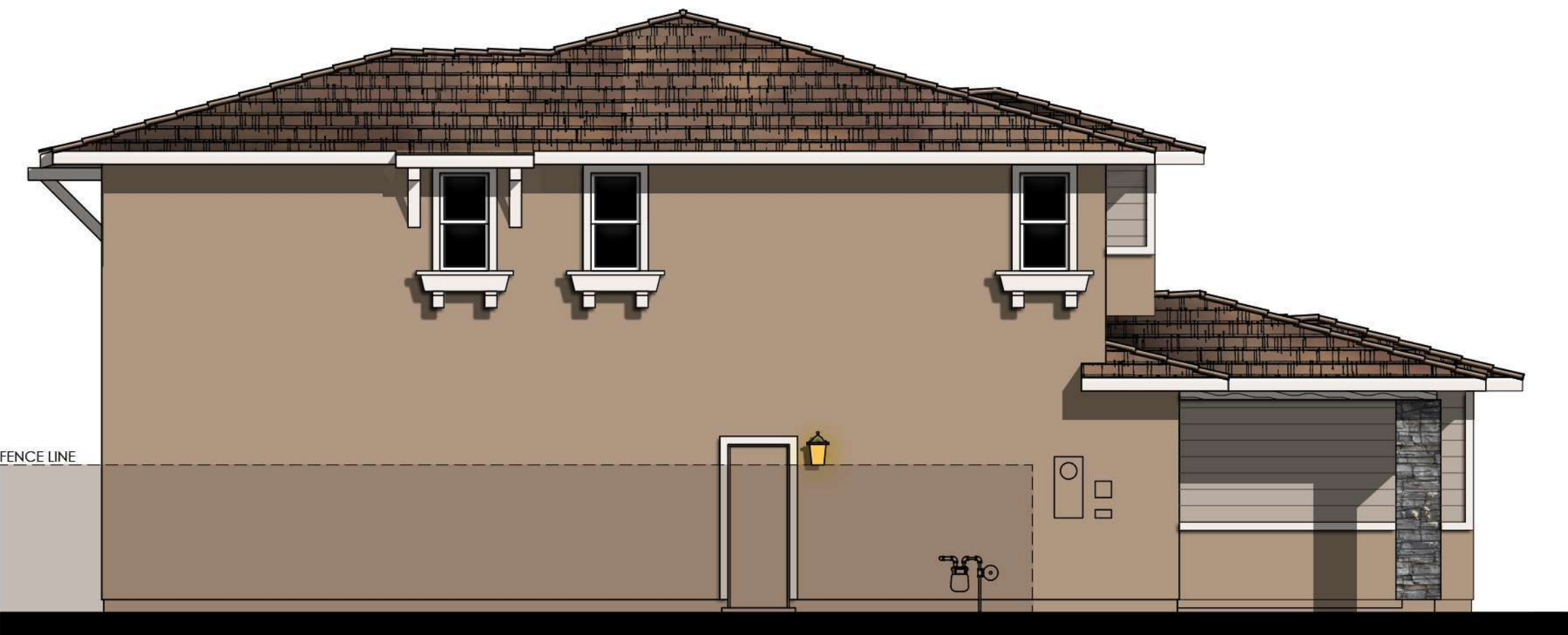


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



REAR



LEFT

COLOR SCHEME 6
PLAN 3B (PLAN 2877B)
PRAIRIE ELEVATIONS WITH EXTRA EMBELLISHMENTS





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FRONT

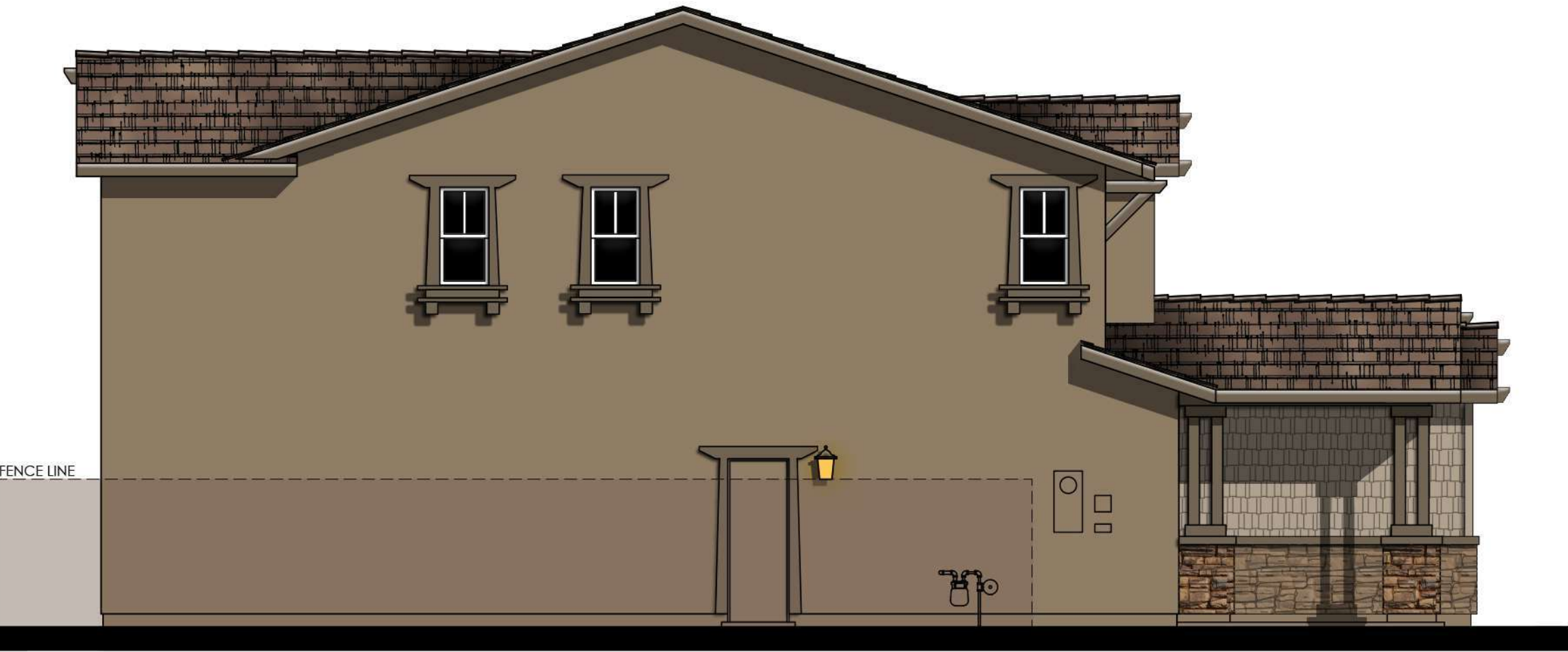


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |



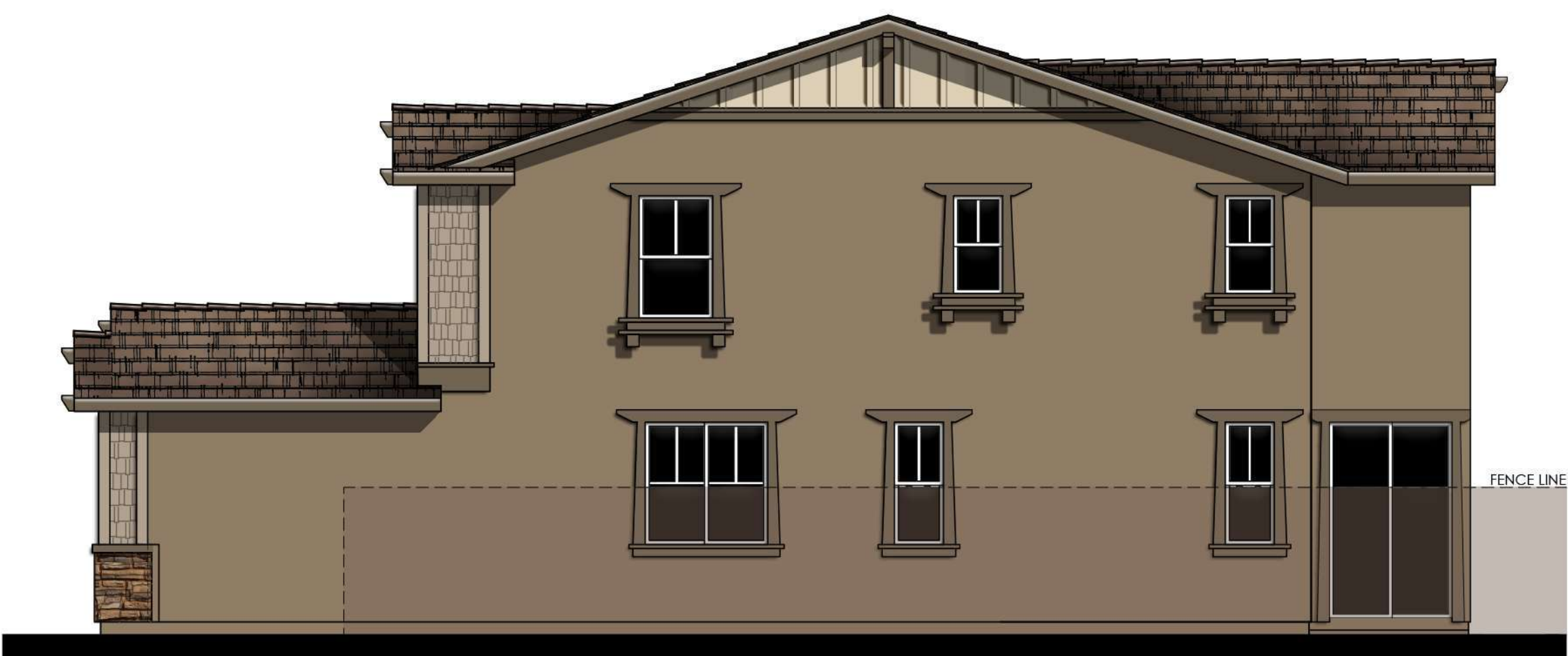
REAR



LEFT

COLOR SCHEME 9
PLAN 3C (PLAN 2877C)
CALIFORNIA CRAFTSMAN ELEVATIONS





RIGHT

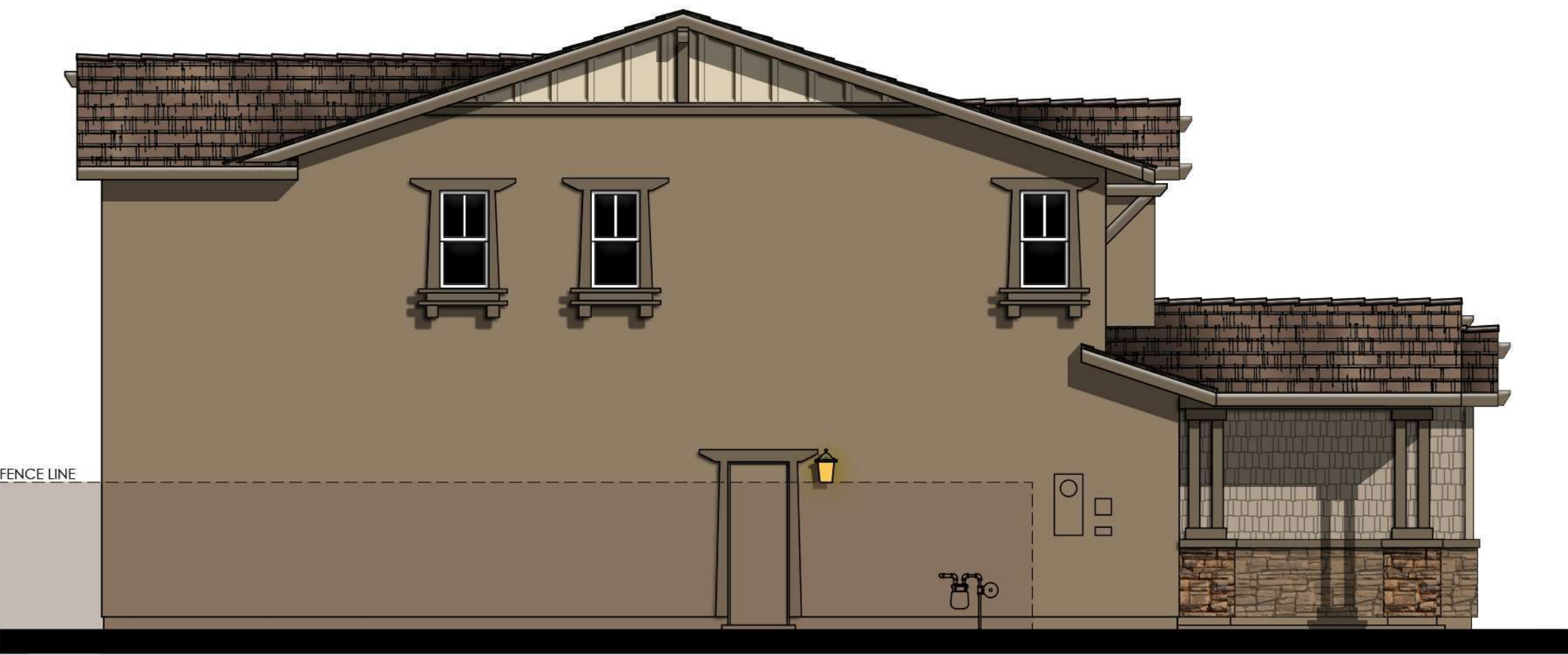
MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL/ KNEE BRACE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER
WALL:	STUCCO/ SHINGLES
WINDOWS:	VINYL W/ GRIDS
POT SHELF:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
WAINSCOT:	STONE VENEER
PORCH:	COLUMN W/ STONE VENEER



REAR



LEFT

COLOR SCHEME 9

PLAN 3C (PLAN 2877C)

CALIFORNIA CRAFTSMAN ELEVATIONS WITH EXTRA EMBELLISHMENTS



SPANISH
SCHEME #1

STUCCO BODY

FASCIA / TRIM /
GARAGE DOOR

FRONT DOOR /
SHUTTERS

GABLE END DETAIL

WROUGHT IRON

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

SPANISH
SCHEME #2

STUCCO BODY

FASCIA / TRIM /
GARAGE DOOR

FRONT DOOR /
SHUTTERS

GABLE END DETAIL

WROUGHT IRON

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

SPANISH
SCHEME #3

STUCCO BODY

FASCIA / TRIM /
GARAGE DOOR

FRONT DOOR /
SHUTTERS

GABLE END DETAIL

WROUGHT IRON

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "A" SPANISH

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

LENNAR

ARBORETUM
FONTANA, CA

4000's
50'x 80'

07/12/2022
A-30

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

#21122

47

PRAIRIE
SCHEME #4

STUCCO BODY

ROOF

FASCIA / TRIM

LAP SIDING /
GARAGE DOOR

FRONT DOOR

STONE

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

PRAIRIE
SCHEME #5

STUCCO BODY

ROOF

FASCIA / TRIM

LAP SIDING /
GARAGE DOOR

FRONT DOOR

STONE

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

PRAIRIE
SCHEME #6

STUCCO BODY

ROOF

FASCIA / TRIM

LAP SIDING /
GARAGE DOOR

FRONT DOOR

STONE

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "B" PRAIRIE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

LENNAR

ARBORETUM
FONTANA, CA

4000's
50'x 80'

07/12/2022
A-31

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

#21122

48

CALIFORNIA CRAFTSMAN
SCHEME #7

STUCCO BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

SHINGLE SIDING

BOARD & BATTEN
SIDING AT GABLES

FRONT DOOR

STONE

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CALIFORNIA CRAFTSMAN
SCHEME #8

STUCCO BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

SHINGLE SIDING

BOARD & BATTEN
SIDING AT GABLES

FRONT DOOR

STONE

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CALIFORNIA CRAFTSMAN
SCHEME #9

STUCCO BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

SHINGLE SIDING

BOARD & BATTEN
SIDING AT GABLES

FRONT DOOR

STONE

LENNAR

ARBORETUM 4000's
FONTANA, CA

#21122C
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "C" CALIFORNIA CRAFTSMAN

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

LENNAR

ARBORETUM
FONTANA, CA

4000's
50'x 80'

07/12/2022
A-32

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

#21122

49



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SANTA BARBARA



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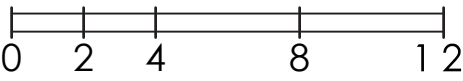
MODERN FARMHOUSE

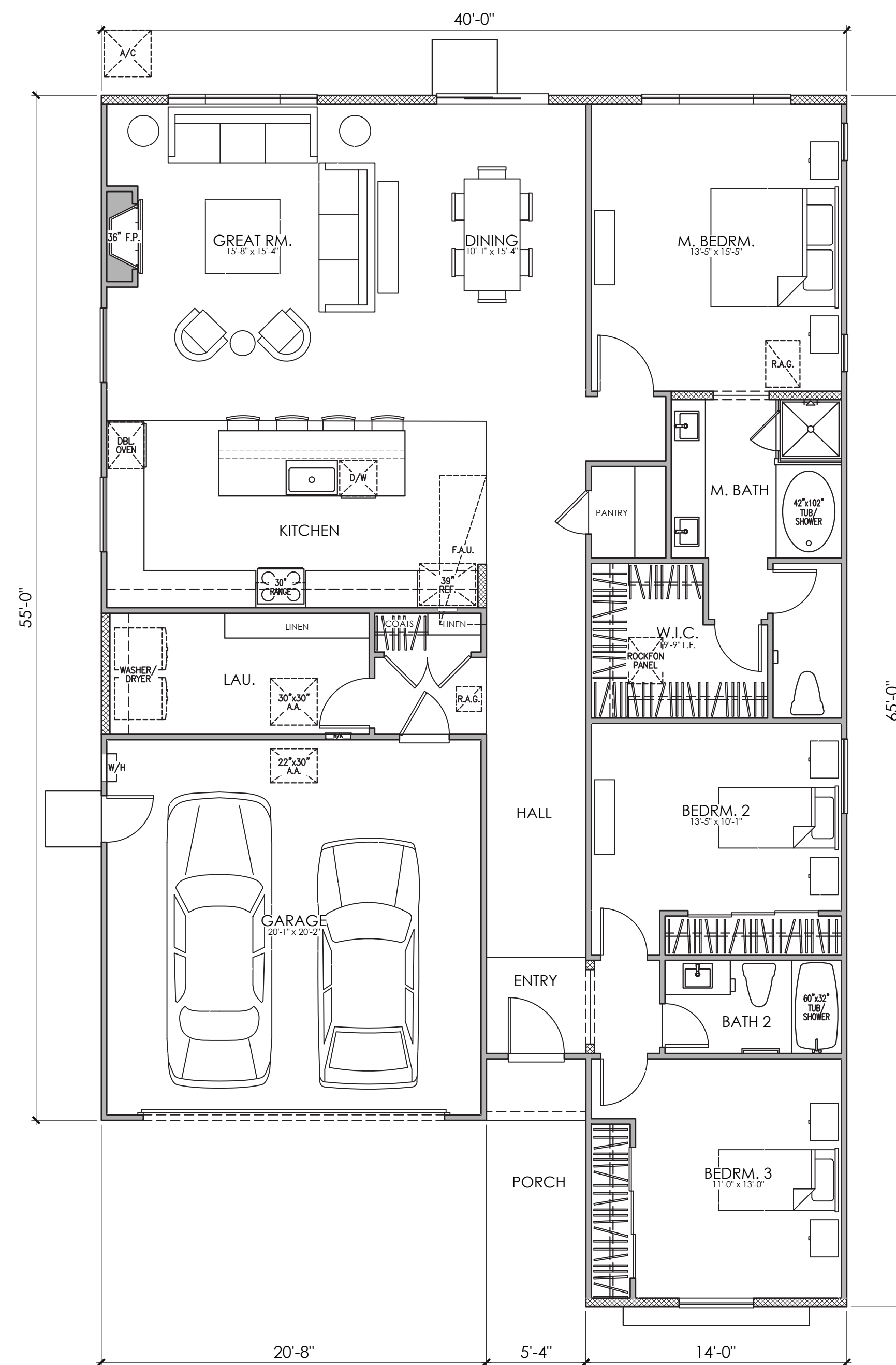


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EUROPEAN COTTAGE

PLAN 1 (PLAN 1905)
FRONT ELEVATIONS

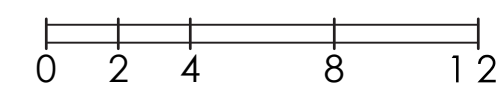




FIRST FLOOR

PLAN 1 (PLAN 1905)
3 BEDROOM, 2 BATH
FLOOR PLAN

PLAN 1 AREA TABULATION	
CONDITIONED SPACE	
FLOOR AREA	1,905 SQ. FT.
TOTAL DWELLING	1,905 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	417 SQ. FT.
PORCH "A"	18 SQ. FT.
PORCH "B"	18 SQ. FT.
PORCH "C"	18 SQ. FT.





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Refer to landscape drawings for wall, tree, and shrub locations

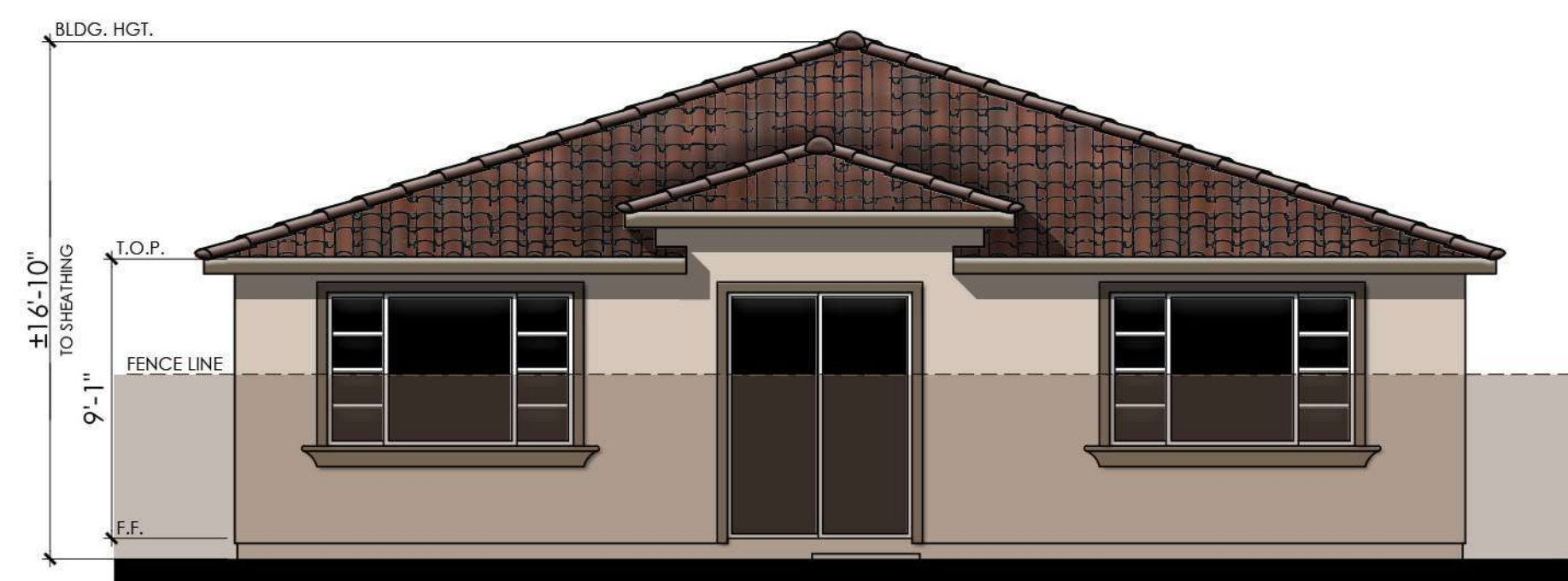
FRONT



RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE LOW PROFILE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	SIMULATED CLAY PIPES
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
WINDOW GRILLE:	DECORATIVE WROUGHT FOAM
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM

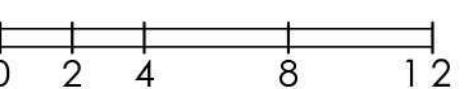


REAR



LEFT

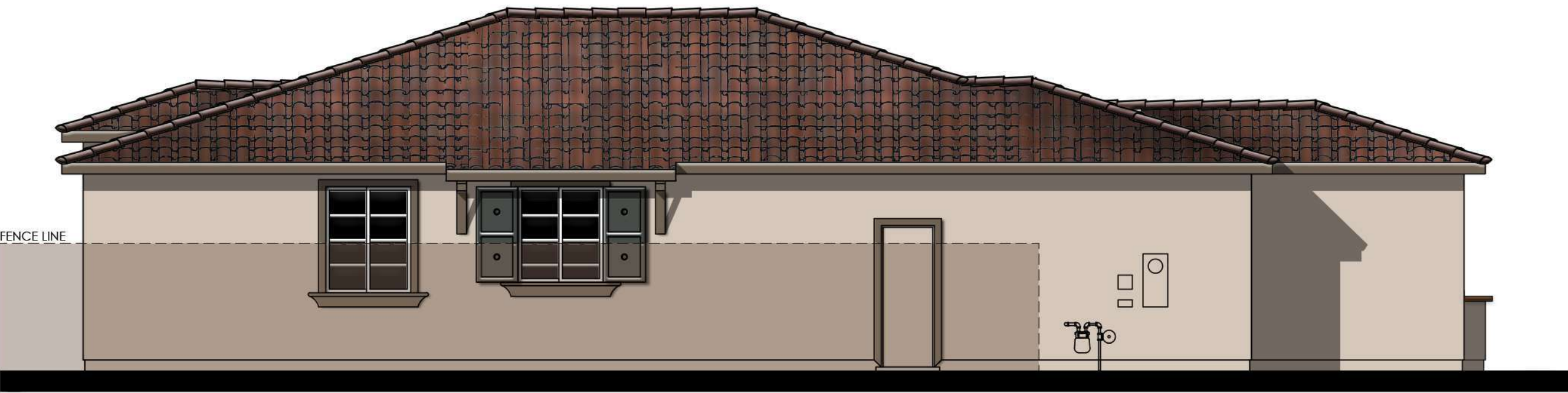
COLOR SCHEME 1
PLAN 1A (PLAN 1905A)
SANTA BARBARA ELEVATIONS





RIGHT

MATERIALS LEGEND	
(WHERE OCCURS)	
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE LOW PROFILE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	SIMULATED CLAY PIPES
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
WINDOW GRILLE:	DECORATIVE WROUGHT FOAM
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM

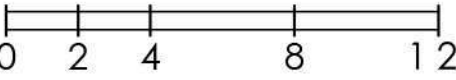


LEFT

COLOR SCHEME 1

PLAN 1A (PLAN 1905A)

SANTA BARBARA ELEVATIONS WITH EXTRA EMBELLISHMENTS

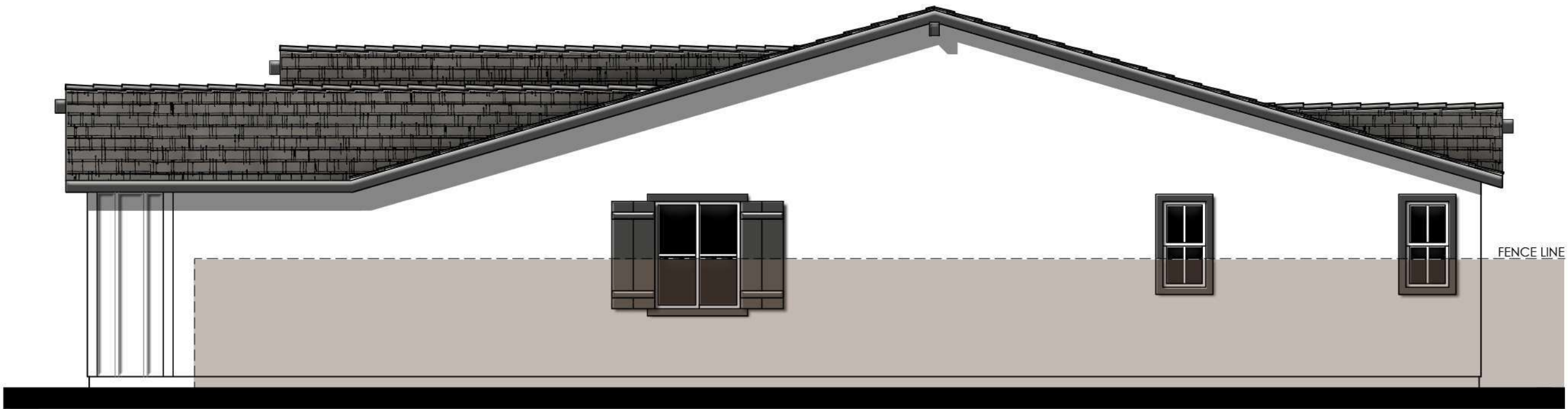




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



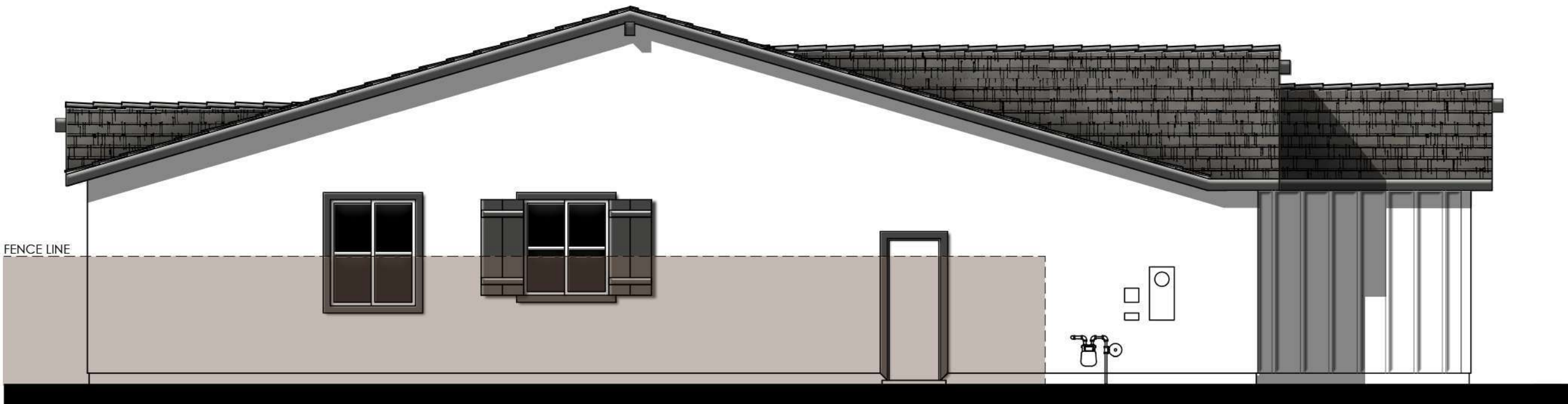
RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



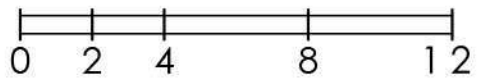
REAR

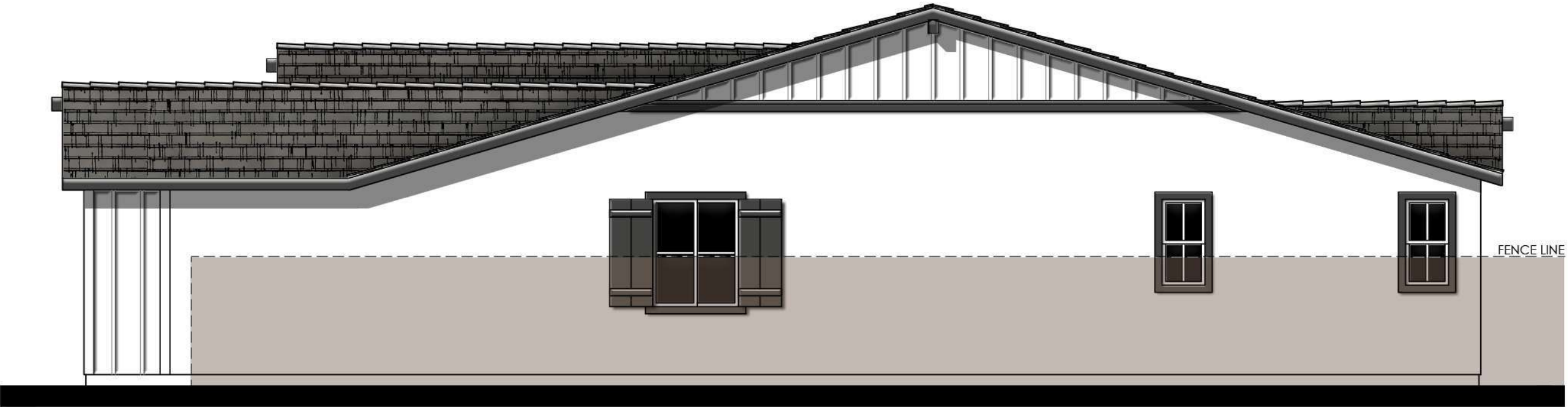


LEFT

COLOR SCHEME 4

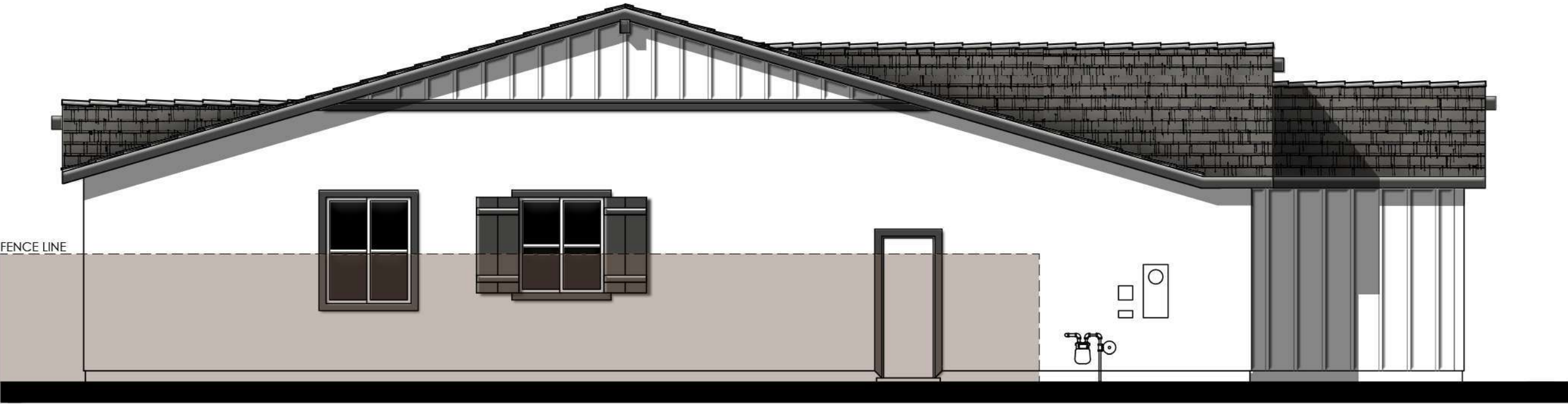
PLAN 1B (PLAN 1905B)
MODERN FARMHOUSE ELEVATIONS





RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



LEFT

COLOR SCHEME 4

PLAN 1B (PLAN 1905B)

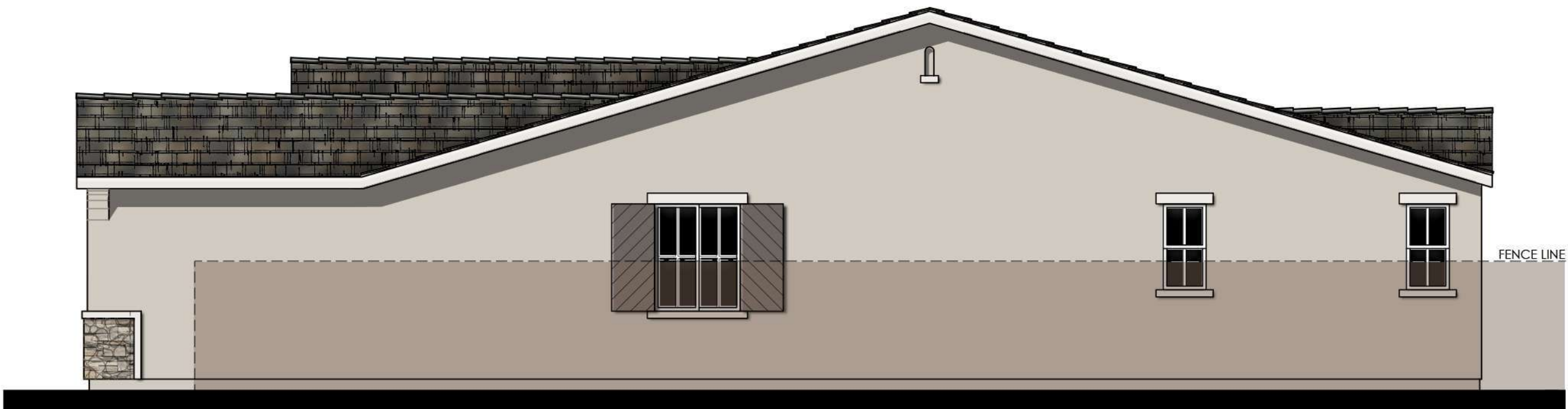
MODERN FARMHOUSE ELEVATIONS WITH EXTRA EMBELLISHMENTS





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FRONT

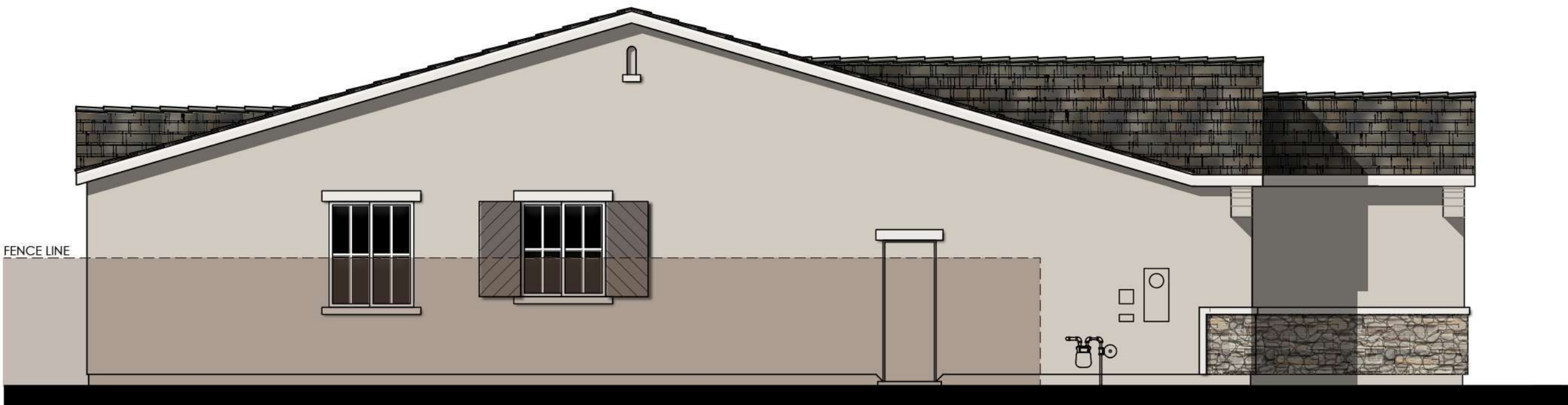


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |



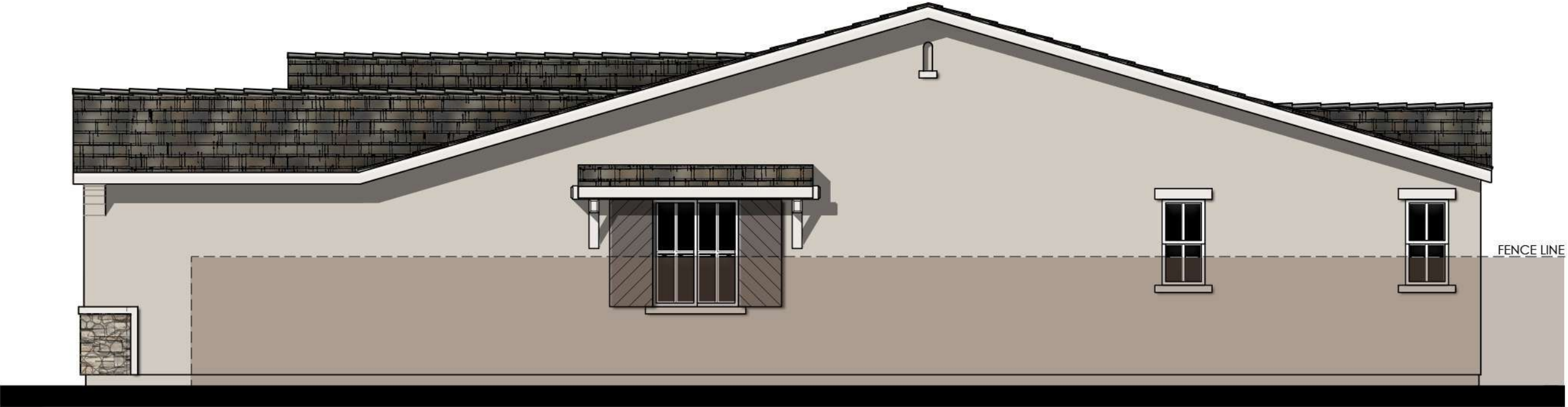
REAR



LEFT

COLOR SCHEME 7
PLAN 1C (PLAN 1905C)
EUROPEAN COTTAGE ELEVATIONS



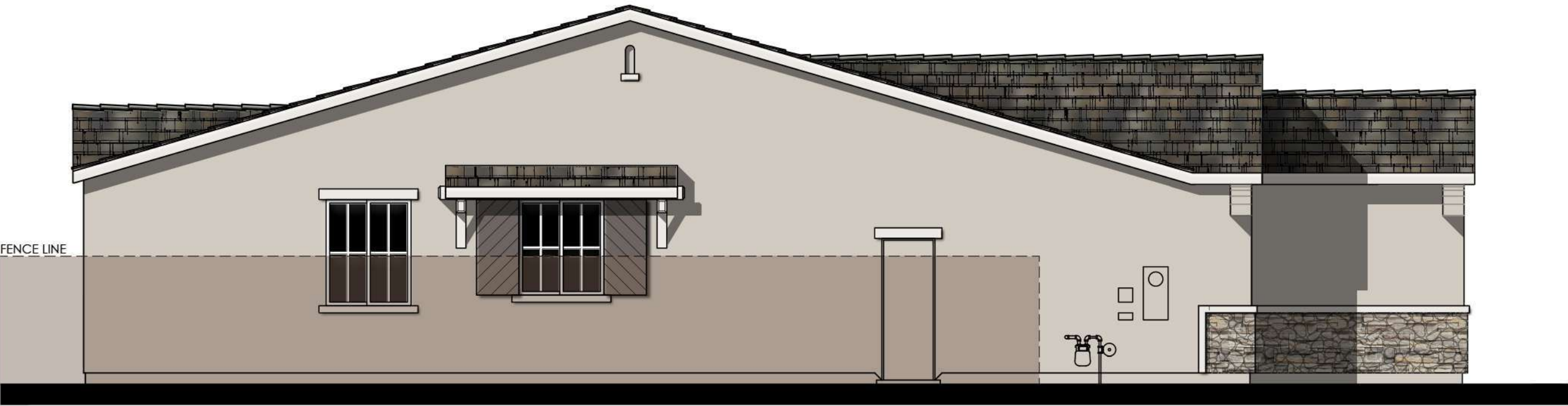


RIGHT

MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL/ KNEE BRACE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER
WALL:	STUCCO/ SHINGLES
WINDOWS:	VINYL W/ GRIDS
POT SHELF:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
WAINSCOT:	STONE VENEER
PORCH:	COLUMN W/ STONE VENEER



LEFT

COLOR SCHEME 7

PLAN 1C (PLAN 1905C)

EUROPEAN COTTAGE ELEVATIONS WITH EXTRA EMBELLISHMENTS





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Refer to landscape drawings for wall, tree, and shrub locations

SANTA BARBARA



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Refer to landscape drawings for wall, tree, and shrub locations

MODERN FARMHOUSE

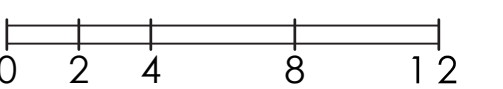


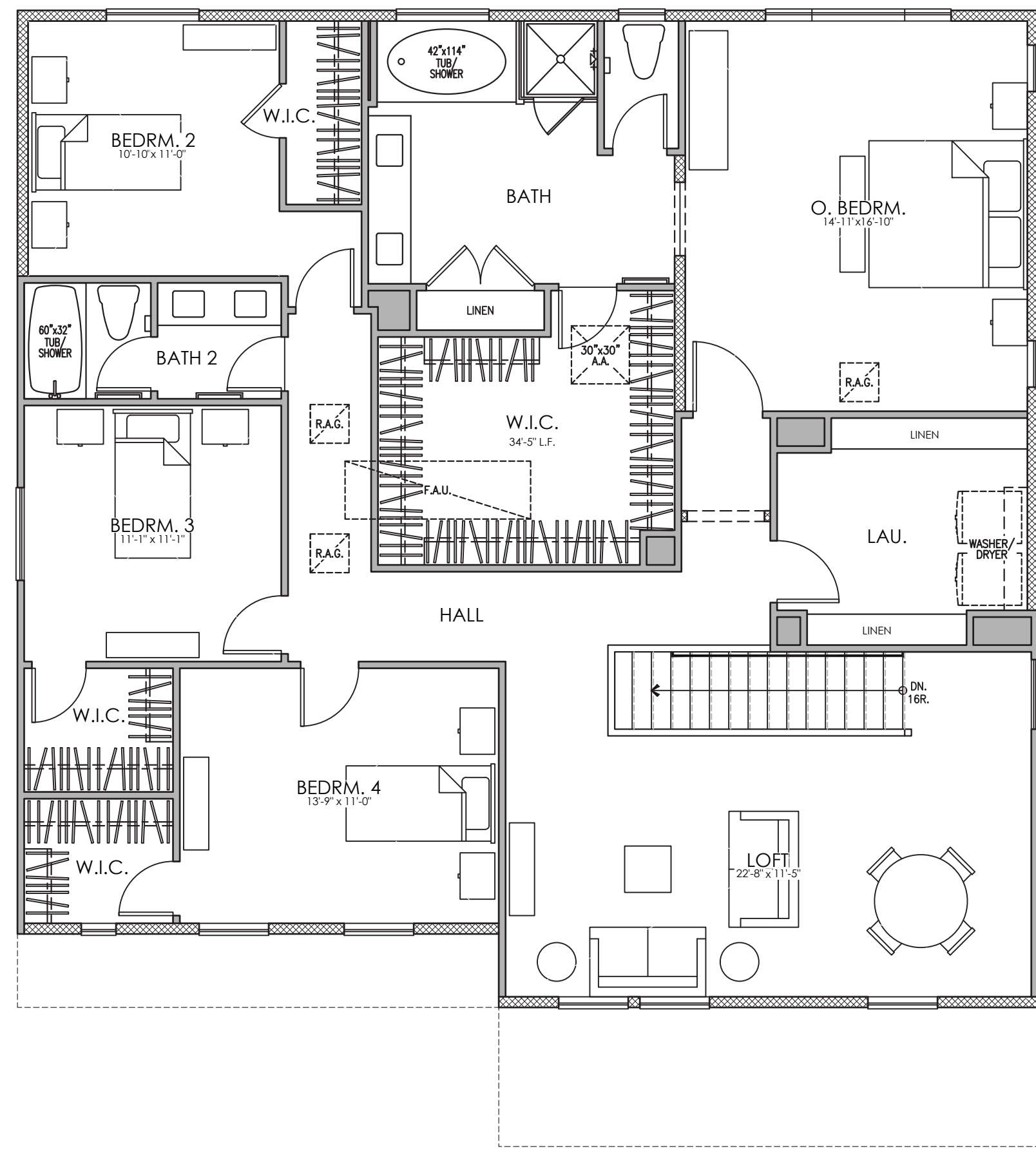
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Refer to landscape drawings for wall, tree, and shrub locations

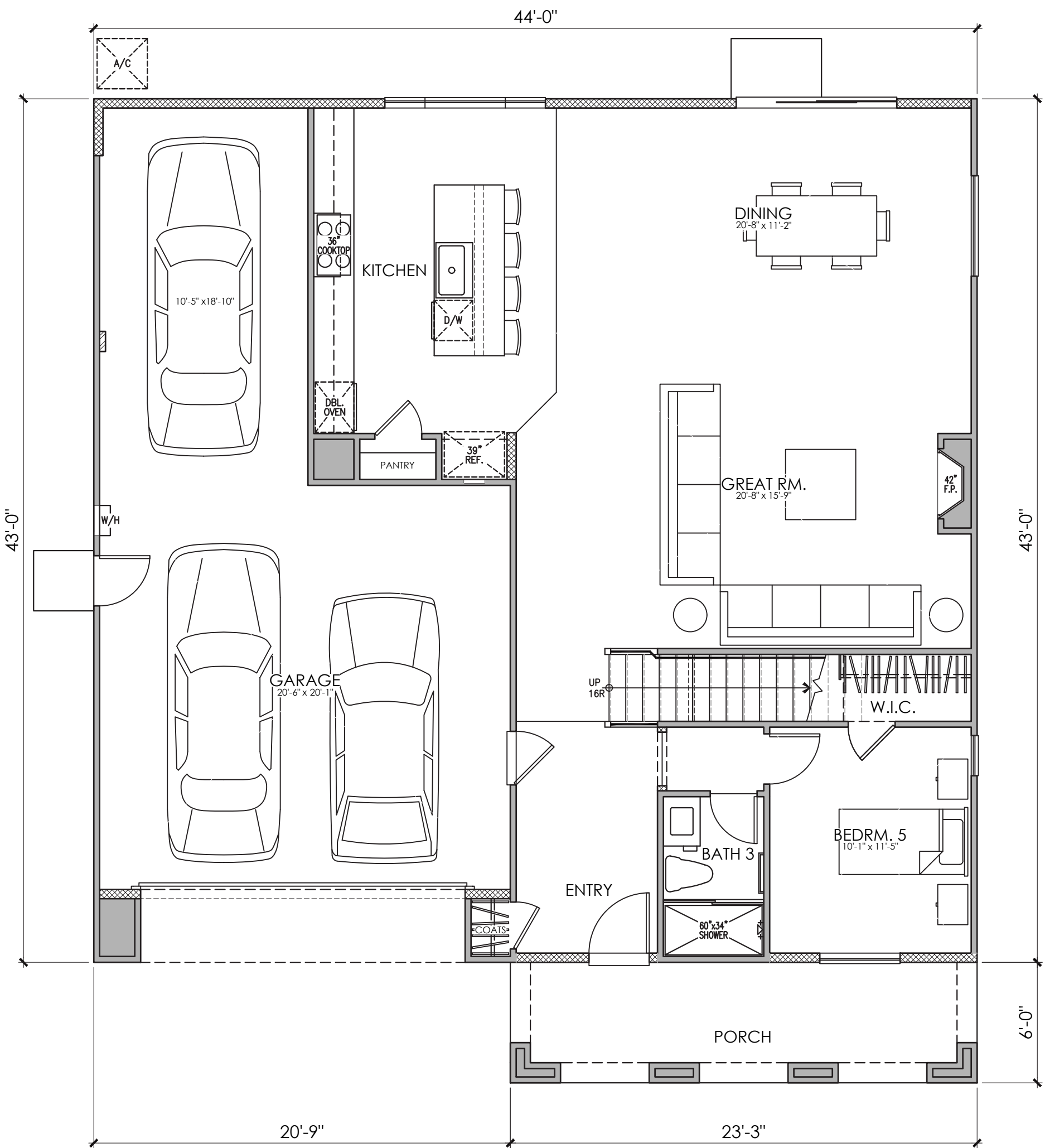
EUROPEAN COTTAGE

PLAN 2 (PLAN 2985)
FRONT ELEVATIONS





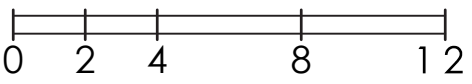
SECOND FLOOR



FIRST FLOOR

PLAN 2 (PLAN 2985)
5 BEDROOM, 3 BATH, LOFT
FLOOR PLAN

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	1,194 SQ. FT.
SECOND FLOOR AREA	1,791 SQ. FT.
TOTAL DWELLING	2,985 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	631 SQ. FT.
PORCH "A"	140 SQ. FT.
PORCH "B"	140 SQ. FT.
PORCH "C"	140 SQ. FT.





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

MATERIALS LEGEND

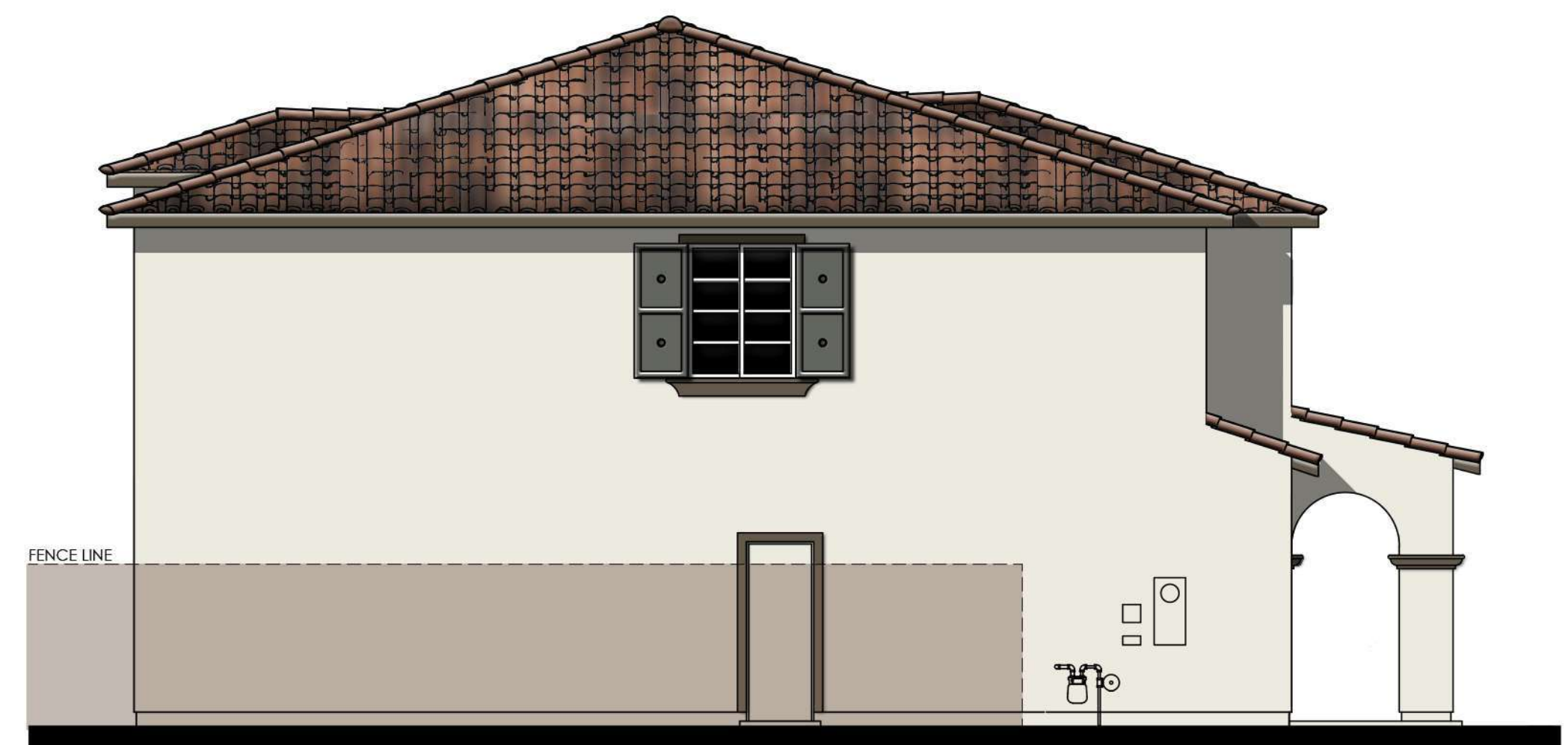
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE LOW PROFILE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	SIMULATED CLAY PIPES
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
WINDOW GRILLE:	DECORATIVE WROUGHT FOAM
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM



RIGHT

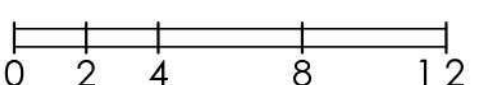


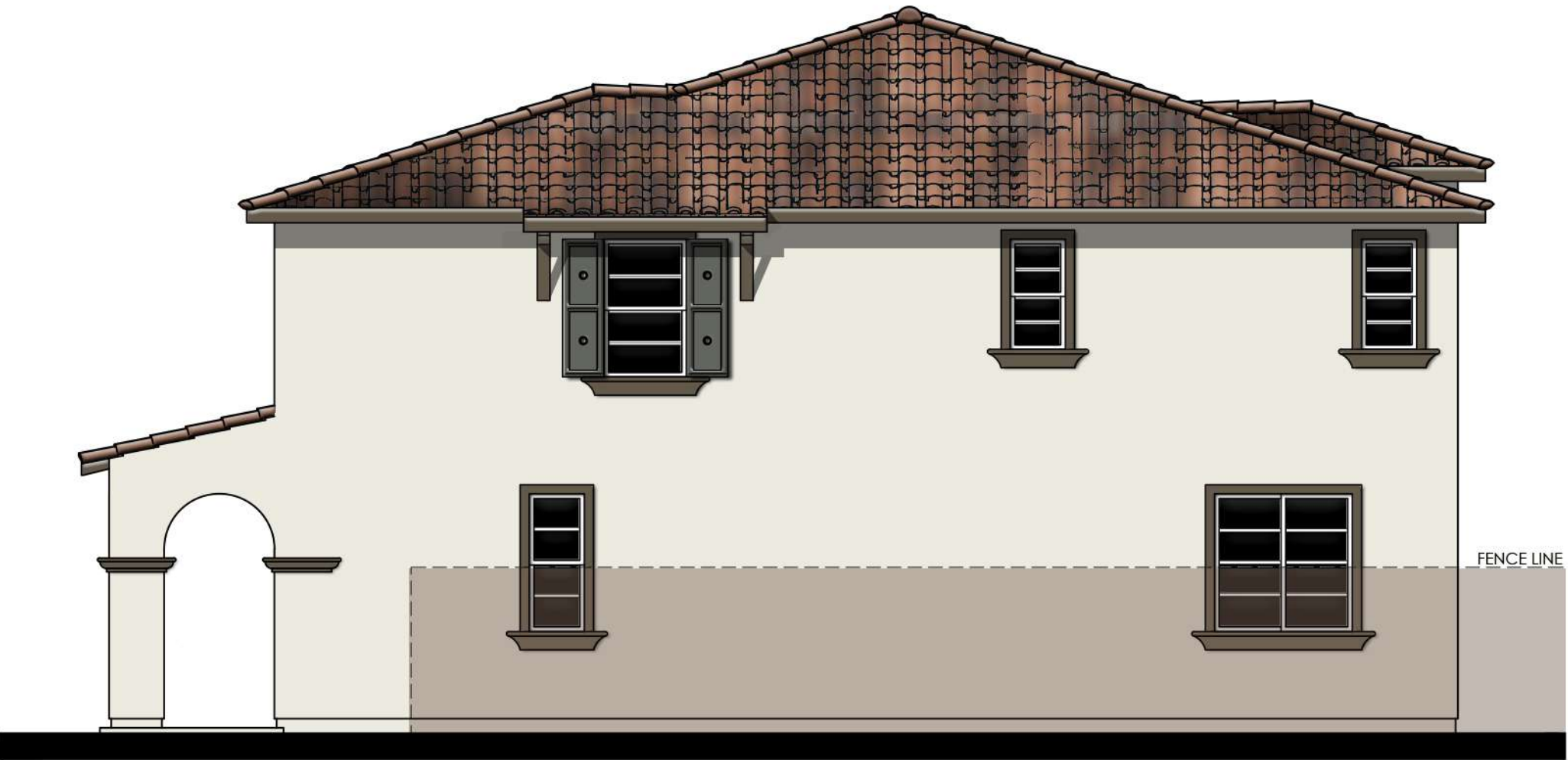
REAR



LEFT

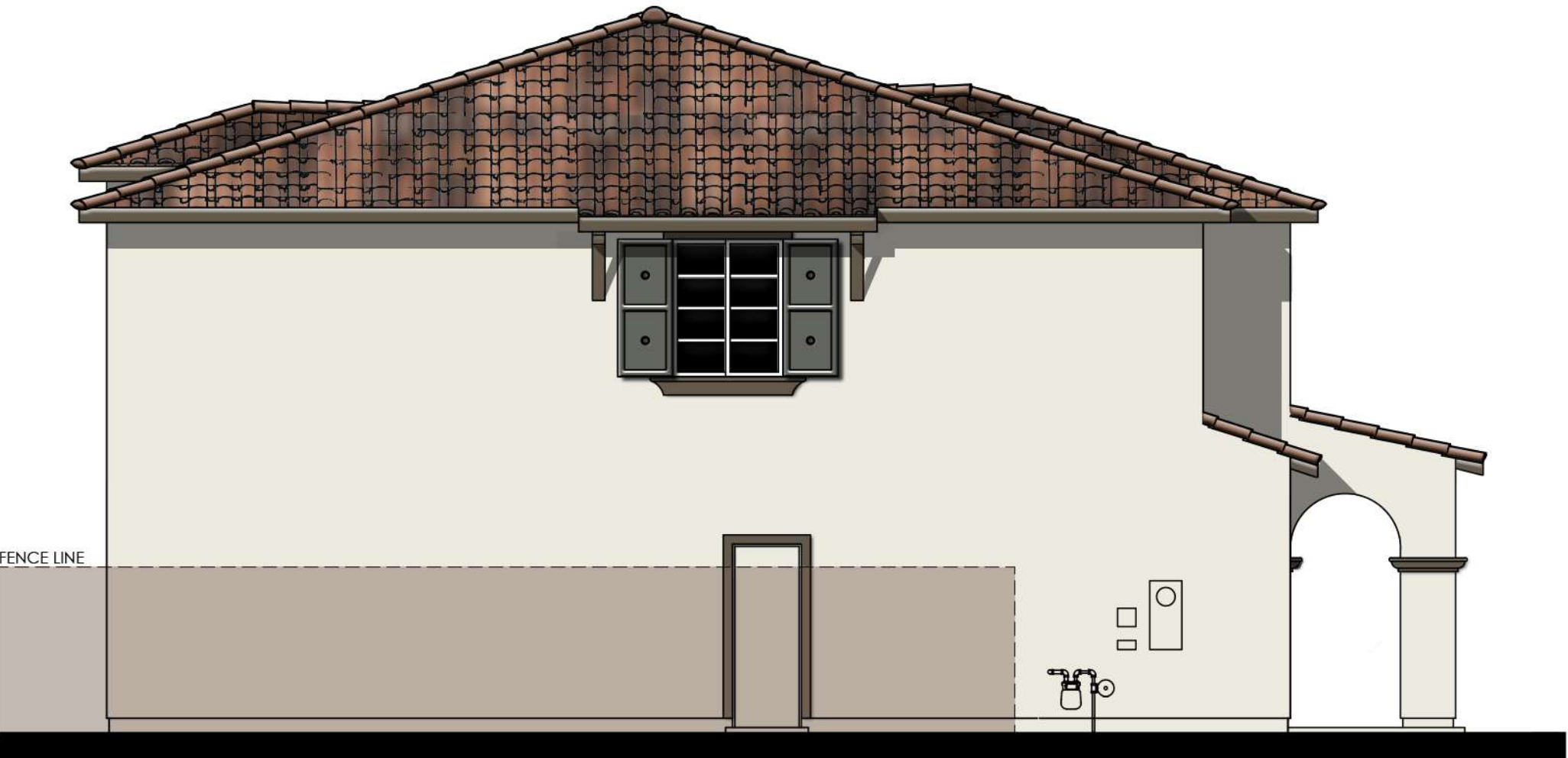
COLOR SCHEME 2 PLAN 2A (PLAN 2985A) SANTA BARBARA ELEVATIONS





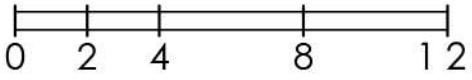
RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | SIMULATED CLAY PIPES |
| WALL: | STUCCO |
| WINDOWS: | VINYL W/ GRIDS |
| WINDOW GRILLE: | DECORATIVE WROUGHT FOAM |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |



LEFT

COLOR SCHEME 2
PLAN 2A (PLAN 2985A)
SANTA BARBARA ELEVATIONS WITH EXTRA EMBELLISHMENTS





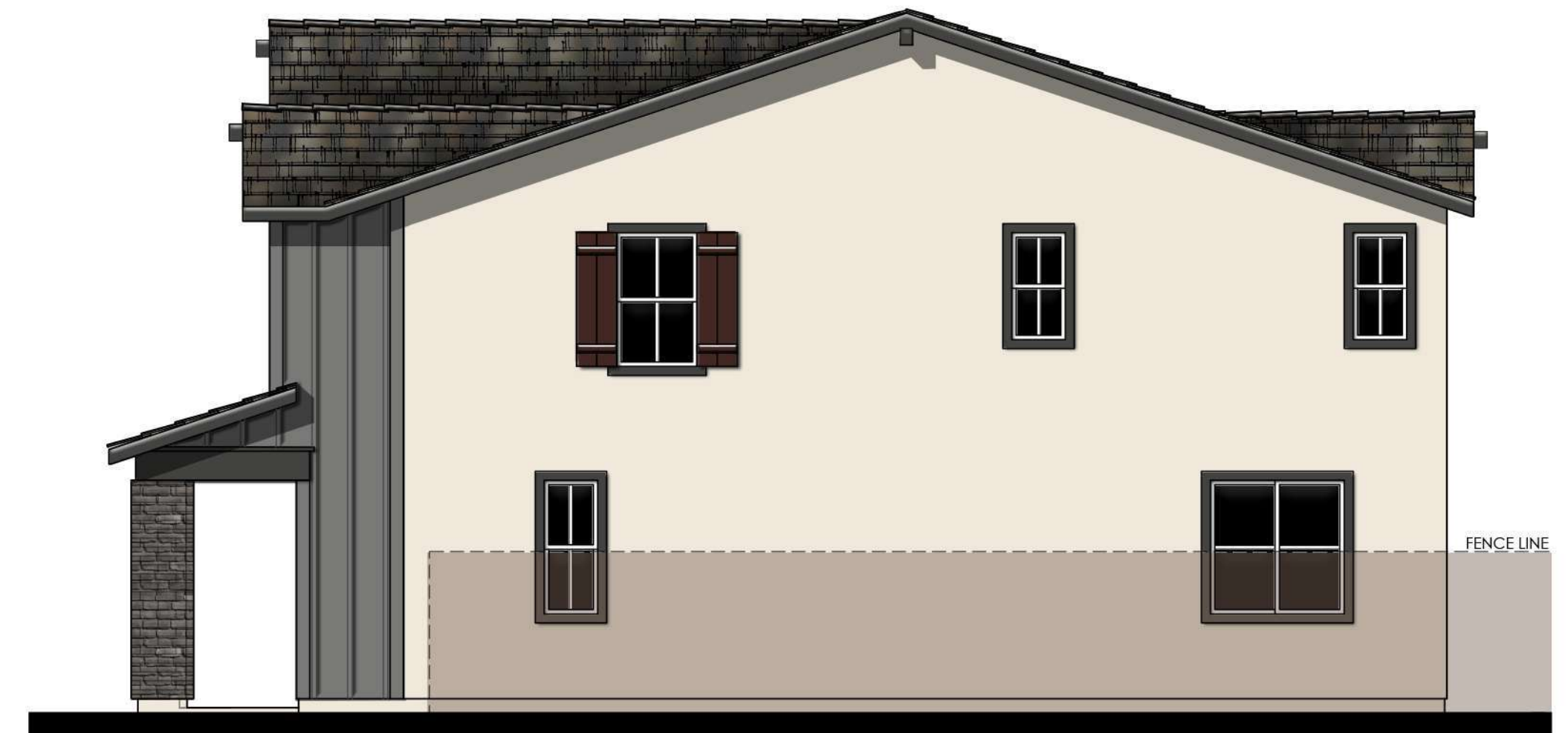
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

MATERIALS LEGEND
(WHERE OCCURS)

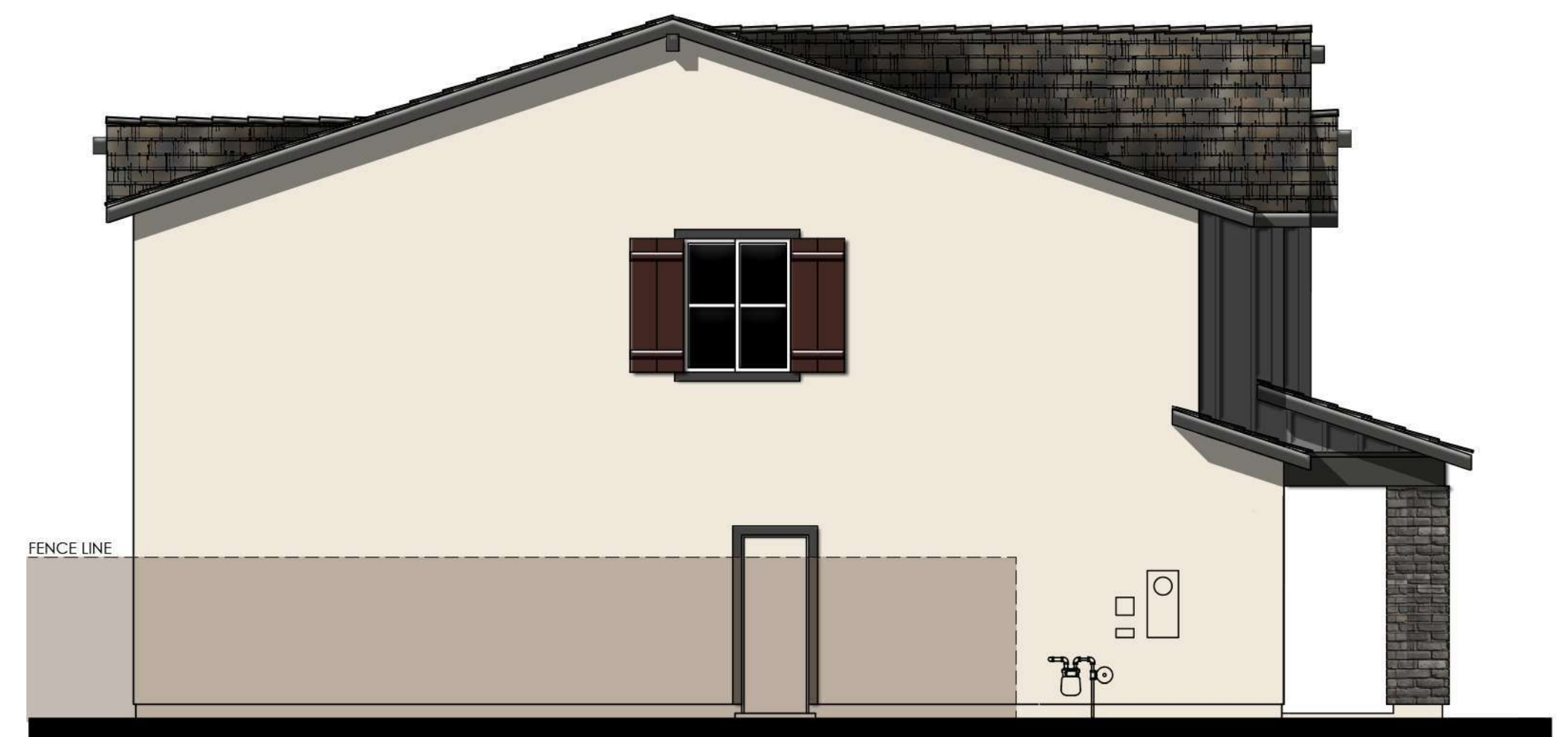
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



RIGHT

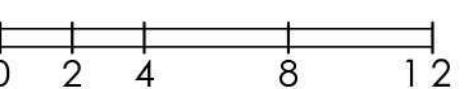


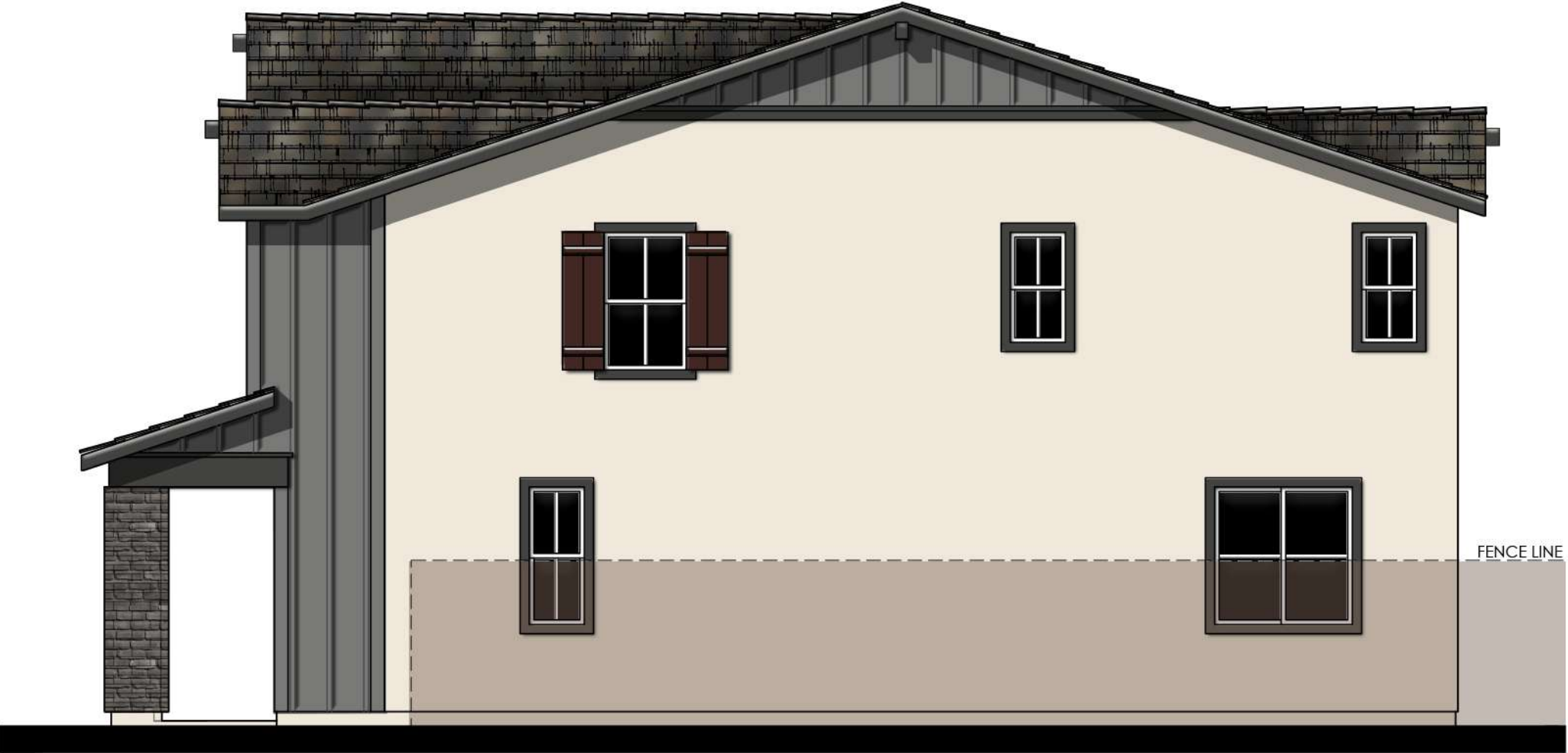
REAR



LEFT

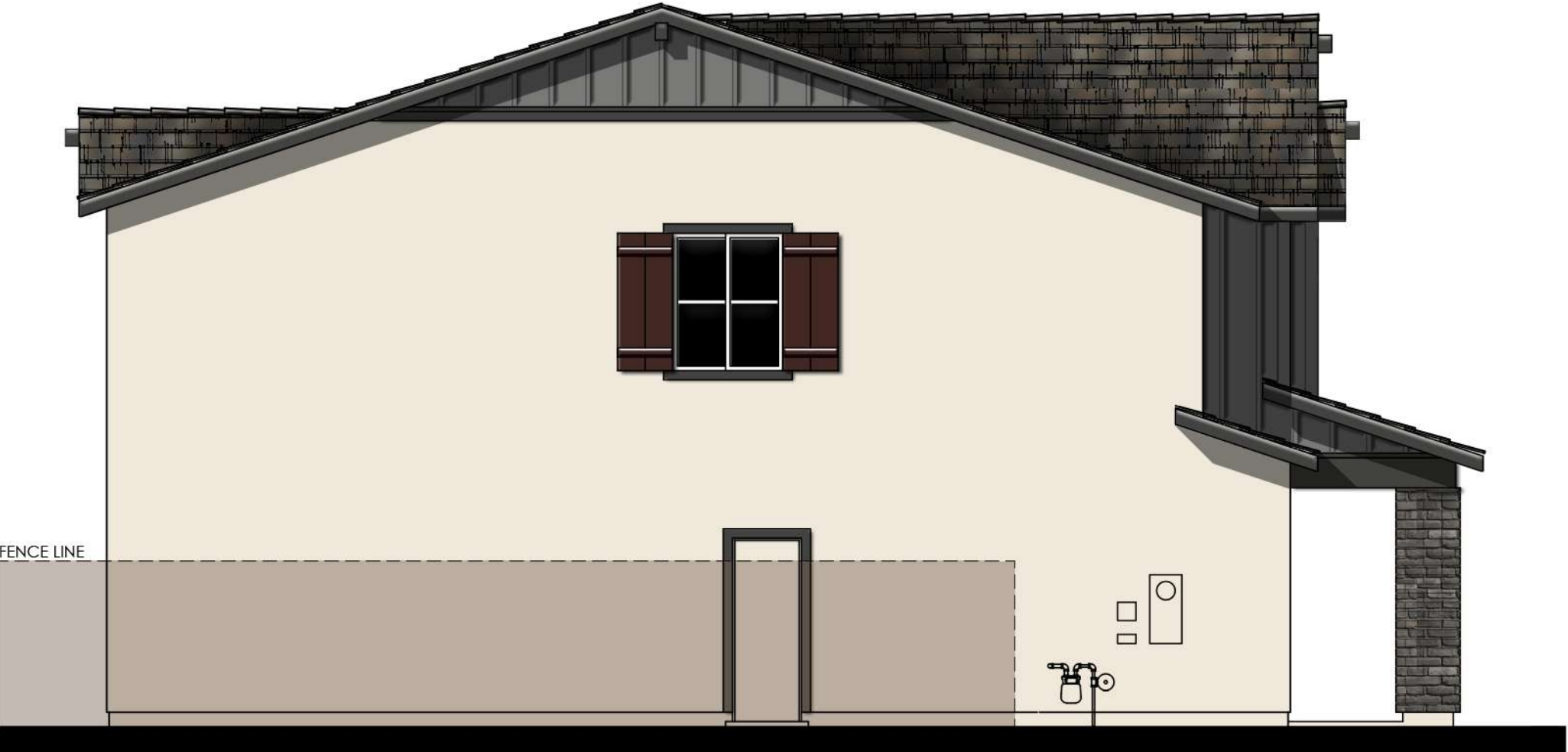
COLOR SCHEME 5
PLAN 2B (PLAN 2985B)
MODERN FARMHOUSE ELEVATIONS





RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |

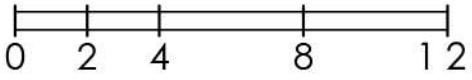


LEFT

COLOR SCHEME 5

PLAN 2B (PLAN 2985B)

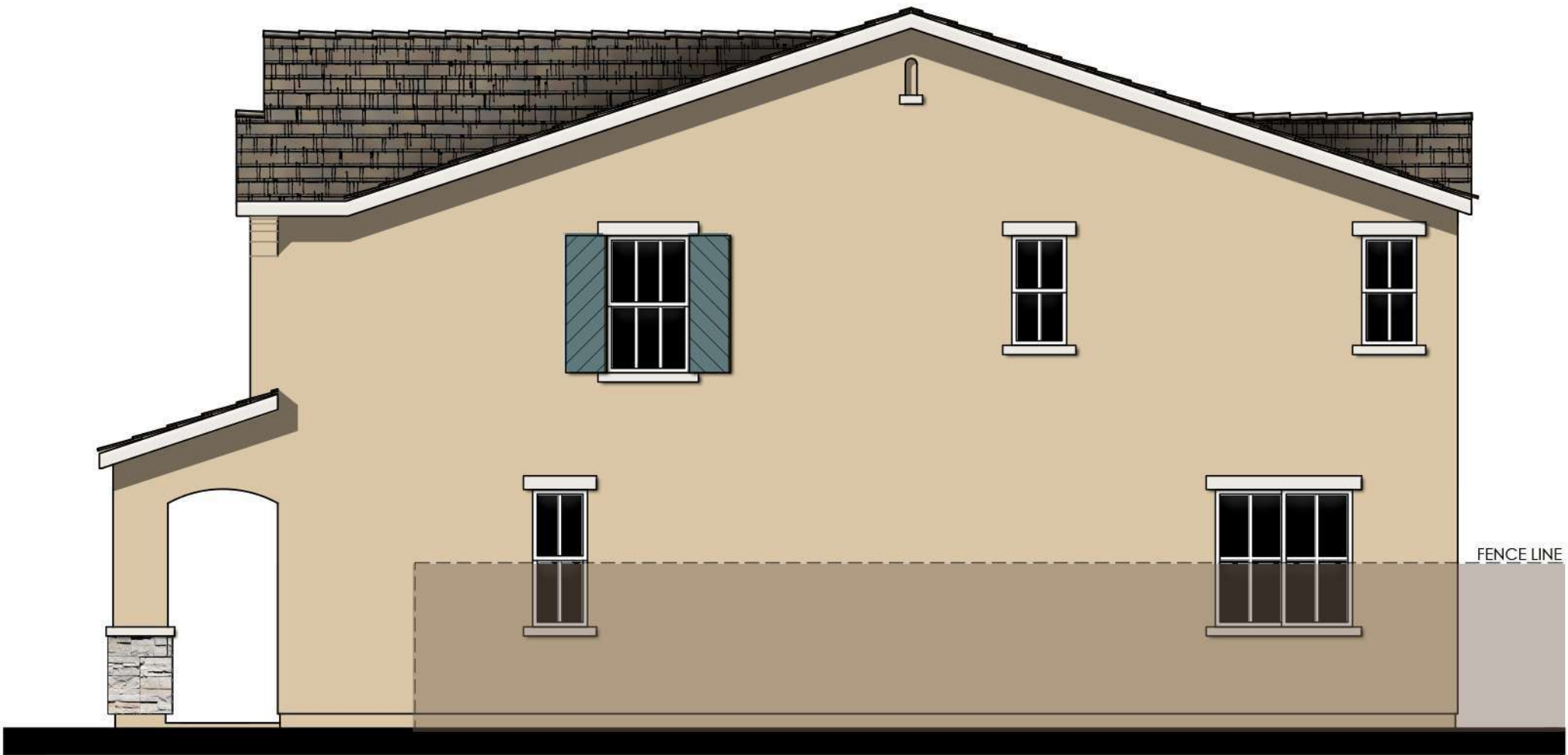
MODERN FARMHOUSE ELEVATIONS WITH EXTRA EMBELLISHMENTS





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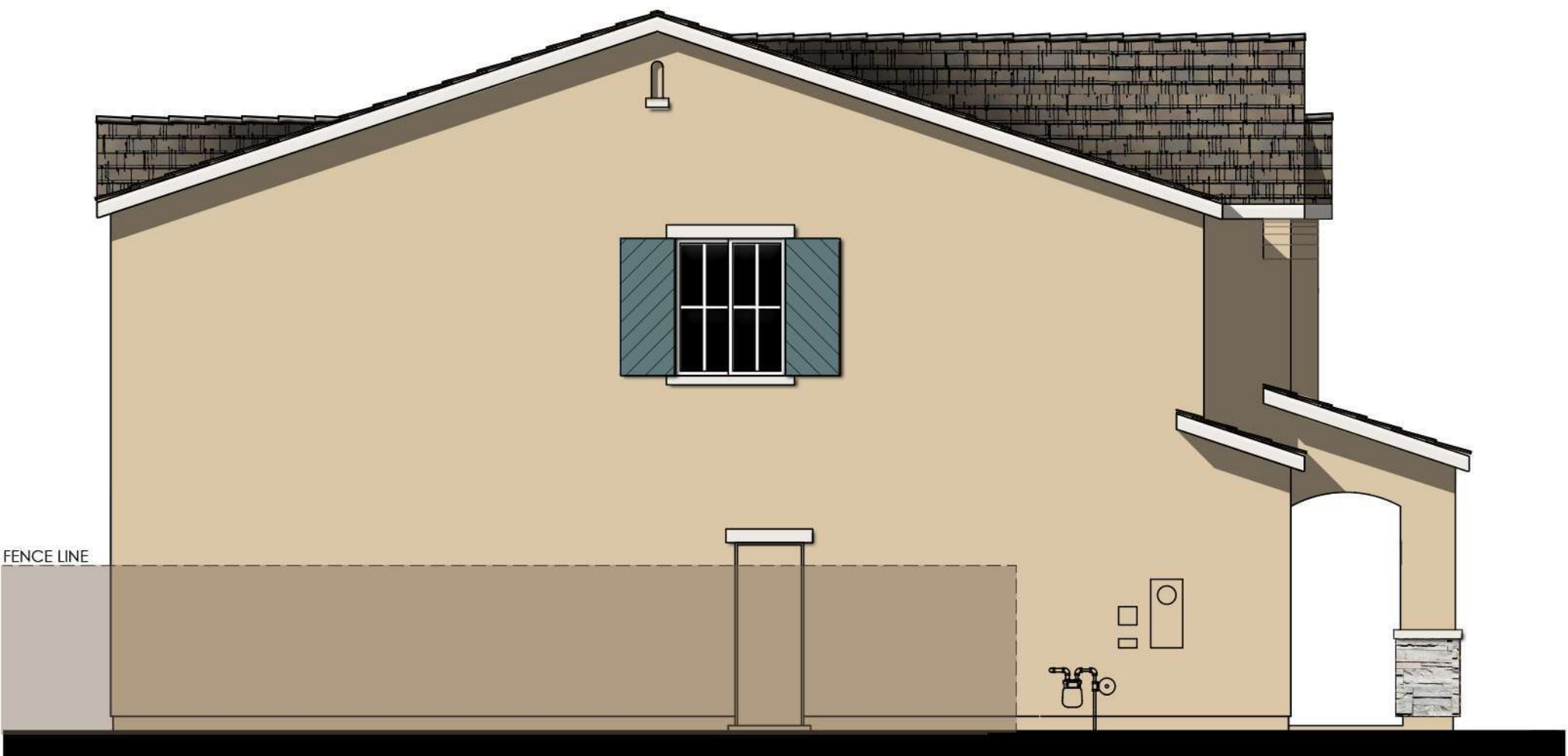
FRONT



RIGHT



REAR

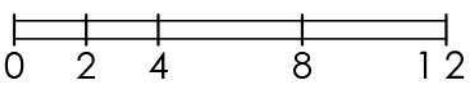


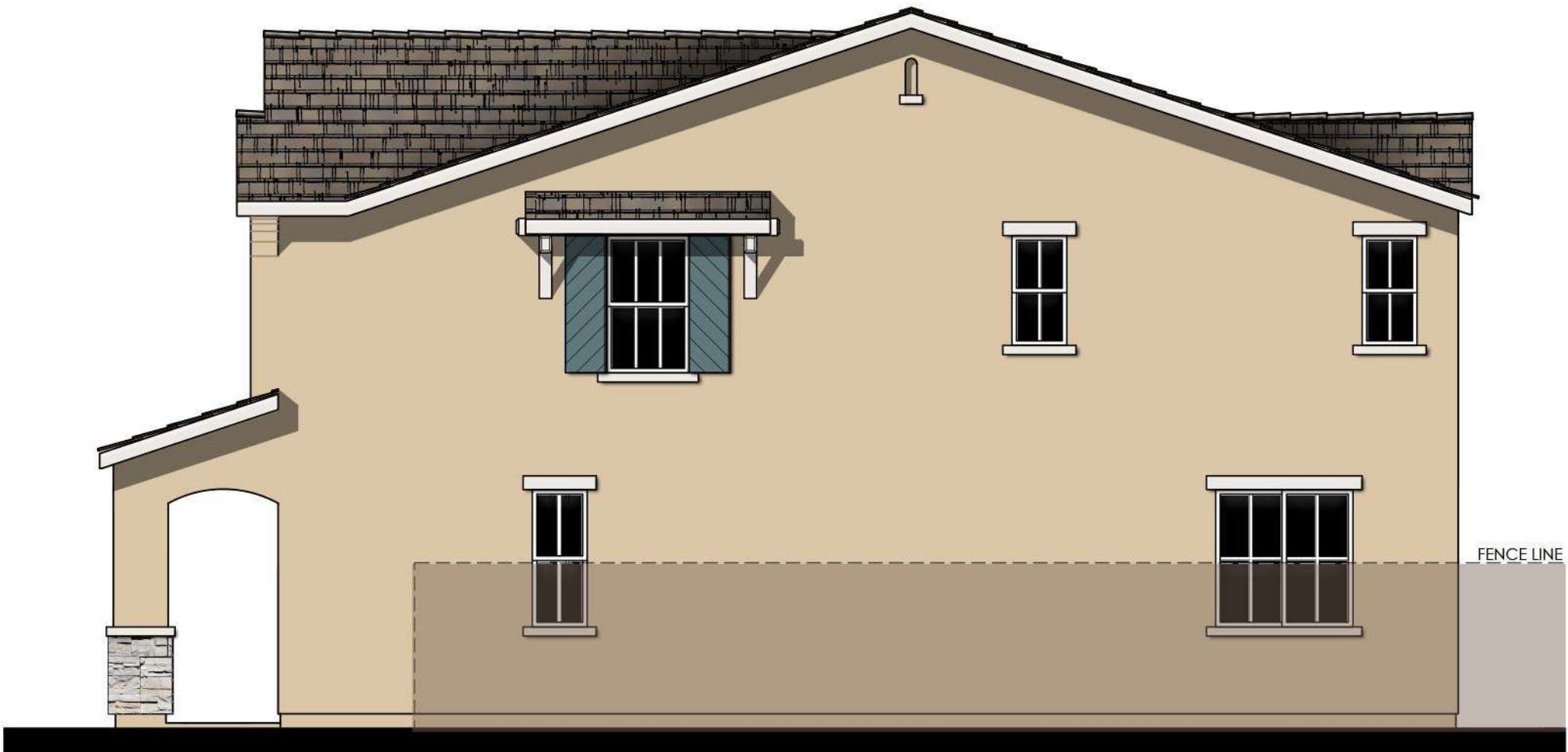
LEFT

MATERIALS LEGEND

- (WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |

COLOR SCHEME 8
PLAN 2C (PLAN 2985C)
EUROPEAN COTTAGE ELEVATIONS



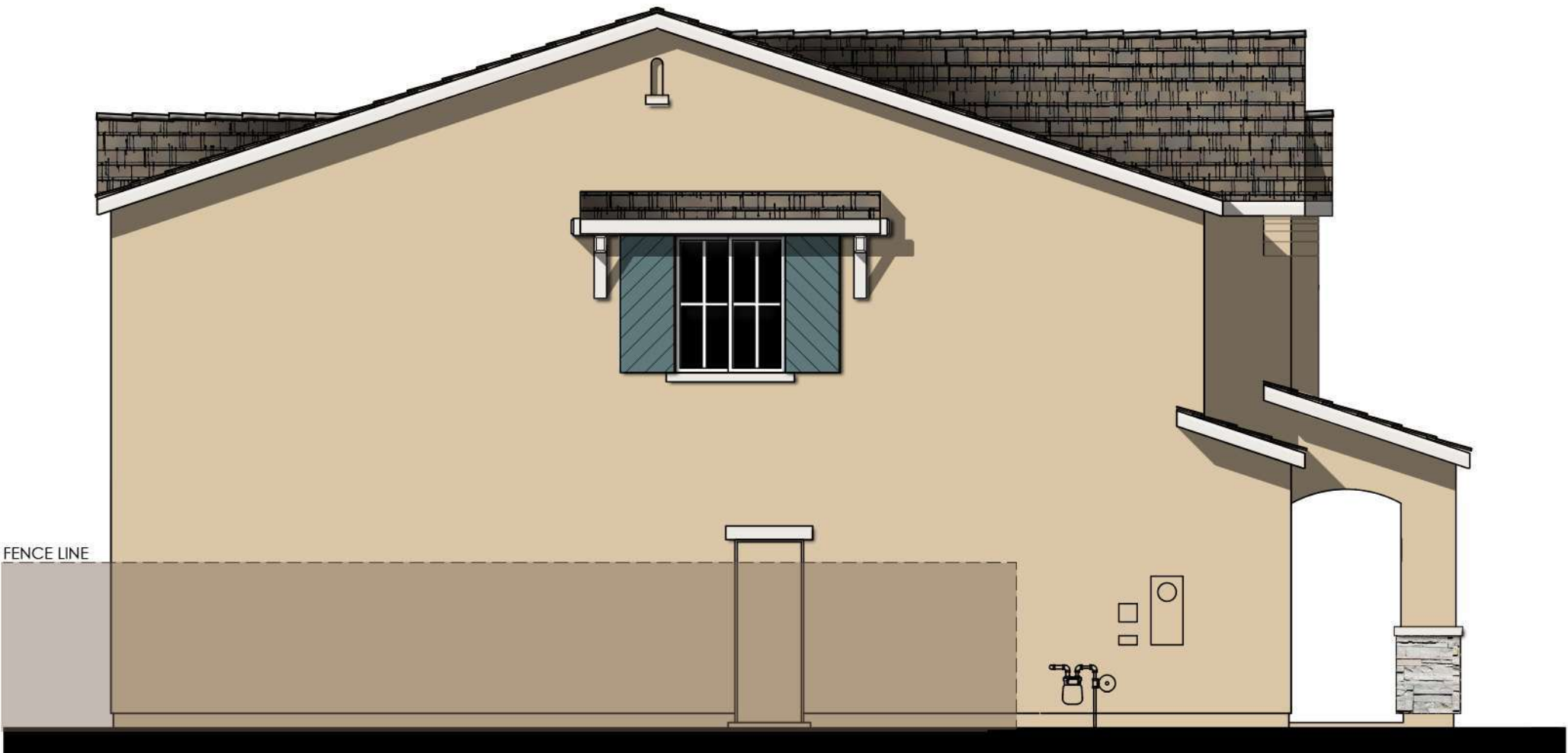


RIGHT

MATERIALS LEGEND

(WHERE OCCURS)

- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |

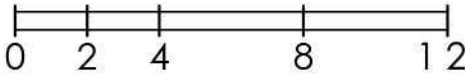


LEFT

COLOR SCHEME 8

PLAN 2C (PLAN 2985C)

EUROPEAN COTTAGE ELEVATIONS WITH EXTRA EMBELLISHMENTS





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Refer to landscape drawings for wall, tree, and shrub locations

SANTA BARBARA



© 2022 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

MODERN FARMHOUSE

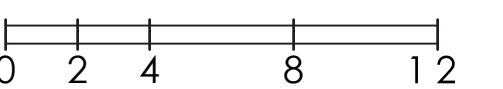


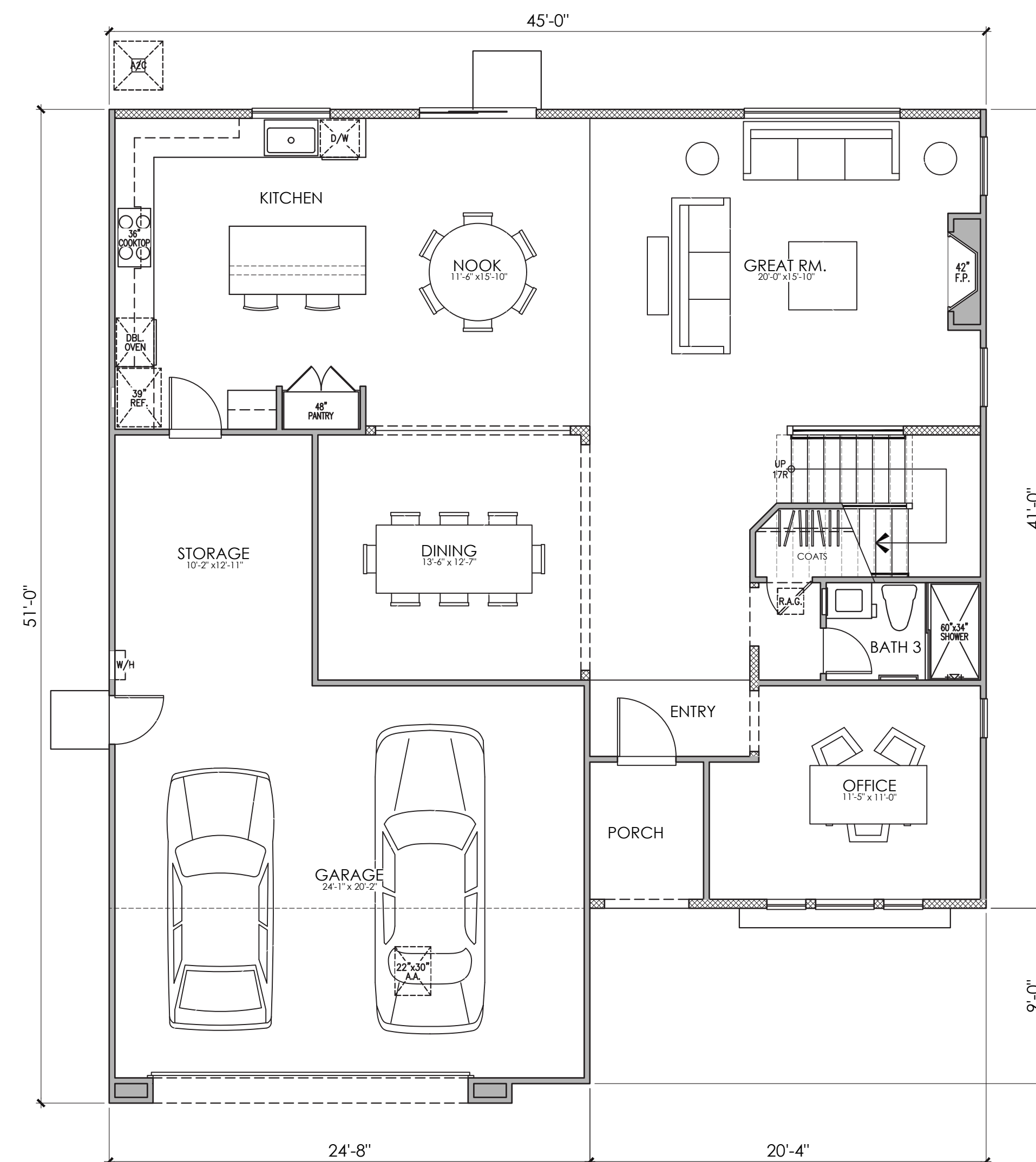
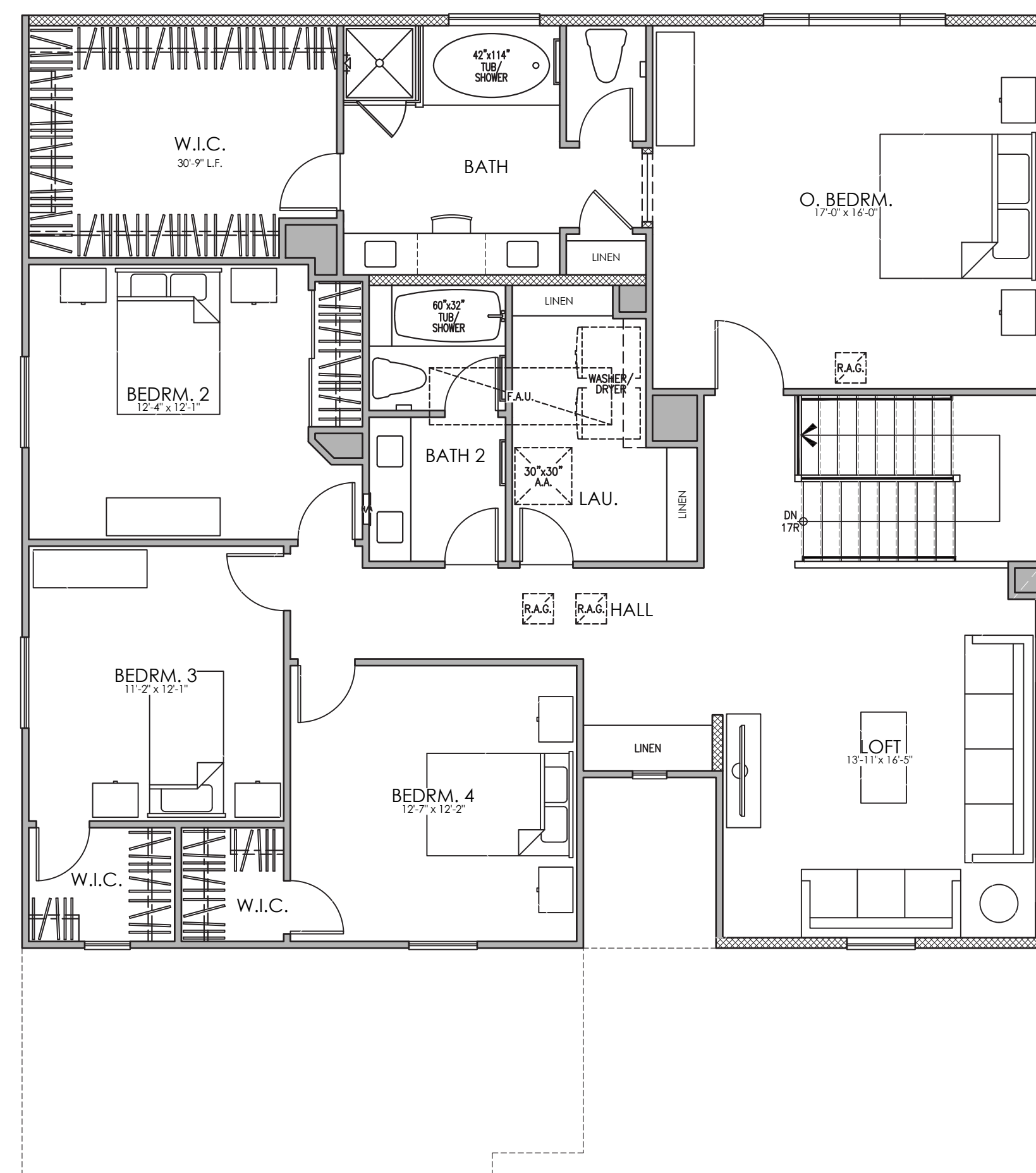
© 2022 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

EUROPEAN COTTAGE

PLAN 3 (PLAN 3105)
FRONT ELEVATIONS



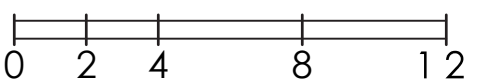


SECOND FLOOR

FIRST FLOOR

PLAN 3 (PLAN 3105)
4 BEDROOM, 3 BATH, LOFT, OFFICE
FLOOR PLAN

AREA TABULATION		
CONDITIONED SPACE		
FIRST FLOOR	1386	SQ. FT.
SECOND FLOOR	1719	SQ. FT.
TOTAL DWELLING	3105	SQ. FT.
UNCONDITIONED SPACE		
GARAGE	637	SQ. FT.
PORCH "A"	44	SQ. FT.
PORCH "B"	91	SQ. FT.
PORCH "C"	44	SQ. FT.





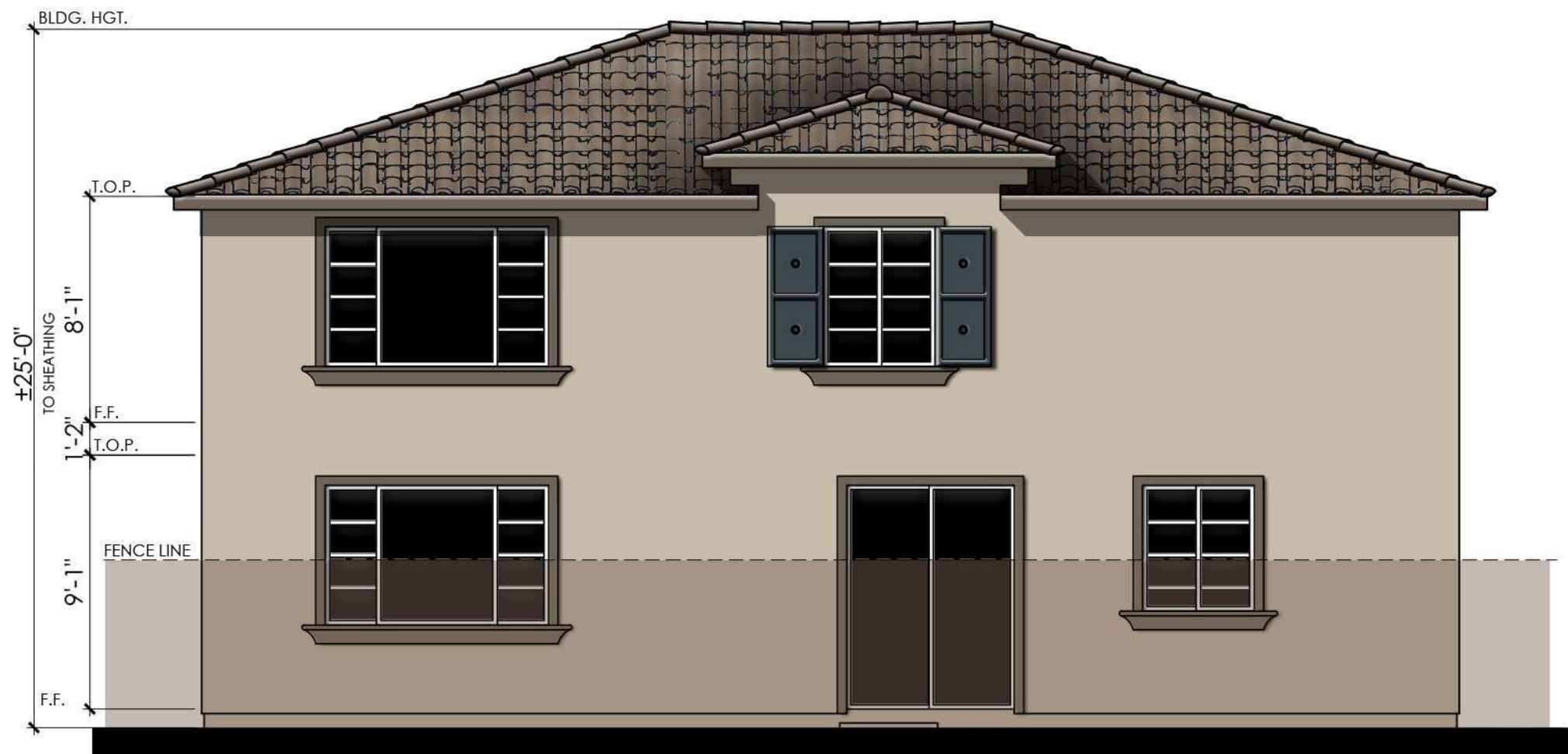
© 2022 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

FRONT

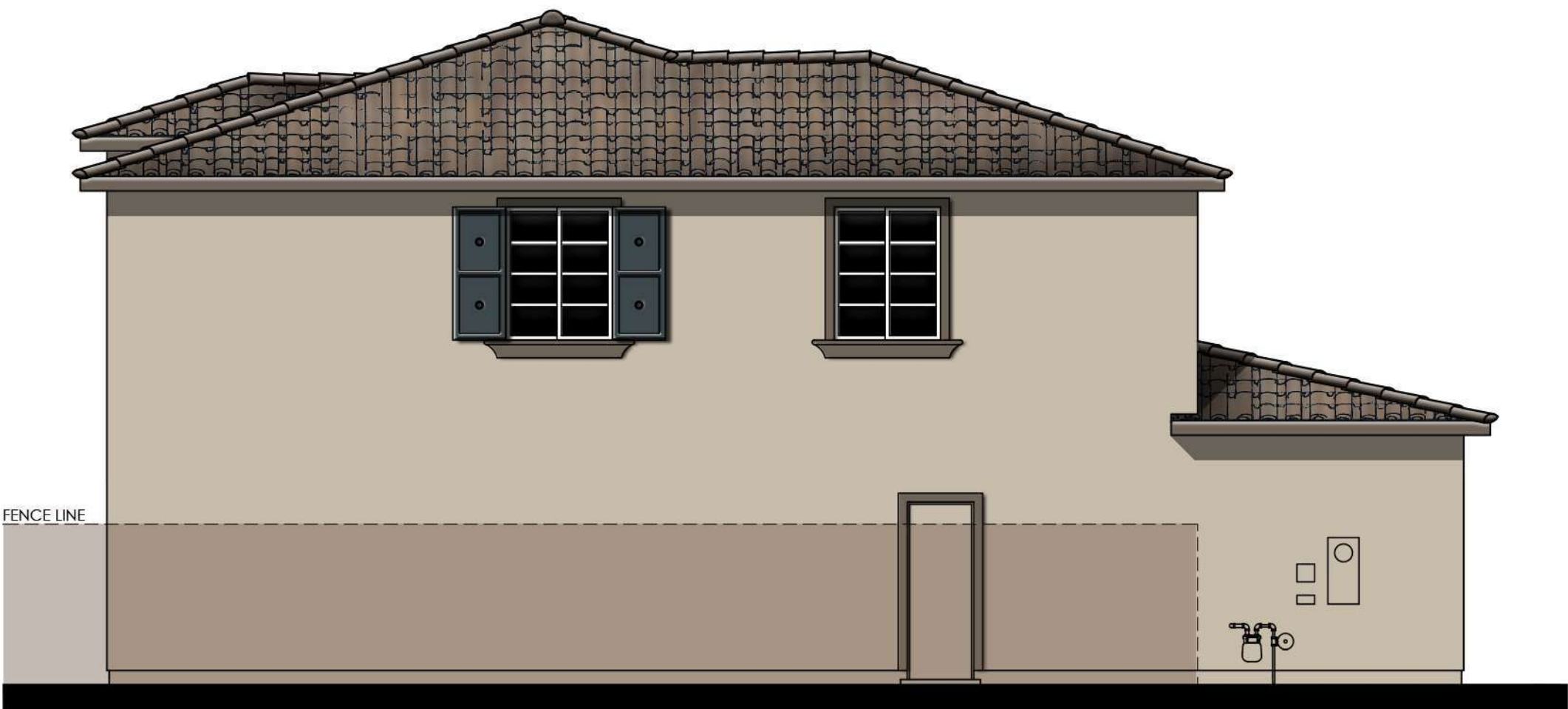


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|----------------|-------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE LOW PROFILE "S" TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | SIMULATED CLAY PIPES |
| WALL: | STUCCO |
| WINDOWS: | VINYL W/ GRIDS |
| WINDOW GRILLE: | DECORATIVE WROUGHT FOAM |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |



REAR



LEFT

COLOR SCHEME 3
PLAN 3A (PLAN 3105A)
SANTA BARBARA ELEVATIONS





RIGHT

- MATERIALS LEGEND
(WHERE OCCURS)
- FRONT DOOR:

GARAGE DOOR:

ROOF:

FASCIA:

BARGE:

GABLE END:

WALL:

WINDOWS:

WINDOW GRILLE:

SHUTTERS:

TRIM:
- FIBERGLASS

METAL SECTIONAL

CONCRETE LOW PROFILE "S" TILE

2x6 WOOD

2x6 WOOD

SIMULATED CLAY PIPES

STUCCO

VINYL W/ GRIDS

DECORATIVE WROUGHT FOAM

SIMULATED WOOD

STUCCO OVER RIGID FOAM

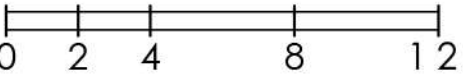


LEFT

COLOR SCHEME 3

PLAN 3A (PLAN 3105A)

SANTA BARBARA ELEVATIONS WITH EXTRA EMBELLISHMENTS





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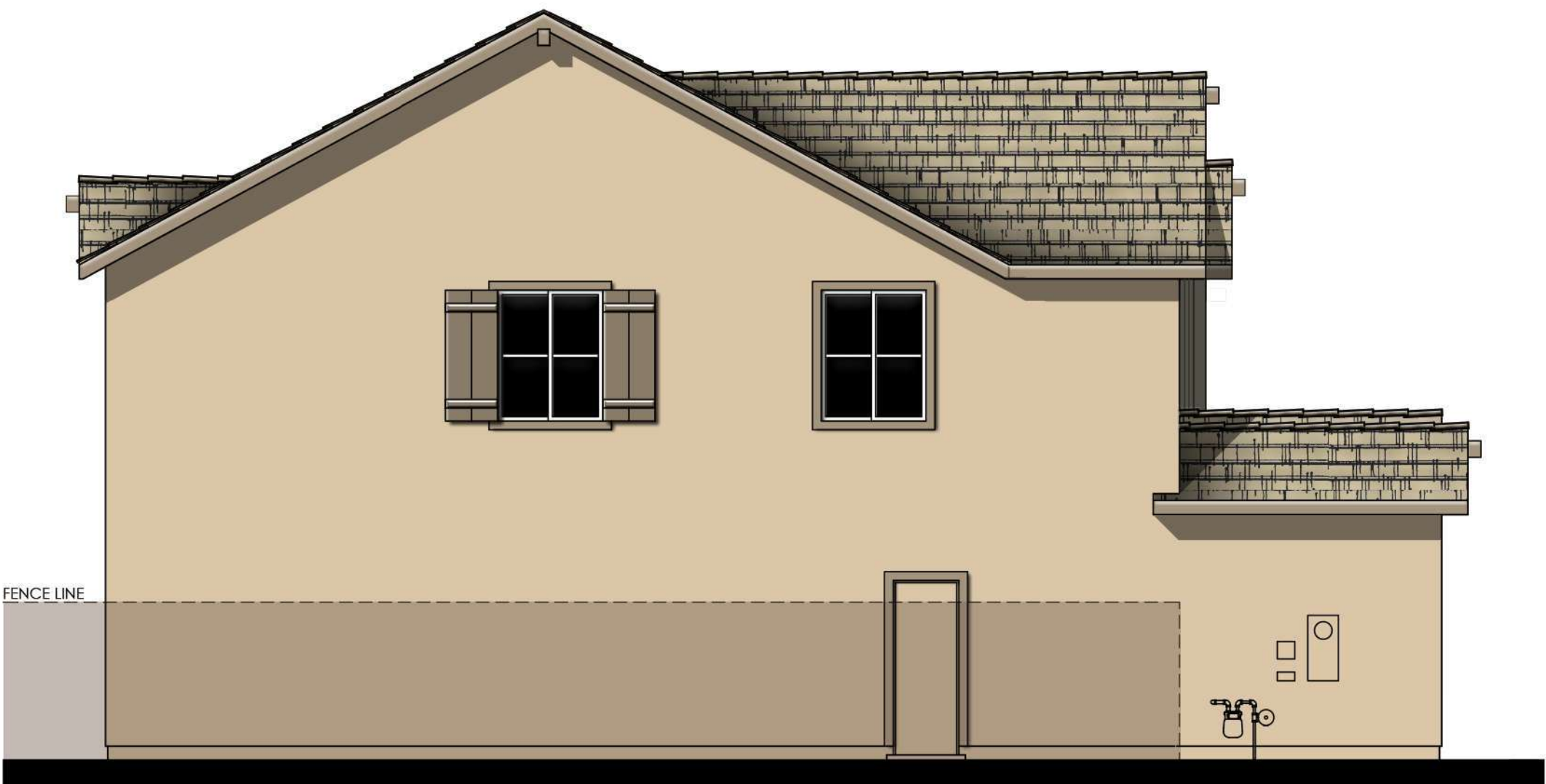
FRONT



RIGHT



REAR

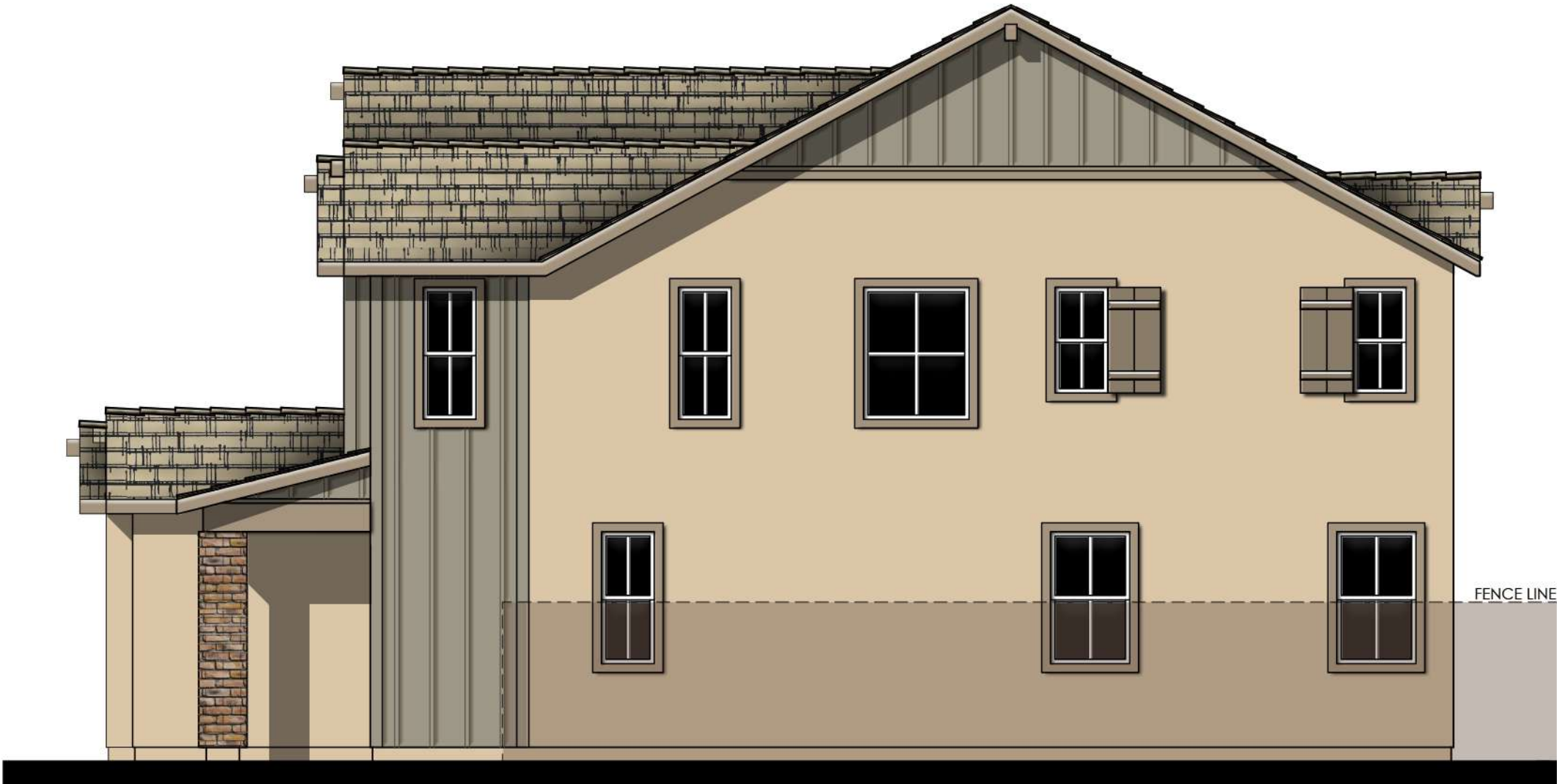


LEFT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|-------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING |
| | STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |

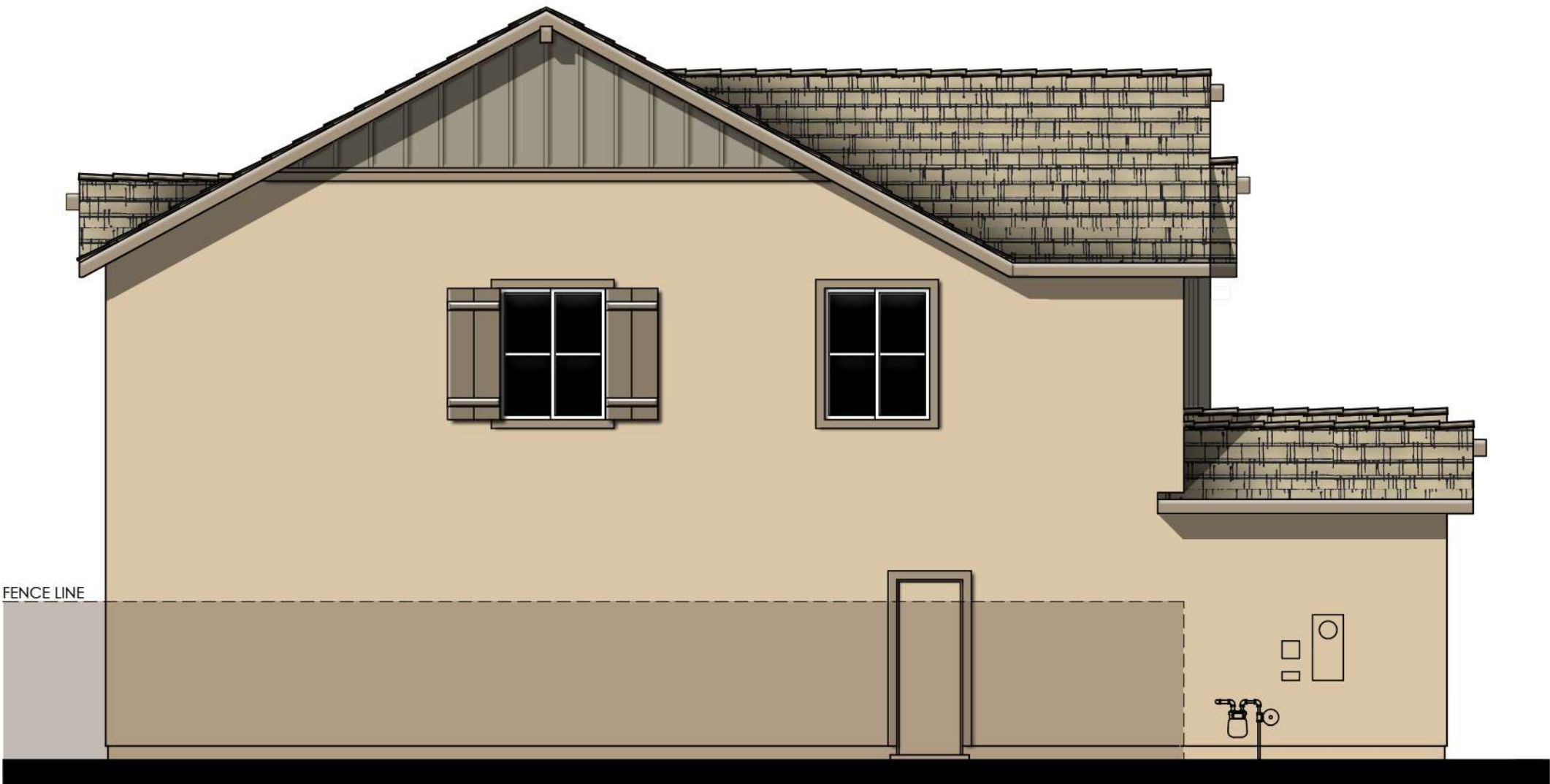
COLOR SCHEME 6
PLAN 3B (PLAN 3105B)
MODERN FARMHOUSE ELEVATIONS





RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| WALL: | STUCCO/ LAP SIDING
STUCCO/ STONE VENEER |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| PORCH: | COLUMN W/ STONE VENEER |



LEFT

COLOR SCHEME 6

PLAN 3B (PLAN 3105B)

MODERN FARMHOUSE ELEVATIONS WITH EXTRA EMBELLISHMENTS





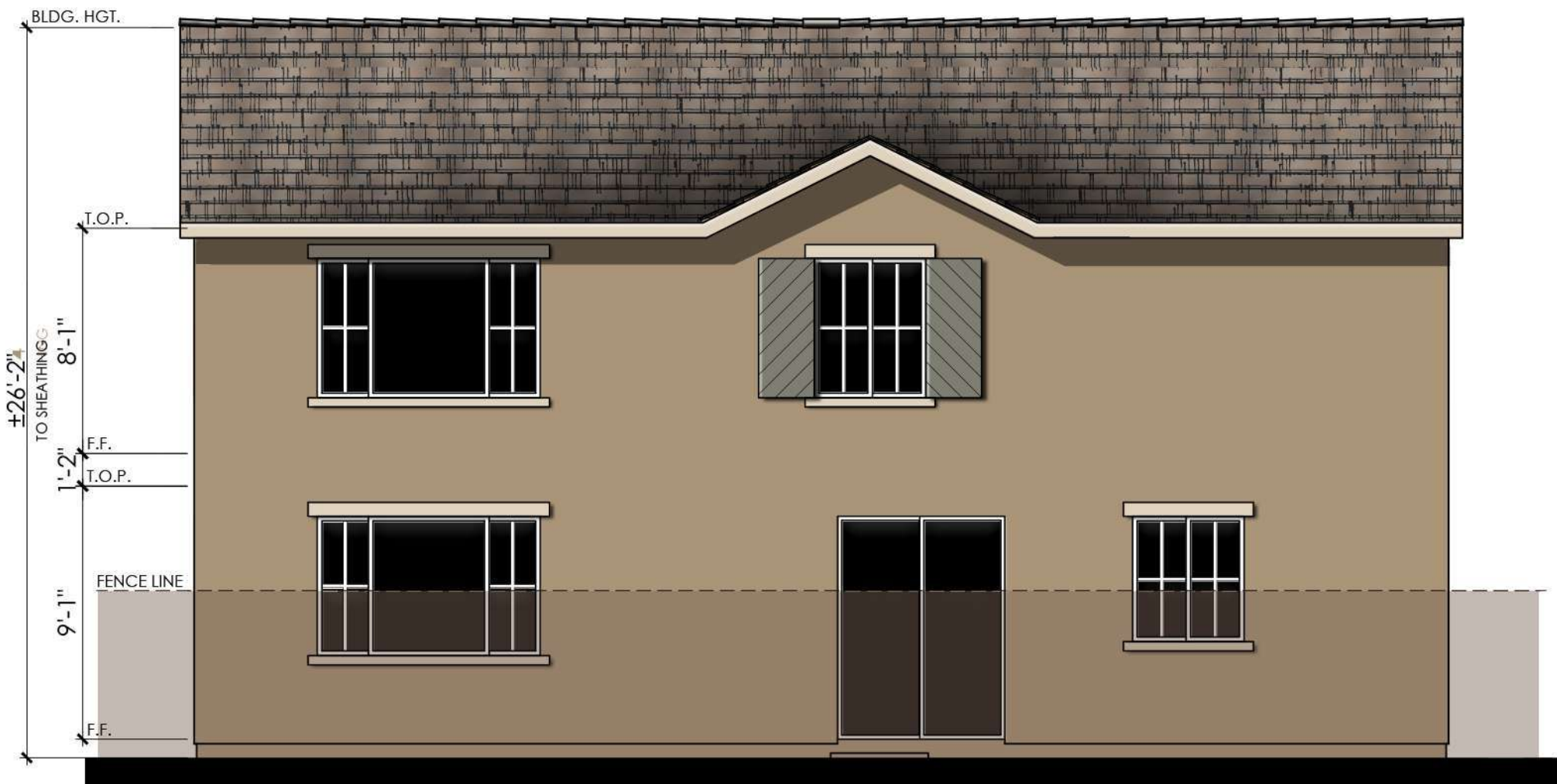
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FRONT

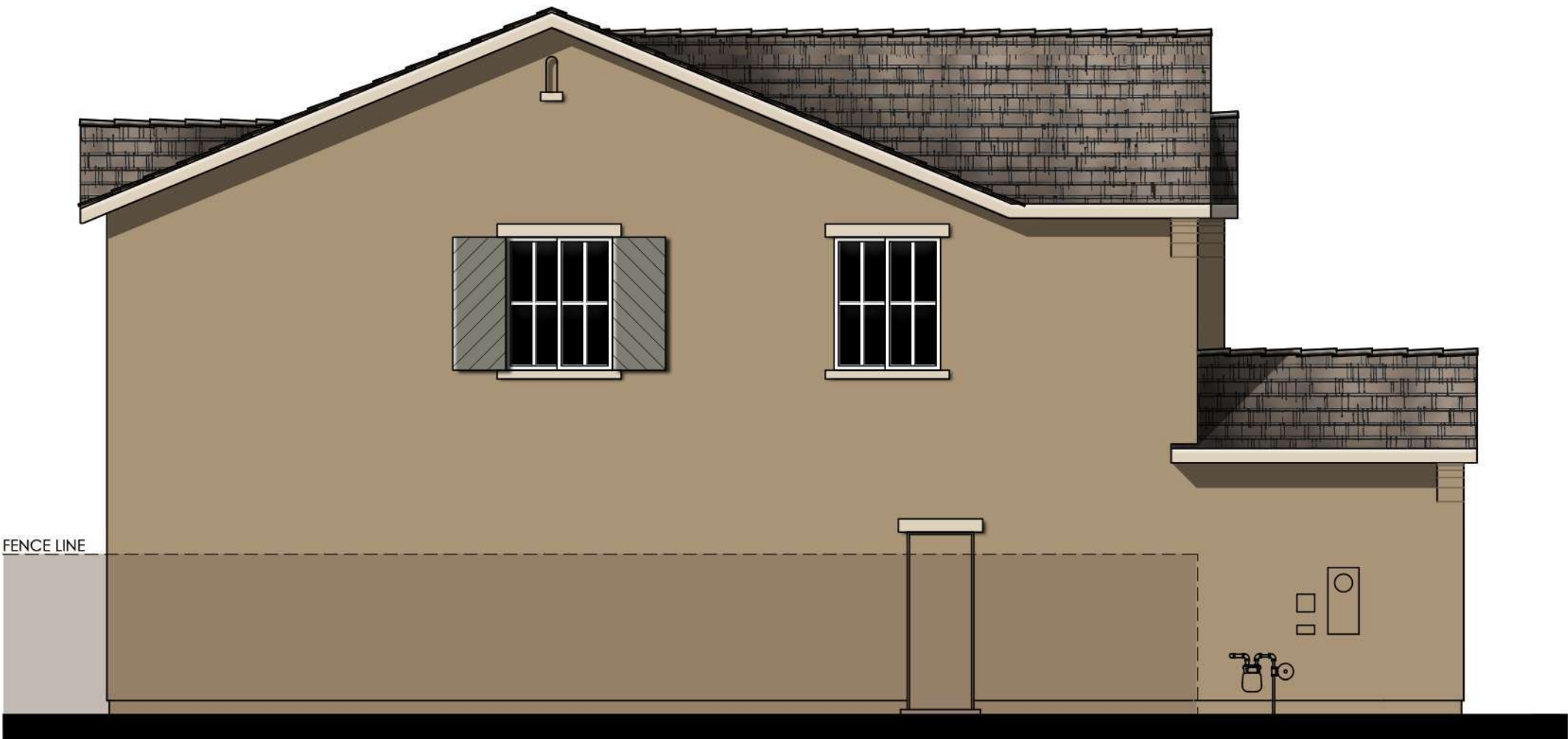


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL/ KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER |
| WALL: | STUCCO/ SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| WAINSCOT: | STONE VENEER |
| PORCH: | COLUMN W/ STONE VENEER |

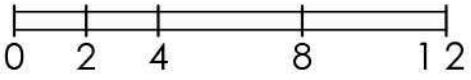


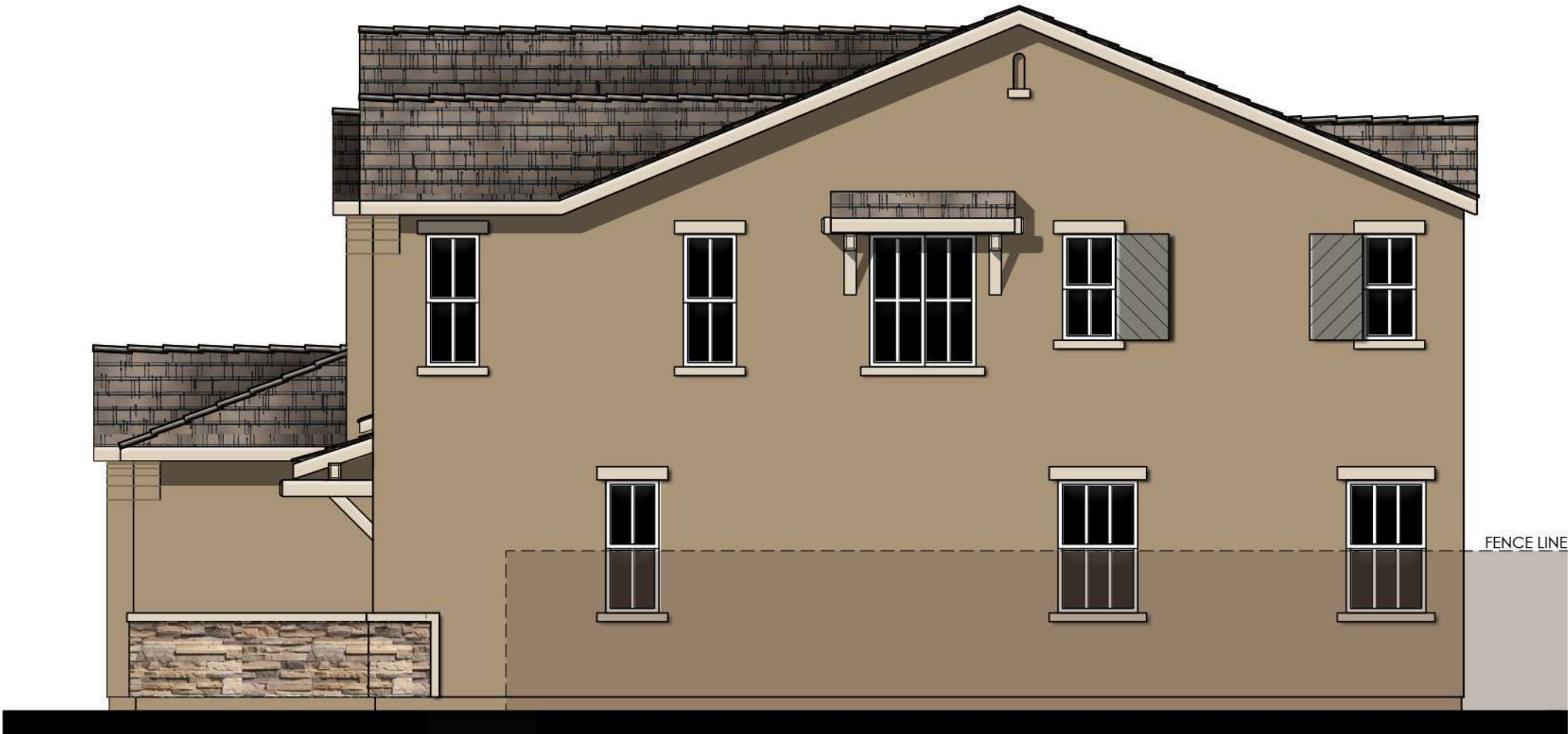
REAR



LEFT

COLOR SCHEME 9
PLAN 3C (PLAN 3105C)
EUROPEAN COTTAGE ELEVATIONS



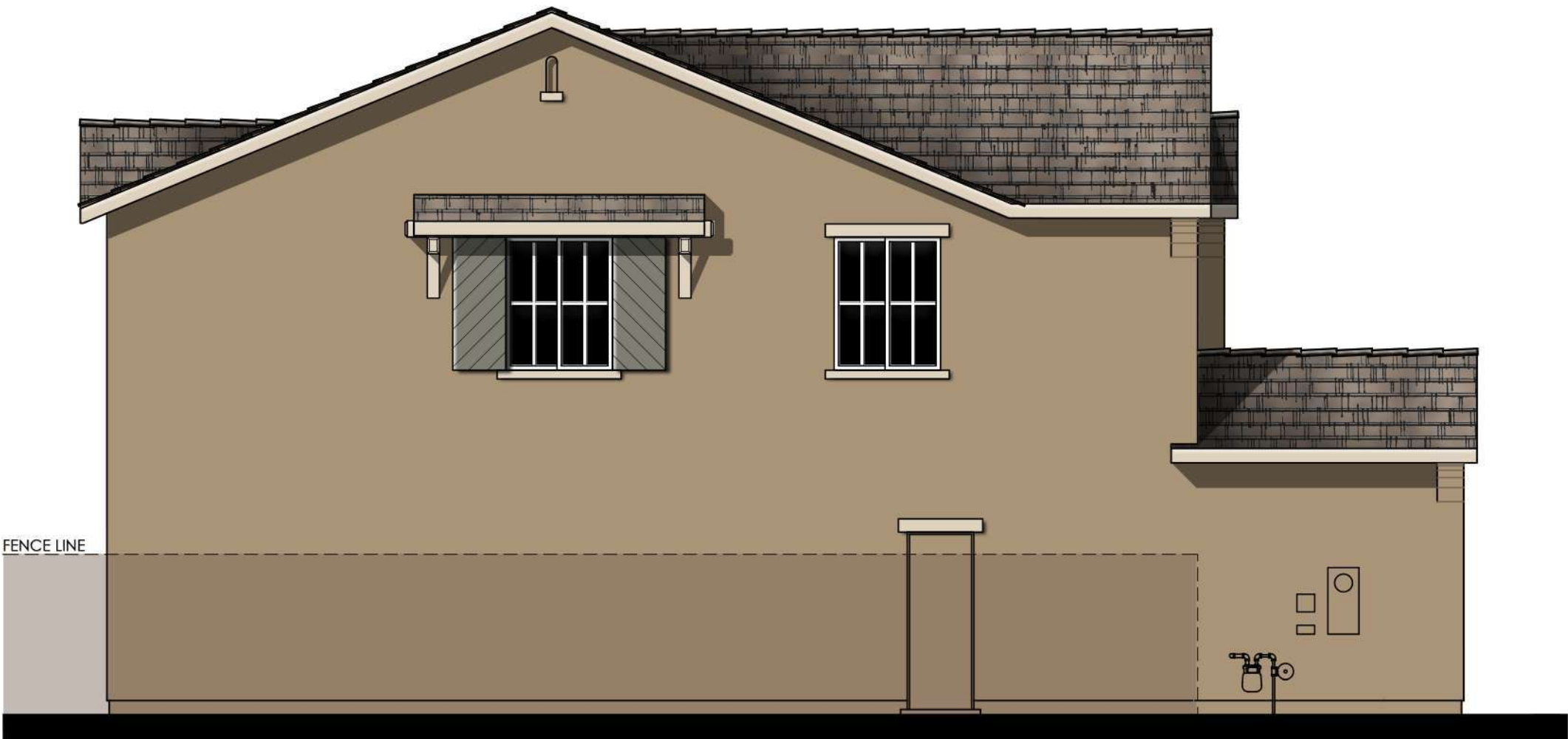


RIGHT

MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL/ KNEE BRACE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	BOARD AND BATTEN W/ KNEE BRACE & OUTLOOKER
WALL:	STUCCO/ SHINGLES
WINDOWS:	VINYL W/ GRIDS
POT SHELF:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
WAINSCOT:	STONE VENEER
PORCH:	COLUMN W/ STONE VENEER



LEFT

COLOR SCHEME 9

PLAN 3C (PLAN 3105C)

EUROPEAN COTTAGE ELEVATIONS WITH EXTRA EMBELLISHMENTS



SANTA BARBARA
SCHEME #1

STUCCO BODY

FASCIA / TRIM /
GARAGE DOOR

FRONT DOOR /
SHUTTERS

ROOF

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

SANTA BARBARA
SCHEME #2

STUCCO BODY

FASCIA / TRIM /
GARAGE DOOR

FRONT DOOR /
SHUTTERS

ROOF

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

SANTA BARBARA
SCHEME #3

STUCCO BODY

FASCIA / TRIM /
GARAGE DOOR

FRONT DOOR /
SHUTTERS

ROOF

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "A" SANTA BARBARA

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

MODERN FARMHOUSE
SCHEME #4

STUCCO BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

BOARD & BATTEN
SIDING

FRONT DOOR /
SHUTTERS

BRICK

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
MAR. 10, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MODERN FARMHOUSE
SCHEME #5

STUCCO BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

BOARD & BATTEN
SIDING

FRONT DOOR /
SHUTTERS

BRICK

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
MAR. 10, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MODERN FARMHOUSE
SCHEME #6

STUCCO BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

BOARD & BATTEN
SIDING

FRONT DOOR /
SHUTTERS

BRICK

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
MAR. 10, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "B" MODERN FARMHOUSE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

EUROPEAN COTTAGE
SCHEME #7

STUCCO BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

STONE

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

EUROPEAN COTTAGE
SCHEME #8

STUCCO BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

STONE

LENNAR

ARBORETUM 4950'S
FONTANA, CA

#21122D
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

EUROPEAN COTTAGE
SCHEME #9

STUCCO BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

STONE

LENNAR

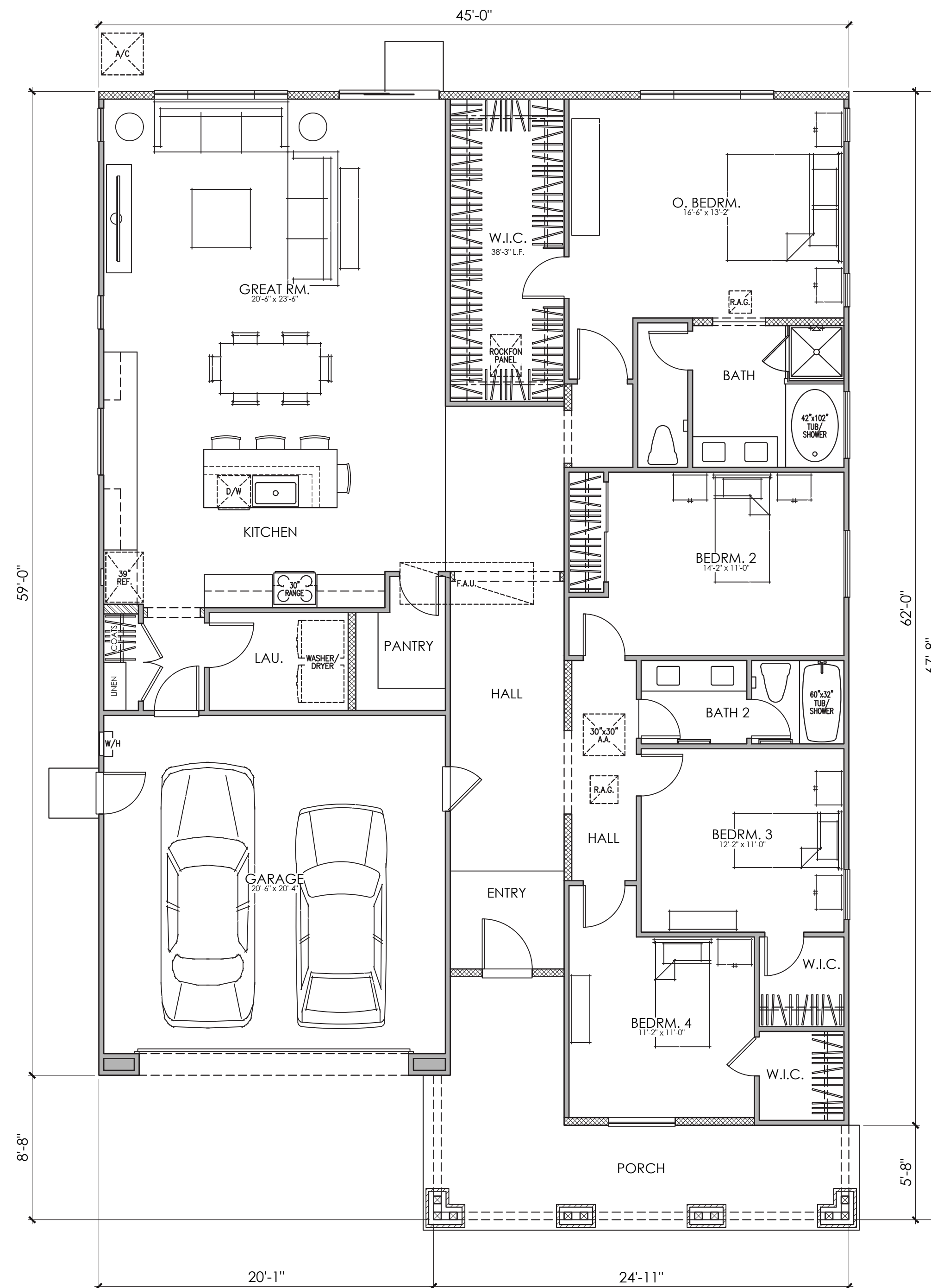
ARBORETUM 4950'S
FONTANA, CA

#21122D
JAN. 24, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "C" EUROPEAN COTTAGE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.



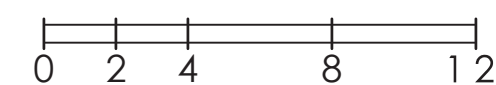
FLOOR PLAN

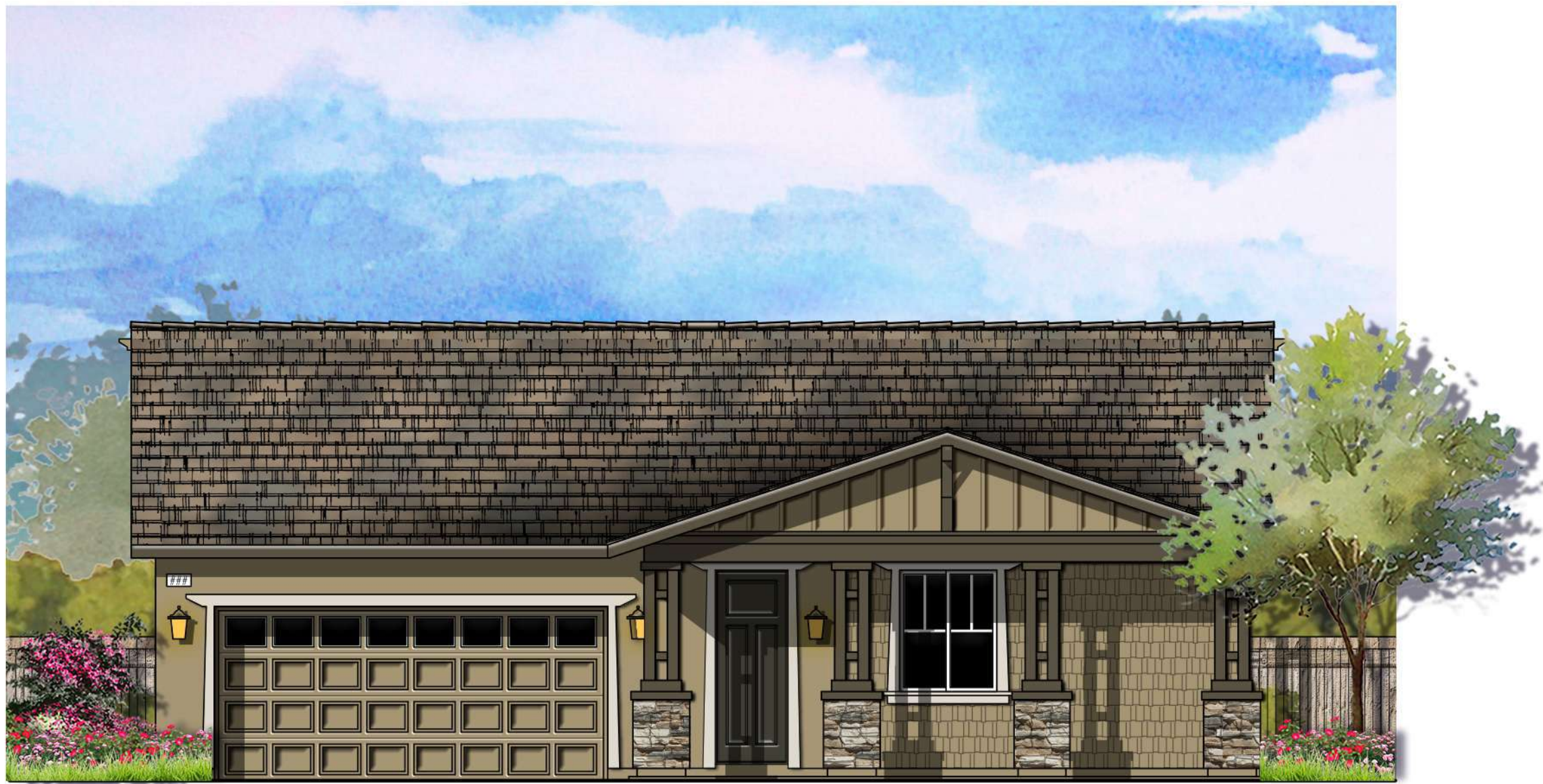
PLAN 1 (PLAN 2215)

4 BEDROOM, 2 BATH, 2 CAR GARAGE

FLOOR PLAN

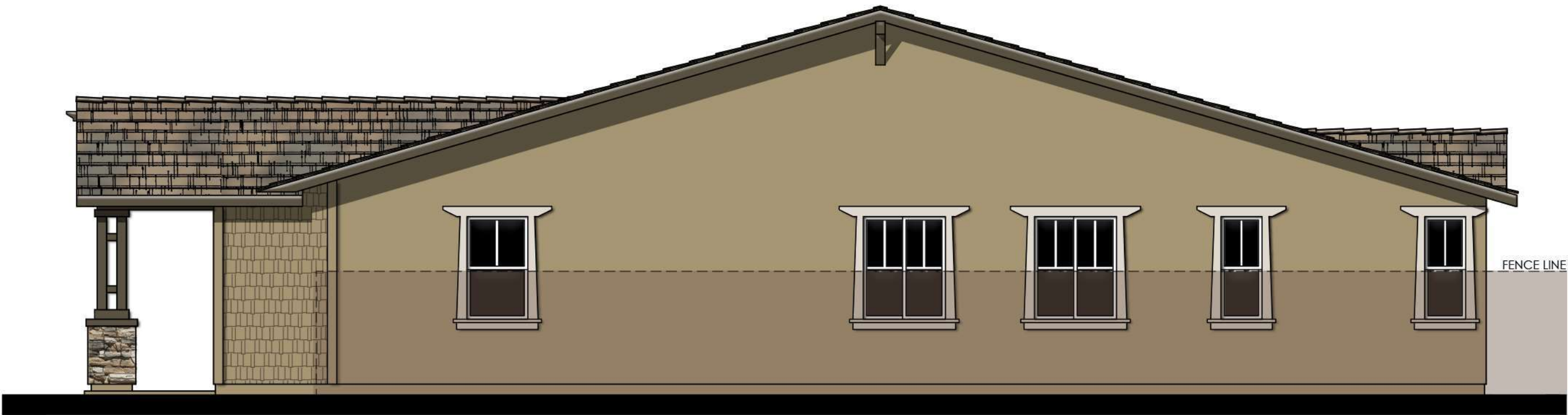
AREA TABULATION	
CONDITIONED SPACE	
FLOOR AREA	2,215 SQ. FT.
TOTAL DWELLING	2,215 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	429 SQ. FT.
PORCH "A"	205 SQ. FT.
PORCH "B"	209 SQ. FT.
PORCH "C"	209 SQ. FT.





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FRONT

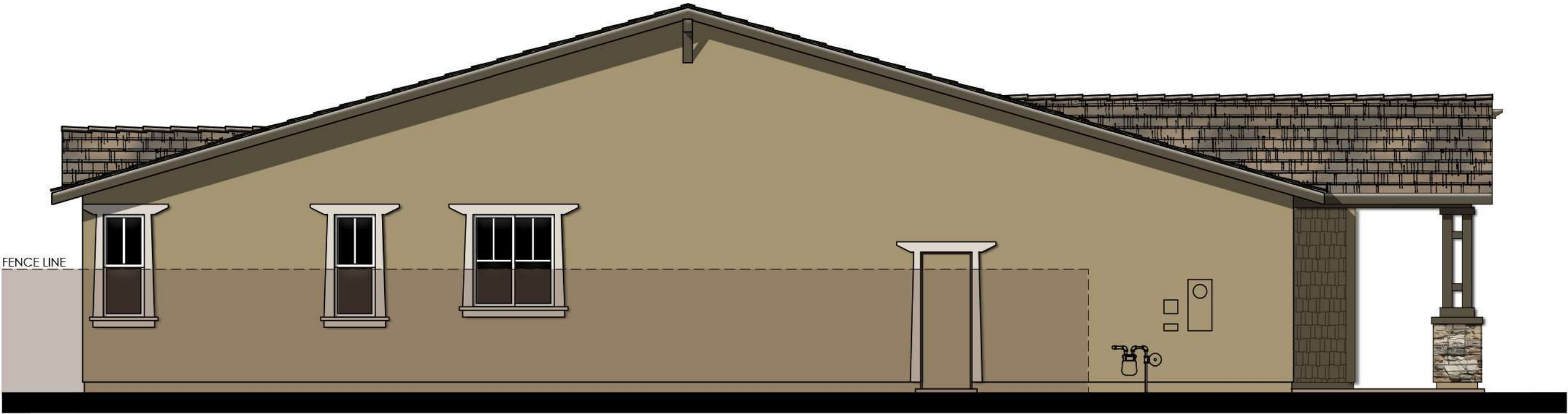


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|--------------|--------------------------------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | WOOD CORBEL / KNEE BRACE
BOARD / BATTENS
COMPOSITE WOOD TRIM |
| WALL: | STUCCO / WOOD SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM
CEMENTITIOUS-FIBER |
| PORCH: | DOUBLE WOOD POST W/ STONE VENEER |



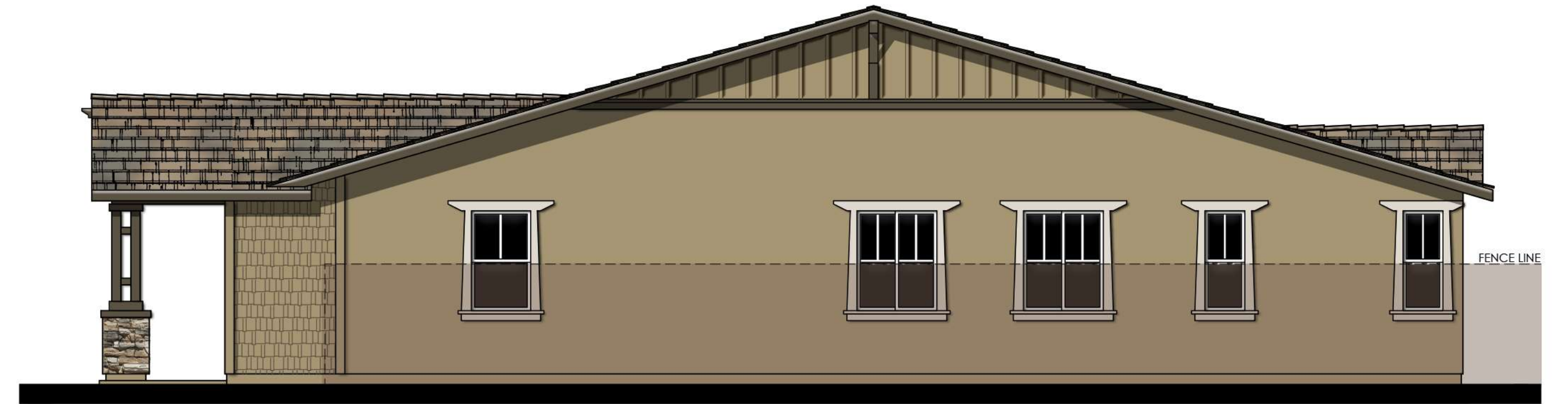
REAR



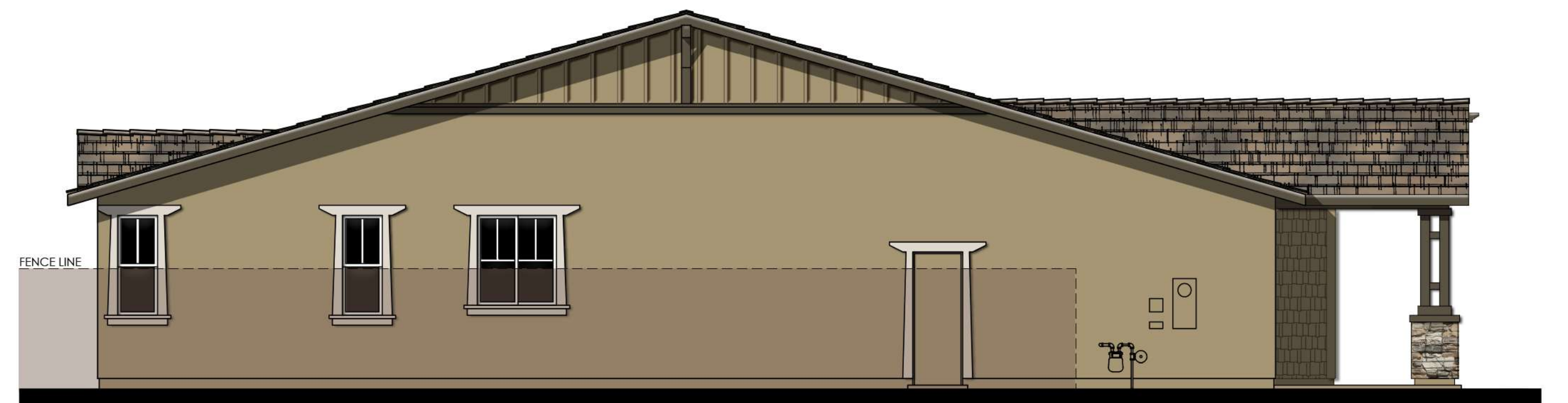
LEFT

COLOR SCHEME 1
PLAN 1A (PLAN 2215A)
CRAFTSMAN ELEVATION



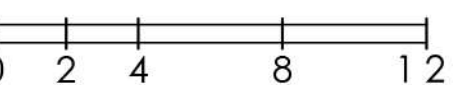


RIGHT



LEFT

COLOR SCHEME 1
PLAN 1A (PLAN 2215A)
 CRAFTSMAN ELEVATION WITH EXTRA EMBELLISHMENTS

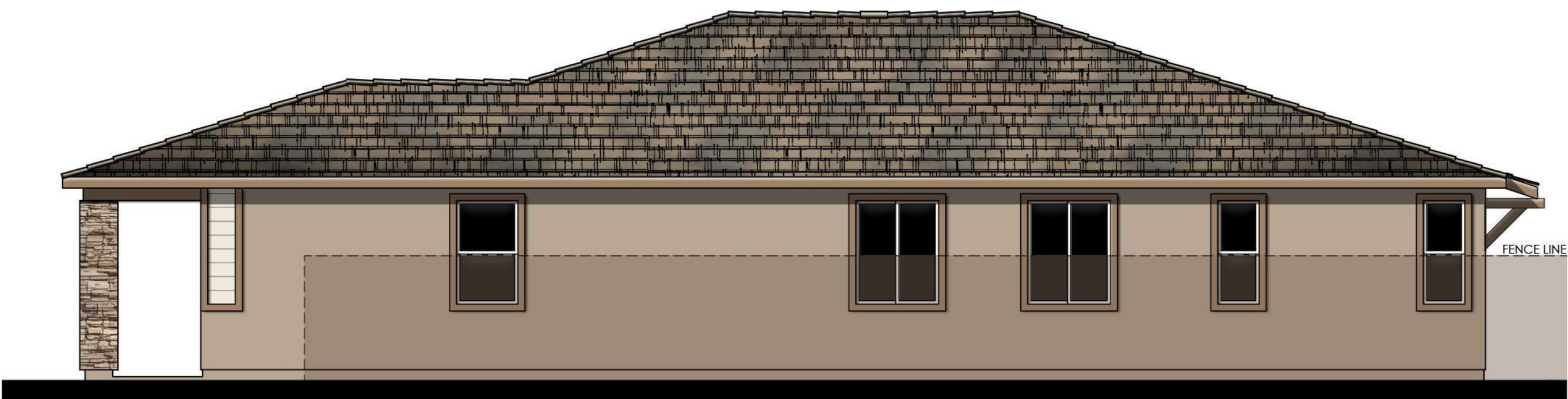




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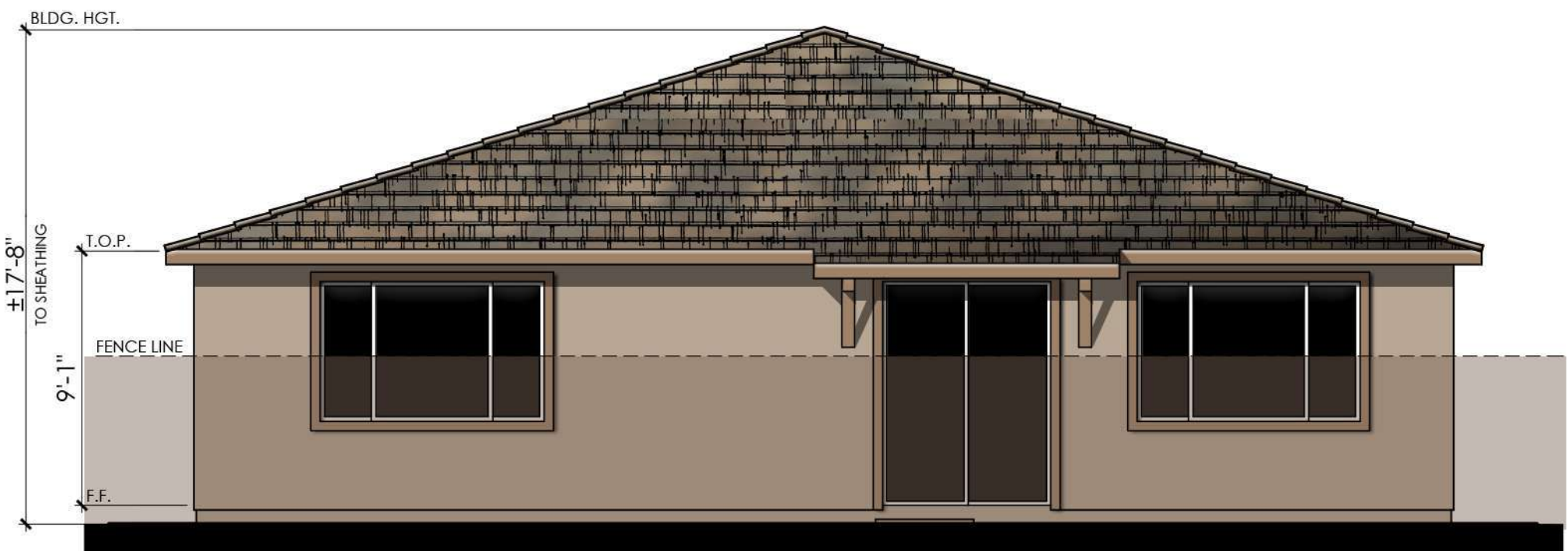
Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL / KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| WALL: | STUCCO / LAP SIDING |
| WINDOWS: | VINYL |
| POT SHELF | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| | CEMENTITIOUS-FIBER |
| WAINSCOT: | STUCCO |
| PORCH: | COLUMN W/ STONE VENEER |



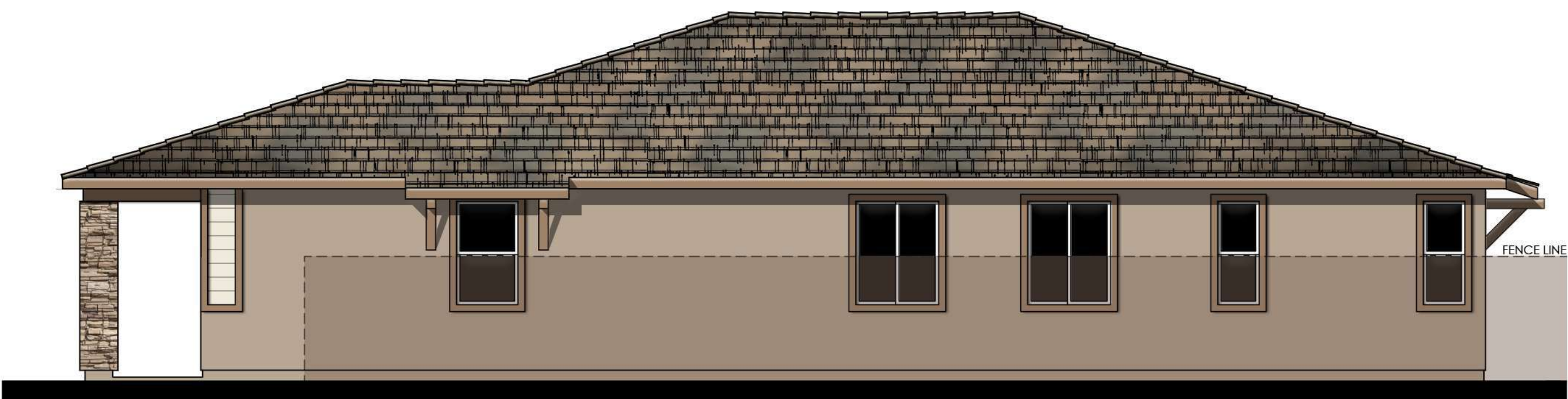
REAR



LEFT

COLOR SCHEME 4
PLAN 1B (PLAN 2215B)
 CALIFORNIA PRAIRIE ELEVATION





RIGHT



REAR

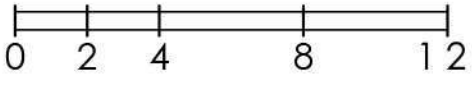


LEFT

COLOR SCHEME 4

PLAN 1B (PLAN 2215B)

CALIFORNIA PRAIRIE ELEVATION WITH EXTRA EMBELLISHMENTS





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FRONT

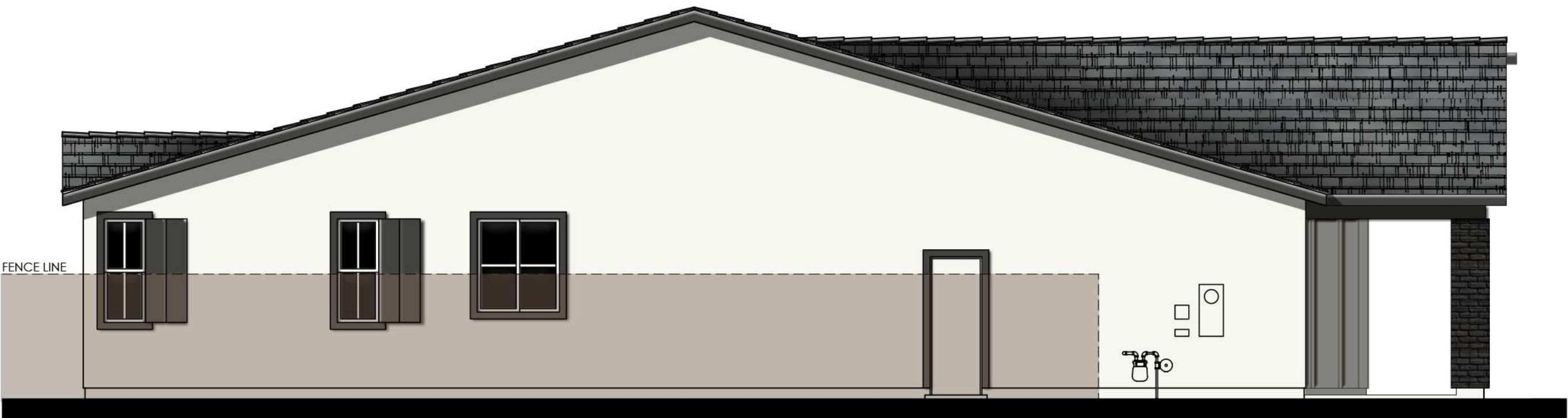


RIGHT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL / KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | DECORATIVE CORBEL |
| | STUCCO RECESS |
| | BOARD / BATTENS |
| | COMPOSITE WOOD TRIM |
| WALL: | STUCCO |
| | BOARD / BATTENS |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| | CEMENTITIOUS-FIBER |
| PORCH: | COLUMN W/ BRICK VENEER |



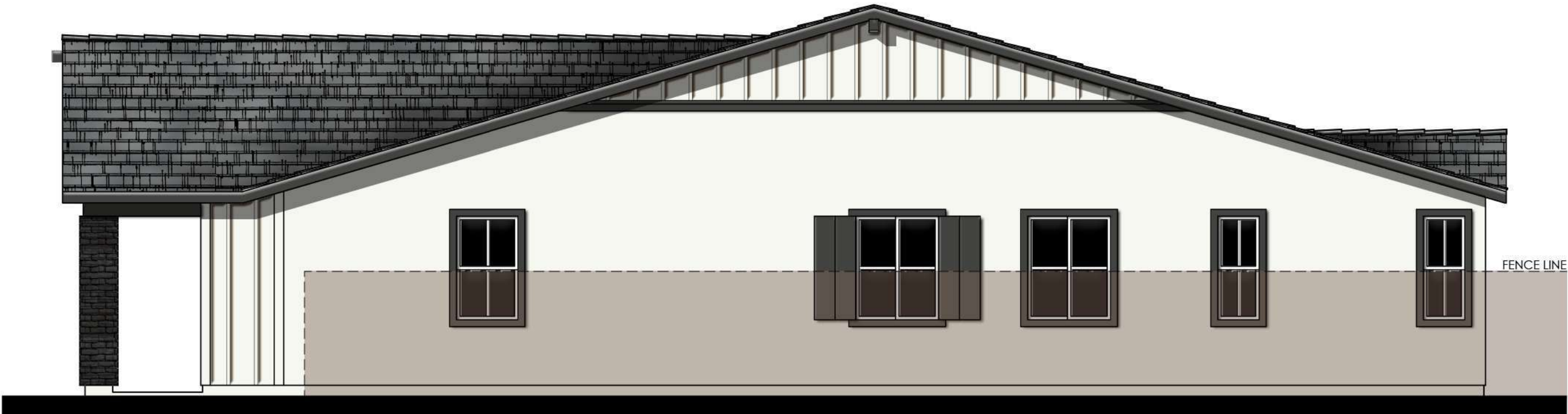
REAR



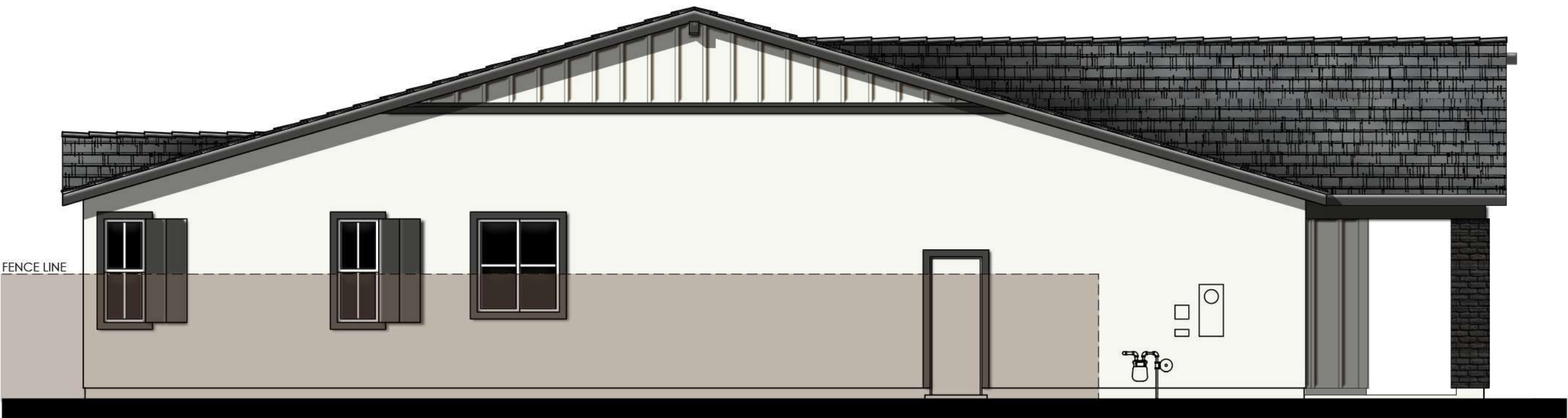
LEFT

COLOR SCHEME 7
PLAN 1C (PLAN 2215C)
MODERN FARMHOUSE ELEVATION





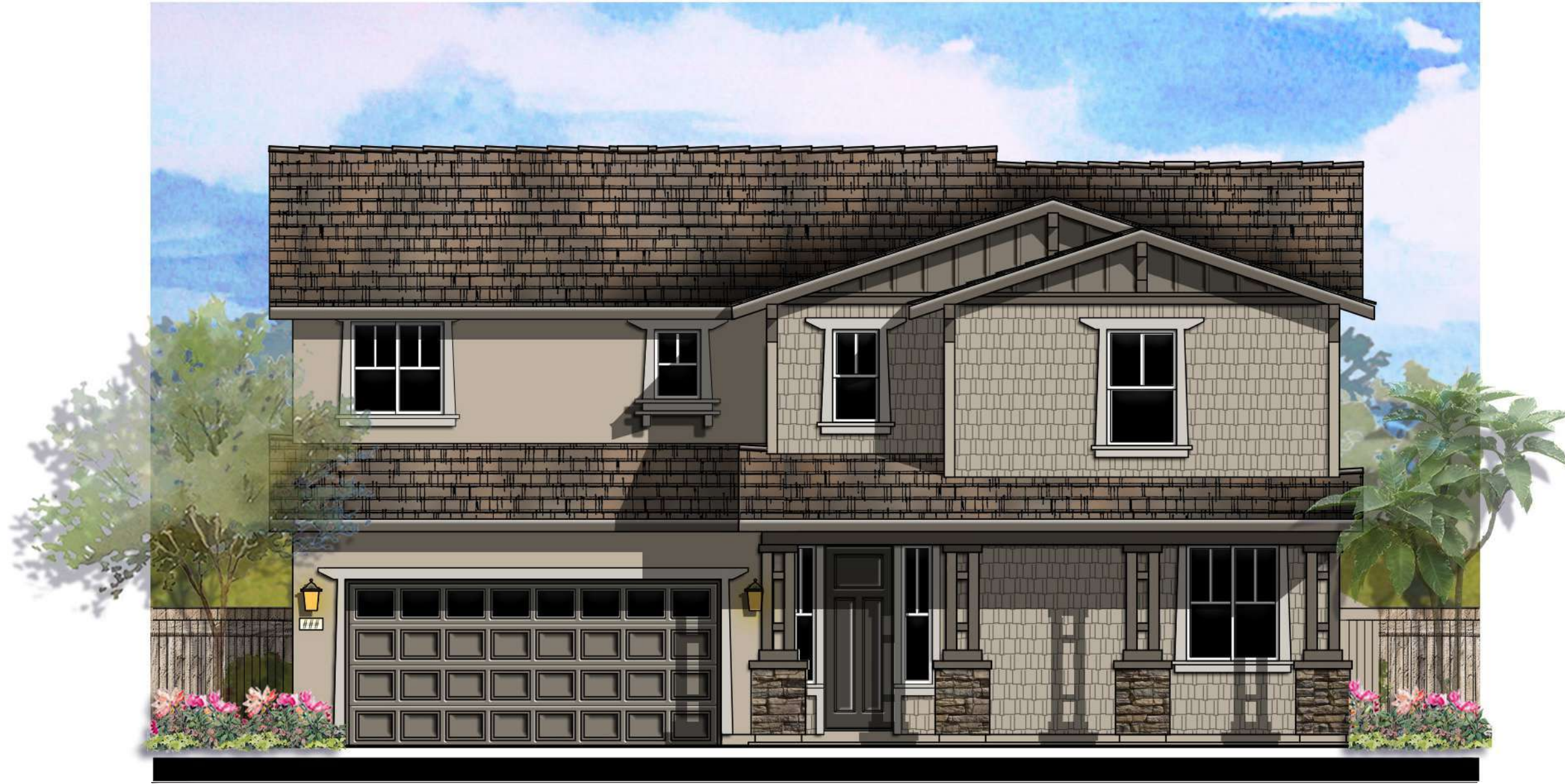
RIGHT



LEFT

COLOR SCHEME 7
PLAN 1C (PLAN 2215C)
MODERN FARMHOUSE ELEVATION WITH EXTRA EMBELLISHMENTS





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Refer to landscape drawings for wall, tree, and shrub locations

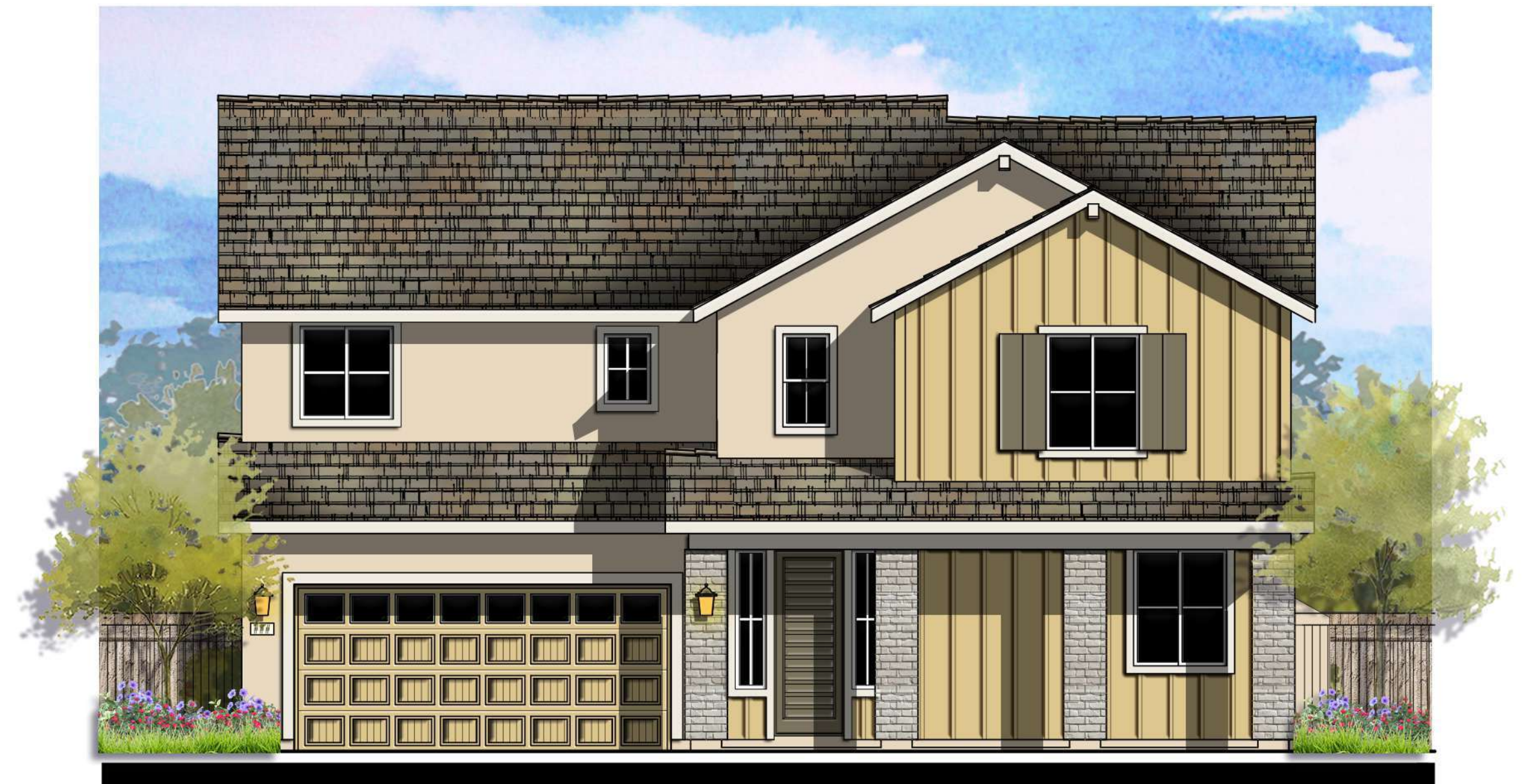
A - CRAFTSMAN



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Refer to landscape drawings for wall, tree, and shrub locations

B - CALIFORNIA PRAIRIE

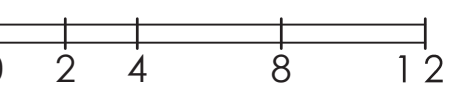


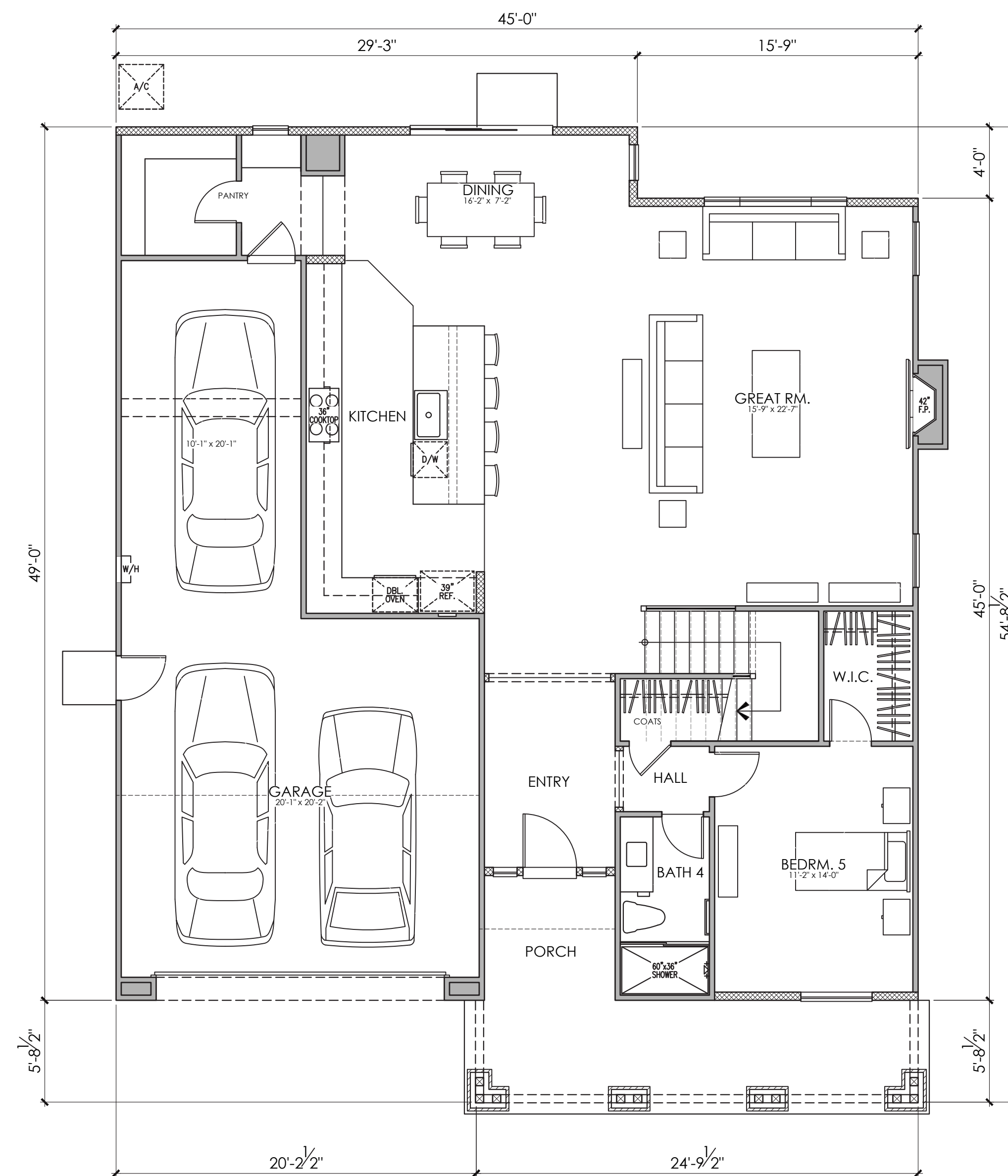
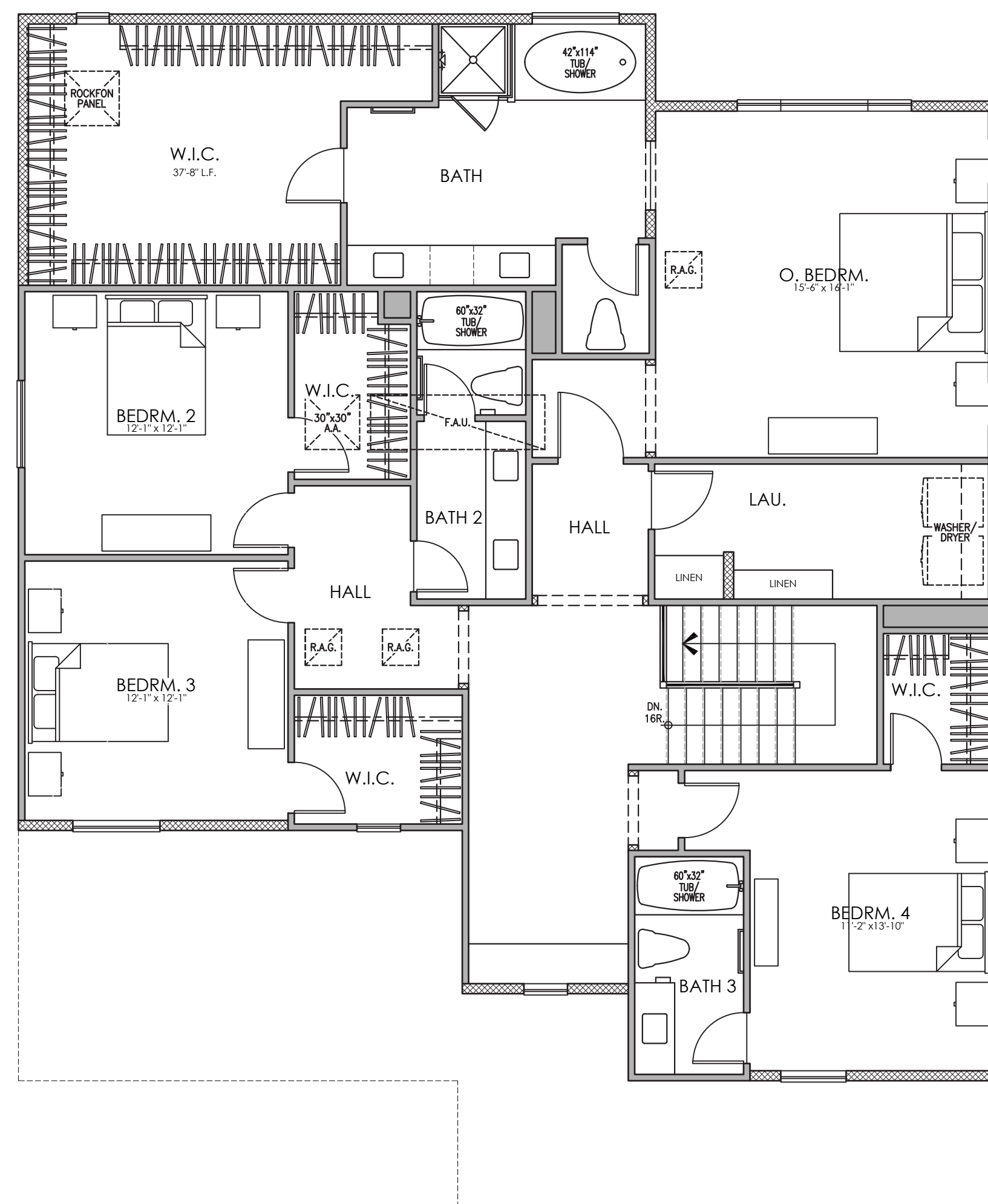
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Refer to landscape drawings for wall, tree, and shrub locations

C - MODERN FARMHOUSE

PLAN 2 (PLAN 3251)
FRONT ELEVATIONS



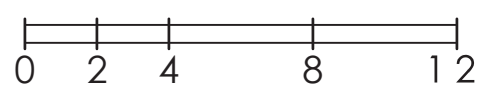


SECOND FLOOR

FIRST FLOOR

PLAN 2 (PLAN 3251)
5 BEDROOM, 4 BATH, 3 CAR GARAGE
FLOOR PLAN

FLAIN 2		
AREA TABULATION		
<hr/>		
CONDITIONED SPACE		
FIRST FLOOR AREA	1,444	SQ. FT.
SECOND FLOOR AREA	1,807	SQ. FT.
<hr/>		
TOTAL DWELLING	3,251	SQ. FT.
<hr/>		
UNCONDITIONED SPACE		
<hr/>		
GARAGE	625	SQ. FT.
PORCH "A"	195	SQ. FT.
PORCH "B"	201	SQ. FT.
PORCH "C"	201	SQ. FT.





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FRONT

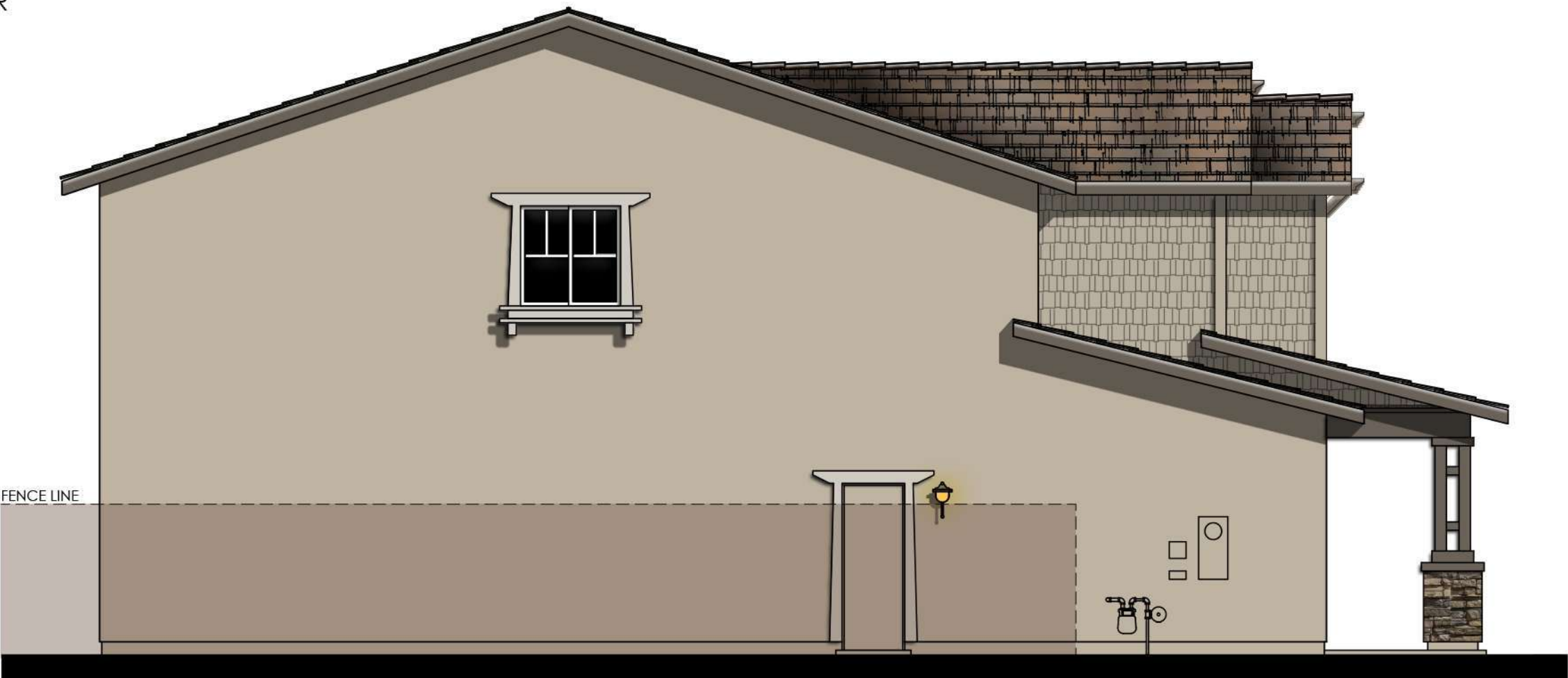


RIGHT



REAR

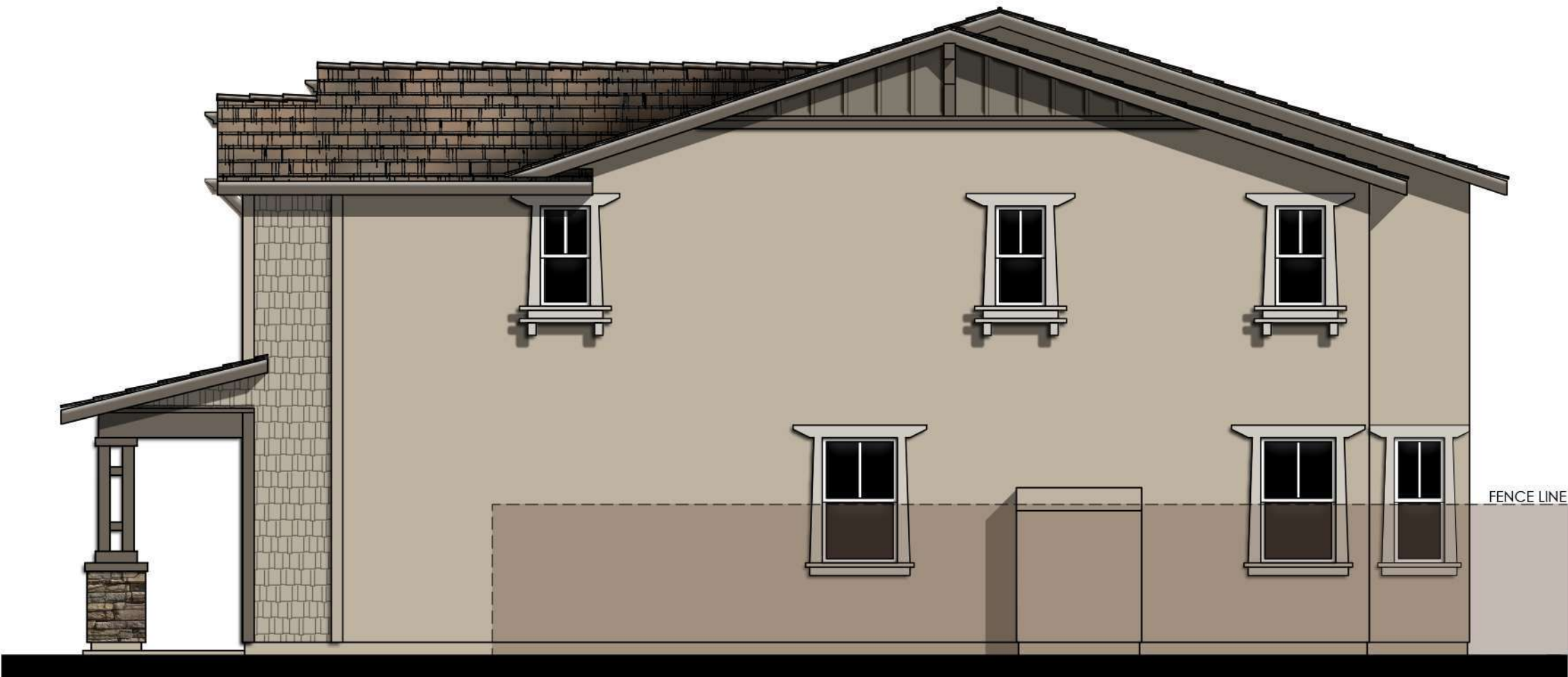
- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|--------------|--------------------------------------------------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | WOOD CORBEL / KNEE BRACE
BOARD / BATTENS
COMPOSITE WOOD TRIM |
| WALL: | STUCCO / WOOD SHINGLES |
| WINDOWS: | VINYL W/ GRIDS |
| POT SHELF: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM
CEMENTITIOUS-FIBER |
| PORCH: | DOUBLE WOOD POST W/ STONE VENEER |



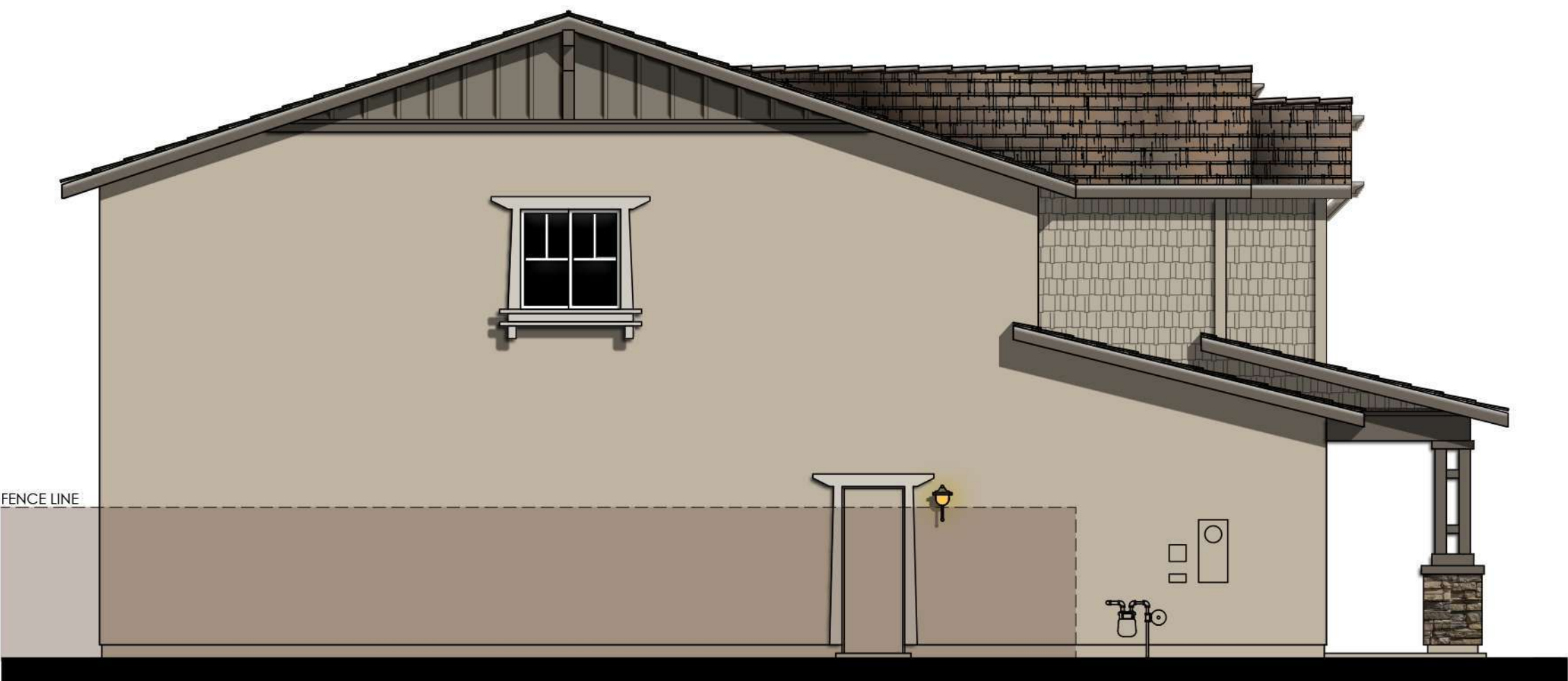
LEFT

COLOR SCHEME 2
PLAN 2A (PLAN 3251A)
CRAFTSMAN ELEVATION





RIGHT



LEFT

COLOR SCHEME 2
PLAN 2A (PLAN 3251A)
CRAFTSMAN ELEVATION WITH EXTRA EMBELLISHMENTS

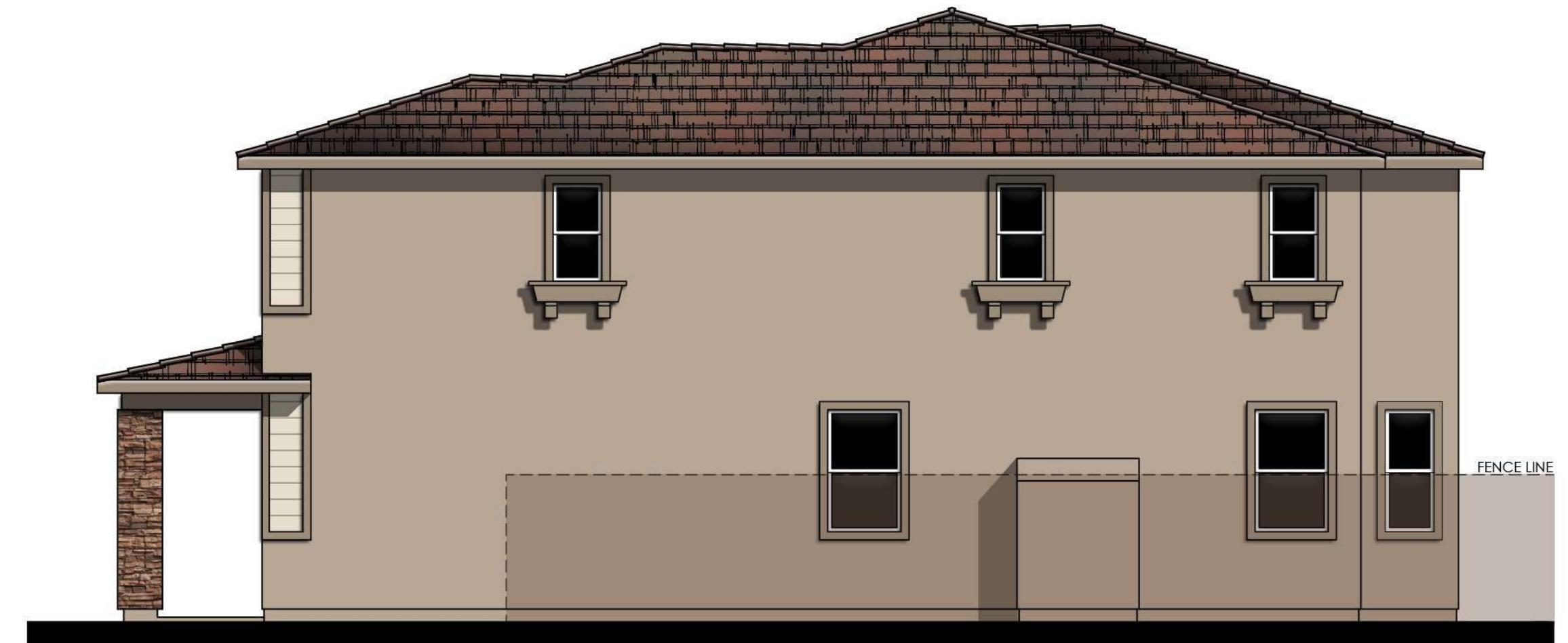




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

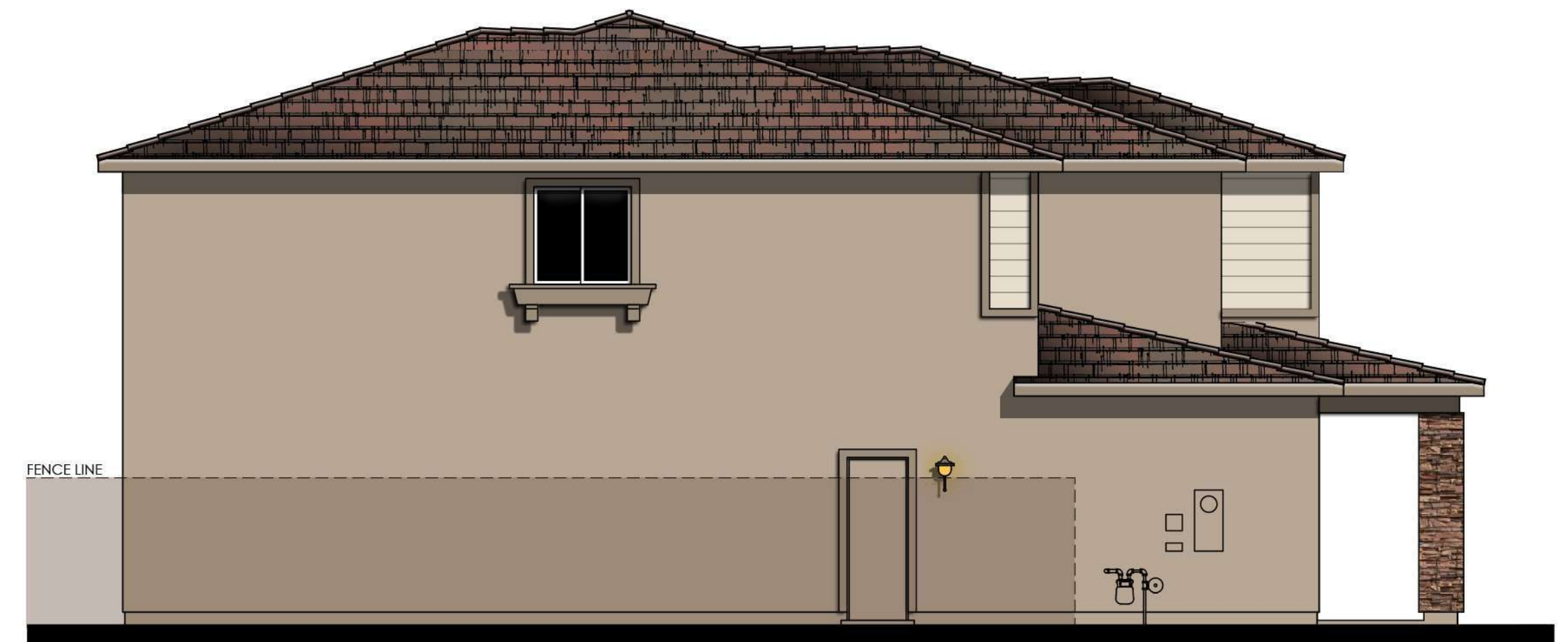
MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL / KNEE BRACE
FASCIA:	2x6 WOOD
WALL:	STUCCO/ LAP SIDING
WINDOWS:	VINYL
POT SHELF	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
	CEMENTITIOUS-FIBER
WAINSCOT:	STUCCO
PORCH:	COLUMN W/ STONE VENEER

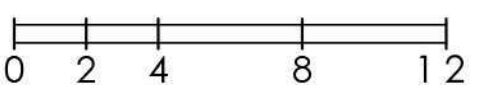


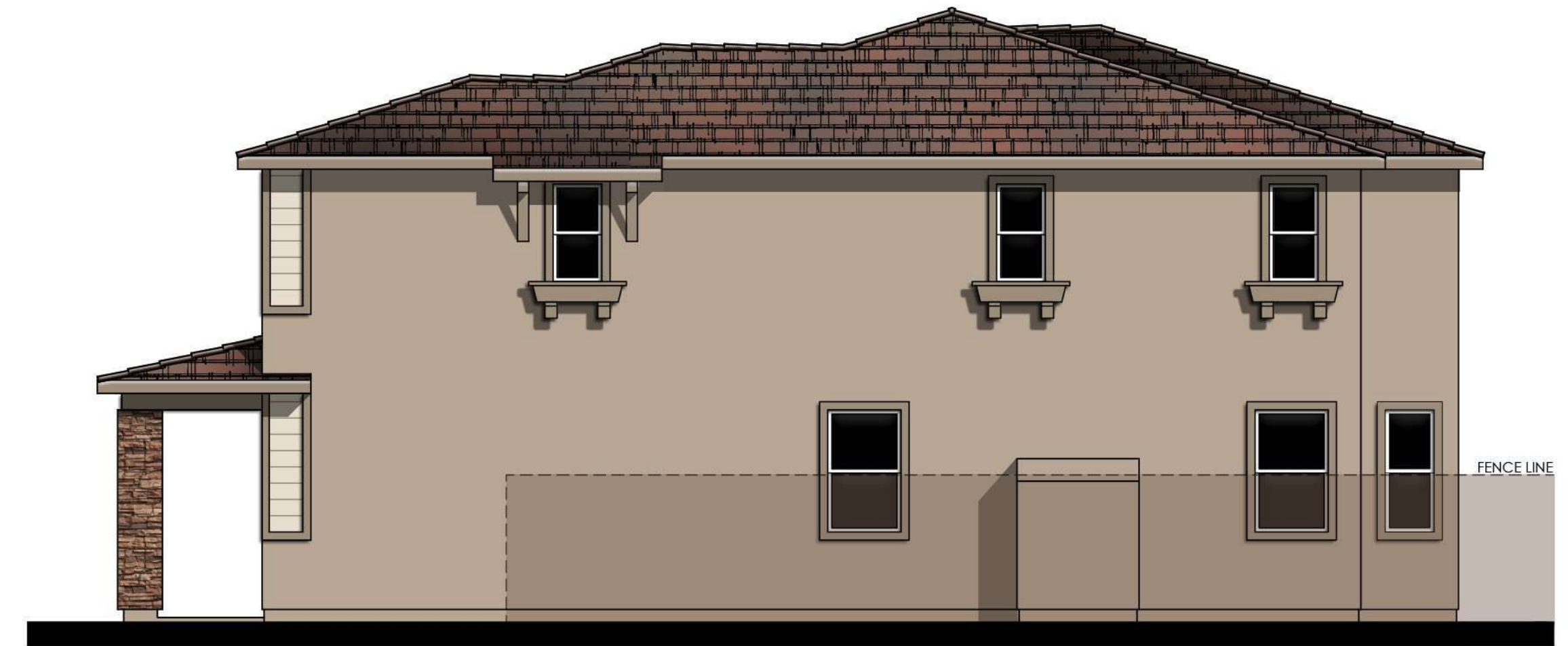
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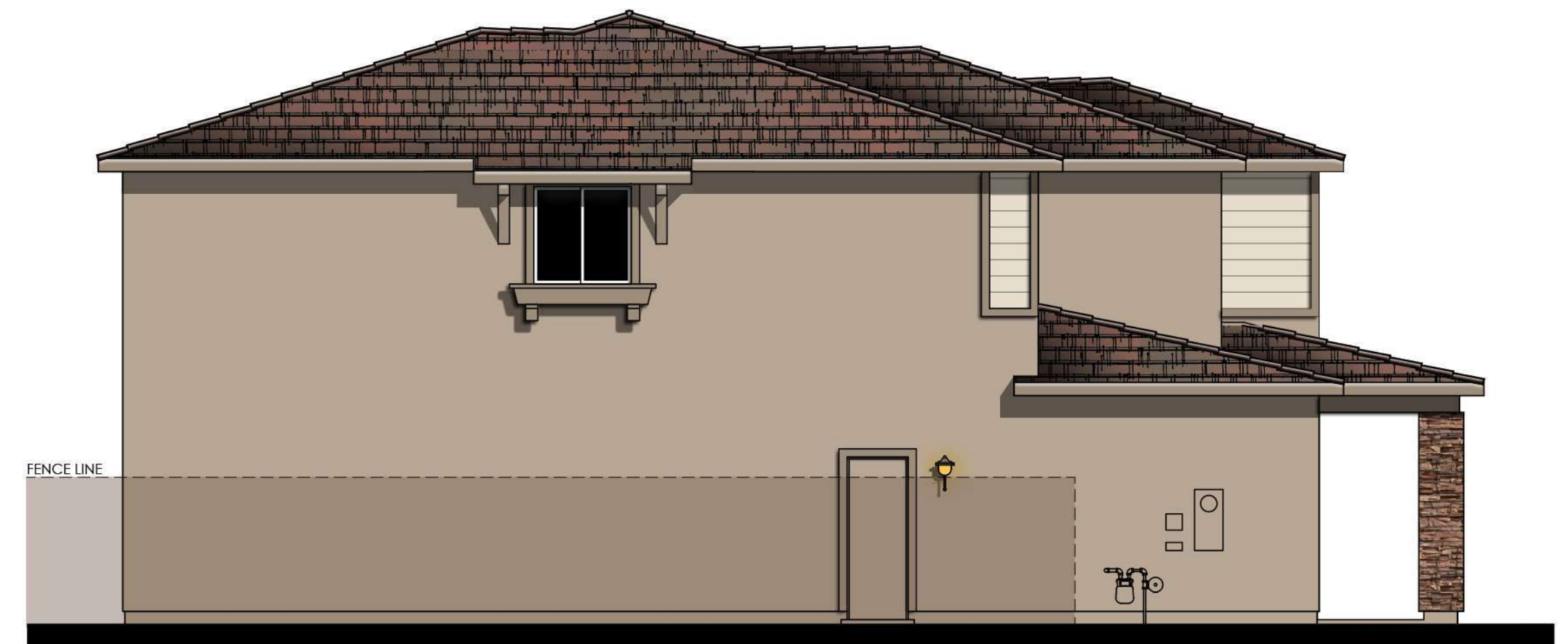
LEFT

COLOR SCHEME 5
PLAN 2B (PLAN 3251B)
 CALIFORNIA PRAIRIE ELEVATION





RIGHT

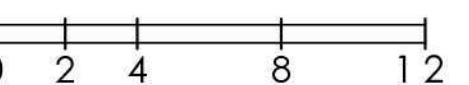


LEFT

COLOR SCHEME 5

PLAN 2B (PLAN 3251B)

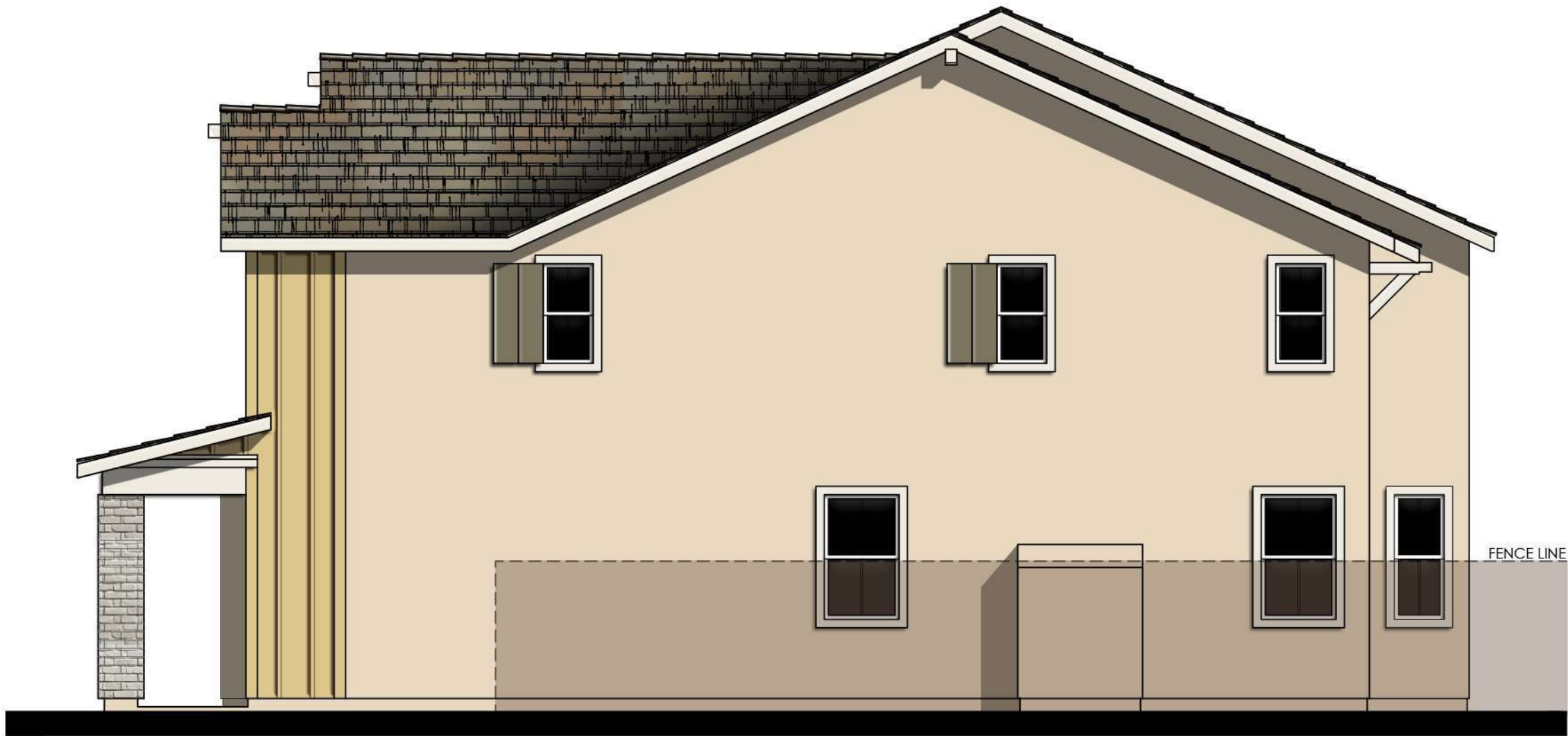
CALIFORNIA PRAIRIE ELEVATION WITH EXTRA EMBELLISHMENTS





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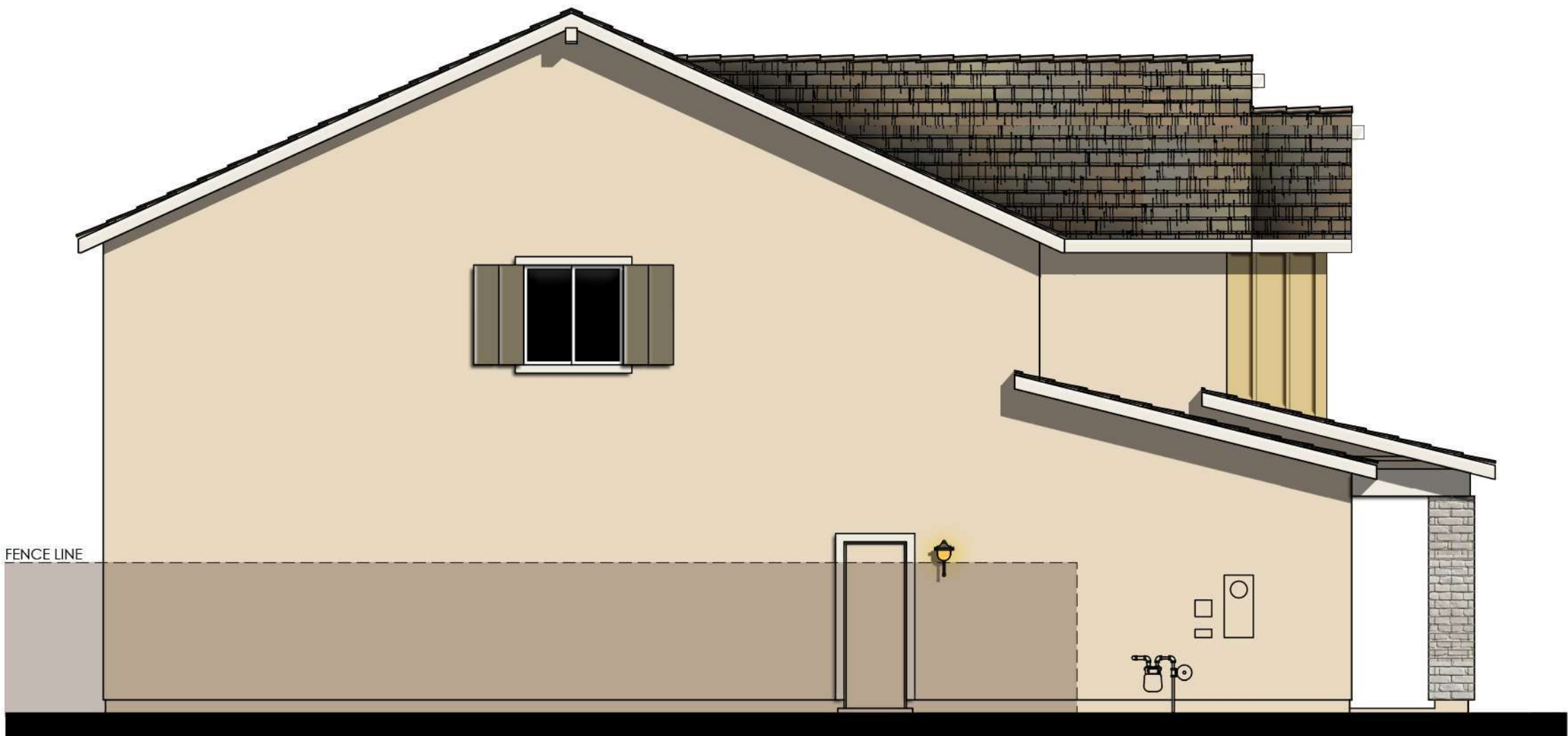
FRONT



RIGHT



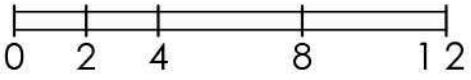
REAR

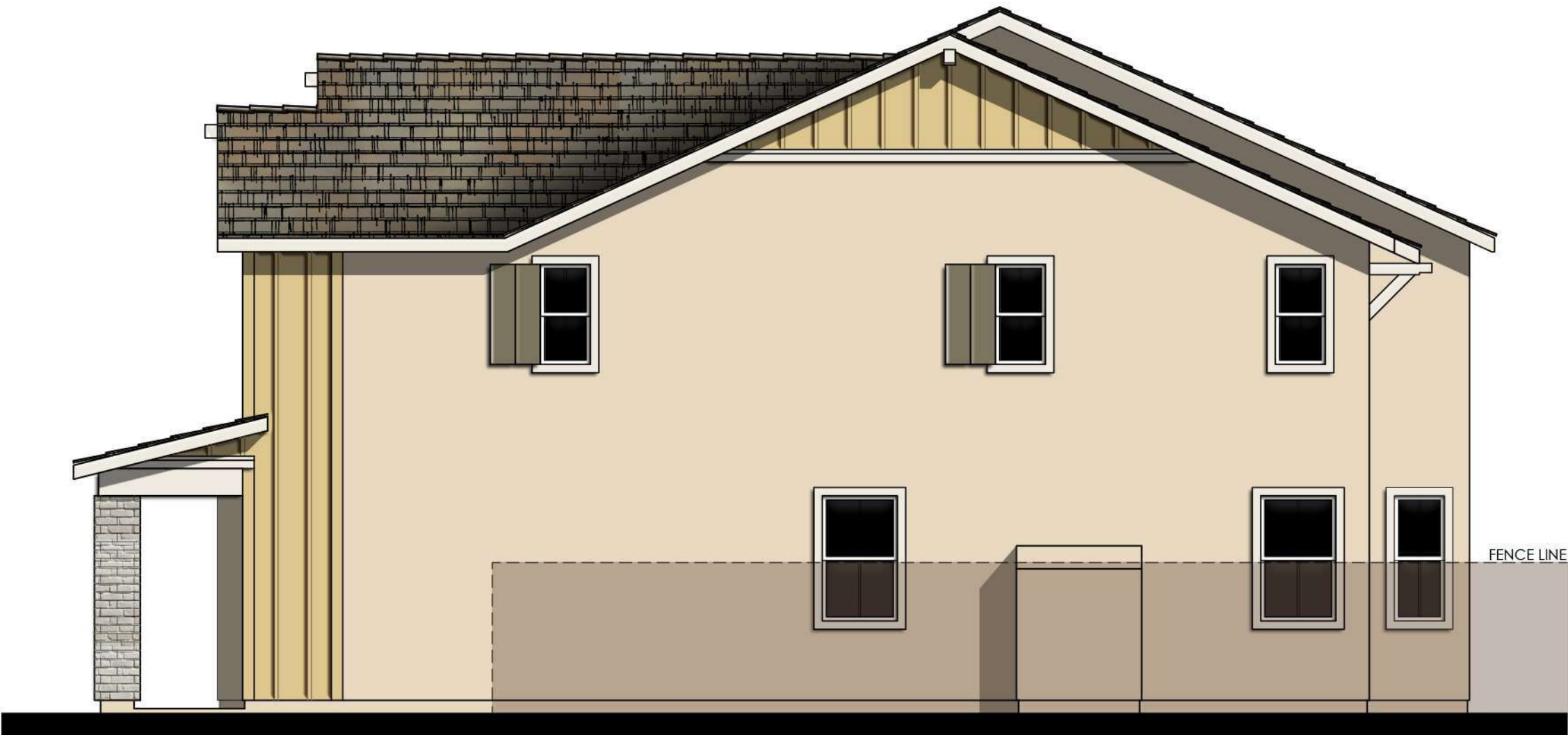


LEFT

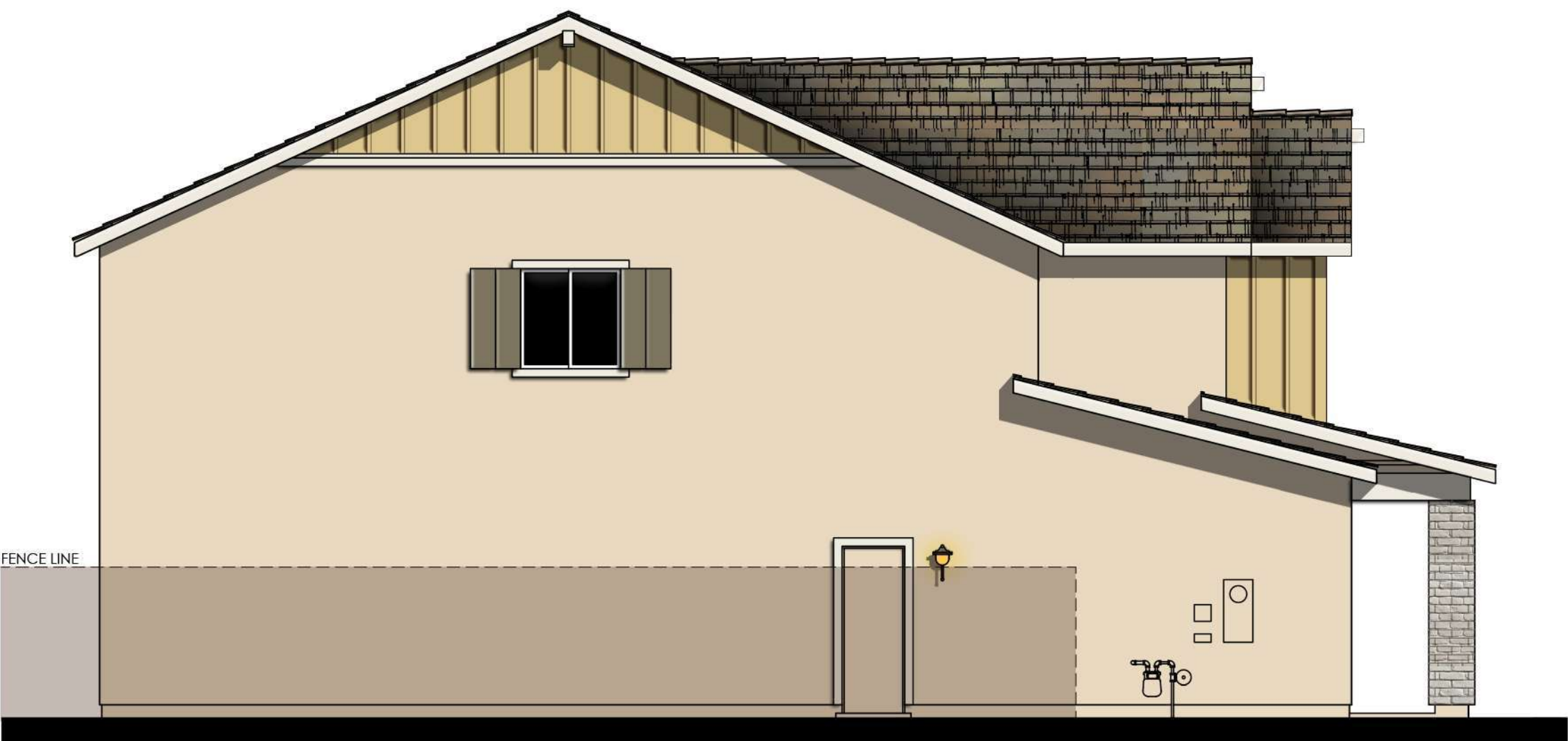
- MATERIALS LEGEND**
(WHERE OCCURS)
- FRONT DOOR: FIBERGLASS
 - GARAGE DOOR: METAL SECTIONAL
 - ROOF: CONCRETE FLAT TILE
 - ROOF EXTENSIONS: WOOD CORBEL / KNEE BRACE
 - FASCIA: 2x6 WOOD
 - BARGE: 2x6 WOOD
 - GABLE END: DECORATIVE CORBEL
 - STUCCO RECESS
 - BOARD / BATTENS
 - COMPOSITE WOOD TRIM
 - WALL: STUCCO
 - BOARD / BATTENS
 - WINDOWS: VINYL W/ GRIDS
 - SHUTTERS: SIMULATED WOOD
 - TRIM: STUCCO OVER RIGID FOAM
 - CEMENTITIOUS-FIBER
 - PORCH: COLUMN W/ BRICK VENEER

COLOR SCHEME 8
PLAN 2C (PLAN 3251C)
MODERN FARMHOUSE ELEVATION





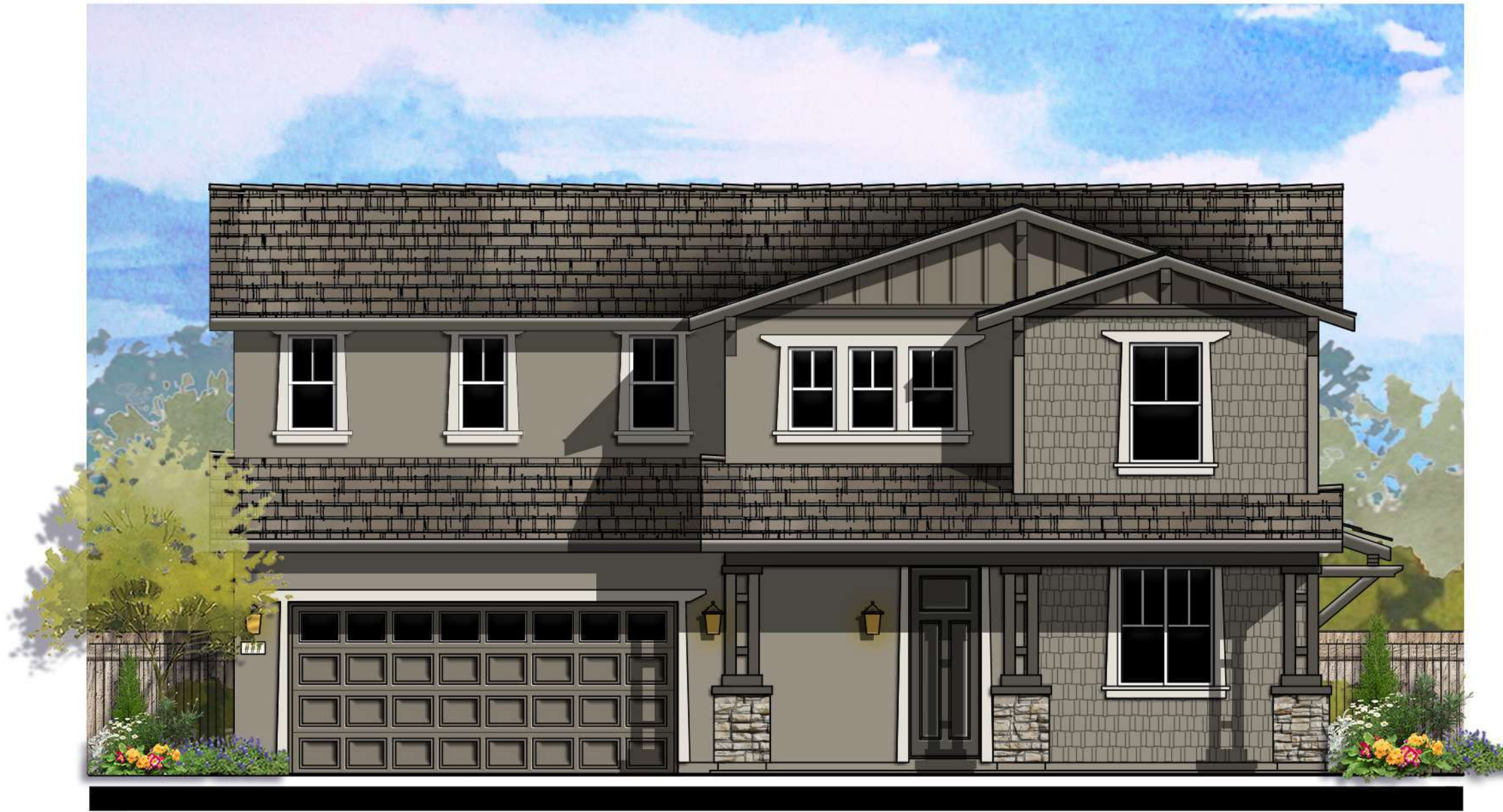
RIGHT



LEFT

COLOR SCHEME 8
PLAN 2C (PLAN 3251C)
MODERN FARMHOUSE ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

A - CRAFTSMAN



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Refer to landscape drawings for wall, tree, and shrub locations

B - CALIFORNIA PRAIRIE



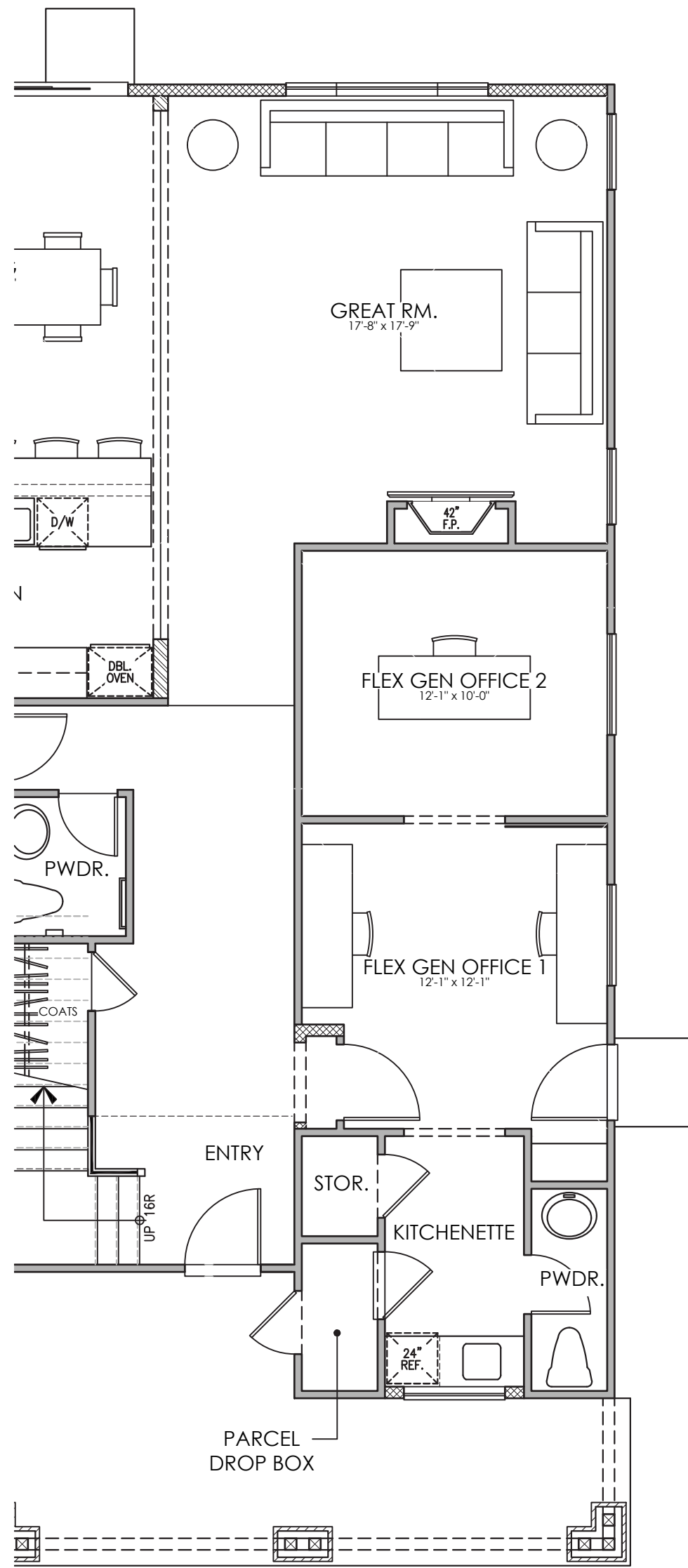
© 2022 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

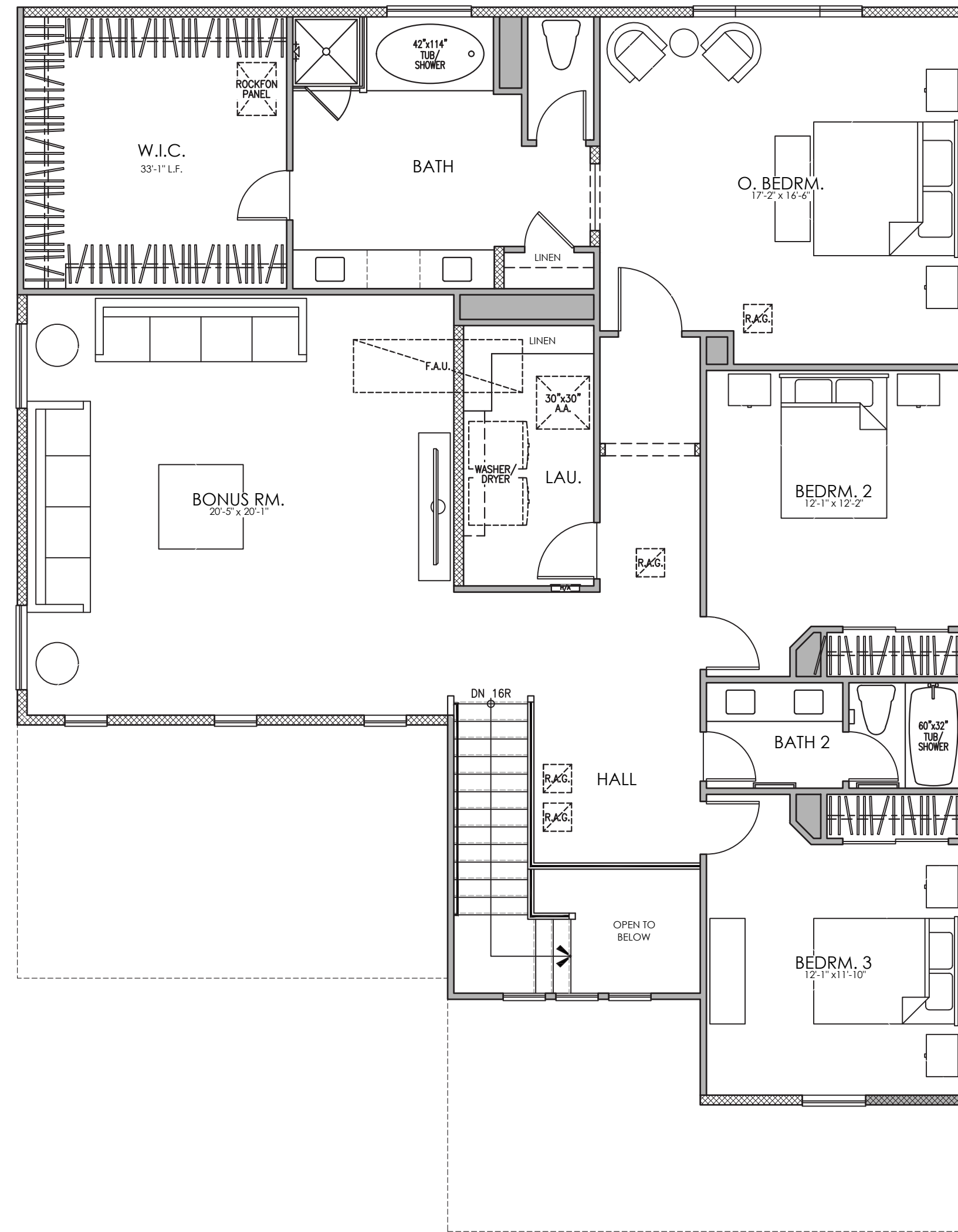
C - MODERN FARMHOUSE

PLAN 3 (PLAN 3339) FRONT ELEVATIONS

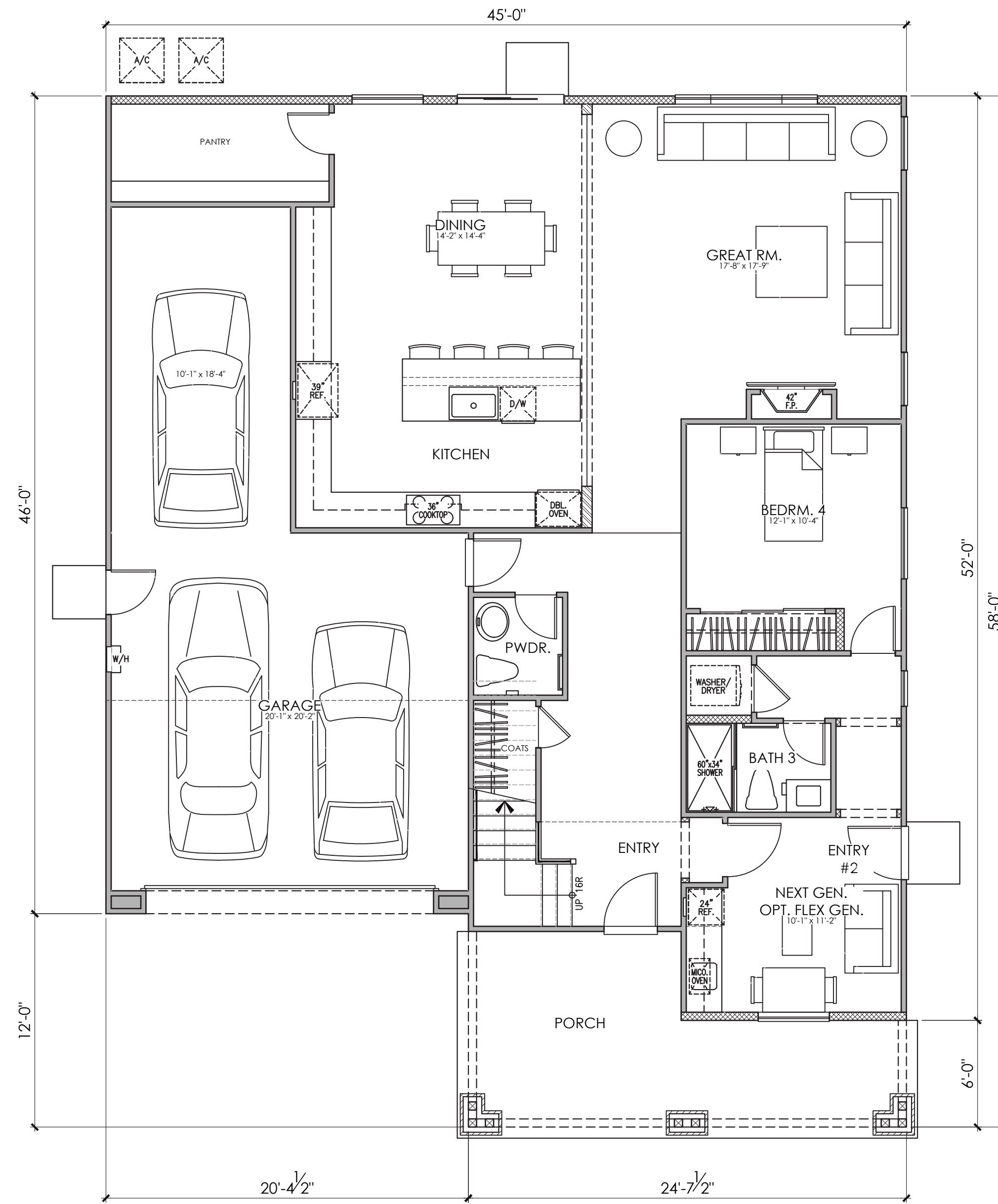
0 2 4 8 12



OPT. FLEX GEN.



SECOND FLOOR

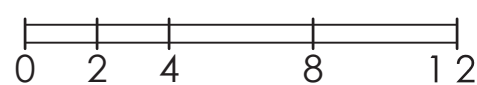


FIRST FLOOR

PLAN 3 (PLAN 3339)
4 BEDROOM, 3.5 BATH, 3 CAR GARAGE, NEXT GEN., OPT. FLEX GEN.
FLOOR PLAN

PLAN 3
AREA TABULATION

	MAIN RESIDENCE	NEXT GEN.	TOTAL
FIRST FLOOR AREA	1,111	+ 420	= 1,531 SQ. FT.
SECOND FLOOR AREA	1,808	+ 0	= 1,808 SQ. FT.
TOTAL DWELLING	2,919	+ 420	= 3,339 SQ. FT.
UNCONDITIONED SPACE			
GARAGE			606 SQ. FT.
PORCH "A"			208 SQ. FT.
PORCH "B"			208 SQ. FT.
PORCH "C"			208 SQ. FT.





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

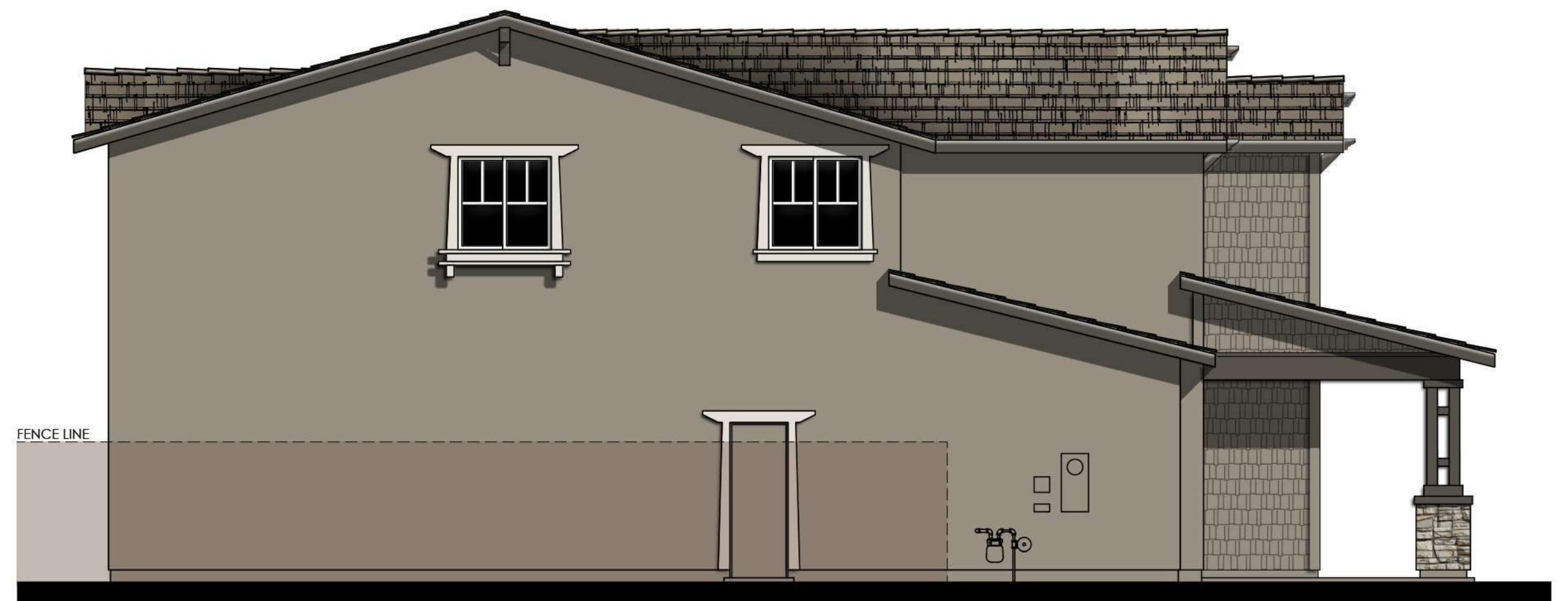
MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	WOOD CORBEL / KNEE BRACE BOARD / BATTENS
WALL:	COMPOSITE WOOD TRIM
WINDOWS:	STUCCO / WOOD SHINGLES
POT SHELF:	VINYL W/ GRIDS
TRIM:	SIMULATED WOOD
	STUCCO OVER RIGID FOAM
	CEMENTITIOUS-FIBER
PORCH:	DOUBLE WOOD POST W/ STONE VENEER

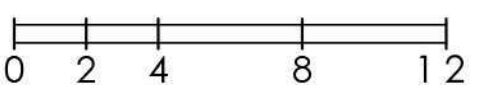


REAR



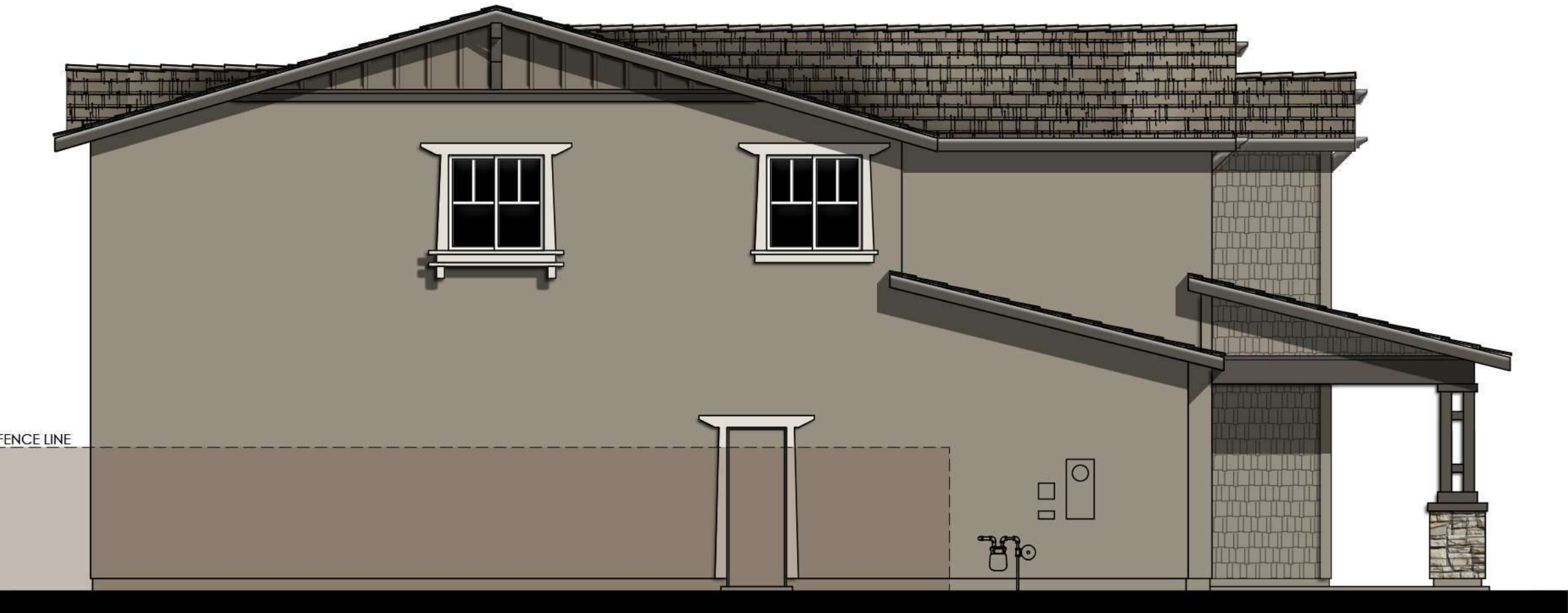
LEFT

COLOR SCHEME 3
PLAN 3A (PLAN 3339A)
CRAFTSMAN ELEVATION



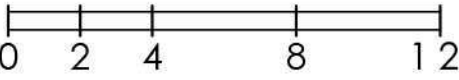


RIGHT



LEFT

COLOR SCHEME 3
PLAN 3A (PLAN 3339A)
CRAFTSMAN ELEVATION WITH EXTRA EMBELLISHMENTS

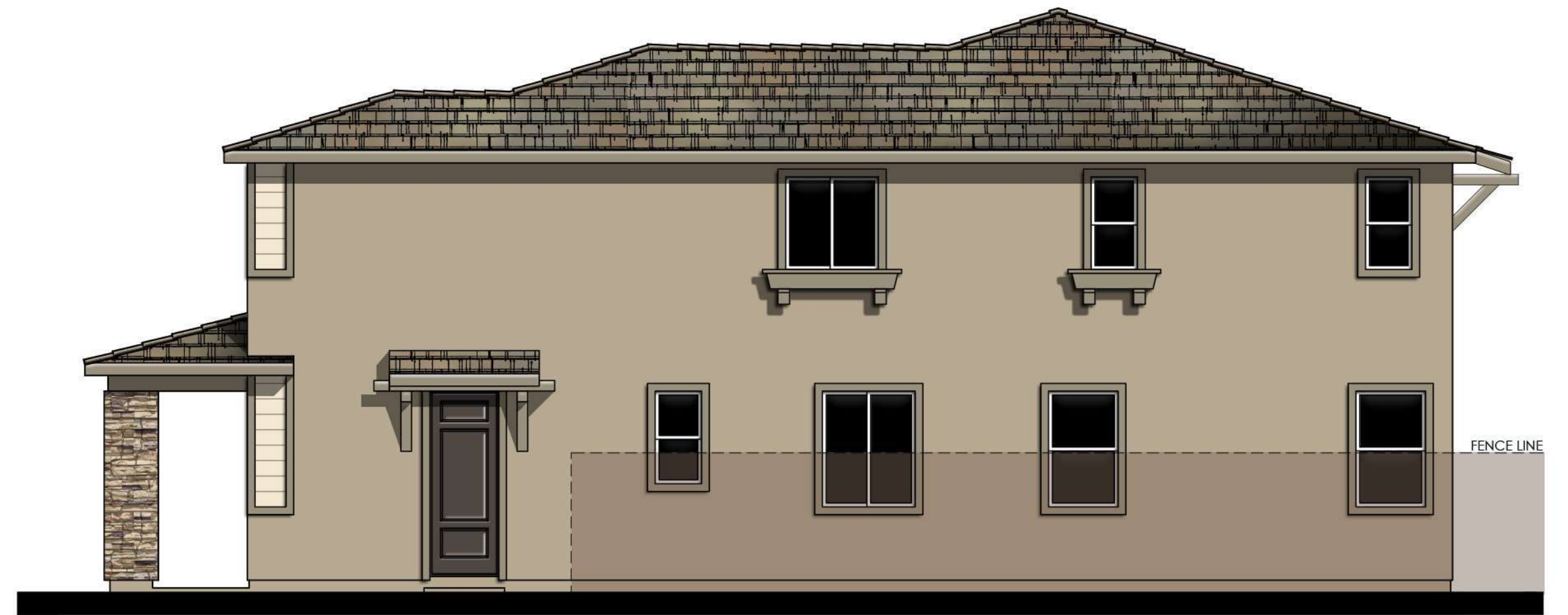




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

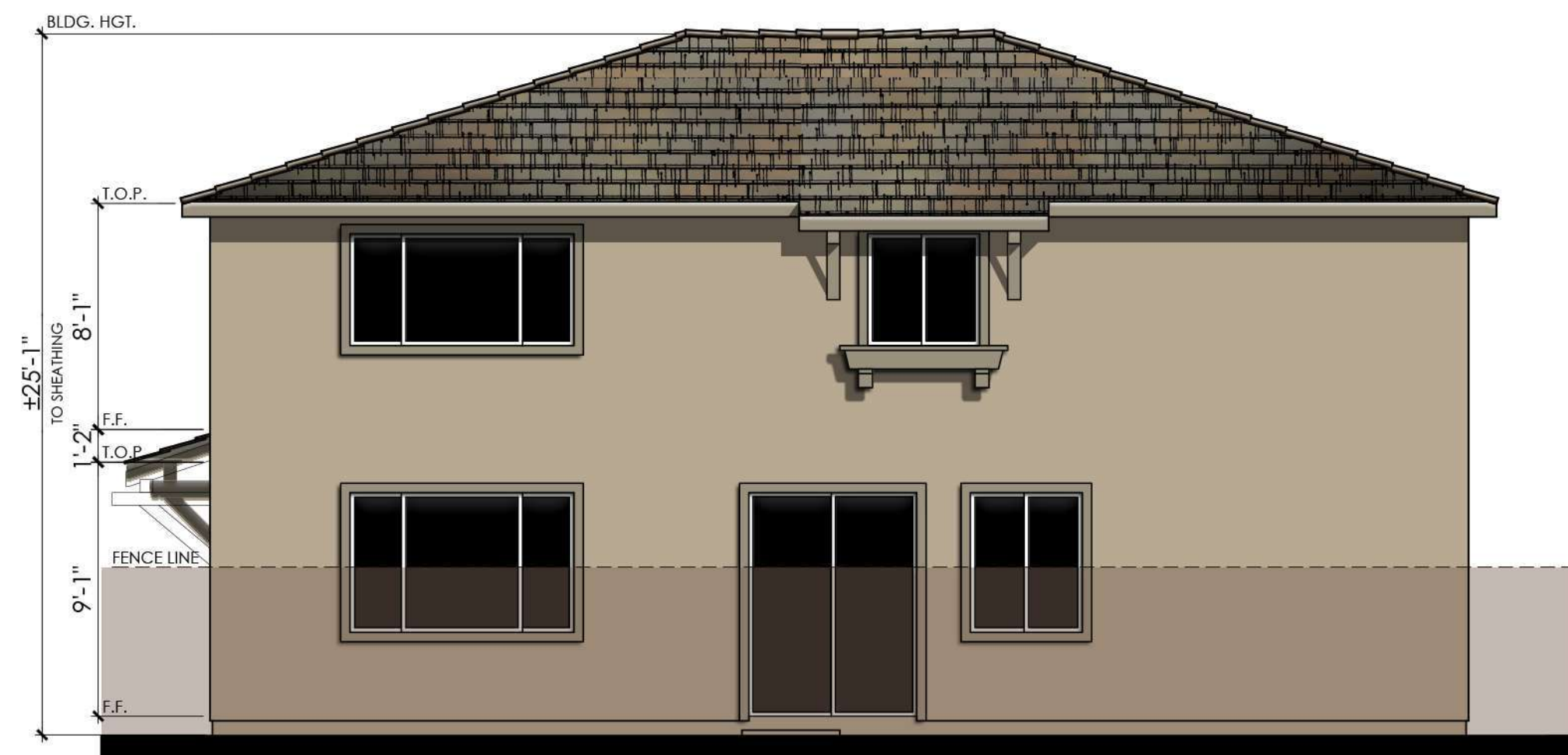


RIGHT

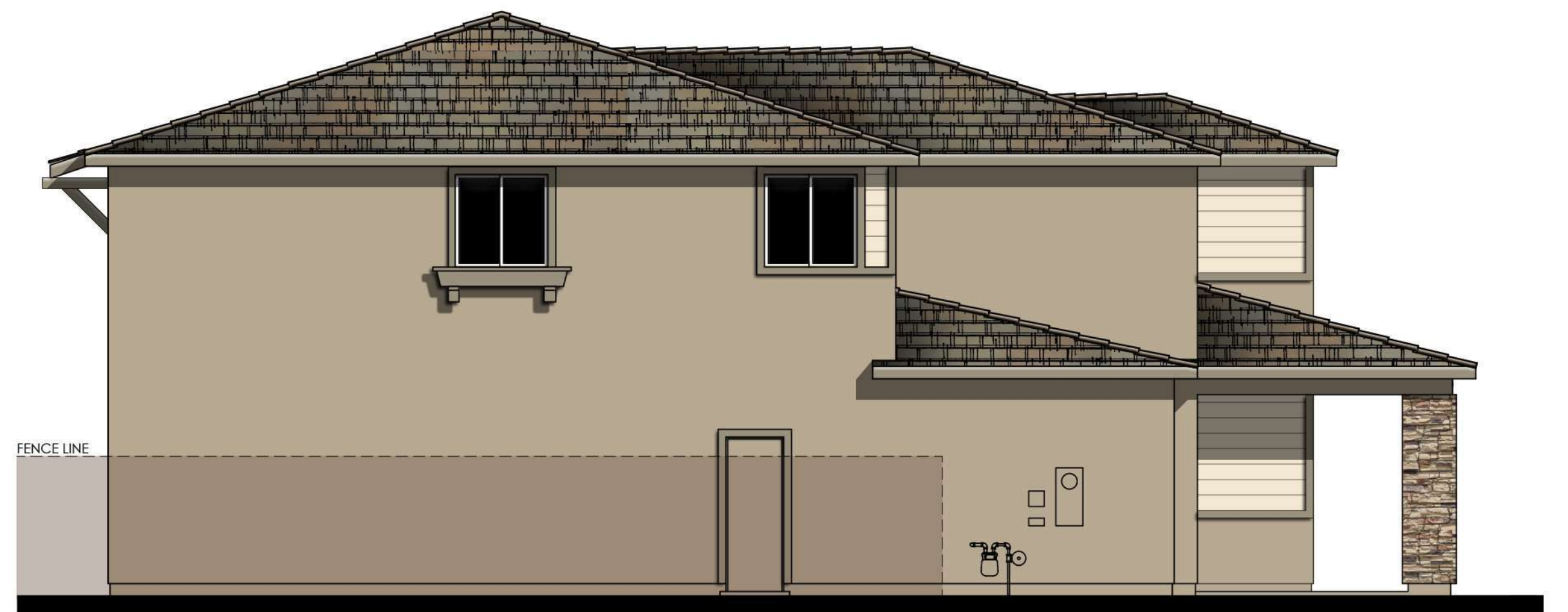
MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
ROOF EXTENSIONS:	WOOD CORBEL / KNEE BRACE
FASCIA:	2x6 WOOD
WALL:	STUCCO / LAP SIDING
WINDOWS:	VINYL
POT SHELF	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
	CEMENTITIOUS-FIBER
WAINSCOT:	STUCCO
PORCH:	COLUMN W/ STONE VENEER



REAR



LEFT

COLOR SCHEME 6
PLAN 3B (PLAN 3339B)
 CALIFORNIA PRAIRIE ELEVATION





RIGHT



LEFT

COLOR SCHEME 6
PLAN 3B (PLAN 3339B)
CALIFORNIA PRAIRIE ELEVATION WITH EXTRA EMBELLISHMENTS





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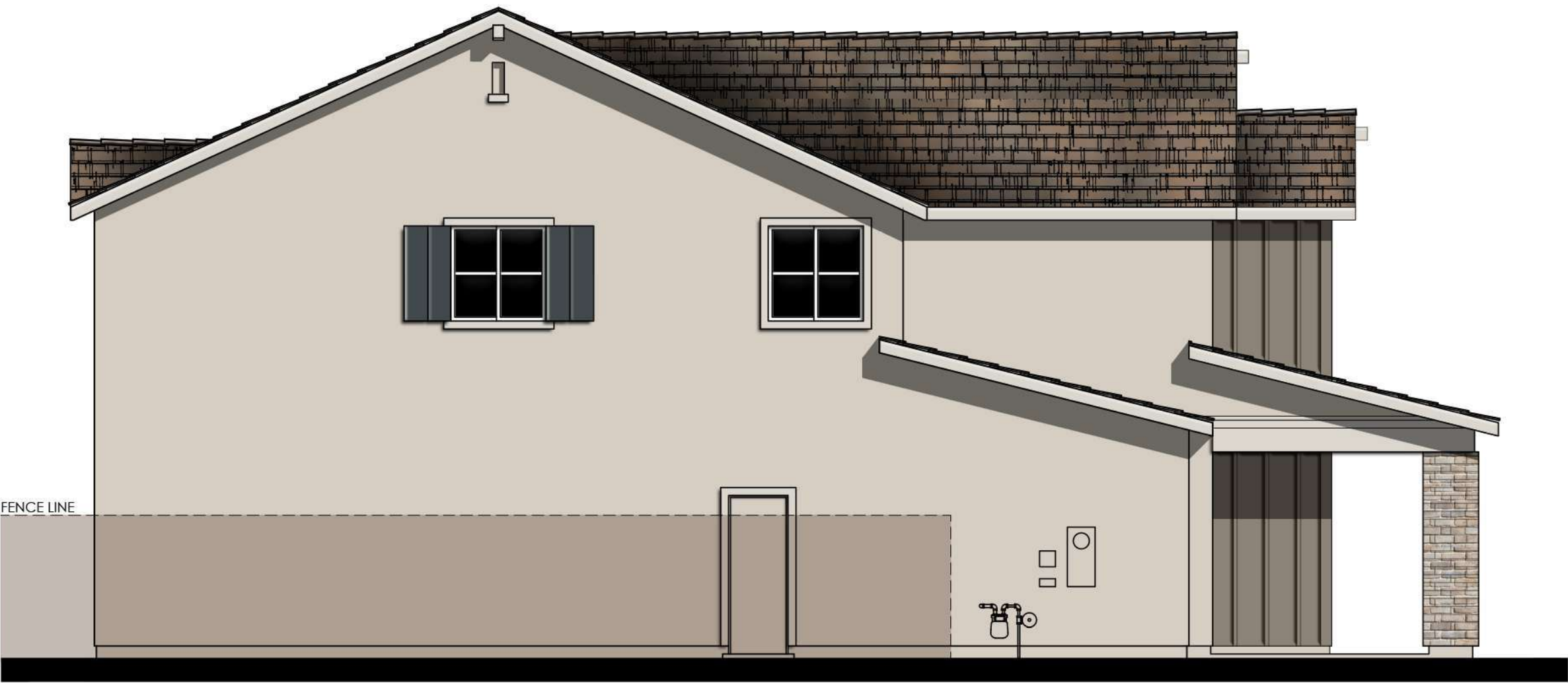
FRONT



RIGHT



REAR



LEFT

- MATERIALS LEGEND**
(WHERE OCCURS)
- | | |
|------------------|--------------------------|
| FRONT DOOR: | FIBERGLASS |
| GARAGE DOOR: | METAL SECTIONAL |
| ROOF: | CONCRETE FLAT TILE |
| ROOF EXTENSIONS: | WOOD CORBEL / KNEE BRACE |
| FASCIA: | 2x6 WOOD |
| BARGE: | 2x6 WOOD |
| GABLE END: | DECORATIVE CORBEL |
| | STUCCO RECESS |
| | BOARD / BATTENS |
| | COMPOSITE WOOD TRIM |
| | STUCCO |
| WALL: | BOARD / BATTENS |
| WINDOWS: | VINYL W/ GRIDS |
| SHUTTERS: | SIMULATED WOOD |
| TRIM: | STUCCO OVER RIGID FOAM |
| | CEMENTITIOUS-FIBER |
| PORCH: | COLUMN W/ BRICK VENEER |

COLOR SCHEME 9
PLAN 3C (PLAN 3339C)
MODERN FARMHOUSE ELEVATION





RIGHT



LEFT

COLOR SCHEME 9
PLAN 3C (PLAN 3339C)
MODERN FARMHOUSE ELEVATION WITH EXTRA EMBELLISHMENTS



CRAFTSMAN
SCHEME #1

STUCCO BODY

ROOF

FASCIA /
GABLE TRIM /
PORCH TRIM

WINDOW TRIM /
GARAGE TRIM

SHINGLE SIDING

BOARD & BATTEN
SIDING /
GARAGE DOOR

FRONT DOOR

STONE

ARBORETUM 6000'S
FONTANA, CA

LENNAR

Kevin L. Crook
Architect
Inc
#21122E
JAN. 24, 2022
PLANNING + ARCHITECTURE

CRAFTSMAN
SCHEME #2

STUCCO BODY

ROOF

FASCIA /
GABLE TRIM /
PORCH TRIM

WINDOW TRIM /
GARAGE TRIM

SHINGLE SIDING

BOARD & BATTEN
SIDING /
GARAGE DOOR

FRONT DOOR

STONE

ARBORETUM 6000'S
FONTANA, CA

LENNAR

Kevin L. Crook
Architect
Inc
#21122E
JAN. 24, 2022
PLANNING + ARCHITECTURE

CRAFTSMAN
SCHEME #3

STUCCO BODY

ROOF

FASCIA /
GABLE TRIM /
PORCH TRIM

WINDOW TRIM /
GARAGE TRIM

SHINGLE SIDING

BOARD & BATTEN
SIDING /
GARAGE DOOR

FRONT DOOR

STONE

ARBORETUM 6000'S
FONTANA, CA

LENNAR

Kevin L. Crook
Architect
Inc
#21122E
JAN. 24, 2022
PLANNING + ARCHITECTURE

COLOR BOARDS - "A" CRAFTSMAN

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

CALIFORNIA PRAIRIE
SCHEME #4

STUCCO BODY

ROOF

FASCIA / TRIM /
CORNER BOARDS

GARAGE DOOR /
LAP SIDING

FRONT DOOR

STONE

LENNAR

ARBORETUM 6000'S
FONTANA, CA

#21122E
JAN. 25, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CALIFORNIA PRAIRIE
SCHEME #5

STUCCO BODY

ROOF

FASCIA / TRIM /
CORNER BOARDS

GARAGE DOOR /
LAP SIDING

FRONT DOOR

STONE

LENNAR

ARBORETUM 6000'S
FONTANA, CA

#21122E
JAN. 25, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CALIFORNIA PRAIRIE
SCHEME #6

STUCCO BODY

ROOF

FASCIA / TRIM /
CORNER BOARDS

GARAGE DOOR /
LAP SIDING

FRONT DOOR

STONE

LENNAR

ARBORETUM 6000'S
FONTANA, CA

#21122E
JAN. 25, 2022

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - "B" CALIFORNIA PRAIRIE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

MODERN FARMHOUSE

SCHEME #7

STUCCO BODY

ROOF

FASCIA / TRIM

BOARD & BATTEN SIDING / GARAGE DOOR

FRONT DOOR / SHUTTERS

BRICK

LENNAR

ARBORETUM 6000'S

FONTANA, CA

#21122E

JAN. 24, 2022

Kevin L. Crook
Architect Inc

PLANNING + ARCHITECTURE

MODERN FARMHOUSE

SCHEME #8

STUCCO BODY

ROOF

FASCIA / TRIM

BOARD & BATTEN SIDING / GARAGE DOOR

FRONT DOOR / SHUTTERS

BRICK

LENNAR

ARBORETUM 6000'S

FONTANA, CA

#21122E

JAN. 24, 2022

Kevin L. Crook
Architect Inc

PLANNING + ARCHITECTURE

MODERN FARMHOUSE

SCHEME #9

STUCCO BODY

ROOF

FASCIA / TRIM

BOARD & BATTEN SIDING / GARAGE DOOR

FRONT DOOR / SHUTTERS

BRICK

LENNAR

ARBORETUM 6000'S

FONTANA, CA

#21122E

JAN. 24, 2022

Kevin L. Crook
Architect Inc

PLANNING + ARCHITECTURE

COLOR BOARDS - "C" MODERN FARMHOUSE

*COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION. REFER TO PAINT CHIPS AND MATERIAL BOARDS FOR ACTUAL COLORS.

RESOLUTION NO. PC 2022-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING DESIGN REVIEW NO. 22-019, A PROPOSAL TO CONSTRUCT 249 SINGLE-FAMILY HOMES ON A PREVIOUSLY APPROVED AND RECORDED TRACT MAP (TENTATIVE TRACT MAP NO. 20363) WITHIN THE GARDENS PLANNING AREA OF THE ARBORETUM SPECIFIC PLAN, AND DETERMINING THAT THE PROJECT HAS BEEN REVIEWED UNDER A PREVIOUS FINAL ENVIRONMENTAL IMPACT REPORT STATE CLEARINGHOUSE NO. (2006071109), PURSUANT TO SECTION 15126 THROUGH 15164 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES AND SECTION 8.10 OF THE CITY OF FONTANA'S 2019 LOCAL CEQA GUIDELINES AND DIRECTING STAFF TO FILE THE NOTICE OF DETERMINATION.

WHEREAS, the City of Fontana received an application on March 3, 2022, a proposal to construct 249 single-family homes on a previously approved and recorded tract map (Tentative Tract Map No. 20363) that subdivides a parcel of approximate 44.4 adjusted gross acres for the purpose of single-family homes.

Project Applicant: Adrian Hermanson
 Lennar Homes of California
 980 Montecito Drive, Suite 302
 Corona, CA 92879

Project Location: The project site is located on southwest corner of Duncan Canyon Road and Sierra Avenue.

Site Area: Approximately 44.5 adjusted gross acres

WHEREAS, on September 6, 2022, the Planning Commission received, staff reports and all the information, evidence, and public testimony and considered Design Review No. 22-019; and,

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and

WHEREAS, pursuant to Article II the Zoning and Development Code, a single-family residential project containing five or more units requires the approval of a Design Review application; and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and

WHEREAS, pursuant to CEQA, when taking subsequent discretionary actions in furtherance of a project for which an EIR has been certified, the lead agency is required to review any changed circumstances to determine whether any of the circumstances under Public Resources Code section 21166 and State CEQA Guidelines section 15162 require additional environmental review; and

WHEREAS, based on that evaluation, staff concluded that the EIR fully analyzed and mitigated, where feasible, all potentially significant environmental impacts, if any, that would result from the proposed project, and therefore, no subsequent EIR or mitigated negative declaration is required; and

WHEREAS, Conditions of Approval have been prepared and are attached hereto as **Exhibit “A”** for the Design Review; and

WHEREAS, the owners of property within 660 feet of the proposed project site were notified via public hearing notice mailer prior to the Public Hearing; and a notice of the public hearing was published in the local *Fontana Herald* newspaper on August 26, 2022, posted at City Hall and at the project site; and

WHEREAS, the Planning Commission carefully considered all information pertaining to the proposed project, including the staff report, findings, and all the information, evidence, and testimony presented at its public hearing on September 6, 2022; and

WHEREAS, all other legal prerequisites to the adoption of this resolution have occurred.

NOW, THEREFORE, the Commission RESOLVES as follows:

SECTION 1. The City of Fontana’s Planning Commission hereby makes the following findings for **Design Review No. 22-019** in accordance with Section No. 30-120 “Findings for Approval” for Design Review of the Zoning and Development Code:

Finding No. 1: **The proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.**

Findings of Fact: The project is located in the Residential Planned Community (R-PC) general plan land use designation, which is used for master-planned communities with specific plans. The site is also located in the Arboretum Specific Plan. The request is to develop 249 detached single-family dwellings. Nine floorplans are being proposed, ranging from approximately 1,905 square feet to approximately 3,339 square feet. The architectural styles used for these homes include Spanish, Prairie and California Craftsman. These architectural styles are compatible with the architectural styles within the Arboretum Specific Plan. The project will be an appropriate and desirable development for the area. The project is consistent with the General Plan and meets or exceeds the criteria contained in the Design Review section

of the Fontana Zoning and Development Code and the Arboretum Specific Plan.

Finding No. 2: **The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desirable development promoting the public health, safety, and welfare of the community.**

Findings of Fact: The proposed project as identified and referenced in Finding No. 1, above, is located within the Gardens Village planning area of the Arboretum Specific Plan and has been determined to be aesthetically and architecturally pleasing and compatible with the neighborhood. The proposed neighborhood is contemporary and true to style with the specific plan, and are compatible, resulting in high quality architectural design appropriate and desirable for the surrounding community.

The project includes street improvements: sidewalks, drainage, grading, and perimeter/privacy walls to provide a safe and well-designed neighborhood. The proposed neighborhood has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety. The proposed project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access.

Finding No. 3: **The proposal, in its design and appearance, is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.**

Findings of Fact: The proposed project identified in Finding No. 1 and Finding No. 2 will result in much needed and appropriate improvements, not only for the project site, but the surrounding area as well. The project includes street improvements: sidewalks, drainage, grading and perimeter and privacy walls to provide a safe and well-designed neighborhood. The proposed neighborhood has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety. The proposed project meets or exceeds the standards of the Zoning and Development Code and will provide a safe design for normal public access. These structures will be built pursuant to all applicable building, zoning, and fire codes and standards and; therefore, shall promote the public health, safety, and welfare of the surrounding community.

Finding No. 4: **The site improvements are appropriate and will result in a safe, well-designed facility.**

Findings of Fact: The proposed project as identified and referenced in Finding No. 1, Finding No. 2, and Finding No. 3, above, has been determined to be appropriate and will result in a safe, well-designed development. The tract of homes has been designed and will be developed with appropriate pavement, curb, gutter, and sidewalk. The proposed project has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety. The character of the surrounding neighborhood reflects residential uses.

SECTION 2. the Planning Commission hereby determines that the project has been reviewed under a previous Final Environmental Impact Report (State Clearinghouse No. 2006071109), pursuant to Section 15126 through 15164 of the California Environmental Quality Act (CEQA) Guidelines and Section 8.10 of the City of Fontana's 2019 Local CEQA Guidelines and directs staff to file the Notice of Determination.

SECTION 3. Based on the foregoing, the City of Fontana's Planning Commission hereby approves Design Review No. 22-019, subject to the conditions of approval, which are attached hereto as **Exhibit "A"** to this Resolution and incorporated herein by this reference.

SECTION 4. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code, Section No. 21081.6.

SECTION NO. 5. The Secretary shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this **6th day of September 2022.**

City of Fontana

Cathline Fort, Chairperson

ATTEST:

I, Idilio Sanchez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the **6th day of September 2022**, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Idilio Sanchez, Secretary

Exhibit “A”

**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 22-036
Design Review No. 22-019

DATE: September 6, 2022

LOCATION: The project site is located on the west side of Sierra Avenue between Duncan Canyon Road and Casa Grande Avenue.

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Design Review shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion of the first Building and Safety Division inspection, has commenced within this period.

3. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
4. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of the work.
5. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of Planning or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the residential structure until corrections are approved in writing by all appropriate staff.
6. The Director of Planning, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural relief. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
7. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

8. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.
9. Foam treatment used for architecture features and/or projections located on the first floor (under 14-foot) shall be covered with concrete or similar durable material a minimum of ¼ inch thick, or as determined by the Director of Planning.
10. If solar panel systems are installed on the roof of any residential structure, the installation shall be on top or above the approved roof tile. If a solar panel system is flush mounted to the roof, matching roof tiles shall be replaced immediately upon removal of the solar panels.
11. No solid masonry wall shall be higher than nine-foot from top of ground (finish grade) when used in combination with a retaining wall unless otherwise stated for this project.
12. All garage doors shall be metal, sectional roll-up and have windows.
13. Wall-mounted decorative lighting fixtures shall be provided at the front porch area as well as on each side of the garage door. Wall-mounted decorative lighting fixtures shall be a minimum of 18 inches in height.

14. Prior to the issuance of a Certificate of Occupancy, the applicant/developer/property owner shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of Planning or his/her designee.
15. All new block walls that can be seen by public view shall be constructed with a decorative block and capped with a prefabricated block cap. New block walls that cannot be seen by public view could be constructed of CMU block with a masonry cap.
16. The following electrical outlets and garage door opener will be provided in all garages:
 - a. Install one automatic garage door opener for the double garage door.
 - b. Install at least one duplex receptacle within garage.
17. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manager's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections No. 30-30 and Sections No. 30-31 of the Municipal Code.
18. The current Development Fees shall be paid.
19. Construction of the model complex shall conform to all City requirements for use and removal of such facilities. This shall include off street paved parking spaces, landscaping and bonds for the removal of any office space within the model and removal of the parking spaces.
20. Litter shall be removed daily from the model homes complex.
21. The model homes may be used as offices solely for the first sale of homes within a recorded tract.
22. The sales office shall be located in a garage, trailer, or dwelling.
23. The establishment of the model home complex shall be for a two-year period, at which time the sales office use shall be terminated and the structure restored back to its original condition. Extensions may be granted by the Director of Planning in one year increments up to a maximum of four years or until 90 percent of the development is sold; whichever is less.

24. The applicant shall submit a \$2,500.00 deposit to the City of Fontana for each lot to ensure the restoration of the model homes and associated parking facilities.
25. Street improvements and temporary parking shall be completed to the satisfaction of the City Engineer and Director of Planning prior to commencement of sales activities or the display of model homes. The parking spaces shall be located within an off-street facility, except on-street parking may be permitted subject to the following conditions:
 - a. The sales office, models, and on-street parking spaces shall be located within Tract Map No. 18915, Lot Nos. 16 through 18) and coordinated with construction phasing such that there are no resident homeowners living in homes located adjacent to the gated, secured area of the street.
 - b. The parking stalls shall be adequately striped and shall conform to City standards.
 - c. The model homes (Lot Nos. 16 through 18, Tract Map No. 18915) area shall have a decorative fence that is kept locked during non-operating business hours.
26. The sales office is to be used only for transactions involving the sale, rent, or lease of lots and/or structures within the tract in which the sales office is located, contiguous tracts, or a planned unit community.
27. Failure to terminate sales office and restore structure or failure to apply for an extension on or before the expiration date will result in forfeiture of the cash deposit, a halt in further construction or inspection activity on the project site, and enforcement action to ensure restoration of structure.
28. An area for overflow parking shall be provided off-street to the satisfaction of the City Engineer and Director of Planning. Said parking area shall be located adjacent to the model home sales office, outside the secured area, appropriately signed, and provided with a drive approach construction to City standards.
29. Temporary landscaping, including minimum 48-inch box trees, shall be provided within the on-street parking area. Temporary landscaping shall also be provided within a planter area surrounding the overflow parking area.
30. All fences proposed in conjunction with the model homes and sales office shall be located outside of the public right-of-way, except where approved by the Director of Planning and City Engineer for security.
31. Directional signs located within the right-of-way shall be reviewed and permitted by Engineering Department.

Prior to Issuance of Building /Construction Permits

32. The applicant/developer/property owner shall provide clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.
33. The mailboxes shall be made of durable material and shall be installed in a manner that is resistant to vandalism and meets the requirements of the Post Office. The Post Office currently approves freestanding mailboxes that are F-series and wall-mounted boxes that are 4C series. The developer is responsible for contacting the Post Office for the type and location of the mailboxes within their development. Any replacements of the mailboxes subsequent to the original installation shall be the responsibility of the developer, each individual homeowner and/or the homeowners association, and the Post Office.

BUILDING AND SAFETY DIVISION:

34. The applicant/developer/property owner shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code
35. The applicant/developer/property owner shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
36. The applicant/developer/property owner shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter No. 5 Article XIV.
37. The applicant/developer/property owner shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be

approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.

38. The applicant/developer/property owner shall have the tract map recorded prior to the issuance of any building permits.

39. The applicant/developer/property owner shall comply with the following grading requirements:

- A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
- B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
- C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
- D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
- E. No water course or natural drainage shall be obstructed.
- F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
- G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
- H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.

The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.

- I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.);
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.);
 - iii. All proposed drainage structures;
 - iv. Any proposed and/or required walls or fencing.

40. The applicant/developer/property owner shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

41. The following items shall be completed and/or submitted to Building & Safety – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector

ENGINEERING DEPARTMENT:

42. Applicant shall pay all applicable service fees pursuant to the City of Fontana Municipal Code.
43. The former approved Conditions of Approval for Tentative Tract Map No. 20230 shall apply.

END OF CONDITIONS OF APPROVAL

NOTICE OF DETERMINATION

TO: X County Clerk, County of
San Bernardino

 Office of Planning and Research

FROM: City of Fontana
Planning Department
8353 Sierra Avenue
Fontana, CA 92335

SUBJECT: Filing of Notice of Determination in Compliance with Section 21152 of the Public Resources Code.

Project Title: Master Case No. 22-036 and Design Review No. 22-019 – Arboretum Gardens (G-8, G-9, and G-10)

State Clearinghouse Number: SCH 2006071109 for the Arboretum Specific Plan (EIR)

Name of Person or Agency carrying out project: Cecily Session-Goins – Associate Planner. City of Fontana (Lead Agency) 8353 Sierra Avenue, Fontana, CA 92335.

Project Location: The proposed project is located north of Casa Grande Avenue, south of Duncan Canyon Road and west of Sierra Avenue within the Gardens Village Planning Area of the Arboretum Specific Plan (G-8, G-9 and G-10)

Project Description: Design Review No. 22-019 is a request for approval of the site and architecture review to construct 249 single-family homes ranging in size from 1,905 square feet up to 3,251 square feet.

Project Proponent & Address: Lennar Homes of California, 980 Montecito Drive, Suite 302, Corona, CA 92879

This is to advise that the City of Fontana approved the above described project on September 6, 2022 and has made the following determinations:

1. The project will X will not have a significant effect on the environment.
2. An Environmental Impact Report was prepared and certified for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.

 A Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.

 X The project was described in and fully discussed and analyzed in the Final Environmental Impact Report adopted by the City Council on September 23, 2009
3. Mitigation measures were X were not made a condition of the approval of the project.
4. A Statement of Overriding Considerations was X was not adopted for this project.
5. Findings X were were not made pursuant to the provisions of CEQA.
6. The location and custodian of the documents which comprise the record of proceedings for the Final Environmental Impact Report are specified as follows:

Custodian: City of Fontana, Planning Department
Location: 8353 Sierra Avenue, Fontana, CA 92335

Rina Leung
Senior Planner

Date Received for Filing



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section No. 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case (MCN) No. 22-036/Design Review (DRP) No. 22-019: A request to construct 249 single-family homes on a previously approved recorded tract map (Tentative Tract Map No. 20084).

**Environmental
Determination:**

Pursuant to the Initial Study (IS) prepared for the Arboretum Specific Plan, a Final EIR (SCH No. 2006071109) was prepared for the project and was certified by the City Council on September 23, 2009. Based on CEQA Guidelines, Sections 15162 through 15164 et seq, and Section 8.10 of the City of Fontana's 2019 local CEQA Guidelines, staff has determined that the previously certified Final EIR has adequately identified the impacts associated with Design Review No. 22-019; a Notice of Determination is determined to be adequate for this project and has been prepared for the Planning Commission's consideration.

**Location of
Property:**

The project site is located at the southwest corner of Duncan Canyon Road and Sierra Avenue

Date of Hearing: September 6, 2022

Place of Hearing: City Hall Council Chambers
8353 Sierra Avenue
Fontana, CA 92335

Time of Hearing: 6:00 P.M.



Should you have any questions concerning this project, please contact Cecily Session-Goins, Associate Planner, at (909) 350-6723 or csgoins@fontana.org

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND

Publish: August 26, 2022

ATTACHMENT NO. 5



ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-1651
Agenda #: PH-B

Agenda Date: 9/6/2022
Category: Public Hearing

FROM:

Planning Department

TITLE:

Master Case No. 21-017; Variance No. 21-002; Tentative Tract Map No. 20307 (TTM No. 21-001); Design Review No. 21-005 - A request for approval to subdivide an existing parcel comprised of approximately 2.03 acres into nine individual lots for single family development along with a variance to reduce the required lot depth for Lot Nos. 1, 2, 3, 7, 8, and 9, and to develop the proposed lots with nine single family homes.

RECOMMENDATION:

Based on the information in the staff report and subject to the attached Findings and Conditions of Approval, staff recommends that the Planning Commission adopt Resolution PC No. 2022-___; and,

1. Determine that the project is Categorically Exempt pursuant Section No. 15332, (Class No. 32, In-Fill) and Section No. 3-18 (In-Fill Projects of the 2019 Local Guidelines for implementing CEQA, and direct staff to file a Notice of Exemption;
2. Approve Variance No. 21-002;
3. Approve Tentative Tract Map 20307 (TTM No. 21-001);
4. Approve Design Review No. 21-005.

APPLICANT:

Omar Marroquin
1188 W Marshall Blvd.
San Bernardino, CA 92405

LOCATION:

The project site is located on the southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13).

REQUEST:

Variance No. 21-002 is a request to reduce the required lot depth from 100 feet to 94 feet on Lot Nos. 1, 2, 3, 7, 8, and 9 of Tentative Tract Map No. 20307.

Tentative Tract Map No. 20307 (TTM No. 21-001) is a request to subdivide an existing parcel comprised of approximately 2.03 acres into nine lots for single family development.

Design Review No. 21-005 is a request to construct nine two-story single-family dwellings. Nine detached single-story nonstandard accessory dwelling units are proposed; these are not subject to discretionary review but are shown for informational purposes.

PROJECT PLANNER:

Rina Leung, Senior Planner
Nicole Campbell, Assistant Planner

BACKGROUND INFORMATION:

I. Land Use Designations:

	<u>General Plan</u>	<u>Zoning District</u>	<u>Existing Land Use</u>
Site:	Single Family Residential (R-SF)	Single Family (R-1)	Single Family Home
North:	Single Family Residential (R-SF)	Single Family (R-1)	Single Family Homes
South:	Single Family Residential (R-SF)	Single Family (R-1)	Single Family Homes
East:	Single Family Residential (R-SF)	Single Family (R-1)	Single Family Homes
West:	Medium Density Residential (R-M)	Single Family (R-1)	Single Family Home and Multi-Family Development

PROJECT DESCRIPTION:

A. Site Area: Approximately 2.03 adjusted gross acres

B. Density
Allowed: 5 dwelling units per acre (Maximum)
Proposed: 4 dwelling units per acre

C. Lot Coverage:
Allowed: 45 Percent (Maximum)
Proposed: 31.7 Percent

D. Building Height
Allowed: 35'-0" (Maximum)
Proposed: 24'-5"

E. Setback Analysis Primary Unit

Required:
Front: 22-foot (Minimum)
Side, Interior Two Story: 5-foot minimum with 15-foot aggregate
Side, Corner Lot: 10-foot (Minimum)
Rear: 20-foot (Minimum)
Provided:
Front: 22-foot
Side, Interior Two Story: 5-foot
Side, Corner Lot: 10-foot
Rear: 20-foot

F. Setback Analysis Nonstandard Accessory Dwelling Unit - 900 square feet (Maximum)

Required:

Side: 4-foot (Minimum)
Rear: 4-foot (Minimum)

Provided:

Side: 5-foot
Rear: 5-foot

ANALYSIS:

The applicant, Omar Marroquin, is requesting that the Planning Commission review and approve Variance No. 21-002, Tentative Tract Map 20307 (TTM No. 21-001), and Design Review No. 21-031 a request for a Tentative Tract Map for the subdivision of the site into nine (9) residential lots and a variance to reduce the lot depth from a minimum of 100 feet to 94 feet on Lot Nos. 1, 2, 3, 7, 8, and 9, and for site and architecture review for the construction of nine two-story single-family dwellings; (nine detached single-story nonstandard accessory dwelling units will also be developed on each of the nine lots and are not subject to this discretionary review but have been included for informational purposes). In addition to the construction of the dwellings and associated site improvements, the project will include off-site improvements for sidewalks along with curb and gutter along Oleander Avenue and Randall Avenue. The General Plan designates the site as Single-Family Residential and the site is surrounded by residential uses.

Variance No. 21-002 (Administrative Variance):

The applicant is requesting a variance to decrease the lot depth from 100 feet to 94 feet on Lot Nos. 1, 2, 3, 7, 8, and 9. A variance is permission to depart from the development requirements of the Zoning and Development Code because of special circumstances unique to a specific property. Administrative variances allow for modifications of ten percent to be made to any zoning district's lot depth.

The subject property is located in an area comprised of both rectangular shaped lots as well as irregular end of cul-de-sac lots (knuckles). Some of these irregular end of cul-de-sac lots (knuckles) lots in the project vicinity are less than 100 feet and are consistent with the depth reduction to 94 feet as requested by the proposed variance. Therefore, this variance would not be considered a special circumstance that other property owners will not enjoy.

The proposed project provides quality architecture that is consistent with the requirements of the single-family residential land use general plan and zoning designation of this site. Conditions of Approval have been placed upon the project, which are intended to help reduce and remove any negative impacts on the health, safety, and community welfare of the surrounding community.

Tentative Tract Map 20307 (TTM No. 21-001):

The project site is a single parcel (approximately 2.03 acres) and applicant is proposing to subdivide the parcel into nine (9) lots for the purpose of single-family homes with nonstandard accessory dwelling units. The lots range in size from approximately 6,635 square feet to

approximately 9,243 square feet with an average of 7,577 square feet. The proposed development will include a ten-foot landscaping letter lot along Randall Avenue which will enhance the project by including trees, ground cover, and shrubs along the street. With the exception of the proposed variance cited in the above section to reduce the minimum lot depth from 100 feet to 94 feet, the proposed tract map meets or exceeds the regulations and development standards of Zoning and Development Code.

Design Review No. 21-031:

As previously mentioned, the proposed project includes nine two- story single-family homes and nine detached single-story nonstandard accessory dwelling units on nine lots. The project is located on the southwest corner of Oleander Avenue and Randall Avenue. The General Plan designates the site as Single-Family Residential, and the surrounding area is currently developed with residential uses.

The nine proposed primary single-family homes include three (3) different floor plan styles, each totaling to 1,700 square feet. The floor plans for the primary dwelling units are designed with three - bedrooms and four-bedrooms. The primary dwelling units are designed with craftsman and Mediterranean architecture.

The proposed non-standard accessory dwelling units are detached from the primary dwelling units and are 900 square feet. The proposed non-standard accessory dwelling units are designed as three-bedroom units and are architecturally compatible with the architecture styles of the primary units.

PLAN NO.	A.1	A.2	A.3
SIZE	1,700 sq. ft.	1,700 sq. ft.	1,700 sq. ft.
STORIES	Two-Story	Two-Story	Two-Story
NO. BDRMS	Three Bedrooms	Four Bedrooms	Four Bedrooms
NO. BATHS	Two Full Baths	Three Full Baths	Three Full Baths
POWDER	One Powder Bath	None	None
Loft	Yes	No	No
GARAGE	Two Garage Spaces	Two Garage Spaces	Two Garage Spaces

The applicant has proposed two architectural themes for the elevations -Craftsman and Mediterranean. The two Craftsman styles have cool and natural colors with contrasting colors of white and grey. The Mediterranean style has warm colors with contracting colors of brown and red. A variety of design features and materials are provided on the elevations such as architectural pop-outs, stone veneer, wood siding, decorative window treatment, varied rooflines, covered porches, and other features appropriate to the Craftsman and Mediterranean architecture. The variety in color and material will provide for an architecturally pleasing project that will enhance the character of the neighborhood. All of the lots will include a two (2) car garage for the main unit.

With approval of the proposed variance cited in the above section to reduce the minimum lot depth from 100 feet to 94 feet, the proposed tract map meets or exceeds the regulations and

development standards of Zoning and Development Code.

Environmental:

The project qualifies for a Categorical Exemption pursuant to Section No. 15332, (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA) and Section No. 3-18 (In-Fill Projects) of the 2019 Local Guidelines for Implementing CEQA. This project site is considered In-Fill Development and meets the CEQA requirements of In-fill: (1) The project is consistent with the Single Family (R-SF) General Plan land use designation; (2) The project site is approximately 2.03 adjusted gross acres (less than 5.0); (3) The project site is not within any known sensitive or threatened habitat area; (4) The project site will not have any significant effect related to traffic, noise, air quality, or water quality; and (5) There are adequate public utilities services for the development of the proposed single family homes and their accessory dwellings.

MOTION:

Approve staff recommendation.

ATTACHMENTS:

1. Vicinity Map
2. Project plans
3. Planning Commission Resolution, Findings and Conditions of Approval
4. Notice of Exemption
5. Notice of Public Hearing



CITY OF FONTANA PLANNING DEPARTMENT

VICINITY MAP

DATE: September 6, 2022
CASE: Master Case No. 21-017
 Variance No. 21-002
 Tentative Tract Map 20307 (TTM No. 21-001)
 Design Review No. 21-005

ATTACHMENT NO. 2

THESE DRAWINGS, LAYOUTS AND IDEAS ARE NOT TO BE REPRODUCED WITHOUT THE CONSENT OF O.J.M.

GENERAL NOTES

1. ALL WORKS SHALL COMPLY WITH ALL THE APPLICABLE FEDERAL LAWS, STATE STATUTES, LOCAL ORDINANCES AND THE REGULATIONS OF AGENCIES HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLYING WITH THE CONSTRUCTION SAFETY ORDERS AND THE GENERAL INDUSTRY SAFETY ORDERS OF THE STATE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND SUCH OTHER AGENCIES GOVERNING THE CONTRACTOR'S ACTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND HOLD HARMLESS THE STRUCTURAL ENGINEER, ARCHITECT AND OWNER FOR ANY DAMAGES AND/OR PENALTIES RESULTING FROM HIS FAILURE TO COMPLY WITH SAID LAWS, STATUTES, ORDINANCES AND REGULATIONS.

2. THE FOLLOWING NOTES AND SPECIFICATIONS ARE * UNLESS OTHERWISE NOTED * , CONFLICT BETWEEN THE SPECIFIC NOTES AND THE GENERAL SHOULD BE CLARIFIED WITH THE STRUCTURAL ENGINEER-OF-RECORD PRIOR TO THE COMMENCEMENT OF WORK. NO OTHER METHOD CONSTRUCTION OR SUBSTITUTION SHALL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR ARCHITECT.

FIRE NOTES.

1) BUILDING ADDRESS NUMBERS SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBER SHALL BE MINIMUM 3 INCHES HIGH, 1 INCH WIDE WITH 3/8 INCH STROKE. FOR BUILDINGS SET BACK MORE THAN 150 FEET FROM THE STREET, THE NUMBERS SHALL BE A MINIMUM 5 INCHES HIGH, 2 INCHES WIDE WITH A 1/2 INCH STROKE. CFC: CHAPTER 5, SECTION 506.1

2) PORTABLE FIRE EXTINGUISHER REQUIREMENTS SHALL BE DETERMINED BY FIRE DEPARTMENT FIELD INSPECTOR IN ACCORDANCE WITH CFC: CHAPTER 9, SECTION 906.

3) DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARD (40.5 CU. FT.) OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AND APPROVE AUTOMATIC FIRE SPRINKLER SYSTEM. CFC: CHAPTER 3, SECTION 304.3.3

4) ROOF VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (No.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF No. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (FIRECODE 4710.1.3)

5) ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (FIRE CODE 4710.1.4)

6) PRIOR TO BUILDING PERMITS FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA PUBLIC RESOURCE CODE SECTION 4291, CALIFORNIA GOVERNMENT CODE SECTION 51182 AND THIS CODE. (FIRE CODE 4708.3

7) CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 317.2.2

8) ALL CHIMNEYS OR FIREPLACES THAT BURN SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER BUILDING CODE 2802.1

KEY NOTES:

1. A/C CONDENSER

2. TRASH CANS (RECYCLING & SOLID WASTE)

SUBDIVIDE A LOT IN TO 9 PARCELS

Lot: 88,562 sq ft / 2.03 acres

Legal Description: S T L AND W CO S B L E 5.52 AC
LOT 700 MEAS TO ST CEN LINES
EX W 17 AC THEREOF AND EX ST

Parcel #: 0193-172-13-0000

LOT AVERAGE:

Lot 1 = 6,918
Lot 2 = 6,635
Lot 3 = 6,881
Lot 4 = 9,243
Lot 5 = 8,654
Lot 6 = 9,338
Lot 7 = 6,881
Lot 8 = 6,642
Lot 9 = 7,004

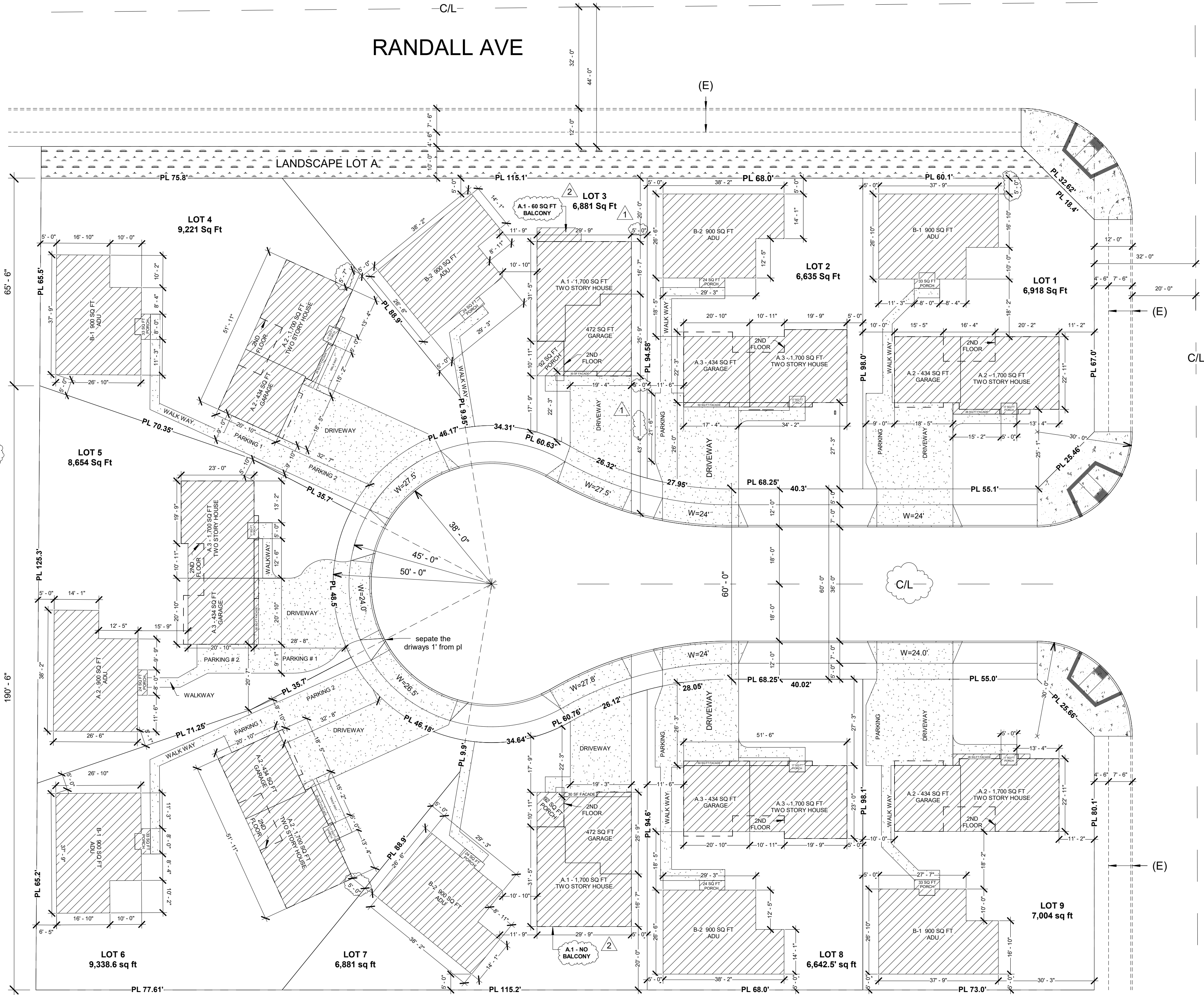
Total = 68,196 / 9 = 7,577 AVERAGE
Net 68,196 = 1.566 acre

NOTES:

ALL PUBLIC STREET IMPROVEMENT (SEWER, STREET, STREET LIGHTS & WOMP SYSTEM WILL BE CONSTRUCTED PER CIVIL & GRADING PLANS

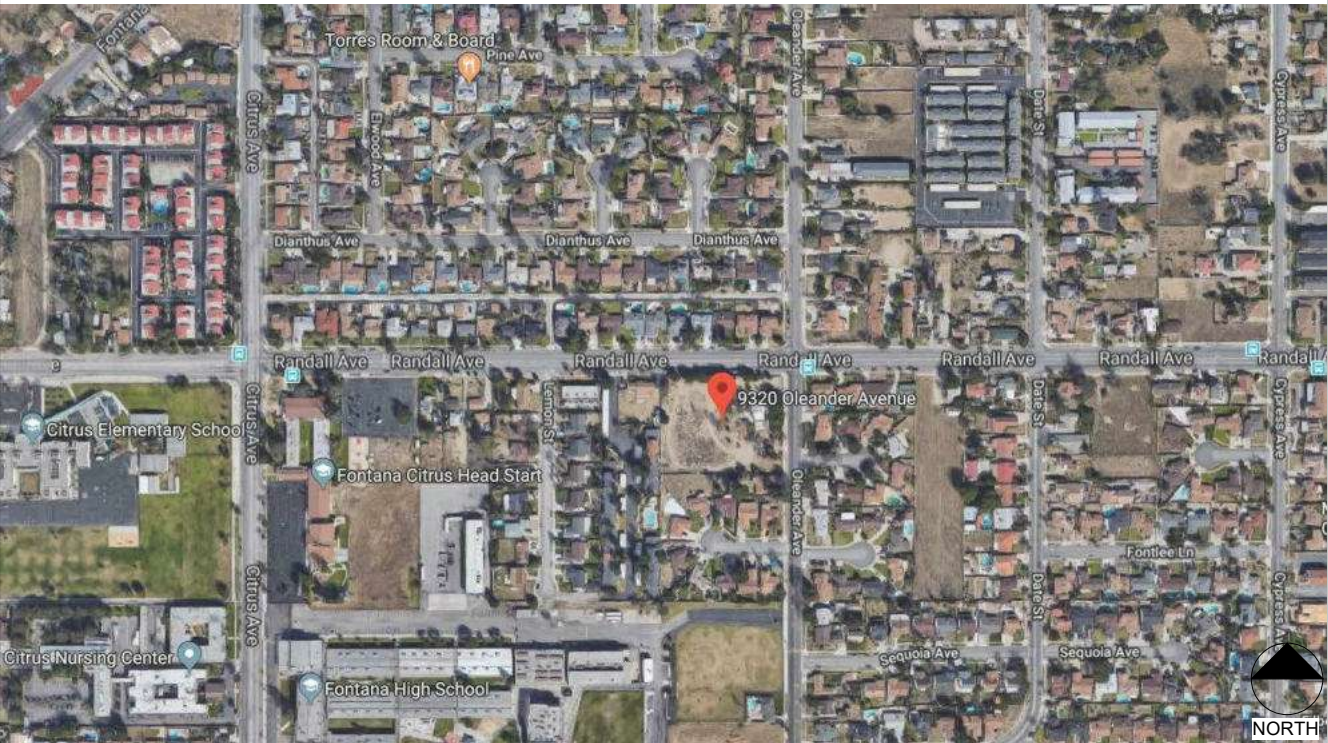
9 NEW HOMES W/ ADU

UNIT TABLE SUMMARY (9 UNITS & 9 ADU'S TOTAL) 88,562 sq ft / Gross Area 2.03 acres / Net Area 1.566 acres					
CRAFTSMAN STYLE A.1 TABLE SUMMARY LOT 3 & 7		MEDITERRANEAN STYLE A.2 TABLE SUMMARY LOT 1, 4, 6 & 9		CRAFTSMAN STYLE A.3 TABLE SUMMARY LOT 2, 5, & 8	
FLOOR AREA	1,700 SQ. FT.	FLOOR AREA	1,700 SQ. FT.	FLOOR AREA	1,700 SQ. FT.
STORIES	2	STORIES	2	STORIES	2
HEIGHT	24'-5"	HEIGHT	22'-2"	HEIGHT	22'-7"
BEDROOMS	3	BEDROOMS	4	BEDROOMS	4
BATHROOMS	2 - 1/2	BATHROOMS	3	BATHROOMS	3
FIRST FLOOR	664 SQ. FT.	FIRST FLOOR	701 SQ. FT.	FIRST FLOOR	671 SQ. FT.
SECOND FLOOR	1,036 SQ. FT.	SECOND FLOOR	999 SQ. FT.	SECOND FLOOR	1,030 SQ. FT.
2-CAR GARAGE	472 SQ. FT.	2-CAR GARAGE	434 SQ. FT.	2-CAR GARAGE	434 SQ. FT.
PORCHES & FACADE	24 + 30 + 92 = 146 SQ. FT.	PORCHES & FACADE	26 + 17 + 33 = 76 SQ. FT.	PORCHES & FACADE	50 + 24 + 17 = 91 SQ. FT.
ADU	900 SQ. FT.	ADU	900 SQ. FT.	ADU	900 SQ. FT.
-	-	-	-	-	-
LOT COVERAGE ARE	2,182 SQ. FT.	LOT COVERAGE ARE	2,111 SQ. FT.	LOT COVERAGE ARE	2,096 SQ. FT.
LOT 3 = 6,881 COVERAGE	2,182 SQ. FT. 31.7%	LOT 1 = 6,918 COVERAGE	2,111 Sq. Ft. 30.5%	LOT 2 = 6,635 COVERAGE	2,096 SQ. FT. 31.5%
LOT 7 = 6,881 COVERAGE	2,182 SQ. FT. 31.7%	LOT 4 = 9,243 COVERAGE	2,111 Sq. Ft. 22.8%	LOT 5 = 8,654 COVERAGE	2,096 SQ. FT. 24.2%
		LOT 6 = 9,338 COVERAGE	2,111 Sq. Ft. 22.6%	LOT 8 = 6,642 COVERAGE	2,096 SQ. FT. 31.5%
		LOT 9 = 7,004 COVERAGE	2,111 Sq. Ft. 30.1%		



1 SITE PLAN.
1" = 20'-0"

SHEET	DESCRIPTION
CVR.1	GENERAL NOTES, SITE, AND PROJECT DATA
1	UNIT A.1 1ST & 2ND FLOOR PLAN
2	UNIT A.1 ELEVATIONS
3	UNIT A.1 COLOR BOARD & MATERIALS
4	UNIT A.2 MEDITERRANEAN STYLE 1ST & 2ND FLOOR PLAN
5	UNIT A.2 MEDITERRANEAN STYLE ELEVATIONS
6	UNIT A.2 COLOR BOARD & MATERIALS
7	UNIT A.3 1ST & 2ND FLOOR PLAN
8	UNIT A.3 ELEVATIONS
9	A-3 COLOR BOARD & MATERIALS
10	B-1 MEDITERRANEAN
11	ADU B-2 CRAFTMAN
12	WALL PLAN
L-1	PRELIMINARY LANDSCAPE PLAN
GR1	CONCEPTUAL GRADING PLAN
GR2	CONCEPTUAL GRADING PLAN
GR3	TOPOGRAPHY & DEMOLITION PLAN
TR1	TRACT MAP
3D	3D ELEVATIONS
INDEX	



VICINITY MAP		
CONSTRUCTION TYPE:	TYPE V-B	NUMBER OF STORIES 2
OCCUPANCY :	ZONE R-3	FIRE SPRINKLER YES

PROJECT DATA

PROJECT SHALL COMPLY WITH:

2019 CBC/ 2019 IBC
2019 CEC/ 2019 NEC
2019 CMIC/ 2019 UMC
2019 CPC/ 2019 UPC
2019 CALIFORNIA ENERGY CODE

DESIGN BY:

--	--

O-J-M

- Architectural Design -

- development

- custom homes

- additions

- commercial

- engineering

- patios & decks

1188 W. Marshall Blvd, San Bernardino Ca 92405 (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

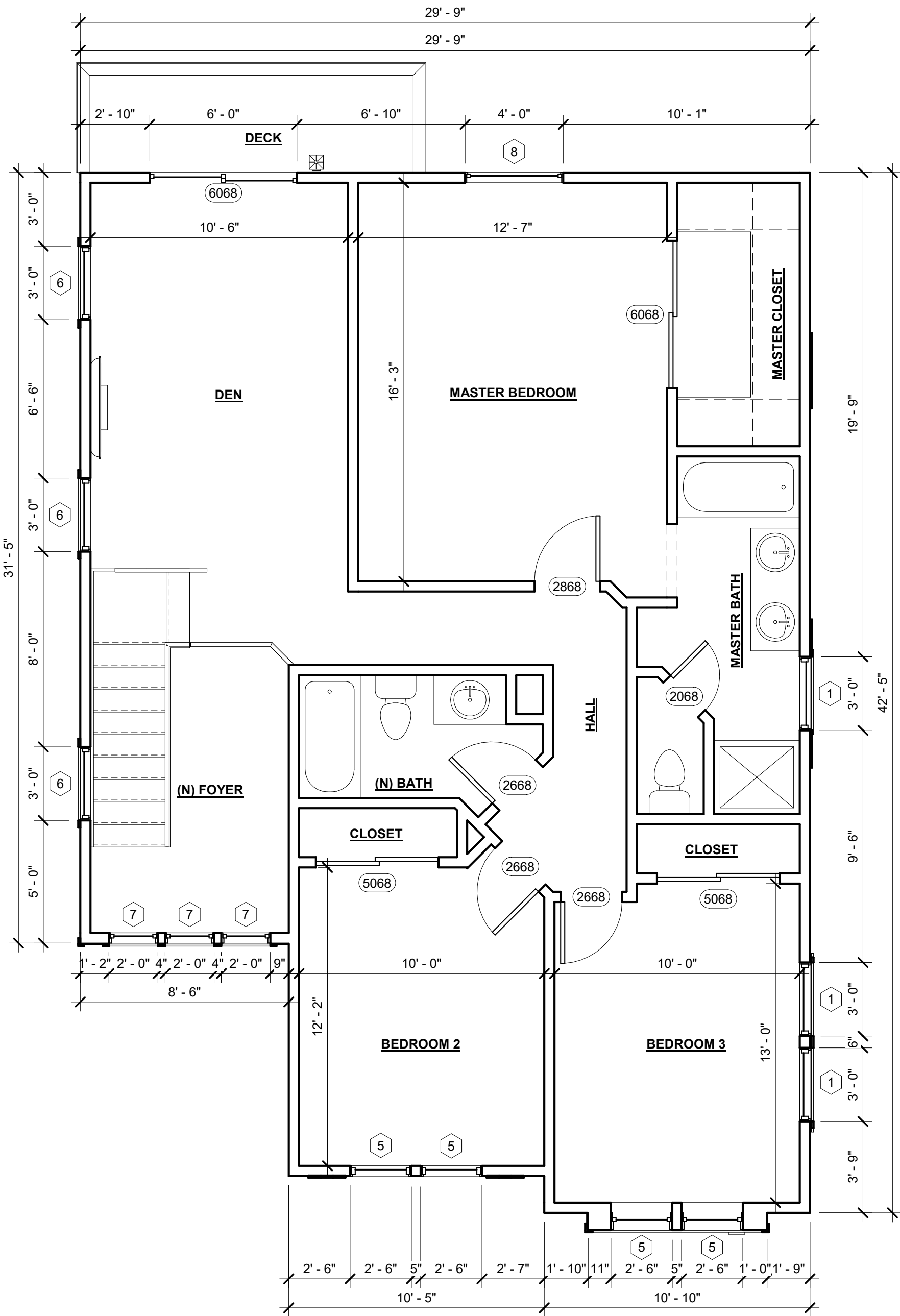
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

SITE PLAN, GENRL. NOTES, INDEX AND VICINITY MAP

Project number	HOMES2017
Date	2-4-2017
Drawn by	O.J.M
Checked by	O.J.M

CVR-1

Scale 1" = 20'-0"



2 A.1 - 2ND FLOOR
1/4" = 1'-0"

- NEW STUD WALL
- (E) FENCE WALL
- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- EXISTING
- NEW
- 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDESCENT LIGHT FIXTURE WITH MOTION SENSOR
- 20- FLUORESCENT LIGHT FIXTURE
- 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

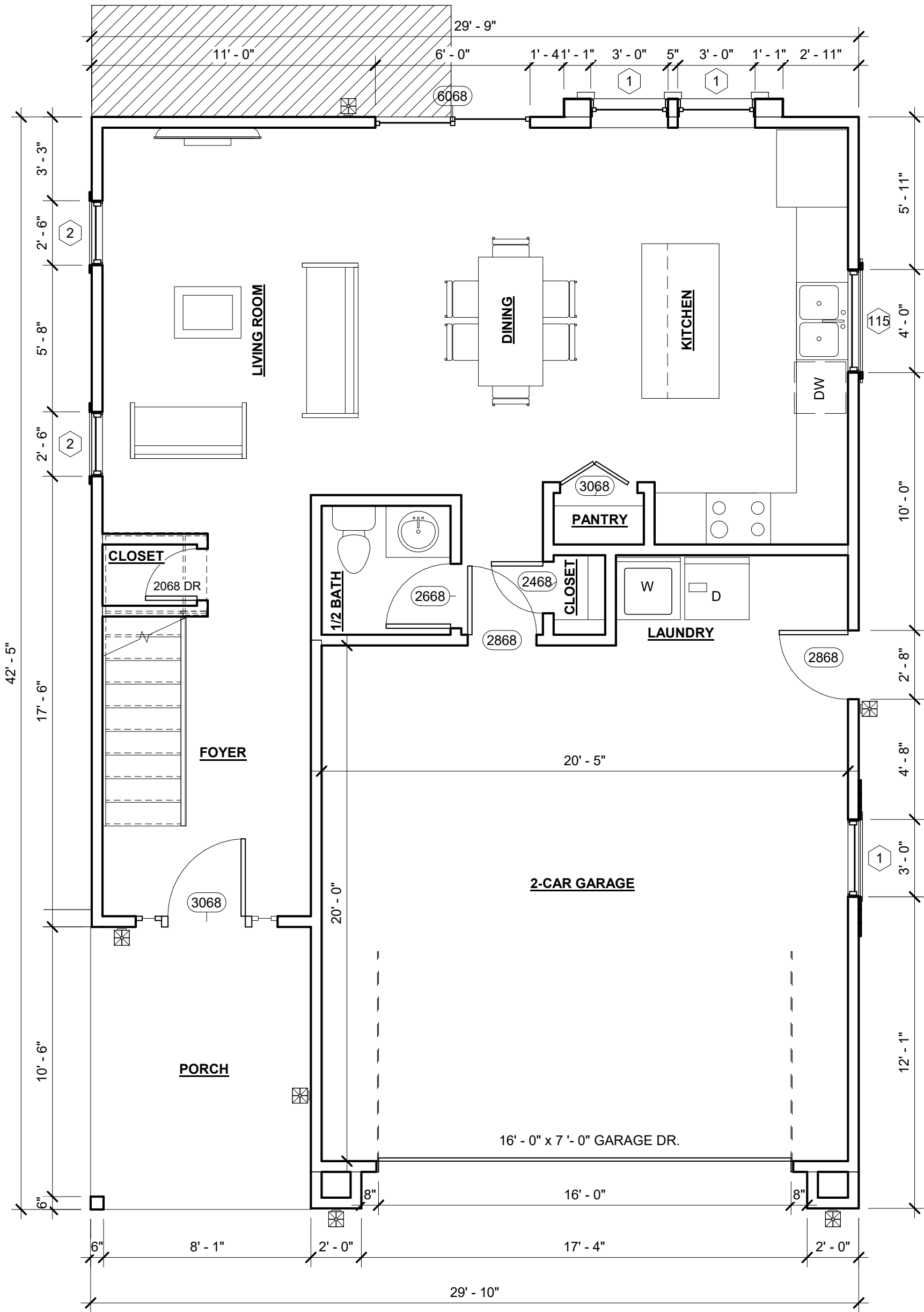
7 LEGEND B.1
1 : 1

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINISH	THICKNESS	FINISH
					COMMENTS
6068	6'-0" x 6'-8"	TEMP GLASS	PF	1 3/4"	
3068	3'-0" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2868	2'-8" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2668	2'-6" x 6'-8"	HC	PF	1 3/4"	
2068	2'-0" x 6'-8"	HC	PF	1 3/4"	
5068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR
6068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR

ABBREVIATIONS
HC = HOLLOW CORE
SC = SOLID CORE
PF = PREFINISHED
PS = PRESSED STEEL (TIMELY)

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINISH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
1	3'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
2	2'-6" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.32	.25	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.32	.25	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
10	2'-0" x 3'-0"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	

ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED



1 A.1 - 1ST FLOOR
1/4" = 1'-0"

remodeling

custom homes

additions

OJ²M

Residential Design

residential

desing

patios & decks

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.1 CRAFTSMAN STYLE 1ST & 2ND FLOOR PLAN

Project number

HOMES2017

Date

2-4-2017

Drawn by

Author

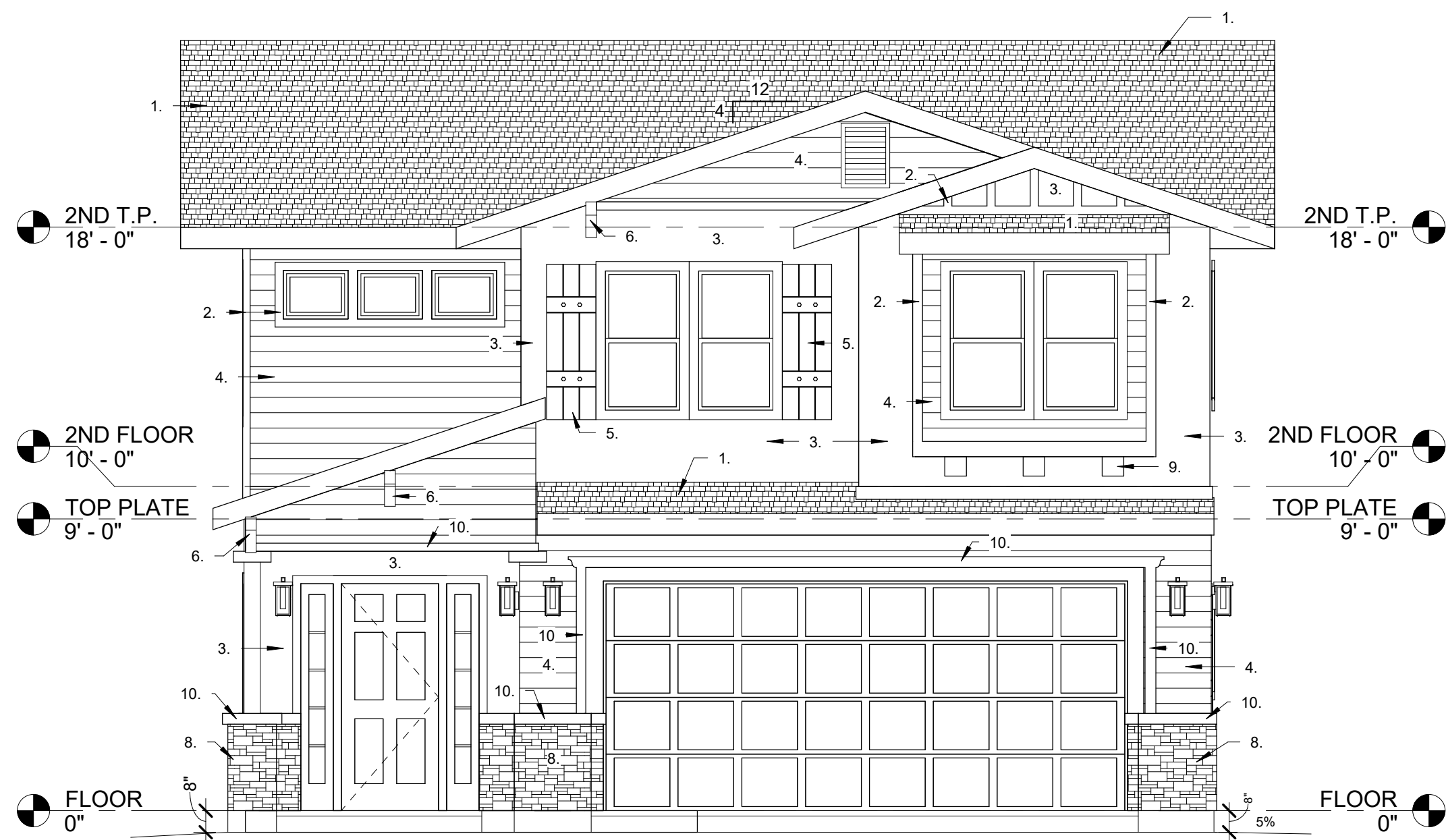
Checked by

Checker

1 - A.1

Scale

As indicated

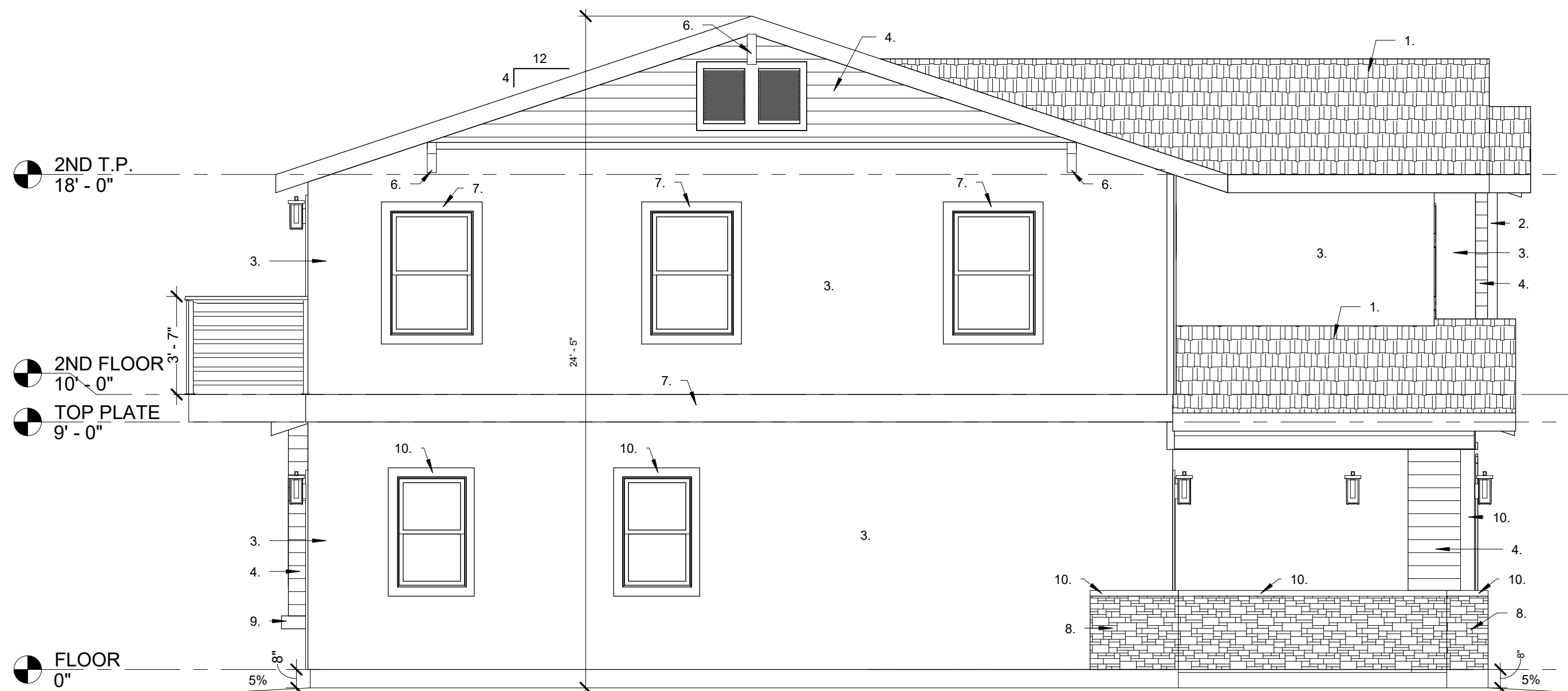


① A.1 FRONT ELEVATION
1/4" = 1'-0"

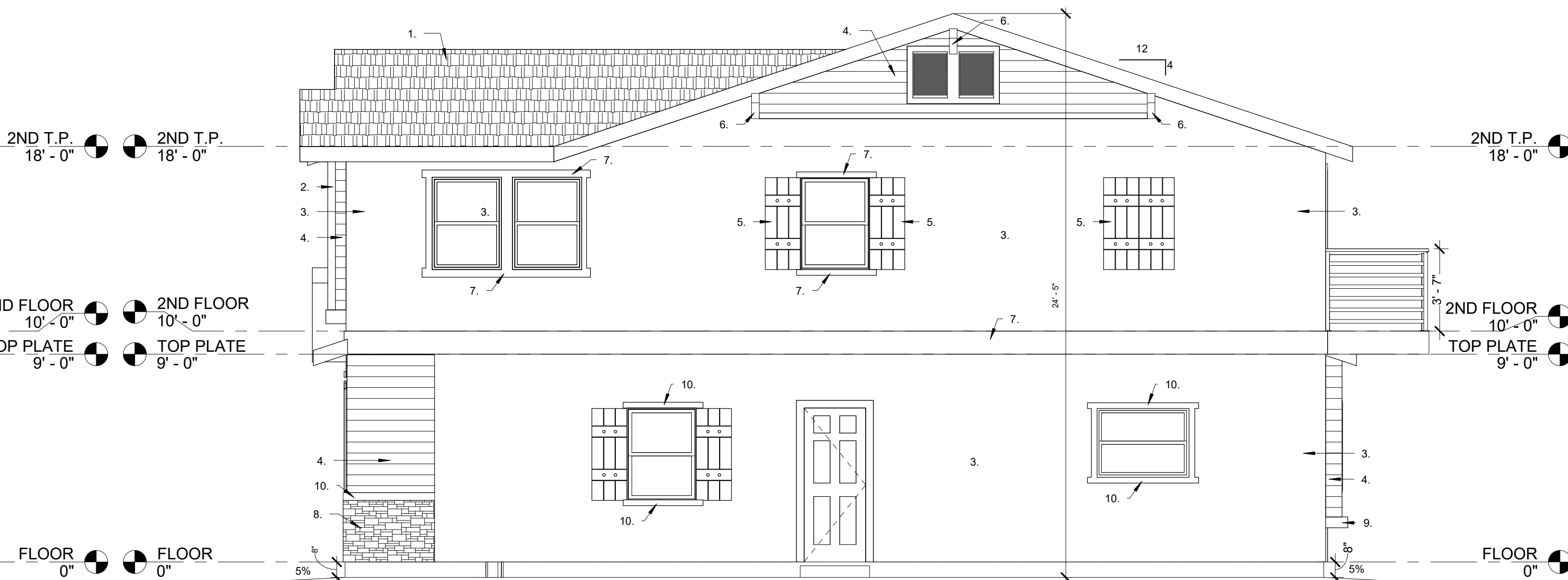
- KEY NOTES**
1. 199 CHARCOAL RANGE GRAY ROOF TILE
 2. WOOD TRIMS (ON SIDING)
 3. LA HABRA FALL BROOK SAND FINISH STUCCO
 4. JAMES HARDIE 6" EXPOSED WOOD GRAINSIDING TYP.
 5. PRE-FAB WOOD FINISH PLANSTIC SHUTTERS
 6. 6x6 WOOD DECORATIVE BRACE
 7. STUCCO TRIM
 8. STACKED STONE LOOK TILES
 9. 8x8 DECORATIVE FOAM BEAMS
 10. WOOD TRIMS

NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

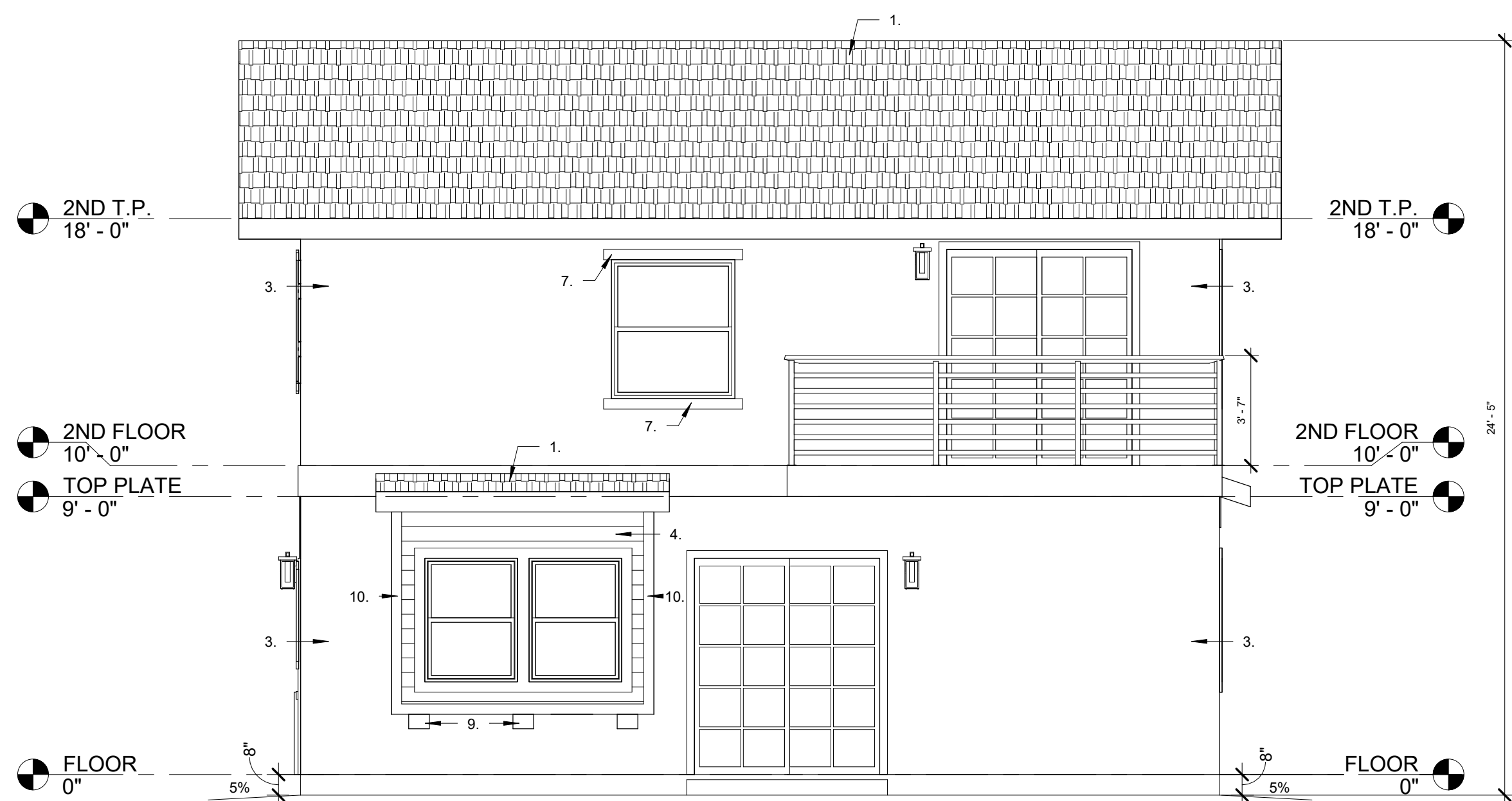
STUCCO NOTES
(N) STUCCO SHALL BE 7/8 INCHES AN APPLIED WITH THREE-COAT APPLICATION PER CBC 2508.1 AND INSTALL IN ACCORDANCE WITH CHAPTER 25 ON THE CBC. STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF D PAPER SHALL BE APPLIED. A MINIMUM No. 26 GAGE CORROSION-RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIORS STUD WALLS. THE SCREED SHALL BE PLACE A MINIMUM OF 4" INCHES ABOVE THE EARTH OR 2" INCHES ABOVE PAVE AREAS.



② LEFT ELEVATION
1/4" = 1'-0"



④ A.1 RIGHT ELEVATION
1/4" = 1'-0"



③ A.1 REAR ELEVATION
1/4" = 1'-0"

- residential
- desing
- patios & decks

O.J.M.
Residential Design

- remodeling
- custom homes
- additions

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No.	Description	Date

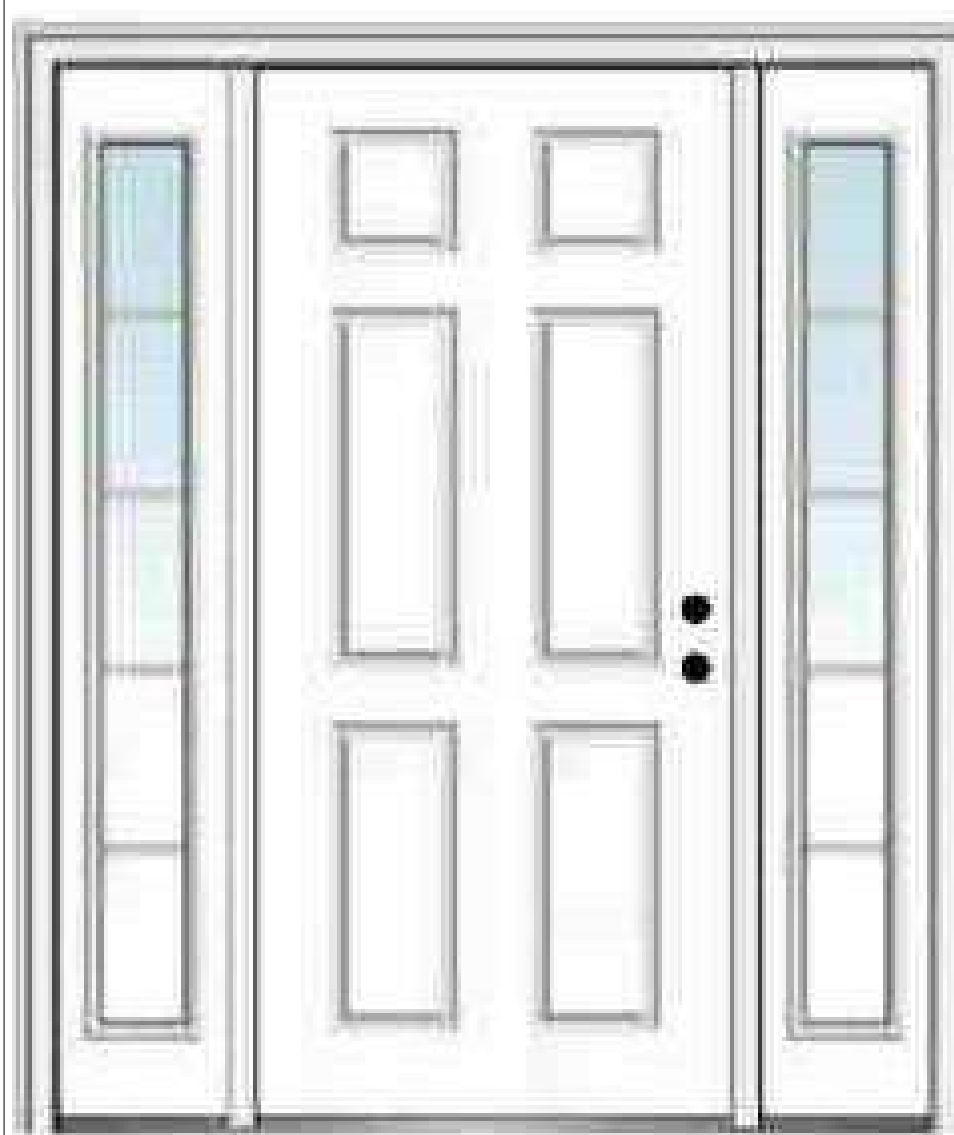
9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

**UNIT A.1 CRAFTSMAN STYLE
ELEVATIONS**

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
2 - A.1	
Scale	1/4" = 1'-0"



SIMONTON Daylight Max Single Hung Vinyl Windows



MMI DOOR 60-in x 80-in Fiberglass Page6



**PlyGem 4-Board Closed Board
and Batten Shutters Pair in Gray**



Lite Stone Shadow Grey Faux



1 A-1 3D

WHITE
 **52**



GREY RIVER ROCK
 **HDC-SM16-02**



Classic Collection 16 ft. x 7 ft. Non-Insulated Solid White Garage Door



SIDING



GOLDEN EAGLE 199 CHARCOAL RANGE

[illegible]

9 NEW HOMES W/ ADU
 Segura Family Trust & Oceano Investment LLC.

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.1 COLOR BOARD & MATERIALS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
3 - A.1	
Scale	

- residential
- desing
- patios & decks
909)210.8669

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-Residencial Design-

- remodeling
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909)210.8669

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINSH	THICKNESS	FINISH
					COMMENTS
6068	6'-0" x 6'-8"	TEMP GLASS	PF	1 3/4"	
3068	3'-0" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2868	2'-8" x 6'-8"	SC	PF	1 3/4"	ALL EXTERIOR TO BE SC
2668	2'-6" x 6'-8"	HC	PF	1 3/4"	
2068	2'-0" x 6'-8"	HC	PF	1 3/4"	
5068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR
6068	6'-0" x 6'-8"	HC	PF	1 3/4"	CLOSET DOOR

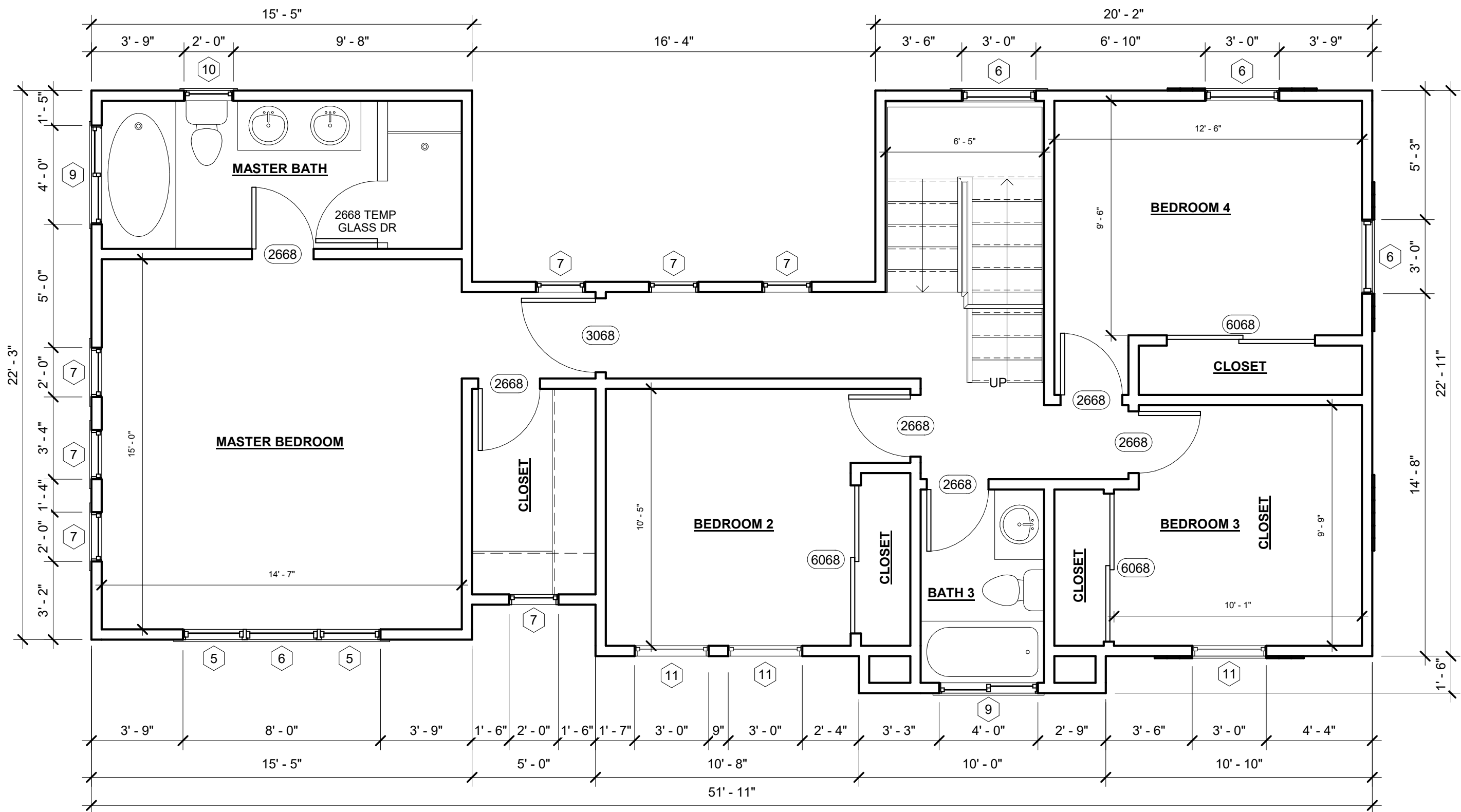
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WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINISH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
1	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
2	2'-6" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.32	.25	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.32	.25	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
10	2'-0" x 3'-0"	SLIDING -VINYL	PF	1 3/4"	.32	.25	NFRC	
11	3'-0" x 4'-6"	ARCH SINGLE HUNG-VINYL	PF	1 3/4"	.32	.25	NFRC	

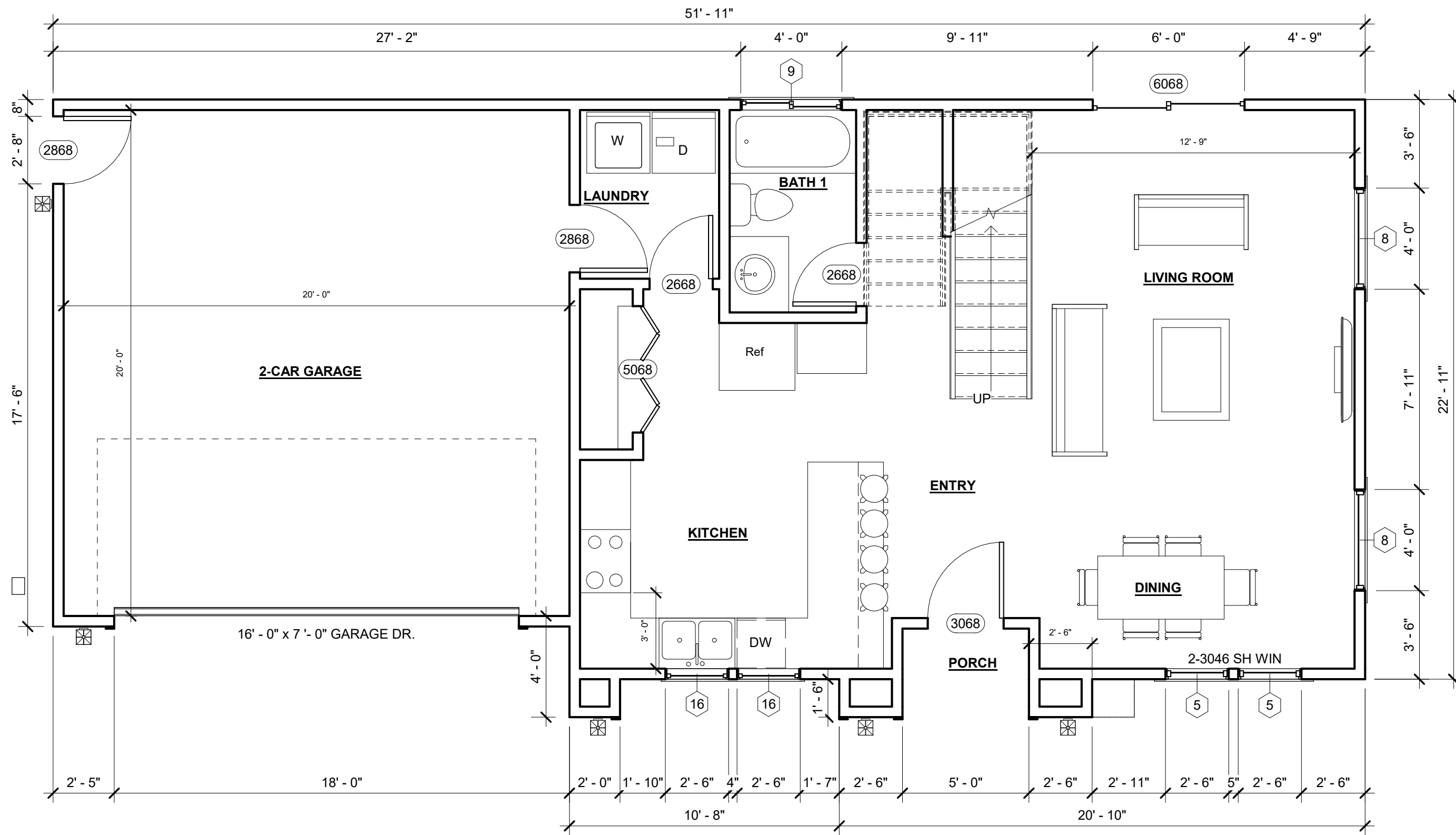
ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

④ WINDOW SCHEDULE A.2
12" = 1'-0"

- NEW STUD WALL
 - (E) FENCE WALL
 - 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
 - S - 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
 - (E) - EXISTING
 - (N) - NEW
 - 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
 - INCANDESCENT LIGHT FIXTURE WITH MOTION SENSOR
 - 20- FLUORESCENT LIGHT FIXTURE
 - 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
 - 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
 - FLUORESCENT CAN LIGHT FIXTURE
 - INCANDESCENT CAN LIGHT FICTURE
 - 2- CARBON MONOXIDE ALARM
- ③ LEGEND A.2
1 : 1



① A.2 - 2ND FLOOR
1/4" = 1'-0"



② A.2 - 1ST FLOOR
1/4" = 1'-0"

OJ²M

- Residential Design-

- remodeling
- custom homes
- additions

- residential
- desing
- patios & decks

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No.	Description	Date

9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.2 MEDITERRANEAN STYLE 1ST
& 2ND FLOOR PLAN

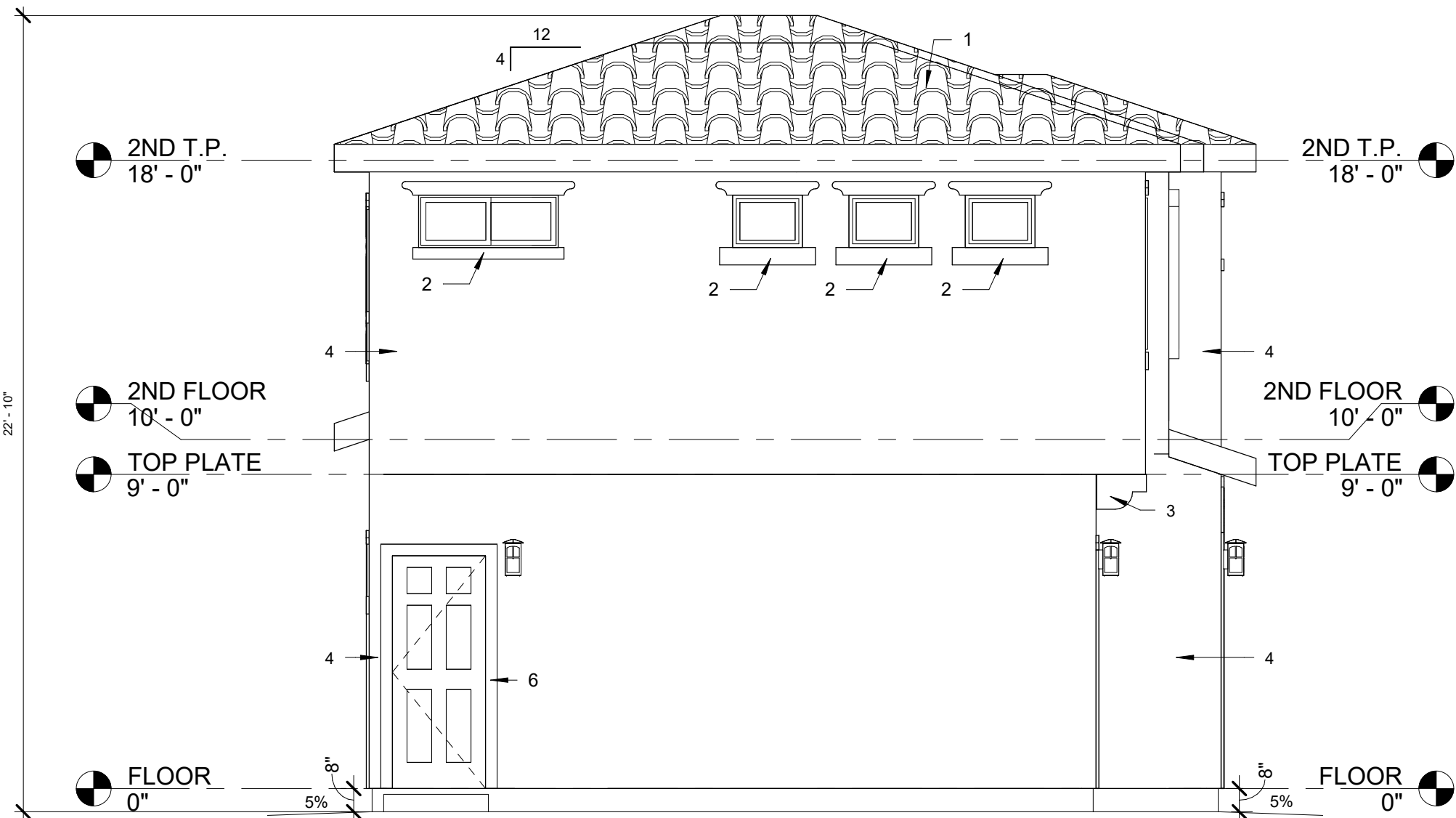
Project number	HOMES2017
Date	2-4-2017
Drawn by	OJM
Checked by	OJM

4 - A.2

Scale As indicated



1 A.2 FRONT ELEVATION
1/4" = 1'-0"



2 A.2 LEFT ELEVATION
1/4" = 1'-0"

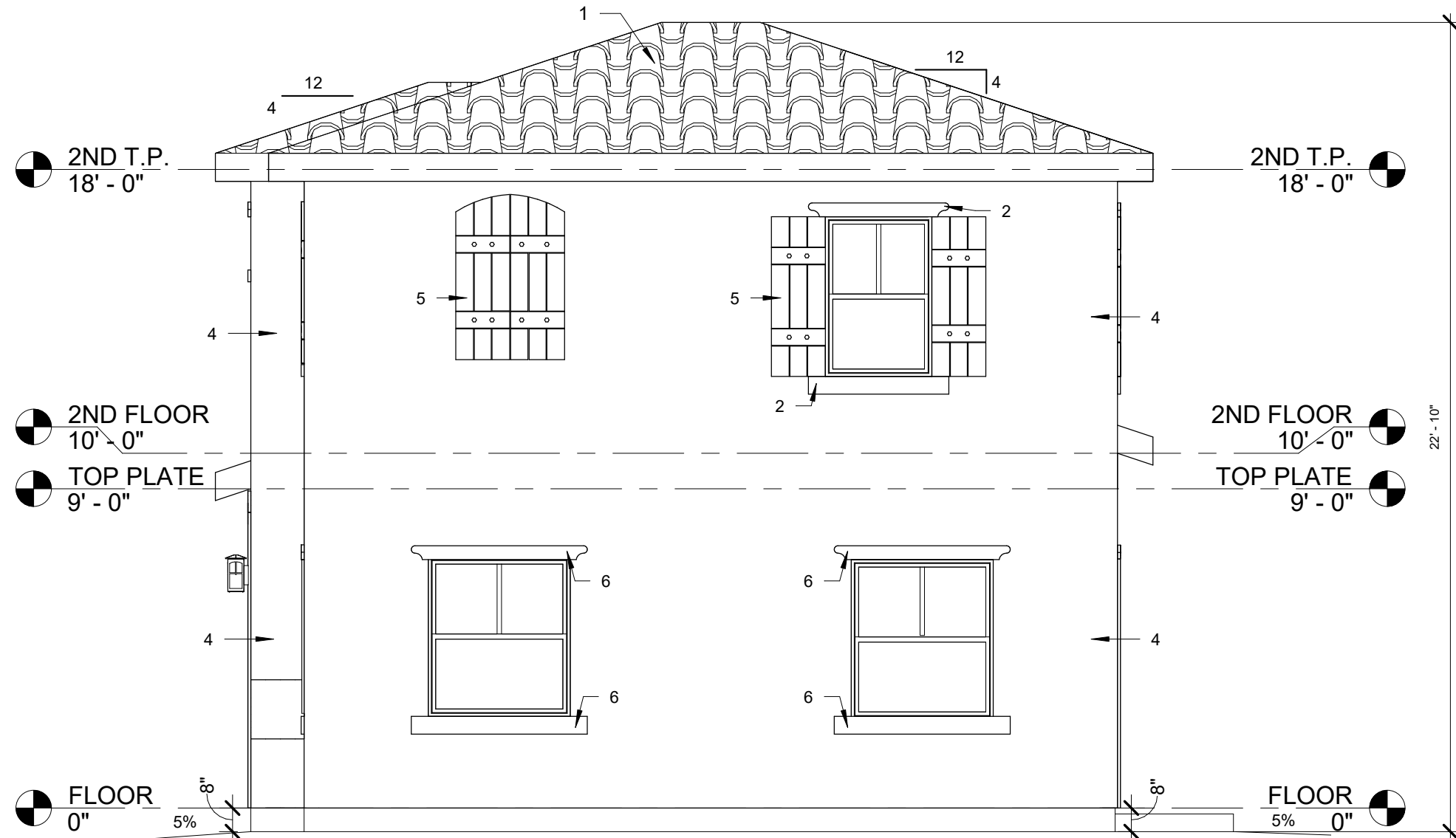
KEY NOTES

1. CAPISTRANO S STYLE TILE ROOF
2. STUCCO TRIMS
3. 8" W. STUCCO CORBELS
4. LA HABRA FALL BROOK SAND FINISH STUCCO
5. PRE-FAB WOOD FINISH PLANSTIC SHUTTERS
6. WOOD TRIMS

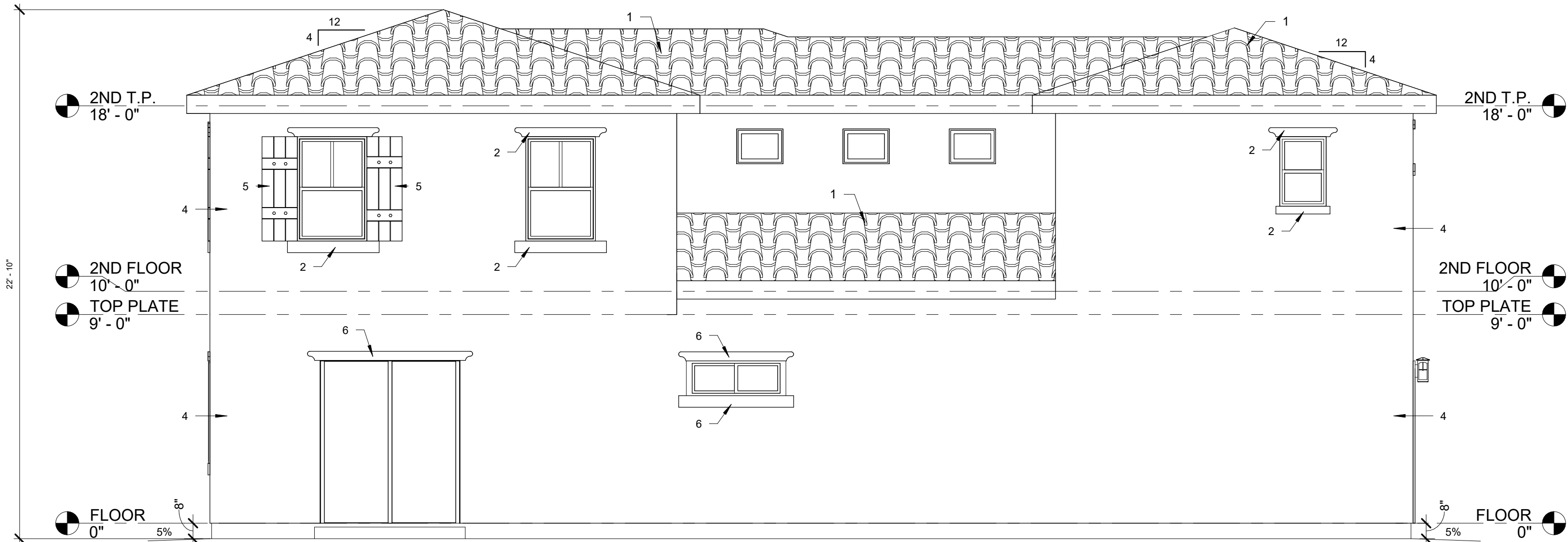
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NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE
WITH MANUFACTURER'S SPECIFICATIONS

STUCCO NOTES
(N) STUCCO SHALL BE 7/8 INCHES AN APPLIED WITH THREE-COAT
APPLICATIONPER CBC 2508.1. AND INSTALL IN ACCORDANCE WITH
CHAPTER 25 ON THE CBC. STUCCO IS APPLIED OVER WOOD BASE
SHEATHING TWO LAYERS OF D PAPER SHALL BE APPLIED.
A MINIMUM No. 26 GAGECORROSION-RESISTANT WEEP SCREED
SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE
LINEON ALL EXTERIORS STUD WALLSTHE SCREED SHALL BE
PLACE A MINIMUM OF 4" INCHES ABOVE THE EARTH OR 2" INCHES
ABOVE PAVE AREAS.



3 A.2 RIGHT ELEVATION
1/4" = 1'-0"



5 A.2 REAR ELEVATION
1/4" = 1'-0"

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Residential Design

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No.	Description	Date

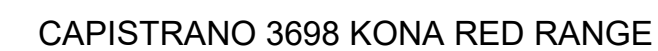
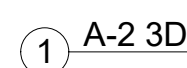
9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.2 MEDITERRANEAN STYLE
ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	OMAR MARROQUIN
Checked by	O.J.M

5 - A.2

Scale 1/4" = 1'-0"



9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.

UNIT A.2 COLOR BOARD & MATERIALS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
6 - A.2	
Scale	

- remodeling
 - custom homes
 - additions
 - residential
 - desing
 - patios & decks

O.J.M.
 -Residential Design-

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINISH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
1	3'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
2	2'-6" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.30	.23	NFRC	
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC	
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.30	.23	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC	
10	2'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
11	3'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
12	4'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	

ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

- NEW STUD WALL
- (E) FENCE WALL
- ⌀

- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- S

- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- (E)

- EXISTING
- (N)

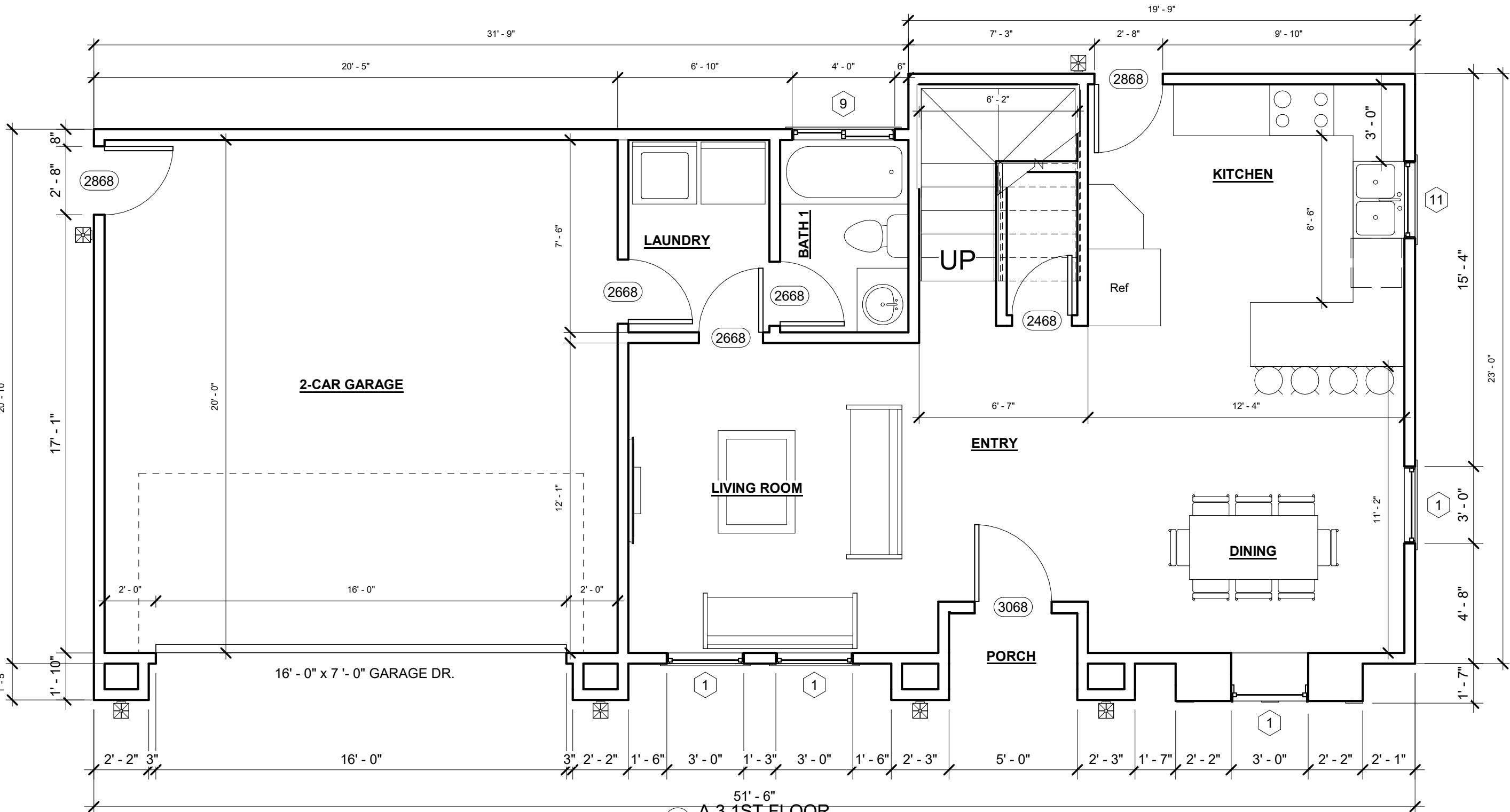
- NEW
- 1x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDESCENT LIGHT FIXTURE WITH MOTION SENSOR
- 20- FLUORESCENT LIGHT FIXTURE
- 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

3 LEGEND A.3
1 : 1

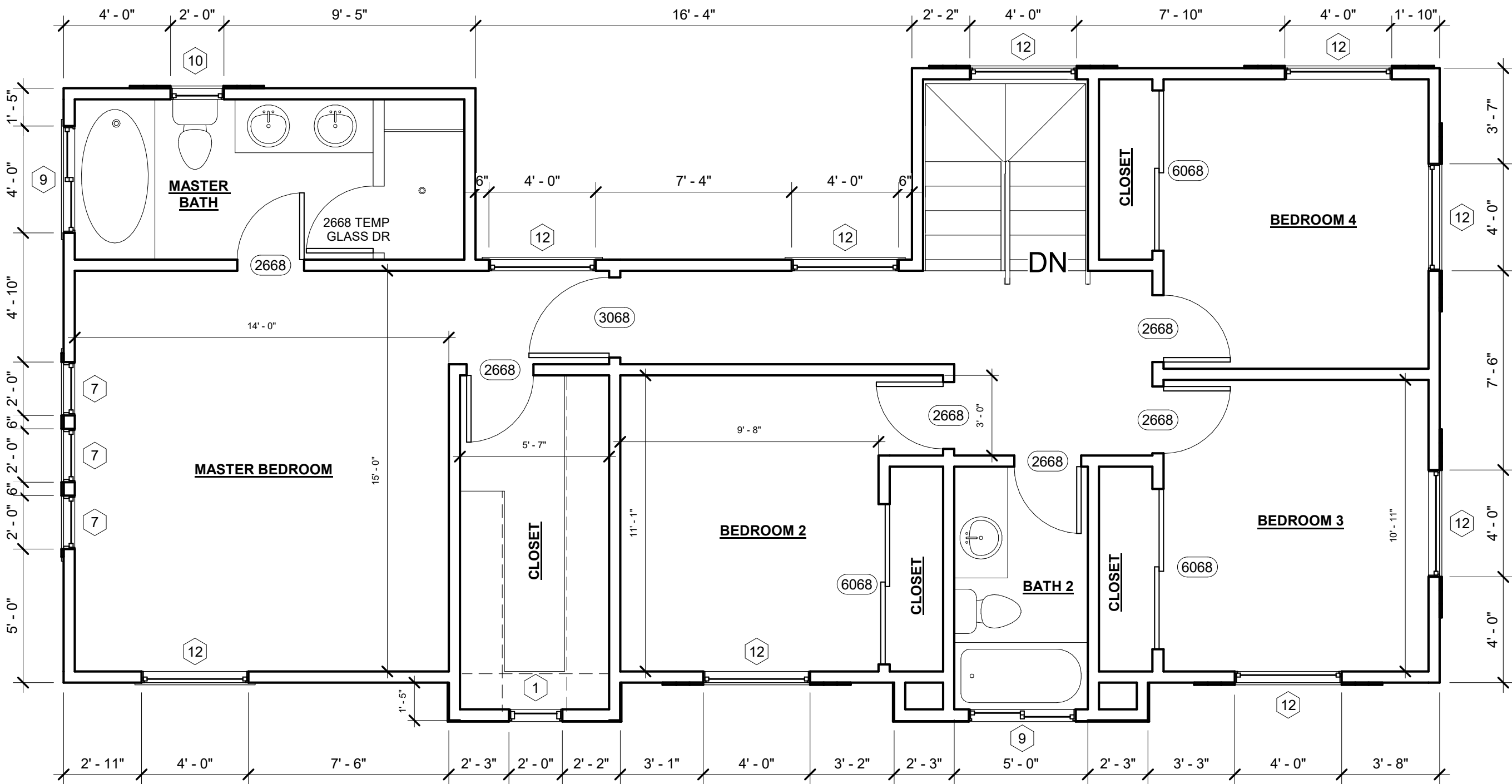
DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINISH	THICKNESS	FINISH COMMENTS

6070	6'-0"x7'-0"	TEMP GLASS	PF	1 3/4"	
5870	5'-8"x7'-0"	TEMP GLASS	PF	1 3/4"	
3070	3'-0"x7'-0"	SC	PF	1 3/4"	
2868	2'-8"x7'-0"	HC	PF	1 3/4"	
2668	2'-6"x7'-0"	HC	PF	1 3/4"	
2068	2'-0"x7'-0"	HC	PF	1 3/4"	

ABBREVIATIONS
HC = HOLLOW CORE
SC = SOLID CORE
PF = PREFINISHED
PS = PRESSED STEEL (TIMELY)



1 A.3 1ST FLOOR
1/4" = 1'-0"



2 A.3 - 2ND FLOOR
1/4" = 1'-0"

OJ³M

- remodeling
- custom homes
- additions

- residential
- desing
- patios & decks

- Residential Design-

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.3 CRAFTSMAN STYLE 1ST & 2ND FLOOR PLAN

Project number HOMES2017

Date 2-4-2017

Drawn by Author

Checked by Checker

7 - A.3

Scale

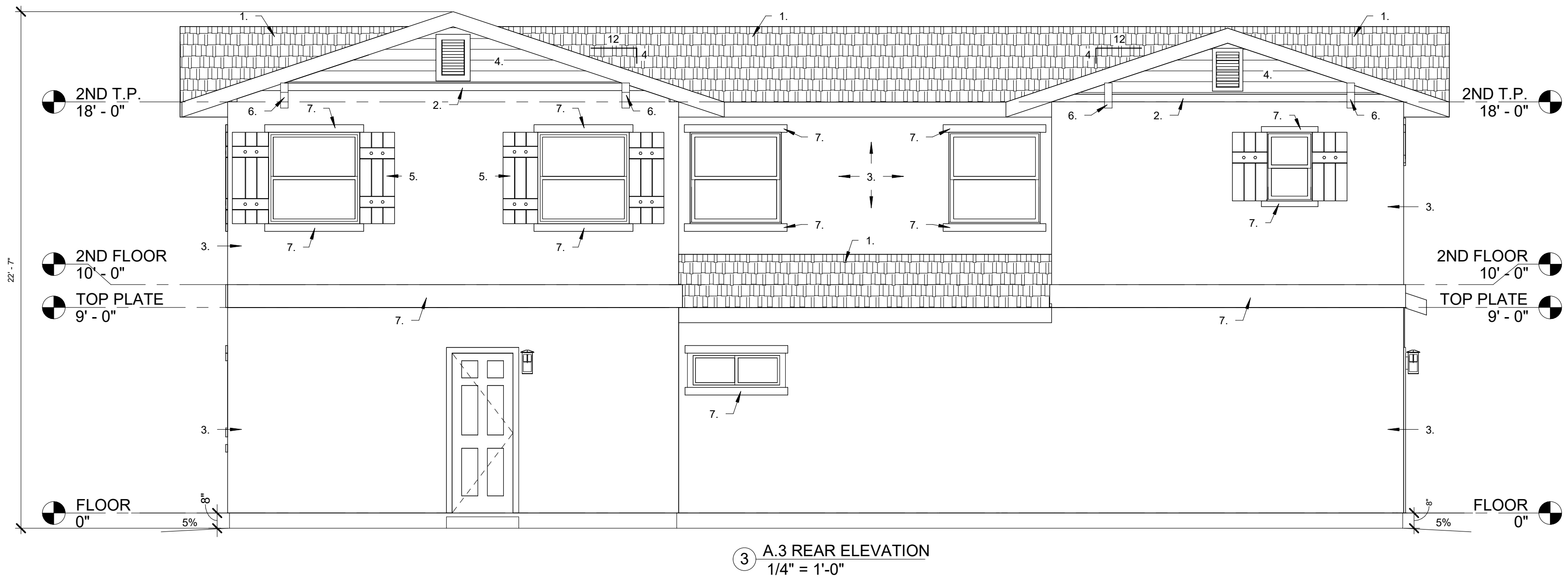
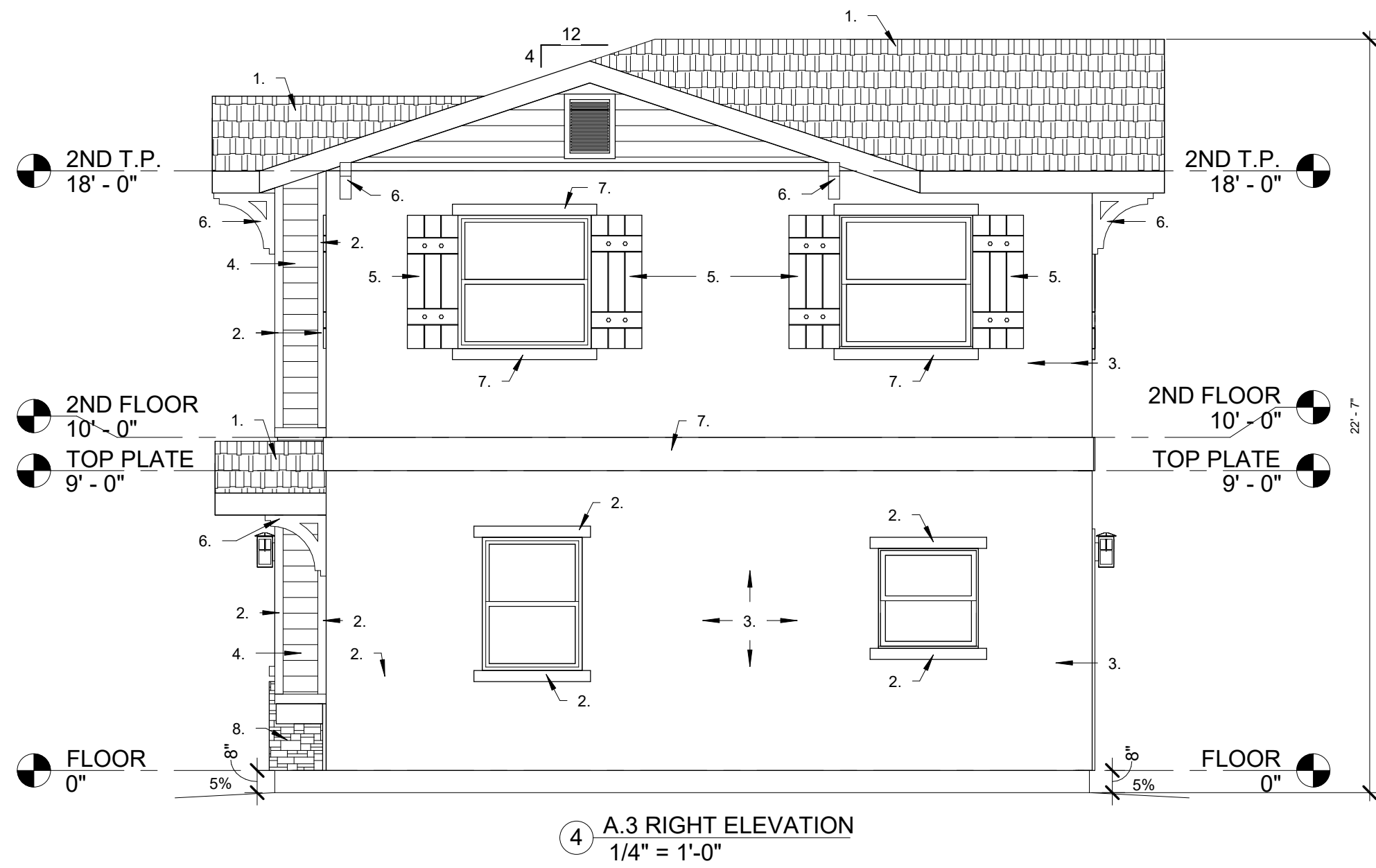
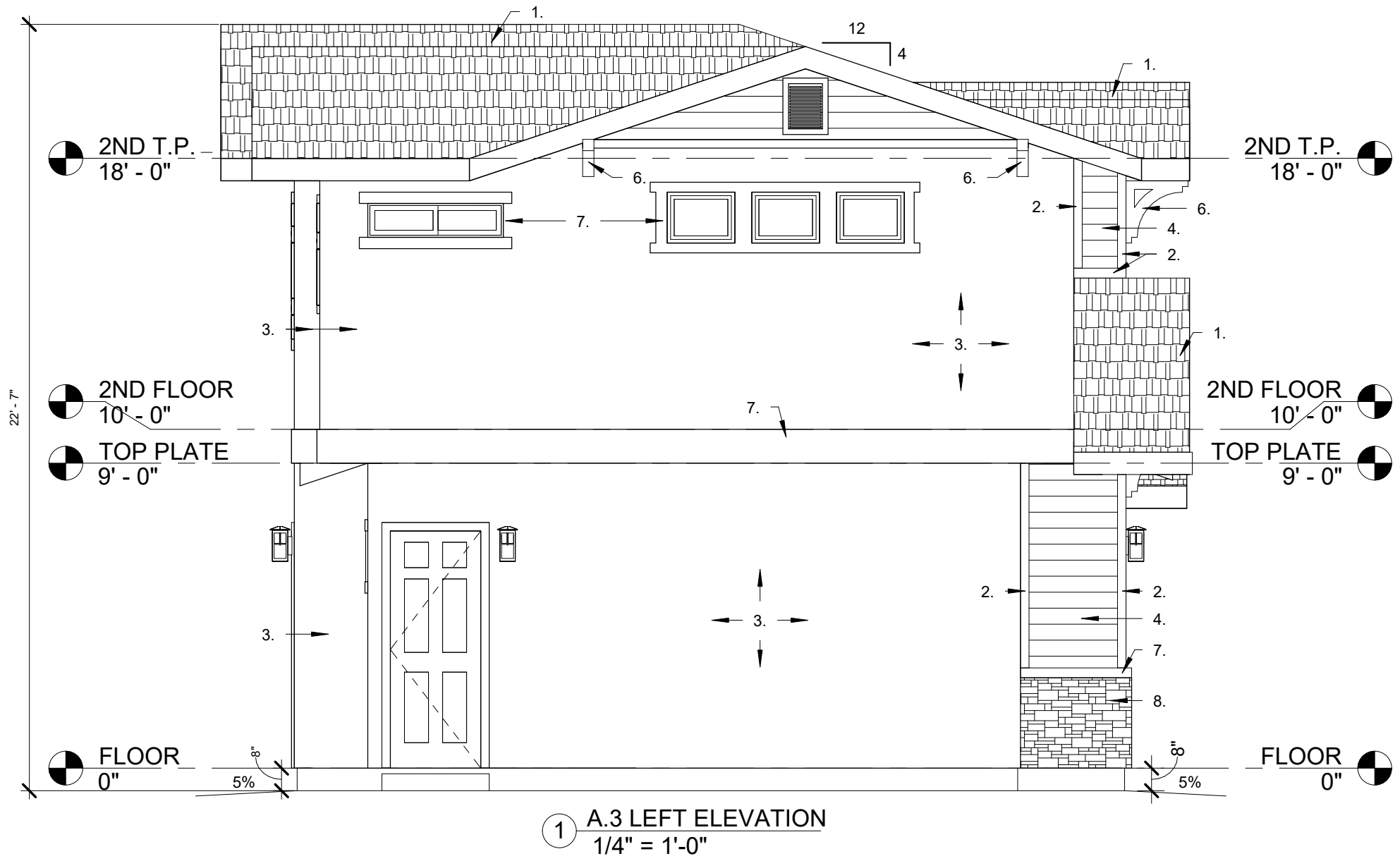
As indicated

NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

STUCCO NOTES
(N) STUCCO SHALL BE 7/8 INCHES AN APPLIED WITH THREE-COAT APPLICATIONPER CBC 2508.1. AND INSTALL IN ACCORDANCE WITH CHAPTER 25 ON THE CBC. STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF D PAPER SHALL BE APPLIED A MINIMUM No. 26 GAGECORROSION-RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINEON ALL EXTERIORS STUD WALLSTHE SCREED SHALL BE PLACE A MINIMUM OF 4" INCHES ABOVE THE EARTH OR 2" INCHES ABOVE PAVE AREAS.



- KEY NOTES**
1. GOLDEN EAGLE 199 CHARCOAL RANGE GRAY ROOF TILE
 2. WOOD TRIMS (ON SIDING)
 3. LA HABRA FALL BROOK SAND FINISH STUCCO
 4. JAMES HARDIE 6" EXPOSED WOOD GRAINSIDING TYP.
 5. PRE-FAB WOOD FINISH PLASTIC SHUTTERS
 6. 6x6 WOOD DECORATIVE BRACE
 7. STUCCO TRIM
 8. STACKED STONE LOOK TILES
 9. 8x8 DECORATIVE WOOD BEAMS



O.J.M.
Residential Design

- remodeling
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1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

UNIT A.3 CRAFTSMAN STYLE
ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
8 - A3	
Scale	1/4" = 1'-0"



PROPOSED LIGHTING



SIMONTON Daylight Max
Single Hung Vinyl Windows



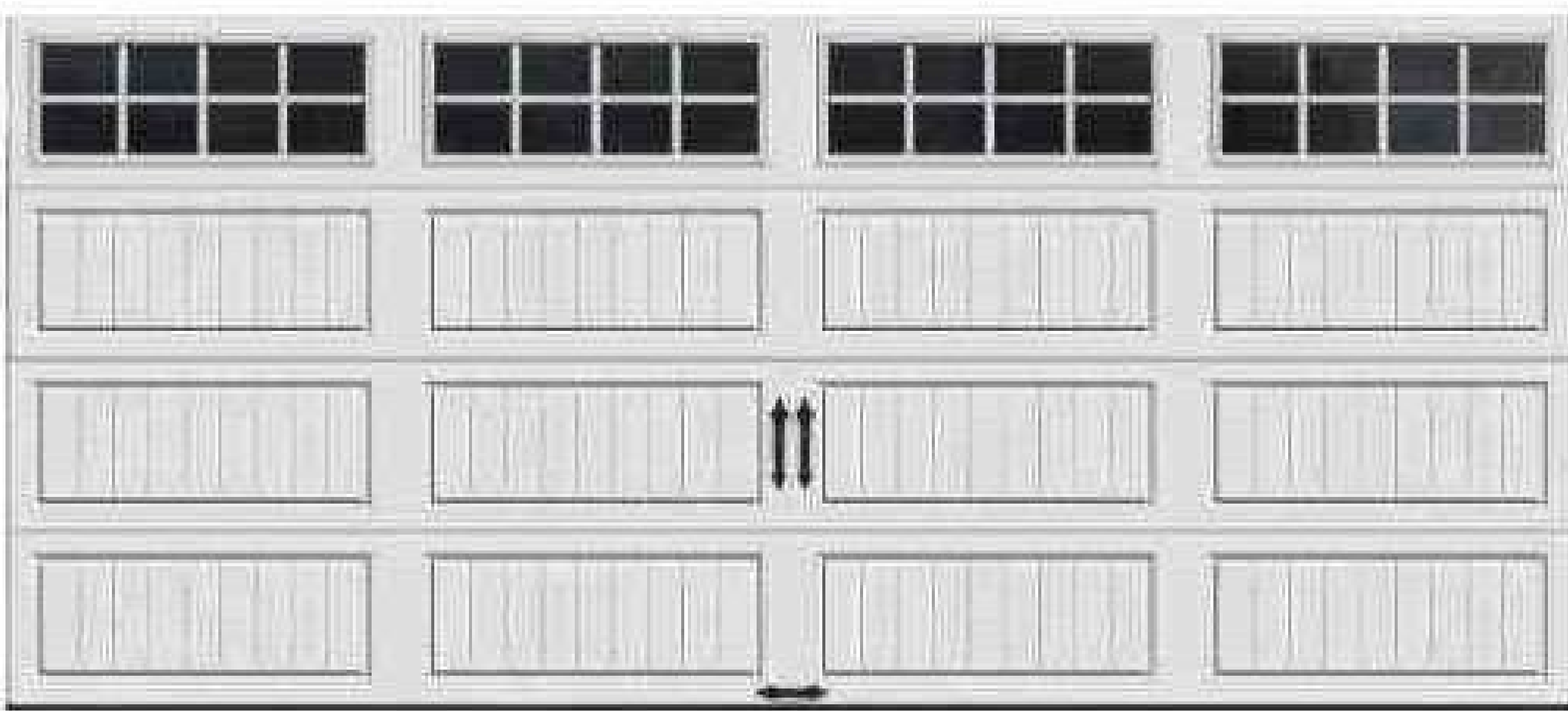
Masonite 36 in. x 80 in



Ply Gem Polypropylene White



Lite Stone Shadow Grey Faux



Classic Collection 16 ft. x 7 ft. Non-Insulated Solid White Garage Door



1 A-3 3D



JOJOBA
N390-3



WHITE STONE
DC-012



SIDING COLOR WHITE

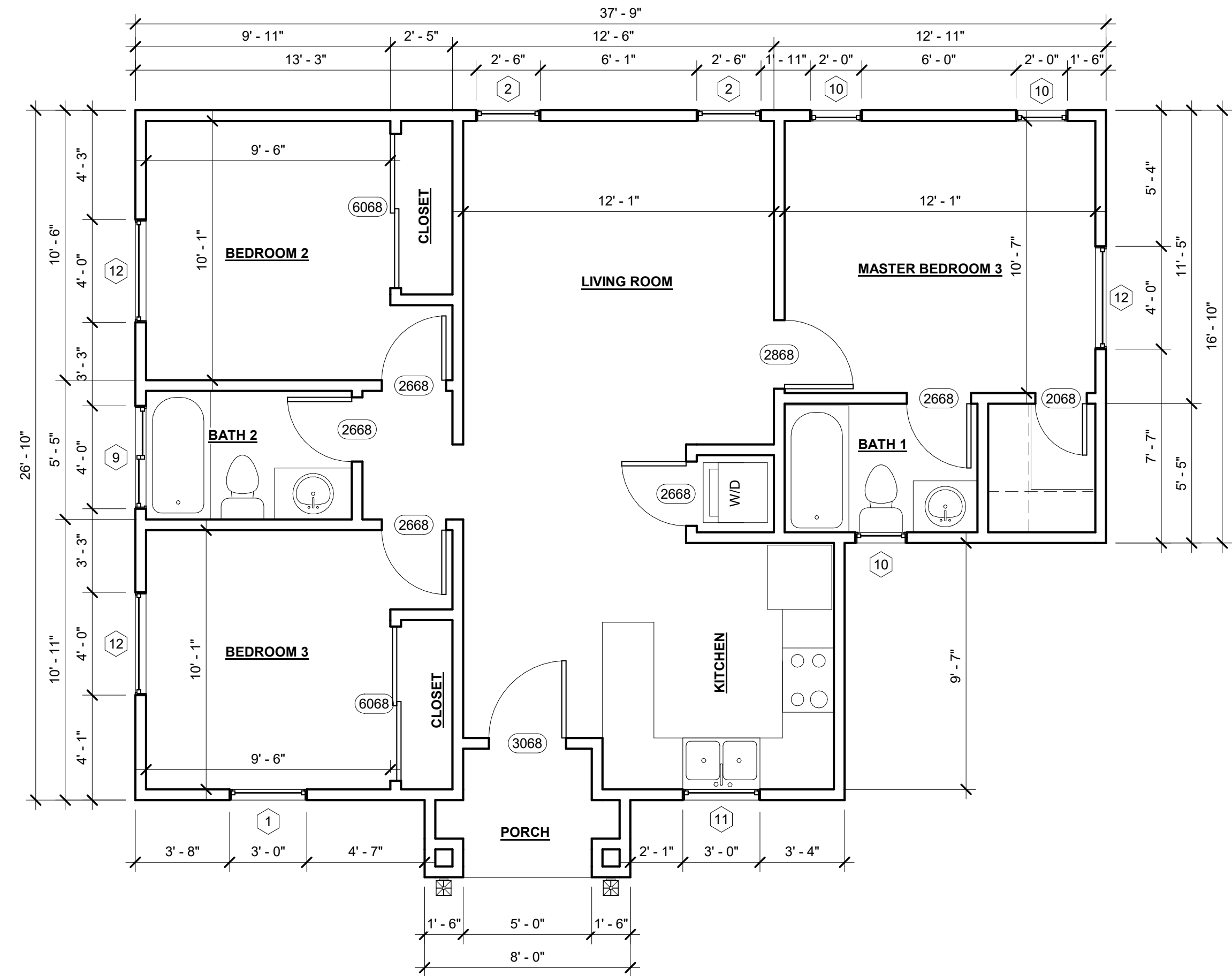


GOLDEN EAGLE 199 CHARCOAL RANGE

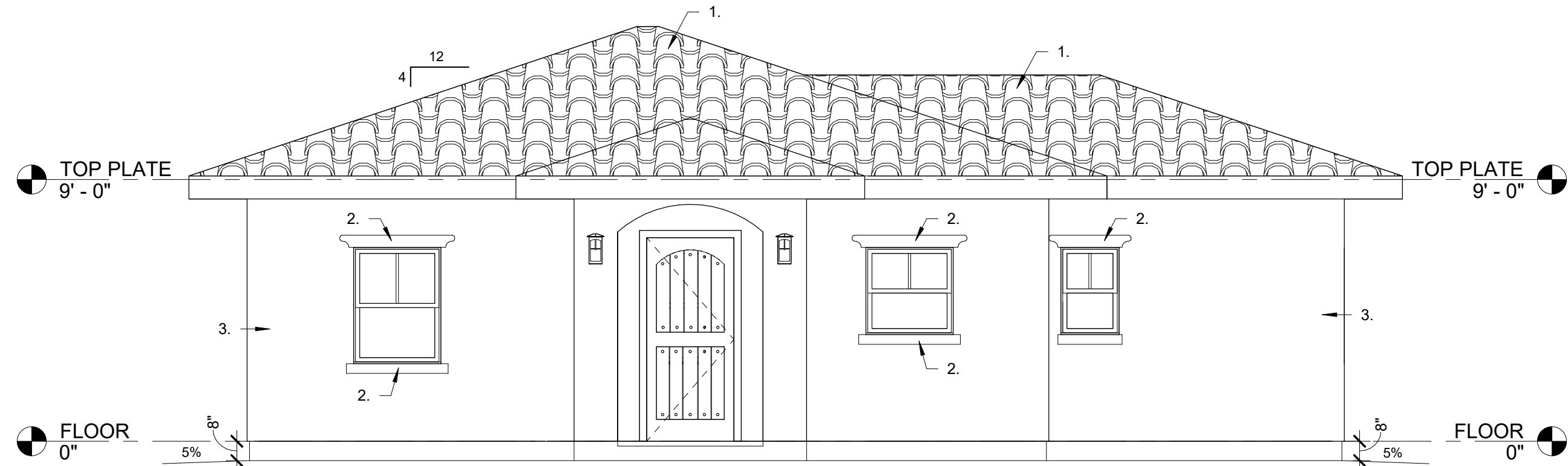
O.J.M.
-Residential Design-
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- patios & decks
1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

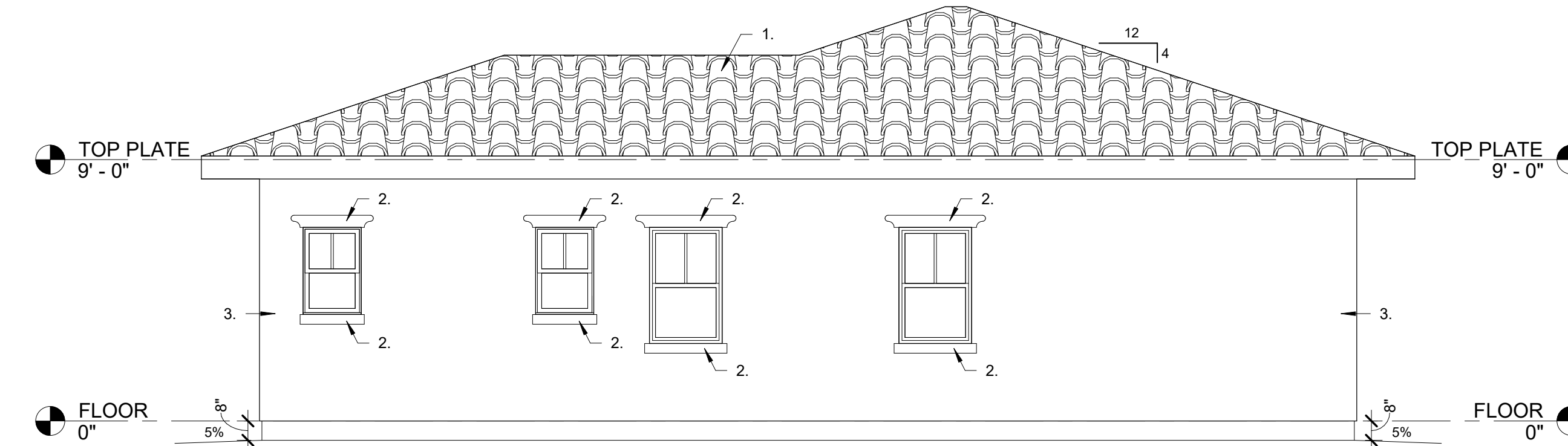
9 NEW HOMES W/ ADU Segura Family Trust & Oceano Investment LLC. 9320 Oleander Ave Fontana CA 92335	
UNIT A.3 COLOR BOARD & MATERIALS	
Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker
9 - A-3	
Scale	



1 ADU B.1 MEDITERRANEAN
1/4" = 1'-0"



2 ADU B.1 SOUTH (FRONT) ELEVATION
1/4" = 1'-0"



5 ADU B.1 NORTH (LEFT) ELEVATION
1/4" = 1'-0"

ADU - 1 KEY NOTES

1. CAPISTRANO S STYLE TILE ROOF
2. WOOD TRIMS
3. LA HABRA FALL BROOK SAND FINISH STUCCO

- NEW STUD WALL
- (E) FENCE WALL
- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- EXISTING
- NEW
- 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
- INCANDENENT LIGHT FIXTURE WITH MOTION SENSOR
- 20- FLUORESCENT LIGHT FIXTURE
- 3- EXHAUST FAN TO PROVIDE 50 C.F.M. SWITCH TO LIGHT, VENT THROUGH ROOF
- 7- SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP
- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

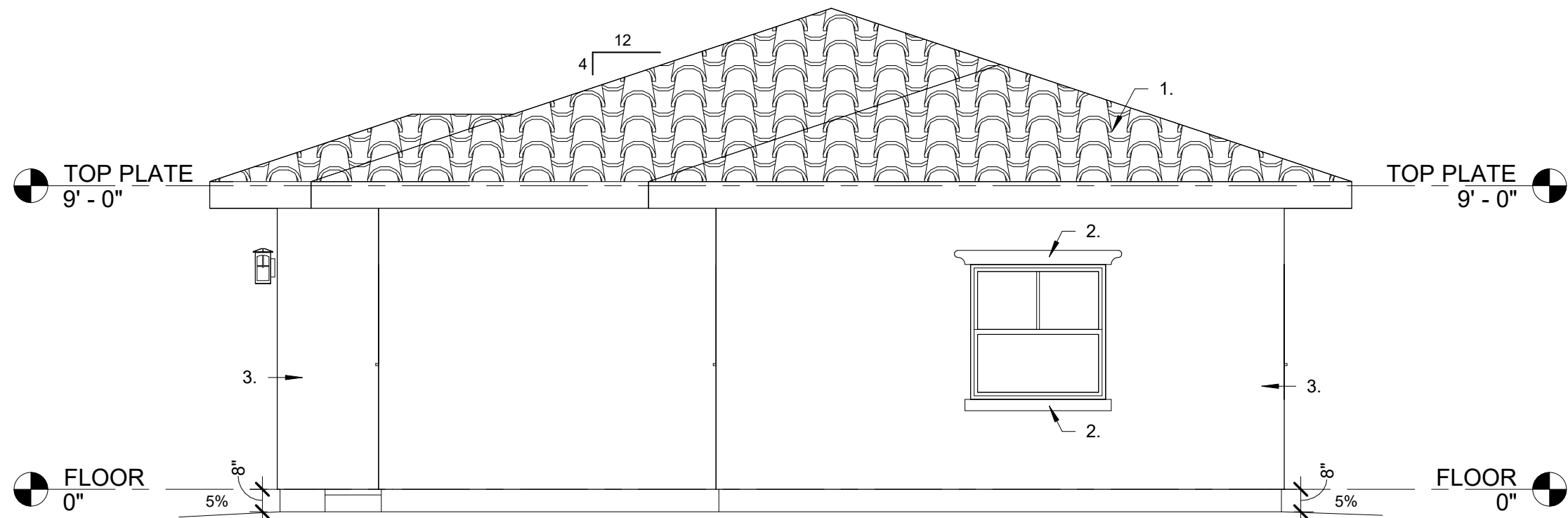
3 LEGEND ADU 1
1: 1

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINSH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
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7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.30	.23	NFRC	
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
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11	3'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	
12	4'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC	

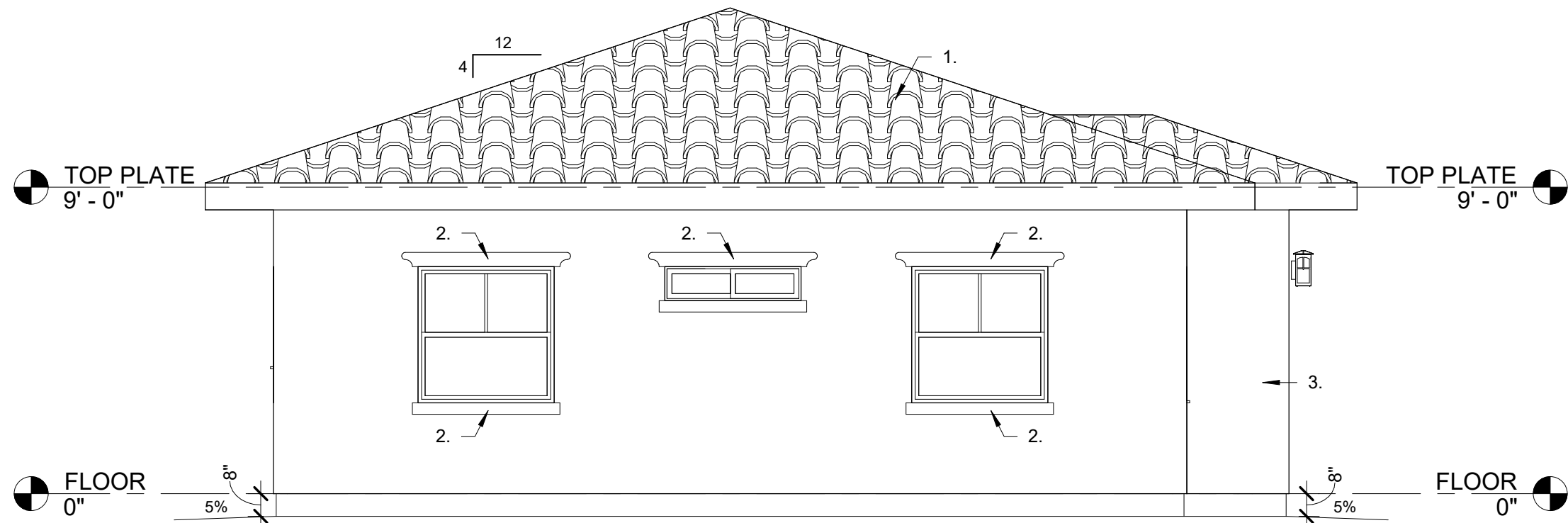
ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINSH	THICKNESS	FINISH COMMENTS
6070	6'-0"x7'-0"	TEMP GLASS	PF	1 3/4"	
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2068	2'-0"x7'-0"	HC	PF	1 3/4"	

ABBREVIATIONS
HC = HOLLOW CORE
SC = SOLID CORE
PF = PREFINISHED
PS = PRESSED STEEL (TIMELY)



4 ADU B.1 EAST (RIGHT) ELEVATION
1/4" = 1'-0"



6 ADU B.1 WEST (LEFT) ELEVATION
1/4" = 1'-0"

- residential
- desing
- patios & decks

OJ²M
-Residential Design-

- remodeling
- custom homes
- additions

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

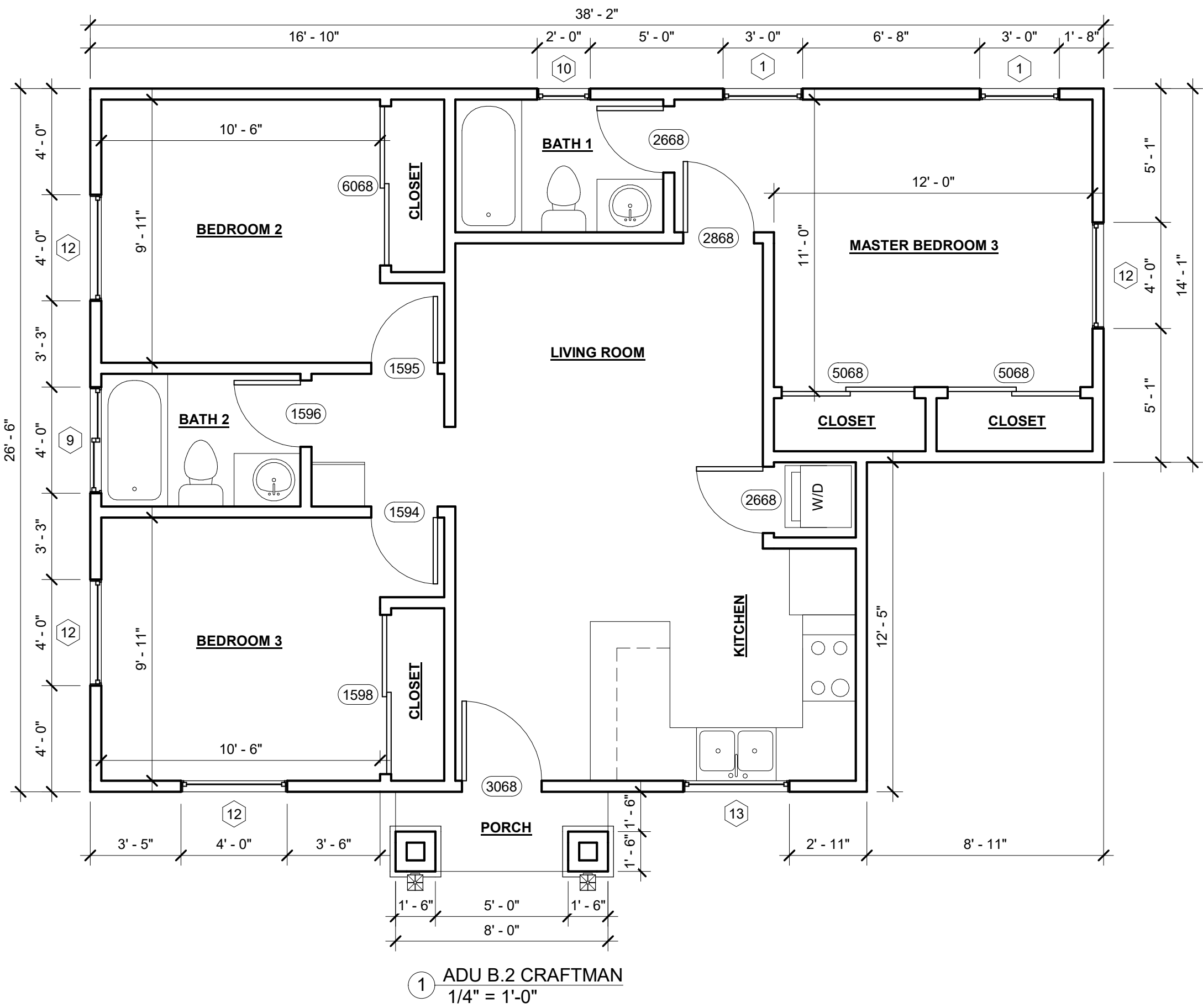
9 NEW HOMES W/ ADU
Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

ADU FLOOR PLAN & ELEVATIONS

Project number	HOMES2017
Date	2-4-2017
Drawn by	Author
Checked by	Checker

10 - ADU 1

Scale As indicated



- NEW STUD WALL
- (E) FENCE WALL
- 23- 110V DUPLEX RECEPTACLE AT +15 A.F.F.
- 10- LIGHT SWITCH PER CA. T-24 AT 36" TO 48" A.F.F.
- EXISTING
- NEW
- 1'x4' FLUORESCENT FIXTURES W/ 2-40W TUBES
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- FLUORESCENT CAN LIGHT FIXTURE
- INCANDESCENT CAN LIGHT FICTURE
- 2- CARBON MONOXIDE ALARM

LEGEND ADU 2
1 : 1

DOOR SCHEDULE					
DOOR NUMBER	DOOR SIZE	MATERIAL	FINISH	THICKNESS	FINISH
					COMMENTS
6070	6'-0"x7'-0"	TEMP GLASS	PF	1 3/4"	
5870	5'-8"x7'-0"	TEMP GLASS	PF	1 3/4"	
3070	3'-0"x7'-0"	SC	PF	1 3/4"	
2868	2'-8"x7'-0"	HC	PF	1 3/4"	
2668	2'-6"x7'-0"	HC	PF	1 3/4"	
2068	2'-0"x7'-0"	HC	PF	1 3/4"	

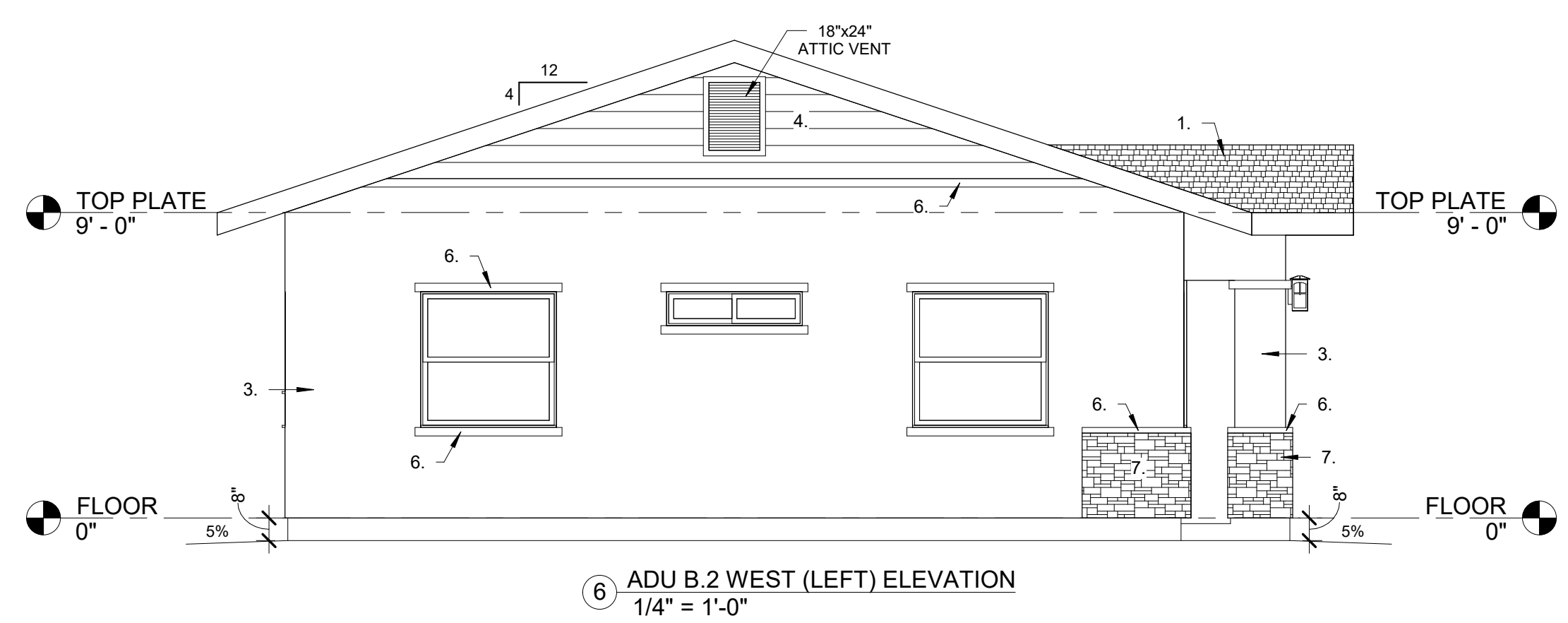
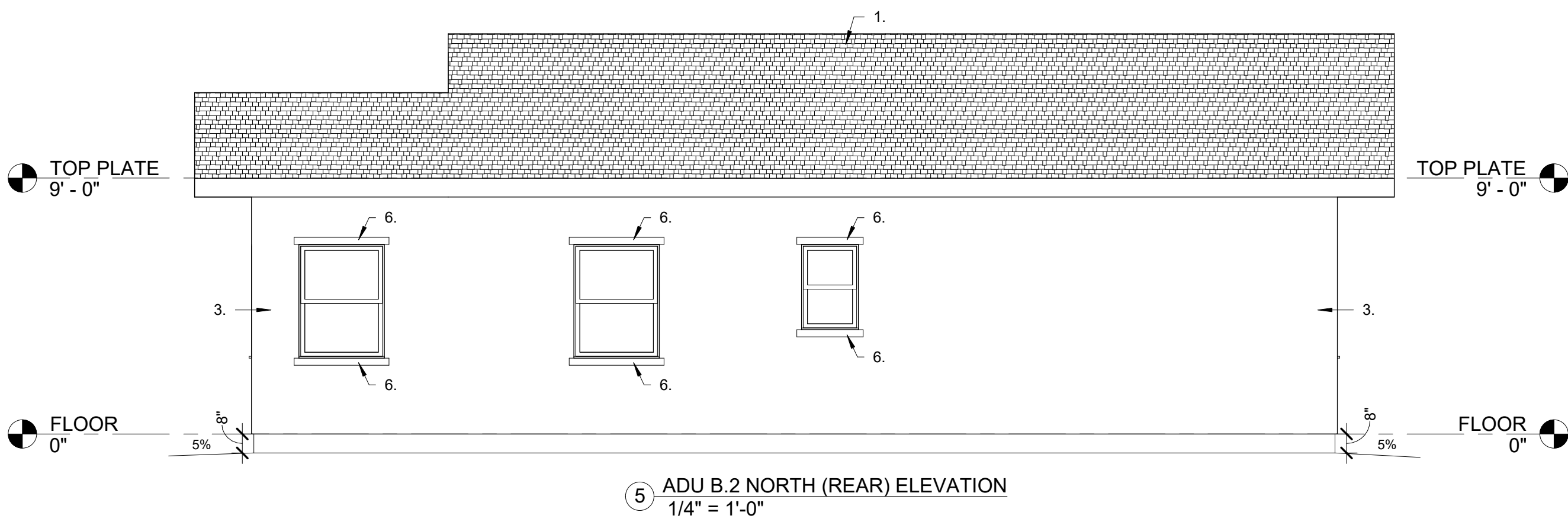
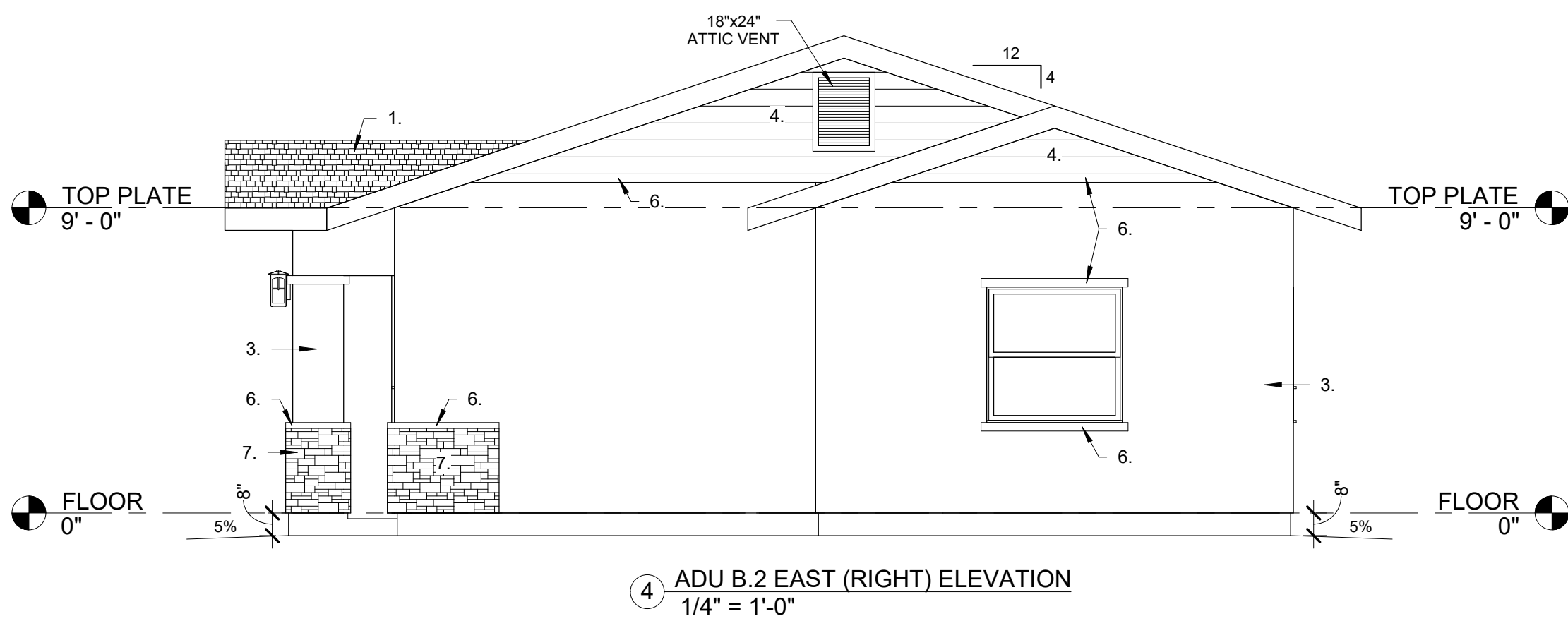
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PF = PREFINISHED
PS = PRESSED STEEL (TIMELY)

WINDOW SCHEDULE									
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3	1'-4" x 7'-0"	FIX SIDE LIGHT	PF	1 3/4"	.30	.23	NFRC		
4	4'-0" x 3'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC		
5	2'-6" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
6	3'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
7	2'-0" x 1'-6"	FIX-VINYL	PF	1 3/4"	.30	.23	NFRC		
8	4'-0" x 4'-6"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
9	4'-0" x 1'-6"	SLIDING -VINYL	PF	1 3/4"	.30	.23	NFRC		
10	2'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
11	3'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
12	4'-0" x 4'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		
13	4'-0" x 3'-0"	SINGLE HUNG-VINYL	PF	1 3/4"	.30	.23	NFRC		

ABBREVIATIONS
SL = SLIDING
DH = DOUBLE HUNG
PF = PREFINISHED

WINDOW SCHEDULE A1
12" = 1'-0"

- ADU - 2 KEY NOTES
- 199 CHARCOAL RANGE GRAY ROOF TILE
 - WOOD TRIMS (ON SIDING)
 - LA HABRA FALL BROOK SAND FINISH STUCCO
 - JAMES HARDIE 6" EXPOSED WOOD GRAINSIDING TYP.
 - PRE-FAB WOOD FINISH PLANSTIC SHUTTERS
 - WOOD TRIM
 - STACKED STONE LOOK TILES



remodeling

custom homes

additions

OJ²M

Residential Design

residential

desing

patios & decks

1188 W. Marshall Blvd. San Bernardino Ca 91704
(909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

ADU FLOOR PLAN & ELEVATIONS

Project number

HOMES2017

Date

2-4-2017

Drawn by

Author

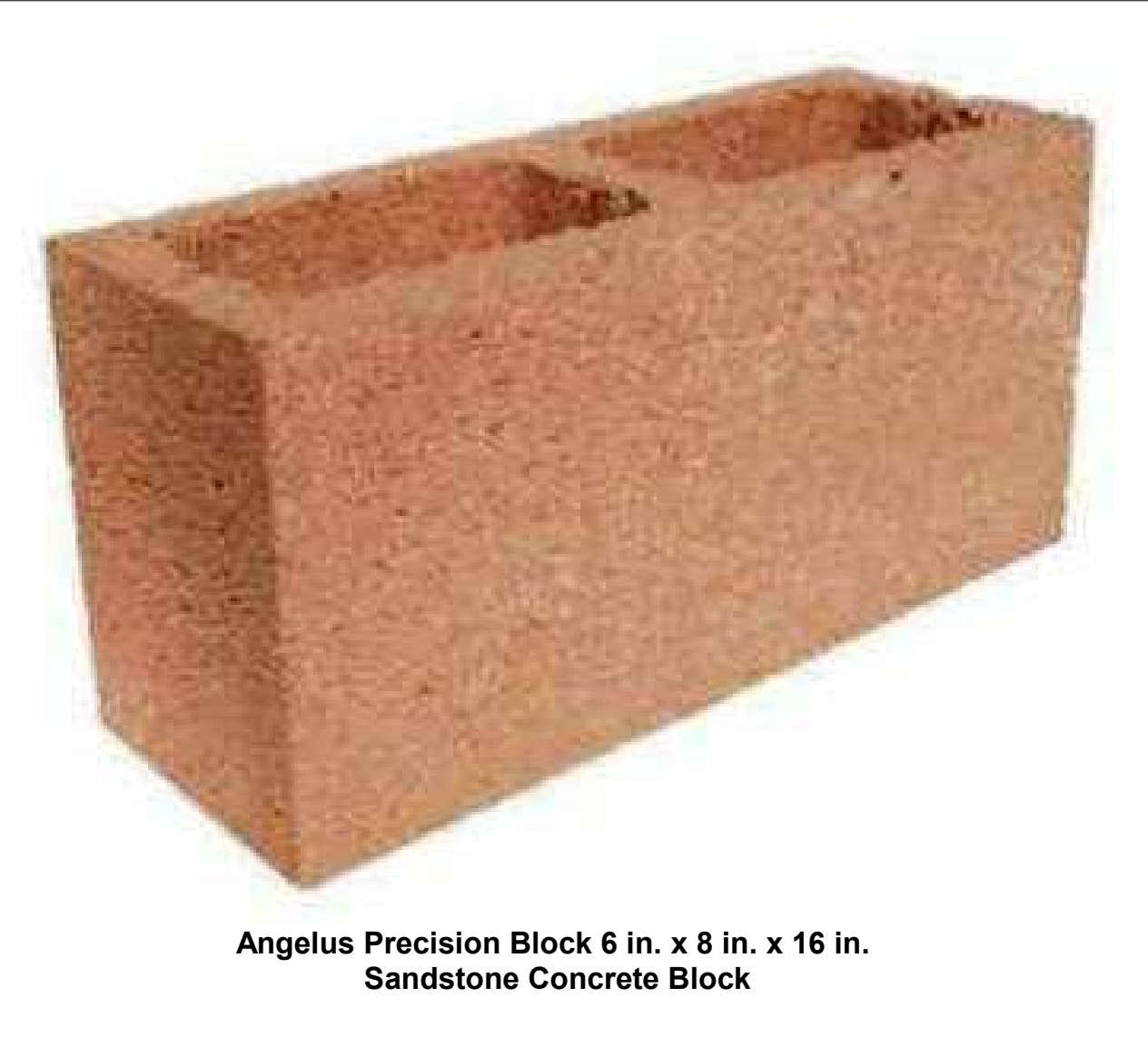
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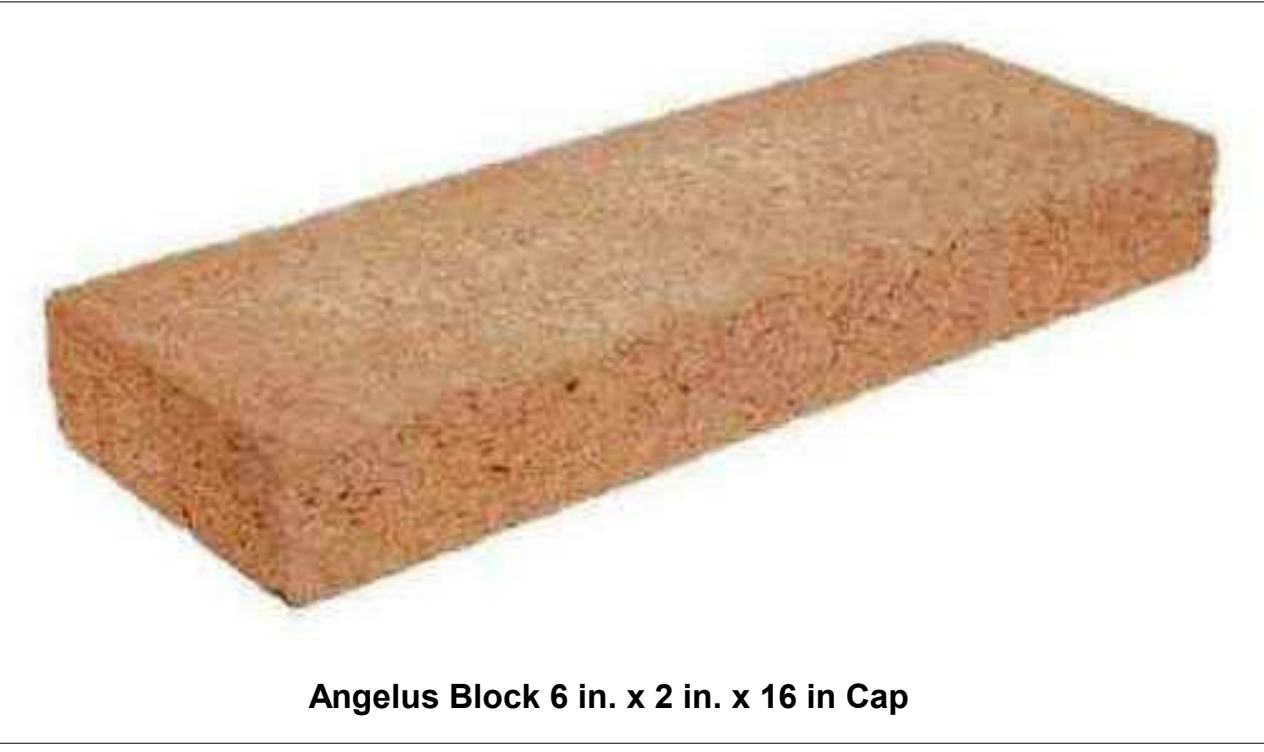
11 - ADU 2

Scale

As indicated



Angelus Precision Block 6 in. x 8 in. x 16 in.
Sandstone Concrete Block



Angelus Block 6 in. x 2 in. x 16 in Cap



6' Angelus Precision Block 6 in. x 2 in. x 16 in Wall



Side Gate

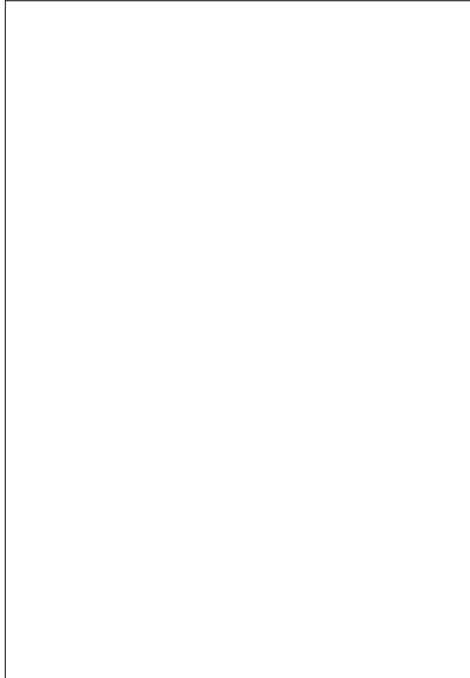
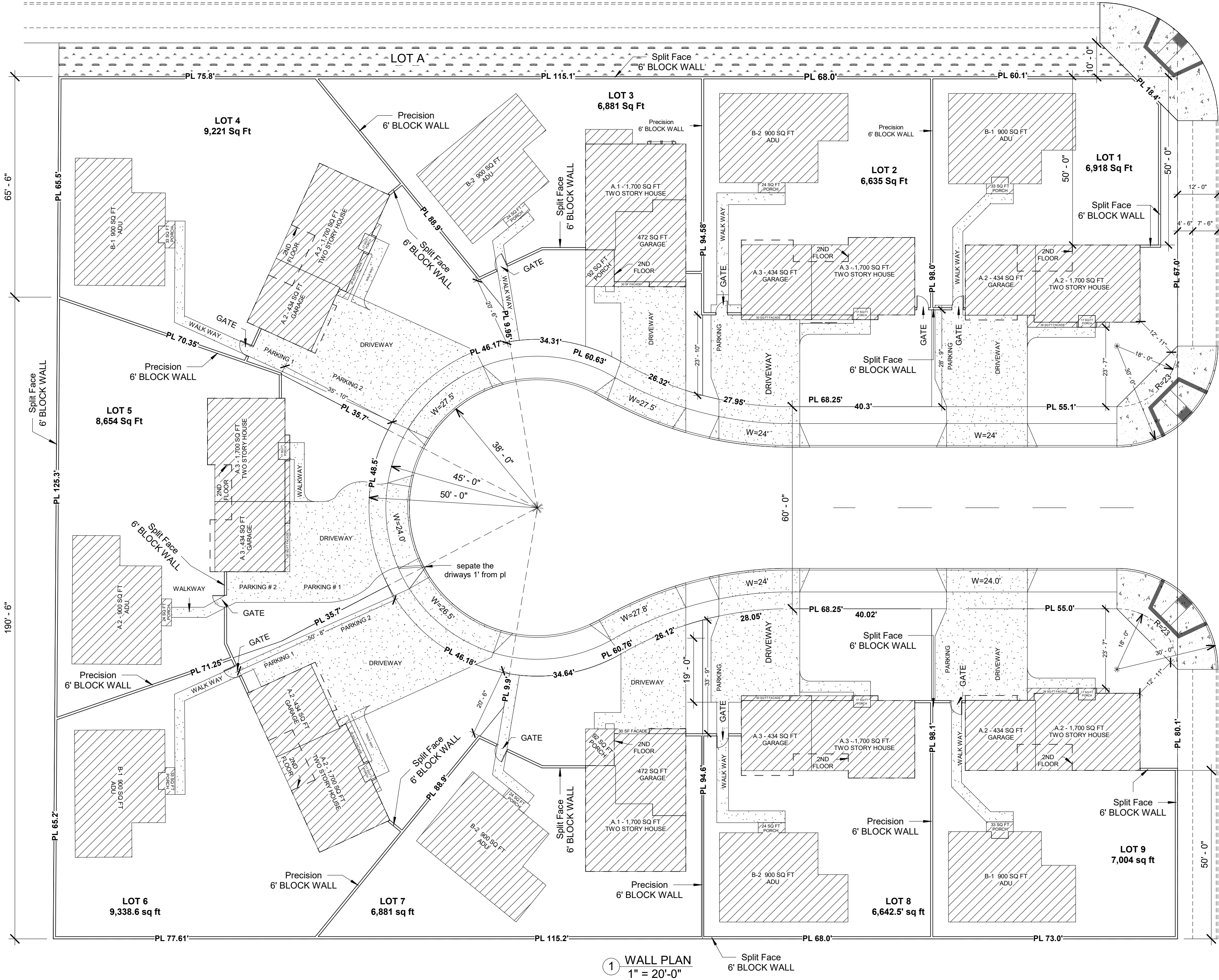
NOTE:
1. Angelus Precision Block to be install in the interior of the properties where is not visible from the street
2. Angelus Sandstone Split Face Concrete Block to be install around the property where is visible from the street



Angelus 6 in. x 8 in. x 16 in.
Sandstone Split Face Concrete Block



Angelus 6 in. x 8 in. x 16 in. Sandstone Split Face Concrete Block



OJMM

-Residential Design-

- remodeling
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- residential
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1188 W. Marshall Blvd. San Bernardino Ca 91706
(909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.
9320 Oleander Ave
Fontana CA 92335

WALL PLAN

Project number
Date
Drawn by
Checked by

HOMES2017
2-4-2017
OJM
OJM

12-WALL PLAN

Scale1" = 20'-0"

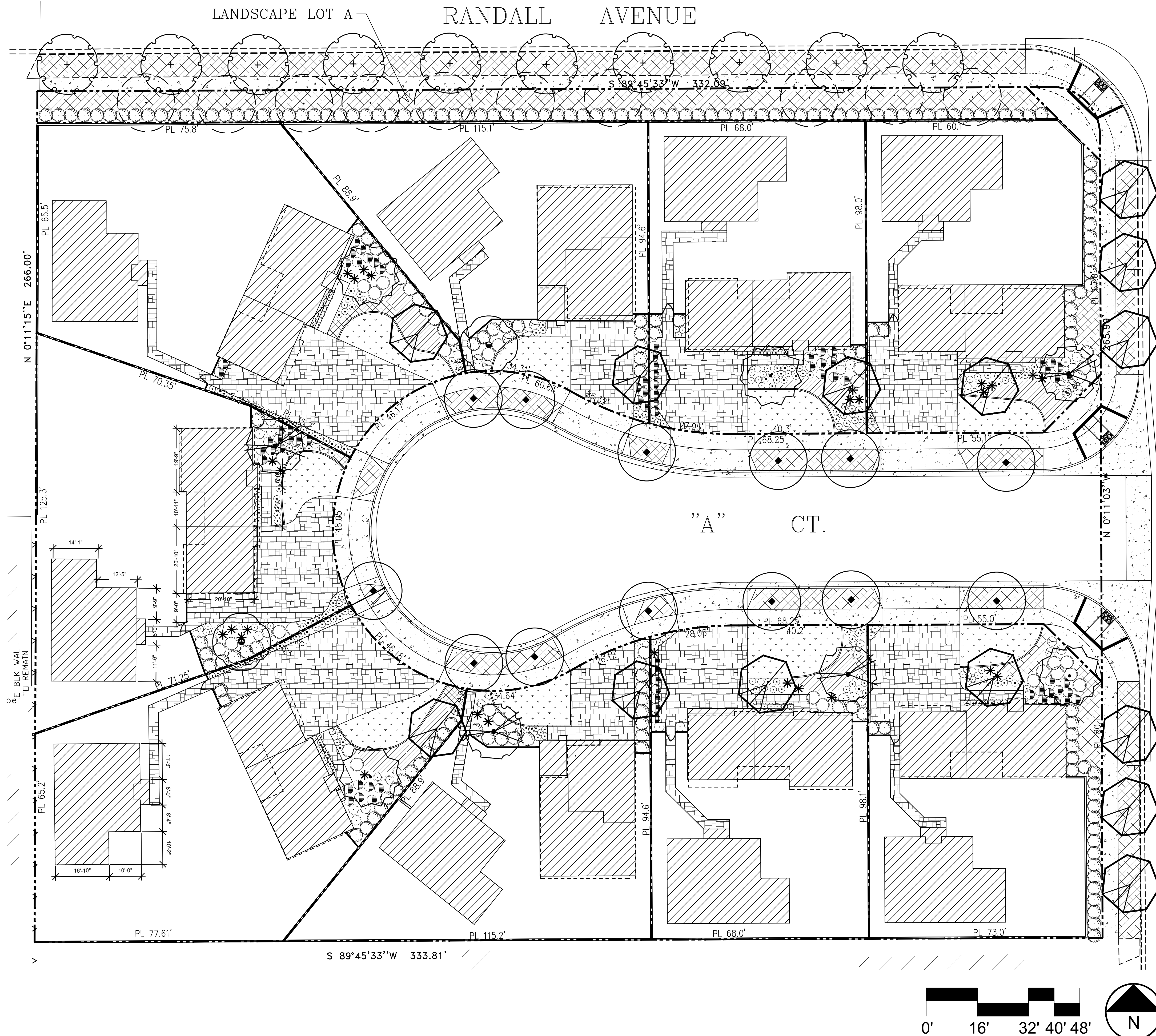
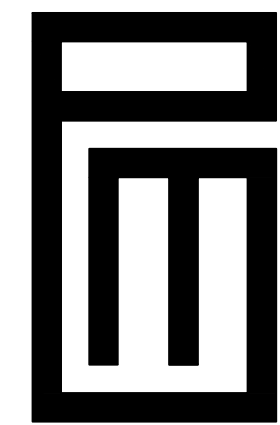
<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
	<u>TREES</u>		
	Arbutus 'Marina'	NCN	24" box
	Lagestroemia i. 'Tuscarora'	Crape Myrtle	24" box
	Koelreuteria bipinnata	Chinese Flame Tree	24" box
	Olea europea 'Swan Hill'	Fruitless Olive Tree	24" box
	Platanus a. 'Bloodgood'	London Plane Tree	24" box
	Tristania conferta	Brisbane box	24" box
	<u>SHRUBS</u>		
	Agave attenuata	Foxtail Agave	5 gal
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal
	Ligustrum j. 'Texanum'	Texas Privet	5 gal
	Phormium t. 'Yellow Wave'	Yellow Wave Flax	5 gal
	Raphiolepis i. 'Ballerina'	Indian Hawthorn	5 gal
	Westringia f. 'Mundi'	Dwarf Westringia	5 gal
	<u>PERENNIALS</u>		
	Aloe striata	Coral Aloe	5 gal
	Dianella t. 'Variegata'	Variegated Flax Lily	5 gal
	Hemerocallis hybrids	Daylily	5 gal
	Hesperaloe parvifolia	Red Yucca	5 gal
	<u>GROUNDCOVER</u>		
	Myoporum parvifolium	Prostrate Myoporum	flats
	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	flats
	Verbena peruviana	Verbena	flats
	Festuca arundinacea	Tall Fescue	sod

Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET _a)		55.6		Fontana			
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1) Low water use plants	0.2	Drip	0.81	0.247	9,955	2,458.02	84,733
4) High water use lawn	0.7	Overhead Spray	0.75	0.933	2,927	2,731.87	94,173
							0
							0
							0
							0
							0
				Totals	12,882	5,189.89	178,906
Special Landscape Areas (SLA): Recycled Water							
				1	0	0	0
				1	0	0	0
				1	0	0	0
				Totals	0	0	0
					Estimated Total Water Use (ETWU)		178,906
					Maximum Allowed Water Allowance (MAWA)		199,831

- All projects shall comply with the following Standard Conditions:
- 1) All landscape and irrigation plans shall comply with the City of Fontana Standard Specifications.
- 2) Provide a CFO exhibit showing all proposed letter lots, Landscape Medians, WQMP and any existing and proposed street lights
- 3) Maintain Intersection Sight Distance for all intersections (City Standard Drawing 140) taking into account plant height, elevation changes, monument walls, garden and retaining walls. Accumulative height shall not exceed thirty (30) inches.
- 4) All landscape and irrigation design shall incorporate drought tolerant plant materials and water efficient irrigation systems. (Ordinance #1087) Article IV Sec. 28-91 F.C.C. and AB 1881 Ordinance.
- 5) City Landscape Inspector is responsible for streetscape inspections and final recommendation for acceptance of all Landscape areas and parks.
- 6) Street trees are required to be planted in accordance with city standards. Species selected by Landscape Architect and approved by Landscape Development and Parks and Landscape Department.
- 7) Walls with in the landscape areas or park areas shall be coated with Vicrocem anti graffiti coating or as directed by city staff during plan check.
- 8) Parks shall be design with the input of the Parks and landscape Department. Parks shall be design per the Public Works Park Design Standards.
- 9) The developer shall submit to the Parks and Landscape Department the following for plan check:
 - a. Landscape Submittal Form (completely filled out)
 - b. Two (2) complete sets of planting and irrigation plans, details and specifications.
 - c. Conceptual Landscape Design Plan as approved by the Development Advisory Board and/or Planning Commission.
 - d. Two (2) sets of Cost Estimates
 - e. CFO quantity estimate form
 - f. One (1) set of the Conditions of Approval from D.A.B and/or the Planning Commission
 - g. Water Conservation Landscape Package if applicable(Landscape and Construction must be approved prior to issuance of building/construction permits)
- 10) A landscape plan and installation schedule in accordance with City Guidelines and Specifications for all areas between any curb and right of way line or perimeter wall shall be submitted to and approved by the City. The plans shall show that safe sight distance standards are met and indicate topographical information, plant species, sizes and location, and also show the related irrigation system/controls and water meter service points

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE WATER EFFICIENT LANDSCAPE REGULATIONS OF THE CITY OF ANAHEIM. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.

[illegible]

pmay@philmaydesign.com
www.philmaydesign.com



PRELIMINARY LANDSCAPE PLAN

9 NEW HOMES W/ ADU'S
9320 OLEANDER AVE
FONTANA CA 92335

DRAWN
R.S.
CHECKED
P.M.
DATE
05-31-2022
SCALE
1/16" = 1'-0"
JOB NO.
20045
SHEET

L-1

GRADING NOTES:

- ALL WORK SHOWN HEREIN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF FONTANA STANDARDS AND SPECIFICATIONS, AND OF THE CALIFORNIA BUILDING CODE, 2019 EDITION.
- PRIOR TO THE START OF GRADING ALL EXISTING VEGETATION AND DEBRIS, INCLUDING, RUBBLE, TREES AND ROOT SYSTEMS SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE SOILS ENGINEER.
- AFTER REMOVAL OF DEBRIS, ANY EXISTING FILL OR DISTURBED NATURAL SOILS SHALL BE EXCAVATED TO THE SATISFACTION OF THE SOILS ENGINEER.
- THE EXPOSED SOILS SHALL BE INSPECTED BY THE SOILS ENGINEER, AND ANY ADDITIONAL OVER-EXCAVATION SHALL THEN BE MADE IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATION AND AS CONTAINED IN THE SOILS REPORT.
- THE EXPOSED SOILS SHALL BE SCARIFIED TO A MINIMUM DEPTH (PER SOILS REPORT), BROUGHT TO A PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY THE APPENDIX SECTION J107.5, OF THE CALIFORNIA BUILDING CODE, 2019 EDITION. EQUIVALENT COMPACTION SHALL BE OBTAINED BY METHODS SPECIFIED BY THE SOILS ENGINEER.
- IF ANY UNFORESEEN SUB-SURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER BEFORE PROCEEDING FURTHER.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS TO BE DEPOSITED ONTO PUBLIC OR ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHOD THROUGHOUT THE GRADING AND BUILDING CONSTRUCTION OPERATION.
- PRIOR TO THE START OF ANY BUILDING CONSTRUCTION THE CONTRACTOR SHALL FURNISH THE CITY WITH CERTIFICATION FROM THE CIVIL ENGINEER AND SOILS ENGINEER THAT BUILDING SUB-GRADE PADS ARE WITHIN 0.10 FOOT OF THE APPROVED PLANS AND THAT THE PROPER COMPACTION AND PREPARATION HAS BEEN OBTAINED.
- NO GRADING SHALL COMMENCE WITHOUT OBTAINING GRADING PERMIT FROM BUILDING AND SAFETY DIVISION AND NOTIFYING GRADING INSPECTOR 24 HOURS PRIOR TO START OF WORK.
- RESPONSIBILITY FOR GRADING AND INSPECTION SHALL BE ASSUMED BY THE ENGINEERS OF WORK IN ACCORDANCE WITH APPENDIX J 105 OF THE CALIFORNIA BUILDING CODE, 2019 EDITION.
- THE SOILS ENGINEER SHALL ALSO BE RESPONSIBLE TO VERIFY AND REPORT THAT PROPER COMPACTION HAS BEEN OBTAINED BY SUBCONTRACTORS AND AGENCIES CONCERNING UTILITY LINE BACKFILLING, BUT NOT LIMITED TO SEWERS, WATER LINES, ELECTRICAL, GAS AND LANDSCAPE IRRIGATION LINES.
- CERTIFICATES OF FINAL LOT GRADING ARE TO BE SUBMITTED TO THE BUILDING AND SAFETY DIVISION PRIOR TO FINAL BUILDING INSPECTION.
- AN AS-GRADED GRADING PLAN AND CERTIFICATION OR COMPLIANCE WITH SAID GRADING PLAN IS TO BE SUBMITTED TO THE BUILDING AND SAFETY DIVISION PRIOR TO THE RELEASE OF THE GRADING BOND AND PRIOR TO THE FINAL GRADING INSPECTION.
- NO ADJUSTMENT OF ELEVATION SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE BUILDING OFFICIAL AND THE CIVIL ENGINEER OF RECORD.
- ALL P.C.C. WATER CARRYING DEVICES WITH MINIMUM SLOPES LESS THAN 0.5% WILL BE WATER TESTED PRIOR TO FINAL FINISH. ANY RESIDENTIAL PONDING IN EVIDENCE AT TIME OF INSPECTION SHALL BE CAUSE FOR REMOVAL AND REPLACEMENTS.
- ALL WALLS OVER 3 FEET IN FINISH HEIGHT REQUIRES SEPARATE PERMITS AND INSPECTION ISSUED BY ENGINEERING DIVISION.
- ALL WORK WITHIN PUBLIC RIGHTS OF WAY REQUIRES SEPARATE PERMITS AND INSPECTION ISSUED BY ENGINEERING DIVISION.
- GRADING CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF THE LOCATION OF ANY SOILS PROPOSED FOR IMPORT. EACH PROPOSED IMPORT SOURCE SHALL BE SAMPLED, TESTED, AND APPROVED PRIOR TO DELIVERY OF SOILS FOR USE ON THE SITE.
- WE HEREBY CERTIFY THAT WE HAVE REVIEWED THIS PLAN AND THAT IT SUBSTANTIALLY CONFORMS TO OUR PRELIMINARY SOILS REPORT NO. ----- DATED APRIL ----- AND PREPARED BY -----.

MMANUEH NADERI R.C.E. C46015
EXP 12/31/2022

MANUEH NADERI R.C.E. 46015
EXP 12/31/2022

EROSION CONTROL:

- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCK PILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS EMINENT.
- EROSION CONTROL DEVICES SHALL NOT BE MODIFIED WITHOUT THE APPROVAL OF THE CITY INSPECTOR.
- ALL REMOVABLE EROSION PROTECTION DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER EACH RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM THE STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND ENSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- NO GRADING ALLOWED WHEN WINDS EXCEED 25 MPH.

LEGAL DESCRIPTION:

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY.
EXCEPTING THEREFROM THE WEST 17 ACRES, AREAS AND DISTANCES COMPUTED TO STREET CENTERS.
APN NO. 0193-172-13-0000
LOT SIZE 88,562 SQ FT = 2.03 ACERS

BENCHMARK:

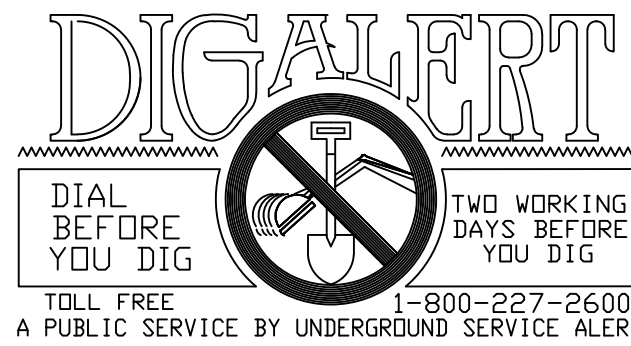
CITY OF FONTANA B.M. # 484
TOP OF FIRE HYDRANT @ THE N.E. CORNER OF RANDALL & CYPRESS
ELEV. 1190.36

BASIS OF BEARING:

CENTER LINE OF RANDALL STREET BEING AS S 89°45'33"W

EXISTING EASEMENTS:

- AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 7, 1926 AS BOOK 56, PAGE 23 OF OFFICIAL RECORDS. NOT PLOTTED ON THE MAP.
- AN EASEMENT FOR STREET AND HIGHWAY INCIDENTAL PURPOSES, RECORDED OCTOBER 29, 1975 AS BOOK 8794, PAGE 571 AS INSTRUMENT NO. 75-409 OF OFFICIAL RECORDS. AFFECTS SAID LAND. IN FAVOR OF: CITY OF FONTANA, A MUNICIPAL CORPORATION



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

CONCEPTUAL GRADING PLAN FOR TENTATIVE TRACT MAP No. 20307 IN THE CITY OF FONTANA

LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
(100)	EXISTING ELEVATION
(100)	PROPOSED ELEVATION
=====	RETAINING WALL
=====	STEM WALL
=====	DEEP FOOTING
○	CUT/FILL LINE
FF	FINISHED FLOOR
FG	FINISHED GRADE
FS	FINISHED SURFACE
FL	FLOW LINE
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
NG	NATURAL GRADE
TRW	TOP OF RET. WALL
TF	TOP OF FOOTING
INV.	INVERT ELEVATION
GB	GRADE BREAK
GF	GARAGE FLOOR
HP	HIGH POINT
U.S.D.	UNDERSIDEWALK DRAIN
R/W	RIGHT-OF-WAY
BW	BACK OF WALK
CL.F.	CHAIN LINK FENCE
FP	FINISH PAD
CF	CURB FACE
BSL	BUILD'G SETBACK LINE
C/B	CATCH BASIN
PP	POWER POLE
C&G	CURB & GUTTER
PA	PLANTER AREA
R.D.	ROOF DRAIN
○	TREE, DIAMETER
○	STREET LIGHT
CD	CLEAN OUT
-----	EXISTING CONCRETE
-----	NEW CONCRETE
-----	NEW CONCRETE DRIVE/WALKWAY
-----	NEW A.C. PAVEMENT
-----	A.C. REMOVAL PAVEMENT
-----	LANDSCAPE AREA
-----	NEW DRAINAGE SWALE/DIRECTION
○	DRY WELL INFILTRATION SYSTEM
○	CATCH BASIN

CONSTRUCTION NOTES

- CONSTRUCT RESIDENTIAL DRIVE APPROACH PER STD. PLAN NO. 1001
- CONSTRUCT CONC. CURB & GUTTER PER STD. PLAN NO. 1000
- CONSTRUCT CONC. SIDEWALK PER STD. PLAN NO. 1006
- CONSTRUCT ADA RAMP PER STD. PLAN NO. 1003
- CONSTRUCT 8' CROSS GUTTER PER STD. PLAN NO. 403
- CONSTRUCT CATCH BASIN W=4', V=8' PER STD. PLAN NO. 3004
- CONSTRUCT DRYWELL INFILTRATION SYSTEM PER MAXWELL PLUS DPD-4-SS-CA.
- CONSTRUCT 6' HIGH BLK WALL PER ARCHITECT PLAN & BY SEPARATE PERMIT.
- CONSTRUCT 4" AC OVER 12" COMPACTED NATIVE.
- SAW CUT 2' ± EX. AC PER CITY STD. DWG. 1008, REPLACE W/CONST. NOTE NO. 9 ABOVE.
- REMOVE POWER POLE & ST. LIGHTS, DEVELOPER WILL WORK WITH SCE.
- REMOVE EX. DRIVEWAYS, SIDEWALKS, CURB & GUTTER- REPLACE AS SHOWN.
- CONSTRUCT 12" DIA. PVC SCHEDULE 80 DRAIN PIPE.
- CONSTRUCT CONCRETE DRIVEWAYS AND WALKWAYS.
- CONSTRUCT STREET LIGHT PER STD. PLAN NO. 404
- CONSTRUCT RETAINING WALL AS NEEDED PER ARCHITECT PLAN & BY SEPARATE PERMIT.
- ADJUST/RELOCATE EX. UTILITIES BOXES, ST. SIGN AS SHOWN.

QUANTITIES

9 EA
644 LF
3,062 SF
3 EA
1 LS
2 EA
1 EA
1,112 LF
10,076 SF
512 SF
2 EA
1 LS
37 LF
8,920 SF
5 EA
462 LF
1 LS

QUANTITIES

CUT	25 CY
FILL	4,920 CY

THE QUANTITIES SHOWN HERE ARE FOR PERMIT AND BONDING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO START OF GRADING.

OWNER / DEVELOPER

OCEANO INVESTMENT, LLC
3065 RIVERSIDE DRIVE
CHINO, CA 91710
323-422-1842

ENGINEER

M. NADERI CONSULTING ENGINEERS
P. O. BOX 7553
LA VERNE, CA 91750
909-374-0453

SURVEYOR

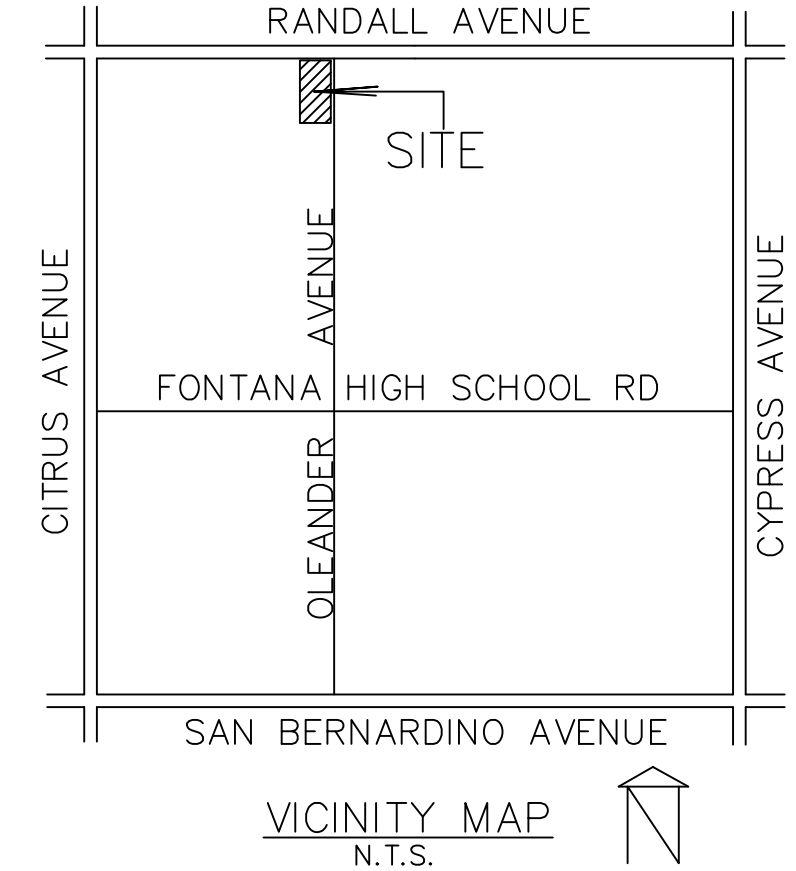
BOYD SCHNEIDERWERT P.L.S.
9099 ROCHESTER ROAD
PHELAN, CA. 92371

ASSESSOR PARCEL NO.

0193-172-13-0000

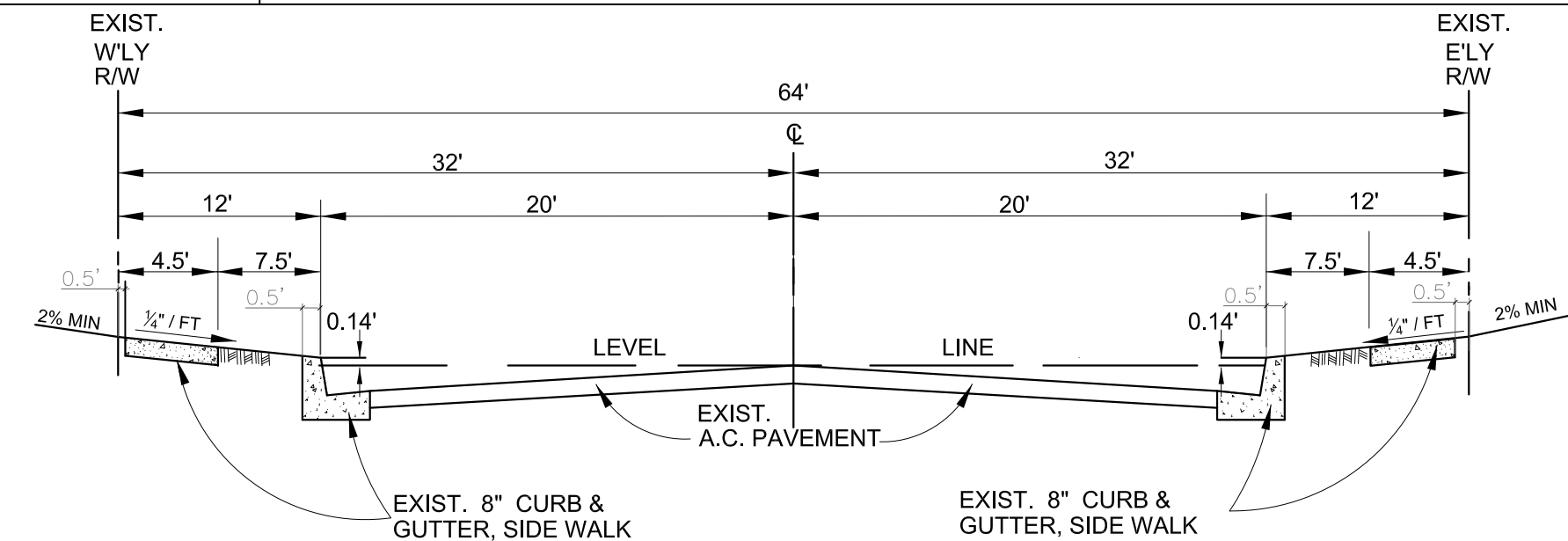
ZONING:

EXISTING & PROPOSED SFR

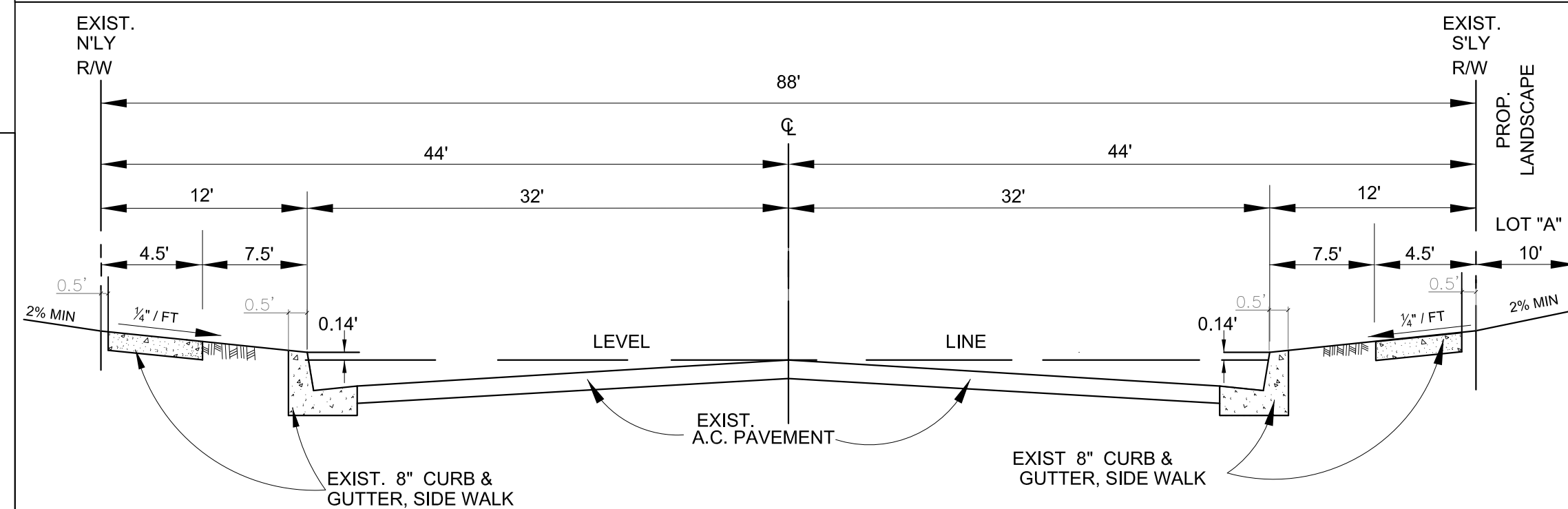


SHEET INDEX

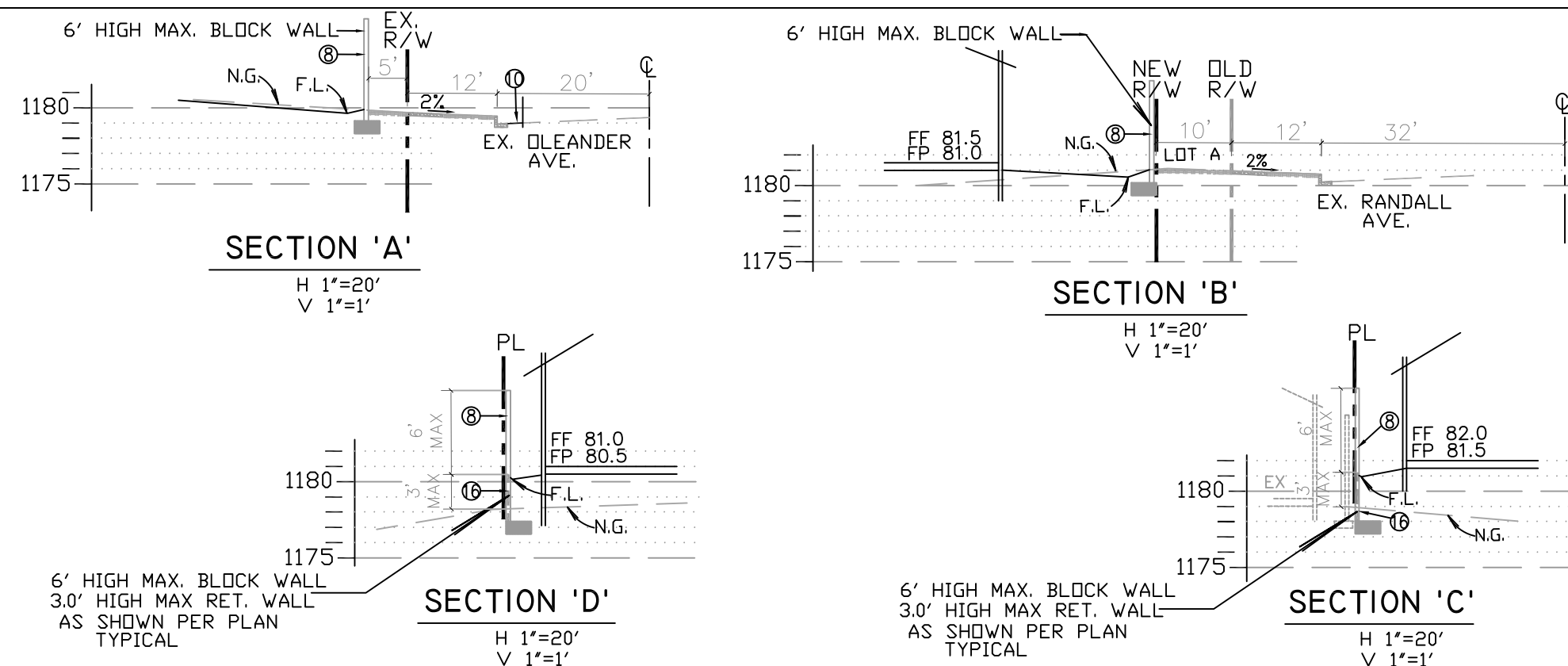
SHEET NO.	DESCRIPTION
1	TITLE & DETAIL SHEET
2	CONCEPTUAL GRADING PLAN
3	TOPOGRAPHY/DEMOLITION PLAN



TYPICAL SECTION OF OLEANDER AVENUE
64' R/W
N.T.S.



TYPICAL SECTION OF RANDALL AVENUE
88' R/W
N.T.S.



NEW EASEMENTS/DEDICATION:

'A' COURT	16,964 SF	STREET DEDICATION
LOT 'A'	3,401 SF	OPENS SPACE AREA - CFD MAINTENANCE

LEGAL DESCRIPTION:

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY.
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APN NO. 0193-172-13-0000
LOT SIZE 88,562 SQ FT = 2.03 ACERS

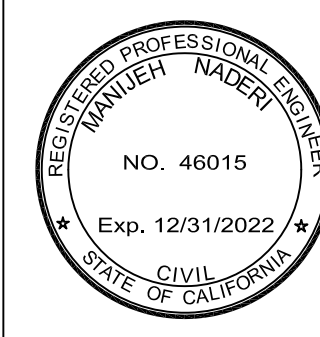
BENCHMARK:

CITY OF FONTANA B.M. # 484
TOP OF FIRE HYDRANT @ THE N.E. CORNER OF RANDALL & CYPRESS
ELEV. 1190.36

BASIS OF BEARING:

CENTER LINE OF RANDALL STREET BEING AS S 89°45'33"W

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT.



NADERI CONSULTING ENGINEERS

P.O. BOX 7553
LA VERNE, CA 91750
909-374-0453
nec_dev@yahoo.com

PREPARED UNDER DIRECT SUPERVISION OF:

M. Naderi
MANUEH NADERI RCE #46015

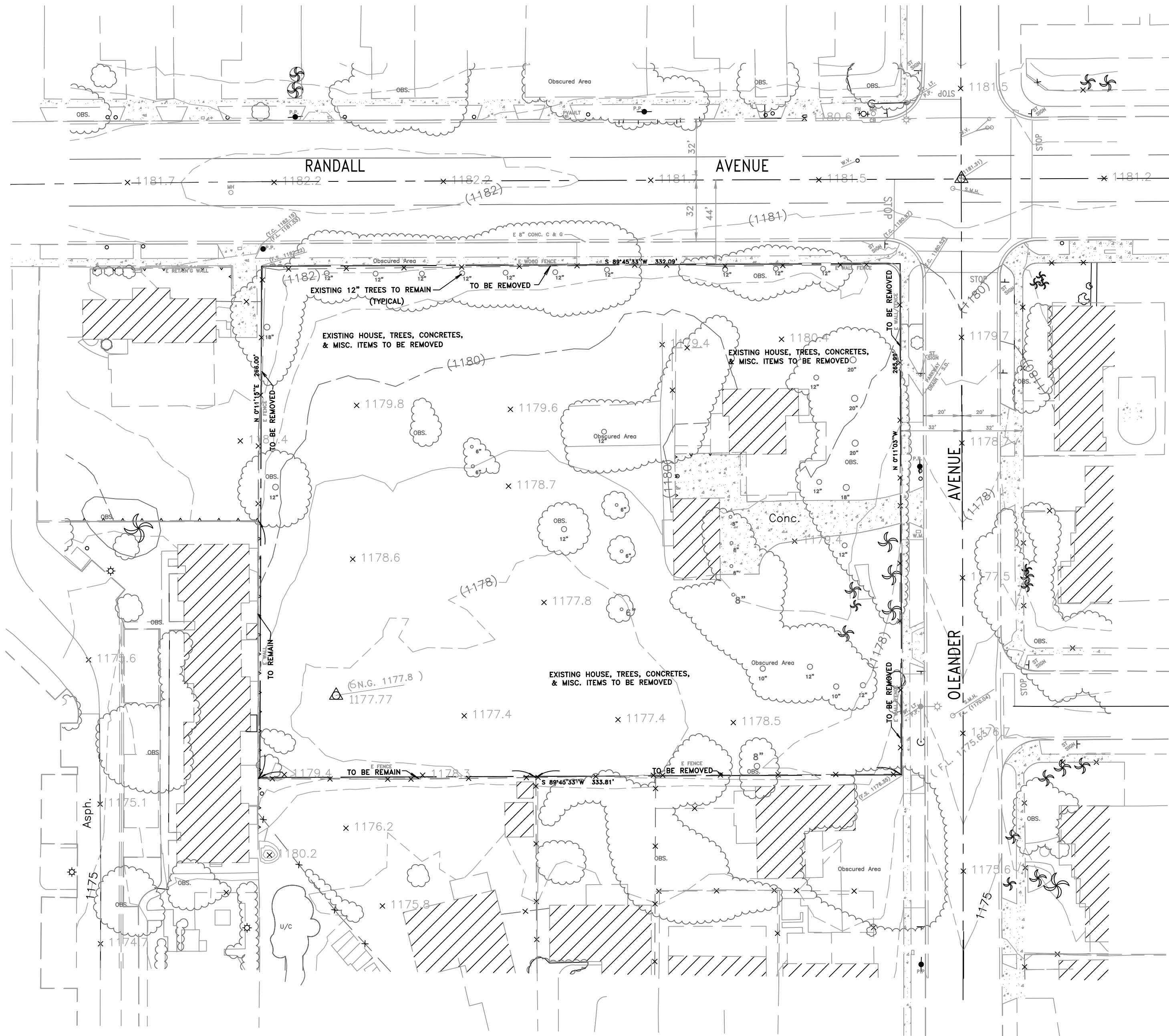
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CITY OF FONTANA CALIFORNIA

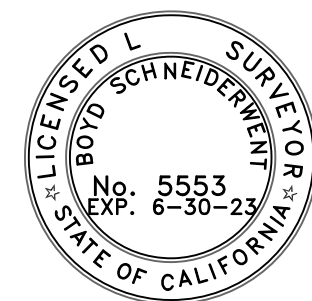
TITLE & DETAIL SHEET

DRAWN BY: R.R.	DESIGNED BY: M.N.	CHECKED BY: M.N.	APPROVED BY: CITY ENGINEER	R.C.E.	DATE:
TENTATIVE TRACT MAP 20307			9320 OLEANDER AVENUE		
SCALE: 1"=20'			DATE: 04-14-2022		
DRAWING NO.:			SHEET NO: 1 OF 3		

PAM 18-077



SCALE 1" = 40'
APN NO. 0193-172-13-0000



BOYD SCHNEIDERWENT P.L.S.
TOPOGRAPHY SURVEY

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - (100) EXISTING ELEVATION
 - 100 PROPOSED ELEVATION
 - RETAINING WALL
 - STEM WALL
 - DEEP FOOTING
 - CUT/FILL LINE
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FS FINISHED SURFACE
 - FL FLOW LINE
 - FP FINISH PAD
 - GF GARAGE FLOOR
 - NG NATURAL GRADE
 - GB GRADE BREAK
 - HP HIGH POINT
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 - TG TOP OF GRATE
 - TV TOP OF WALL
 - TRW TOP OF RET. WALL
 - TF TOP OF FOOTING
 - INV. INVERT ELEVATION
 - U.S.D. UNDERSIDE WALK DRAIN
 - R/W RIGHT-OF-WAY
 - P/L PROPERTY LINE
 - C/L CENTER LINE
 - BW BACK OF WALK
 - CLF. CHAIN LINK FENCE
 - CF CURB FACE
 - BSL BUILD'G SETBACK LINE
 - C/B CATCH BASIN
 - PP POWER POLE
 - C&G CURB & GUTTER
 - PA PLANTER AREA
 - R.D. ROOF DRAIN
 - F.F. FIRE HYDRANT
 - W.M. WATER METER
 - W.V. WATER VALVE
 - M.H. MANHOLE
 - 10" TREE, DIAMETER
 - 10" STREET LIGHT
 - CD CLEAN DUT
 - EXISTING CONCRETE

LEGAL DESCRIPTION:

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY.

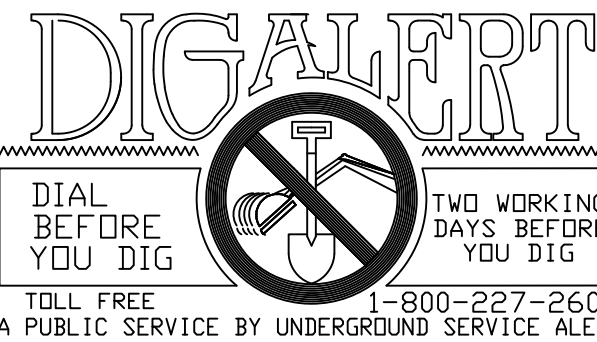
EXCEPTING THEREFROM THE WEST 17 ACRES, AREAS AND DISTANCES COMPUTED TO STREET CENTERS.

BENCHMARK:

CITY OF FONTANA B.M. # 484
TOP OF FIRE HYDRANT @ THE N.E. CORNER OF RANDALL & CYPRESS
ELEV. 1190.36

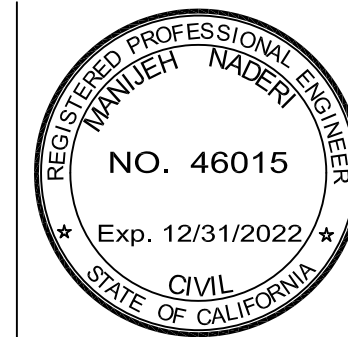
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REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT.



NADERI CONSULTING ENGINEERS
P.O. BOX 7553
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909-374-0453
nec_dev@yahoo.com
PREPARED UNDER DIRECT SUPERVISION OF:
M. Naderi
MANJEH NADERI RCE #46015
DATE: EXP. 12/31/2022

PAM 18-077

CITY OF FONTANA CALIFORNIA TOPOGRAPHY & DEMOLITION PLAN

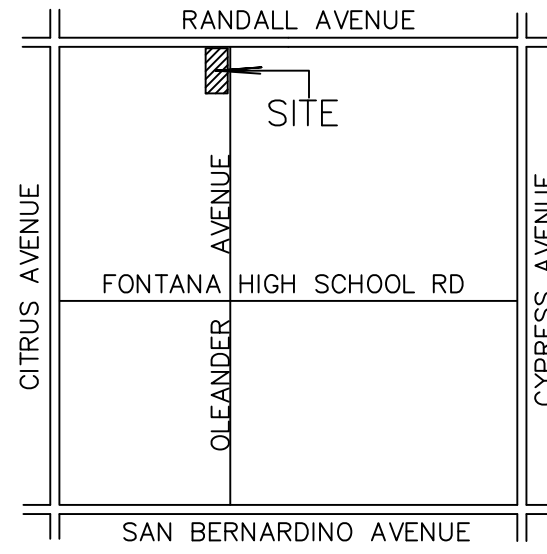
DRAWN BY: R.R.	TENTATIVE TRACT MAP 20307	SCALE: 1"=40'
DESIGNED BY: M.N.	9320 OLEANDER AVENUE	DATE: 09-08-2021
CHECKED BY: M.N.	APPROVED BY: CITY ENGINEER	DRAWING NO.: SHEET NO.: 3 OF 3

TENTATIVE TRACT MAP NO. 20307

IN THE CITY OF FONTANA
COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY. EXCEPTING THEREFROM THE WEST 17 ACRES, AREAS AND DISTANCES COMPUTED TO STREET CENTERS.

APN NO. 0193-172-13-0000



VICINITY MAP

UTILITY COMPANIES

ELECTRICITY:
SO. CAL. EDISON COMPANY
(800)655-4555

GAS:
SO. CAL. GAS COMPANY
(800)427-2200 OR 909-335-7547

SOLID WASTE-SEWAGE:
BURTEC WASTE-CITY OF FONTANA
(909)350-7670

WATER:
WEST VALLEY WATER DISTRICT
(909)201-7375

TELEPHONE:
(888)288-8339

CABLE TV: COMCAST CABLE
(855)243-8892

OWNER / DEVELOPER

OCEANO INVESTMENT, LLC
3055 RIVERSIDE DRIVE
CHINO, CA 91710
323-422-1842

ENGINEER

M. NADERI CONSULTING ENGINEERS
P. O. BOX 7553
LA VERNE, CA 91750
909-374-0453

SURVEYOR

BOYD SCHNEIDERWENT P.L.S.
9099 ROCHESTER ROAD
PHILAN, CA 92371

ASSESSOR PARCEL NO.

0193-172-13-0000

ZONING:

EXISTING & PROPOSED SFR
S.F. RESIDENTIAL

PROPOSED LAND USE:

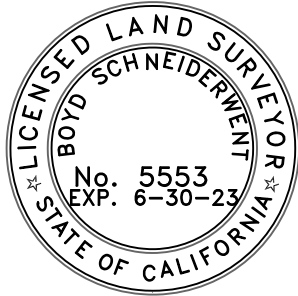
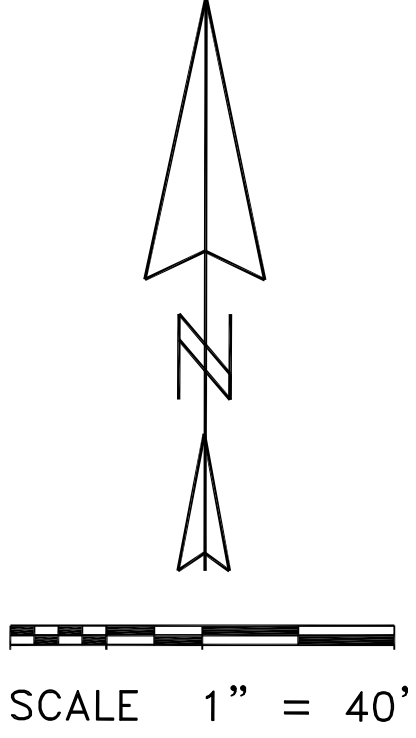
S.F. RESIDENTIAL-DETACHED WITH ADJ.

ADJACENT LAND USE:

SOUTH RANDALL AVE.
S.F. RESIDENTIAL
WEST OLANDER AVE.

SCHOOL DISTRICT:

FONTANA SCHOOL DISTRICT



Boyd Schneiderwent
BOYD SCHNEIDERWENT P.L.S. DATE:

CURVE TABLE		
CH	RADIUS	DELTA
A	35.0'	N90°00'00"E
B	30.0'	N90°00'00"E
C	30.0'	N90°00'00"E
D	100.0'	N31°05'42"E
E	112.0'	N31°00'19"E
F	50.0'	N63°33'24"E
G	38.0'	N63°54'32"E
H	100.0'	N30°56'58"E
I	112.0'	N31°00'19"E
J	30.0'	N90°00'00"E

TOTAL ACREAGE SUMMARY		
AREA	SQ. FT.	ACRES
9 LOTS	68,196	1.566
STREET	17,186	0.394
LOT A	3,179	0.073
TOTAL	88,561	2.03

LOT AREA TABLE	
LOT NO.	SQ. FT.
1	6,918
2	6,635
3	6,681
4	9,243
5	8,654
6	9,338
7	6,881
8	6,642
9	7,004
TOTAL LOT SQ. FT.	68,196
AVERAGE LOT SIZE	7,577

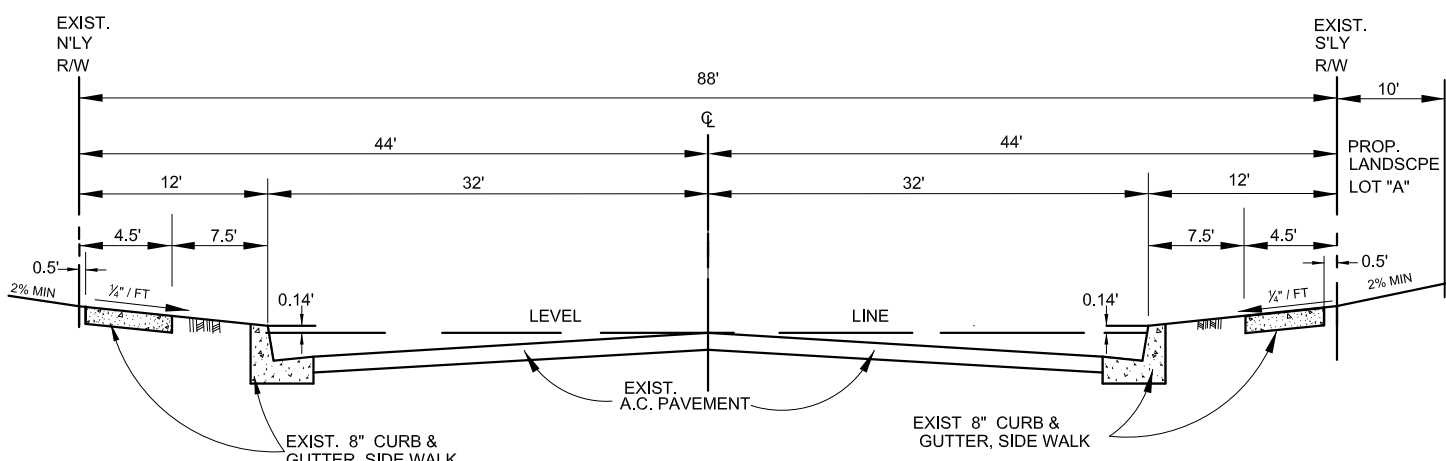
EASEMENT TABLE SUMMARY	
STREET	SQ. FT.
'A' COURT	17,186
LOT 'A'	3,179
TOTAL STREET	20,365

STATISTICAL INVENTORY	
1. GROSS AREA	2.03 ACRES
2. NET AREA	1.566 ACRES
3. TOTAL NO. OF LOTS	9
4. TOTAL NO. OF LOTTER LOTS	1

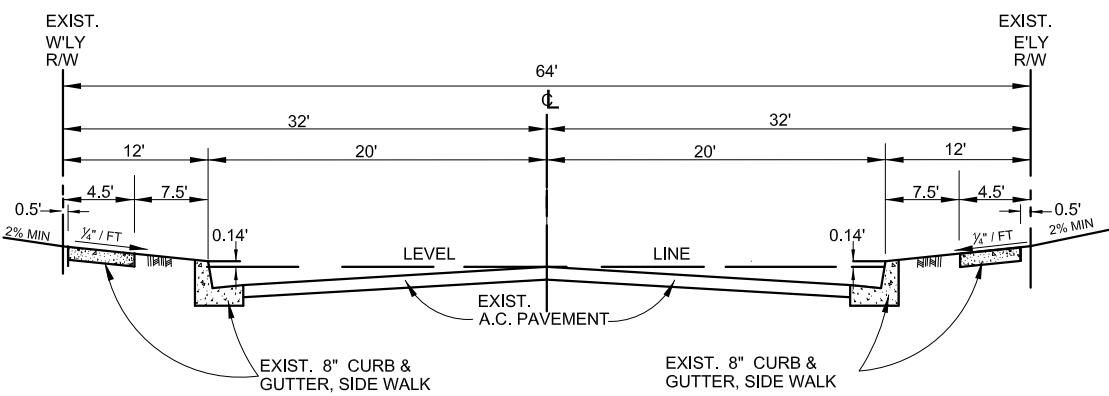
EASEMENTS/DEDICATION	
COURT 'A'	STREET
LOT 'A'	CFD MAINTENANCE

NOTES

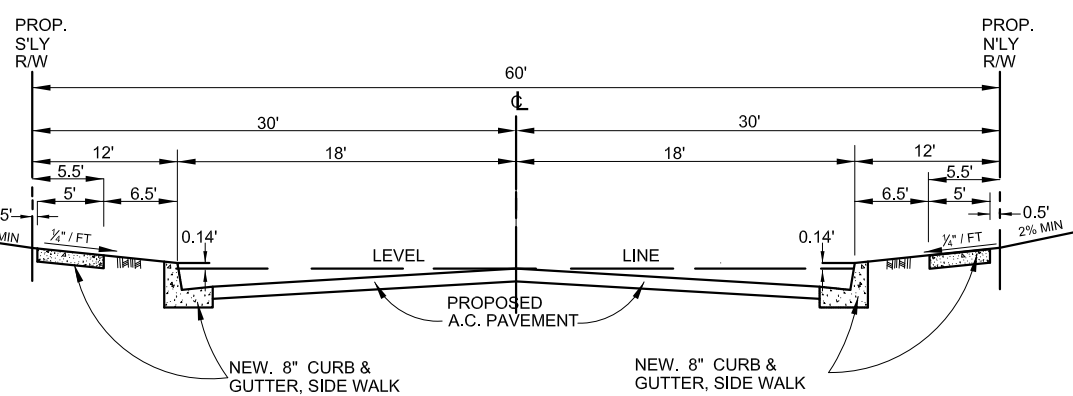
- FLOOD ZONE: THIS PROPERTY LIES WITHIN ZONE 'X' AS SHOWN ON FIRM MAP NUMBER 06071C8654H DATED 08/20/2008. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- WALLS: THE PERIMETER WALLS SHALL BE CONSTRUCTED PER CITY STANDARD, BEING EITHER A SIX (6) FEET HIGH GARDEN WALL OR A MAX. NINE (9) FEET HIGH COMBINATION WALL.
- WATER QUALITY MANAGEMENT PLAN (WQMP): THIS PROJECT SHALL IMPLEMENT THE SELECTED SITE DESIGN & SOURCE CONTROL BMP'S PER APPROVED WQMP.
- UTILITIES: ALL UTILITY BOXES & STRUCTURES TO BE CONSTRUCTED UNDERGROUND. STREET LIGHTS SHALL BE CONSTRUCTED PER CITY STD. DWG 404. EXISTING POWER POLE TO BE REMOVED AND OVERHEAD UTILITY SERVICE LINES TO BE UNDERGROUND.
- EXISTING SITE IMPROVEMENTS TO BE REMOVED AS SHOWN ON DEMOLITION PLAN.
- THERE ARE NO PROTECTED TREES ON THE SITE. EXISTING TREES TO BE REMOVED.
- THE UTILITIES ARE SHOWN HEREIN IS PER RECORDED DATA.
- THIS SITE IS NOT IN A HILLSIDE AREA.
- THIS SITE IS NOT LOCATED IN ANY GEOLOGIC/FLOOD/SPECIAL HAZARD AREA.
- EXISTING POWER POLES TO BE REMOVED AND OVERHEAD UTILITY SERVICE LINES TO BE UNDERGROUND.



TYPICAL SECTION OF RANDALL AVENUE
88' R/W
N.T.S.



TYPICAL SECTION OF OLANDER AVENUE
64' R/W
N.T.S.



TYPICAL SECTION OF NEW 'A' COURT
60' R/W
N.T.S.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- RETAINING WALL
- STEM WALL
- DEEP FOOTING
- CUT/FILL LINE
- FINISHED FLOOR
- FINISHED GRADE
- FINISHED SURFACE
- FLOW LINE
- FINISH PAD
- GARAGE FLOOR
- NATURAL GRADE
- GRADE BREAK
- HIGH POINT
- TOP OF CURB
- TOP OF GRATE
- TOP OF WALL
- TOP OF RET. WALL
- TOP OF FOOTING
- INVERT ELEVATION
- U.S.D. UNDERSIDEWALK DRAIN
- R/W RIGHT-OF-WAY
- P/L PROPERTY LINE
 C/L CENTER LINE |- B/W BACK OF WALK
- CL.F. CHAIN LINK FENCE
- CF CURB FACE
- BSL BUILD'G SETBACK LINE
- C/B CATCH BASIN
- PP POWER POLE
- C&G CURB & GUTTER
- PA PLANTER AREA
- R.D. ROOF DRAIN
- F.F. FIRE HYDRANT
- W.M. WATER METER
- W.V. WATER VALVE
- M.H. MANHOLE
- TREE, DIAMETER
- STREET LIGHT
- CLEAN OUT
- EXISTING CONCRETE
- NEW CONCRETE
- LANDSCAPE
- CATCH BASIN
- MAXWELL DPD-4-SS INFILTRATION SYSTEM

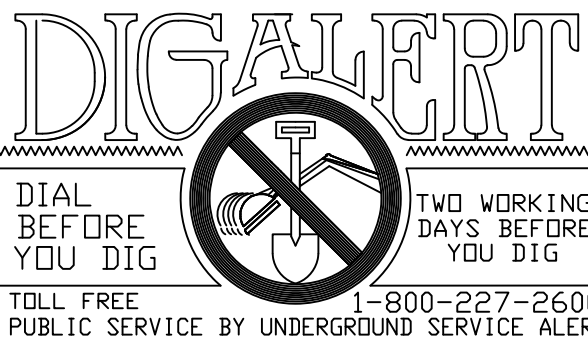
LEGAL DESCRIPTION:

THE NORTH 310 FEET OF LOT 700, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11, PAGE 12, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM THE WEST 17 ACRES, AREAS AND DISTANCES COMPUTED TO STREET CENTERS.

BENCHMARK:

CITY OF FONTANA B.M. # 484
TOP OF FIRE HYDRANT @ THE N.E. CORNER OF RANDALL & CYPRESS
ELEV. 1190.36



REV.	REVISION DESCRIPTION	DATE	ENGR.	CITY	DATE

SHOULD CONSTRUCTION OF THE REQUIRED IMPROVEMENTS NOT COMMENCE WITHIN TWO YEARS OF THE DATE OF APPROVAL SHOWN HEREON AND CARRIED FORTH IN A DILIGENT MANNER, THE CITY ENGINEER MAY REQUIRE REVISIONS TO THE PLANS TO BRING THEM INTO CONFORMANCE WITH CONDITIONS AND STANDARDS IN EFFECT.



NADERI CONSULTING ENGINEERS
P.O. BOX 7553
LA VERNE, CA 91750
909-374-0453
nec_dev@yahoo.com

PREPARED UNDER DIRECT SUPERVISION OF:

M. Naderi
MANUEH NADERI RCE #46015 DATE: EXP. 12/31/2022

CITY OF FONTANA CALIFORNIA

TENTATIVE TRACT MAP 20307

8320 OLANDER AVENUE
PAM 18-077

DRAWN BY: R.R.
DESIGNED BY: M.N.
CHECKED BY: M.N.

APPROVED BY:

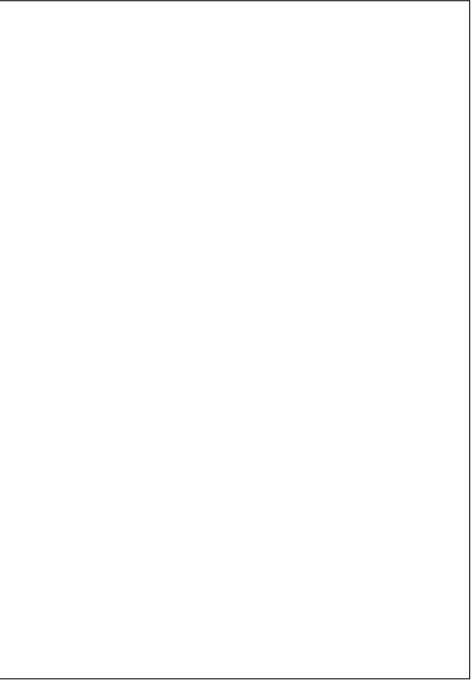
CITY ENGINEER R.C.E. DATE:

SCALE: 1"=40'

DATE: 05-09-2022

DRAWING NO.:

SHEET NO.: 1 OF 1



- remodeling

- custom homes

- additions

OJ²M

-Residential Design-

- residential

- desing

- patios & decks

1188 W. Marshall Blvd. San Bernardino Ca (909)210.8669

No.	Description	Date

9 NEW HOMES W/ ADU

Segura Family Trust & Oceano Investment LLC.

9320 Oleander Ave

Fontana CA 92335

3D ELEVATIONS

Project number

HOMES2017

Date

2-4-2017

Drawn by

Author

Checked by

Checker

3D

Scale

RESOLUTION NO. PC 2022-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA APPROVING VARIANCE NO. 21-002, TENTATIVE TRACT MAP 20307 (TTM NO. 21-001), AND DESIGN REVIEW NO. 21-005 TO SUBDIVIDE AN EXISTING PARCEL COMPRISED OF APPROXIMATELY 2.03 ACRES INTO NINE INDIVIDUAL LOTS FOR RESIDENTIAL DEVELOPMENT, REDUCE THE REQUIRED LOT DEPTH FOR LOT NOS. 1, 2, 3, 7, 8, AND 9, AND DEVELOP THE SITE WITH SINGLE FAMILY HOMES AND ASSOCIATED IMPROVEMENTS.

WHEREAS, the City of Fontana received an application on February 22, 2021, for a request to subdivide an existing parcel comprised of approximately 2.03 acres into nine individual lots for single family development, reduce the required lot depth for specified lots, and develop the lots with single family homes; and

Project Applicant: Omar Marroquin
1188 W Marshall Blvd.
San Bernardino CA 92405

Project Location: The project site is located on the southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13).

Site Area: Approximately 2.03 adjusted gross acres

WHEREAS, all of the notices required by statute or the City Municipal Code have been given as required; and

WHEREAS, the project is Categorical Exempt pursuant to Section No. 15332, (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA) and Section No. 3-18 (Certain Infill Projects) of the 2019 Local Guidelines for implementing CEQA; and

WHEREAS, the subject site includes one (1) parcel (APNs: 0193-172-13) that was previously developed with a single family dwelling and was incorporated into the City of Fontana in 1952. This request includes approving Tentative Tract Map No. 20307 to establish nine lots for the purpose of single-family homes; and

WHEREAS, on September 6, 2022, the Planning Commission received public testimony on Variance No. 21-002, Tentative Tract Map No. 20307 (TTM No. 21-001), and Design Review No. 21-005, and

WHEREAS, pursuant to Article II, Division 21 of the Zoning and Development Code, a subdivision of five (5) or more parcels requires approval of a Tentative Tract Map application; and

WHEREAS, pursuant to Article II, Division 14 of the Zoning and Development Code, deviation from the standards of the Zoning and Development Code requires approval of a Variance; and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning; and

WHEREAS, Conditions of Approval have been prepared and are attached hereto as Exhibit “A” for the Tentative Parcel Map 20307 (TTM No. 21-001 and Exhibit “B” for the Design Review Project No. 21-031; and

WHEREAS, the owners of property within 660 feet of the proposed project site were notified via public hearing notice mailer prior to the Public Hearing; and a notice of the public hearing was published in the local *Fontana Herald* newspaper on August 26, 2022, posted at City Hall and at the project site; and

WHEREAS, the Planning Commission carefully considered all information pertaining to the proposed project, including the staff report, findings, and all the information, evidence, and testimony presented at its public hearing on September 6, 2022; and

WHEREAS, all other legal prerequisites to the adoption of this resolution have occurred.

NOW, THEREFORE, the Commission RESOLVES as follows:

SECTION NO 1. The City of Fontana’s Planning Commission hereby makes the following findings for Variance No. 21-002 in accordance with Section No. 30-208 “Findings for Approval” for Administrative Variance of the Zoning and Development Code:

Finding No. 1: **That because of circumstances applicable to the property including size, shape, topography, location or surroundings, the strict application of this chapter will deprive the property of privileges enjoyed by other property in the vicinity and under identical zoning classifications.**

Findings of Fact: The proposed variance is for a reduction of the required lot depth for Lot Nos. 1, 2, 3, 7, 8, and 9 of TTM No. 20307. The minimum lot depth for single-family residential lots is 100 feet and the applicant has requested to reduce it to a 94-foot minimum lot depth for the project. The subject property is located in an area that is comprised of both rectangular shaped lots as well as irregular end of cul-de-sac lots (knuckles). Some of these existing irregular end of cul-de-sac lots (knuckles) in the project vicinity are less than 100 feet and are consistent with the depth reduction to 94 feet as requested by the proposed variance. Therefore, this variance would not be

considered a special circumstance that other property owners will not enjoy.

Finding No. 2: **That the granting of such an administrative variance will be subject to conditions assuring that the variance shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zoning district in which the property is located.**

Findings of Fact: This administrative variance request is proposed in conjunction with Tentative Tract Map and Design Review applications. Conditions of approval are proposed for the Design Review and Tentative Tract Map. As stated in Finding No. 2, the subject property is located in an area developed with lots located along through streets and cul-de-sacs. The lot configuration of the project area is comprised of both rectangular shaped lots as well as irregular end of cul-de-sac lots (knuckles). Some of these irregular end of cul-de-sac lots (knuckles) lots in the project vicinity are less than 100 feet and are consistent with the depth reduction to 94 feet as requested by the proposed variance; therefore it would not constitute a granting of a special privileges that is inconsistent with other properties in the vicinity.

Finding No. 3: **That the administrative variance does not authorize a use or activity which is not a specifically allowed use in the zoning district in which the property is located.**

Findings of Fact: The project site is located in the Single-Family (R-1) zoning district, which allows for detached residences on individual lots within defined neighborhoods. Single-family dwellings are permitted within this zone with the approval of a Design Review. Therefore, the granting of this variance will not authorize a use that is not specifically allowed in the zone where to property is located.

SECTION NO 2. The City of Fontana's Planning Commission hereby makes the following findings for Tentative Tract Map No. 20307 (TPM No. 21-001) in accordance with Section No. 26-55 Hearing; criteria for approval for Tentative Tract Maps of the Fontana Municipal Code:

Finding No. 1: **That the proposed map is consistent with the City's General Plan and any applicable Specific Plan.**

Findings of Fact: Tentative Parcel Map No. 20307 (TPM No. 21-001), is a request to subdivide one (1) parcel of approximately 2.03 acres into nine (9) parcels to allow for the development of nine (9) single family homes and (9) accessory dwelling units. Tentative Tract Map No. 20307 is consistent with the General Plan Land Use Designation for the

project site, which is Single Family Residential (R-SF). The R-SF designation includes detached single-family housing with density ranging from 2.1 to 5 dwelling units per acre. The Tentative Tract Map establishes right-of-way dedications and other improvements associates with the development on the subject site.

Finding No. 2: The design and improvements of the proposed Tentative Tract Map are consistent with the General Plan.

Findings of Fact: The design of Tentative Tract Map No. 20307 establishes right-of-way dedications and other improvements associated with the nine single family dwellings project. The lot size and street configuration conform to the requirements of the Land Use, Zoning, and Urban Design Element, Community Mobility and Circulation Element, Subdivisions (Chapter No. 26) and the Zoning and Development Code (Chapter No. 30). The project includes public sewer, public storm drain, streets, gutter, sidewalks, drainage, and grading to provide a safe and well-designed project for the area.

Finding No. 3: The site is physically suitable for the type and density of development proposed.

Findings of Fact: With the approval of the proposed variance, the project site of approximately 2.03 acres is an adequate size to accommodate the proposed single-family dwellings, off-site improvements, and landscaping. The site will be consistent with surrounding neighborhoods and conform to the requirements in the Zoning and Development Code.

Finding No. 4: The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidable injure fish or wildlife or their habitat.

Findings of Fact: The design of the Tentative Tract Map No. 20307 is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat. The site is neither located in an area identified as sensitive habitat nor is it an area that would support sensitive wildlife. The project could not have a significant effect on the environment as a result of project implementation.

Finding No. 5: The design of the subdivision or type of improvements will not cause serious health problems.

Findings of Fact: Tentative Parcel Map No. 20307 will not cause health problems. The proposed development complies with the Subdivisions (Chapter No. 26), the Zoning and Development Code (Chapter No. 30), and the General Plan. The improvements include public sewer, public storm drain, streets, sidewalks, drainage, and grading to provide a safe and well-designed project for the area. Therefore, the project shall promote the public health, safety, and welfare of the surrounding community.

Finding No. 6: **That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

Findings of Fact: The design of Tentative Tract Map No. 20307 and the associated improvements will not conflict with any access easements acquired by the public. Currently, there are no public access easements through or within the proposed project site. The proposed lots will be accessed from a public maintained street off of Oleander Avenue.

SECTION NO 3. The City of Fontana's Planning Commission hereby makes the following findings for Design Review No. 21-005 in accordance with Section No. 30-120 "Findings for Approval" for Design Review of the Zoning and Development Code:

Finding No. 1: **The proposal is consistent with the General Plan, Zoning and Development Code, and any applicable Specific Plan.**

Findings of Fact: . The project is located on the southwest corner of Oleander Avenue and Randall Avenue with a frontage of approximately 266 feet and a depth of 333 feet. The project site has a General Plan land use designation of Single-Family Residential (R-SF). The R-SF designation includes detached single-family housing with density ranging from 2.1 to 5 dwelling units per acre.

The General Plan is the document that sets the framework for the City of Fontana and provides the overall policies for development within the community. Furthermore, the General Plan encourages a variety of development including single-family housing pursuant to the City of Fontana's, General Plan Land Use, Zoning, and Urban Design Element, Chapter No. 15, Goal No. 3 (page 15.37-15.38) and Chapter No. 15, Goal No. 7 (page 15.40-15.41).

The proposed project is located within the Single-Family Residential (R-1) zoning district with no related Community/Specific Plan. The R-1 zoning district permits detached homes on individual lots within defined neighborhoods. As proposed, the applicant is requesting to construct nine single-family homes on each lot.

The development, as proposed, will conform to the provisions of the Zoning and Development Code. This Development meets the criteria contained in the Design Review section of the Municipal Code. The project is aesthetically enhanced with architectural detail. The buildings will not exceed maximum lot coverage of 45 percent. The project will be an appropriate and desirable development for the community. The development will comply with the required setbacks. The applicant has applied for a variance to reduce the required depth of the lot from 100 to 94 feet for the project; however, other applicable development standards specified in the Zoning and Development Code will be met.

Finding No. 2: The proposal meets or exceeds the criteria contained in this chapter and will result in an appropriate, safe, and desirable development promoting the public health, safety, and welfare of the community.

Findings of Fact: The proposed project as identified and referenced in Finding No. 1, above, is located within the Single-Family Residential (R-1) zoning district and has been determined to be aesthetically and architecturally pleasing and compatible with the neighborhood. The proposed neighborhood is contemporary and true to style with the surrounding homes, resulting in high quality architectural design appropriate and desirable for the surrounding community. The proposed development will enhance the character of the surrounding residential area through appropriate attention to aesthetics and design.

The project includes street improvements: sidewalks, drainage, grading and perimeter and privacy walls to provide a safe and well-designed neighborhood. The proposed neighborhood has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety.

Finding No. 3: The proposal, in its design and appearance, is aesthetically and architecturally pleasing resulting in a safe, well-designed facility while enhancing the character of the surrounding neighborhood.

Findings of Fact: The proposed project identified in Finding No. 1 and Finding No. 2, above, will result in much needed and appropriate improvements, not only for the project site, but the surrounding area as well. The project includes street improvements: sidewalks, drainage, grading and perimeter and privacy walls to provide a safe and well-designed neighborhood. The proposed neighborhood has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety. The proposed

project will provide a safe design for normal public access. These structures will be built pursuant to all applicable building, zoning, and fire codes and standards and, therefore, shall promote the public health, safety, and welfare of the surrounding community.

Finding No. 4: **The site improvements are appropriate and will result in a safe, well-designed facility.**

Findings of Fact: The proposed project as identified and referenced in Finding No. 1, Finding No. 2, and Finding No. 3, above, has been determined to be appropriate and will result in a safe, well-designed development. The Tract has been designed and will be developed with appropriate pavement, curb, cutter, and sidewalk. The proposed project has been reviewed by Planning, Engineering, Building and Safety, and Fontana Fire Prevention for site circulation, access, and safety. The character of the surrounding neighborhood reflects residential uses consisting of both single-family and multi-family dwellings.

SECTION NO. 4. Based on the foregoing, the City of Fontana Planning Commission determines that this project is Categorically Exempt pursuant to Section 15332 Class 32, (Infill Development) of the California Environmental Quality Act (CEQA), and Section No. 3.22 of the Local 2019 Guidelines for Implementing CEQA. based on the following: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value, as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) The site can be adequately served by all required utilities and public services; and that further, there are no unusual circumstances present under 15300.2 that could provide an exception under 15300.2.

SECTION NO. 5. Based on the foregoing, the City of Fontana's Planning Commission hereby approves Variance No. 21-002, Tentative Tract Map 20307 (TTM No. 21-001), and Design Review No. 21-031, subject to the conditions of approval, which are attached hereto as **Exhibits "A and B"** to this Resolution and incorporated herein by this reference.

SECTION NO. 6. Resolution Regarding Custodian of Record: The documents and materials that constitute the record of proceedings on which this Resolution has been based are located at the Community Development Department – Planning Department, 8353 Sierra Avenue, Fontana, CA 92335. This information is provided in compliance with Public Resources Code, Section No. 21081.6.

SECTION NO. 7. The Secretary shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Fontana, California, at a regular meeting held on this **6th day of September 2022**.

City of Fontana

Cathline Fort, Chairperson

ATTEST:

I, Idilio Sanchez, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the **6th day of September 2022**, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Idilio Sanchez, Secretary

Exhibit “A”



**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 21-017
Tentative Tract Map 20307 (TTM No. 21-001) **DATE:** September 6, 2022

LOCATION: The project site is located on the southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13).

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Tentative Tract Map shall become null and void two (2) years from the date of approval unless the Final map is recorded or the applicant applies for an extension of time in accordance with the provisions in the Subdivision Map Act and the provisions in the City's Municipal Code.
3. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
4. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of the work.
5. The applicant shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of the Planning Department. A note to this effect shall be placed on the map prior to recordation of the final map.
6. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections No. 30-30 and Sections No. 30-31 of the Municipal Code.
7. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe.

Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

8. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.

Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:

- i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.
9. Prior to issuance of building permits, the project proponent shall pay the City's development impact fees.

Prior to Issuance of Building /Construction Permits

10. The applicant/developer/property owner shall provide clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.
11. The mailboxes shall be made of durable material and shall be installed in a manner that is resistant to vandalism and meets the requirements of the Post Office. The Post Office currently approves freestanding mailboxes that are F-series and wall-mounted boxes that are 4C series. The developer is responsible for contacting the Post Office for the type and location of the mailboxes within their development. Any replacements of the mailboxes subsequent to the original installation shall be the responsibility of the developer, each individual homeowner and/or the homeowners association, and the Post Office.

BUILDING AND SAFETY DIVISION:

12. The applicant/developer/property owner shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code
13. The applicant/developer/property owner shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
14. The applicant/developer/property owner shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
15. The applicant/developer/property owner shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
16. The applicant/developer/property owner shall have the tract map recorded prior to the issuance of any building permits.

17. The applicant/developer/property owner shall comply with the following grading requirements:
- A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.
 - B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.
 - F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.

The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
 - I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.);
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.);
 - iii. All proposed drainage structures;
 - iv. Any proposed and/or required walls or fencing.
18. The applicant/developer/property owner shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

19. The applicant/developer/property owner shall provide video footage of all sewer lines after installation, prior to final.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

20. The following items shall be completed and/or submitted to Building & Safety – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector

ENGINEERING DEPARTMENT:

21. The project shall be served by the City's sanitary sewer system, all sewer facilities shall be constructed in accordance with the City Standards. Main trunk sewer line shall be in accordance with master sanitary sewer plan or as approved by the City Engineer.
22. The Applicant shall obtain design and plan approval from all utility providers having jurisdiction over the on-site and off-site utilities. Completion of all undergrounding of on-site and off-site utilities is required by Section 27-52 of the City Municipal Code and in accordance with plans and specifications approved by the City Engineer.
23. The Applicant shall maintain all improvements and utilities within the public right-of-way, including street sweeping, prior to issuance of final certificate of occupancy by the City.

PRIOR TO ISSUANCE OF GRADING PERMIT

24. The Applicant shall submit and gain approval of a complete Water Quality Management Plan report in accordance with the County of San Bernardino Technical Guidance Document and latest template.

PRIOR TO MAP RECORDATION

25. Applicant shall provide a Subdivision Improvement Agreement, with accompanying security. The agreement shall be executed on City-provided forms.
26. Applicant shall record Community Facility District (CFD) map as required for the development.

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS

27. The Applicant shall record all map's, right-of-way dedications, easements, as required

for the development.

28. The Applicant shall submit engineered improvement plans and obtain full approval. All required public improvements, including but not limited to streets, storm drainage systems, sewers, traffic signals, streetlights, striping, signs, landscape, and any required traffic control and/or detour plans. All plans shall conform to City Standards and Specifications, and as approved by the City Engineer.

PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

29. The Applicant/Engineer to provide the City of Fontana with As Built/Record Drawings for all public improvement plans.
30. The Applicant/Engineer shall provide centerline ties to the City of Fontana reflecting proper setting of all survey monuments within the project limits and replace any existing survey monuments damaged or removed during construction.
31. The Applicant/Engineer shall set survey monuments as required by the map and corner records must be recorded with the County.
32. The Applicant/Landscape Architect shall provide a "Landscape Certificate of Compliance" certifying that the work has been designed, installed, and will be maintained in accordance with the City of Fontana's Model Water Efficiency Landscape Ordinance (Ordinance 1743, FCC Section 28).
33. All sewers and storm drains shall be video inspected by applicant/contractor. Sewer video shall include clean-out connection, clean-out to lateral segment, lateral, and main line. Storm drain video shall include main lines and laterals. Applicant shall provide a copy of the video on DVD or flash drive to inspection staff. Videos to be inspected and approved by City Inspection. If removal and replacement of any utility is required, a subsequent video of the repair will be required.
34. The Applicant/Engineer of Record shall submit a conforming copy of the recorded Memorandum of Agreement for the Water Quality Management Plan and Storm Water Best Management Practices Transfer. The Access, Maintenance, and the WQMP Certification for BMP Completion must be submitted to the City Project Engineer.

FIRE PROTECTION DISTRICT:

35. Jurisdiction. The above referenced project is under the jurisdiction of the San Bernardino County Fire Department (herein "Fire Department"). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances and standards of the Fire Department.

36. Fire Access Road Width. Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code sec 503, SBCFD Standard 503.1
37. Turnaround. An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; and all roadways shall not exceed a 12 % grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns.
38. Water System Residential. Prior to map recordation, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix B of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet shall be provided. All fire hydrants shall be spaced no more than six hundred (600) feet as measured along vehicular travel-ways. California Fire Code sec 508, SBCFD Standard 508.1
39. The Fire Flow for this project shall be: 1500 GPM for a 2 hour duration at 20 psi residual operating pressure. Fire Flow is based on a 2000 sq.ft. structure.

The Fire Flow for this project shall be: 1,000 GPM for a 2 hour duration at 20 psi residual operating pressure. Fire Flow is based on a 3600 sq. ft. structure Max.
40. Hydrant Marking. Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCFD Standard 508.5.2.
41. Water System Certification. The applicant shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the job-site.
42. Fire Sprinkler-NFPA #13D. An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. SBCFD Standard 903D.
43. Residential Addressing. The street address shall be installed on the building with numbers that are a minimum of four (4) inches in height and with a one half (1/2) inch stroke. The address shall be visible from the street. During the hours of darkness,

the numbers shall be internally and electrically illuminated with a low voltage power source. Numbers shall contrast with their background and be legible from the street. Where the building is fifty (50) feet or more from the roadway, additional contrasting four (4) inch numbers shall be displayed at the property access entrances. California Fire Code sec. 505, SBCFD Standard 505.1

44. Security Gates. In commercial, industrial and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. SBCFD Standard 503.1.2
45. Secondary Access. The development shall have a minimum of 2 points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCFD Standard 503.1
46. Spark Arrestor. An approved spark arrestor is required. Every chimney that is used in conjunction with any fireplace or any heating appliance in which solid or liquid fuel are used, shall have an approved spark arrestor visible from the ground that is maintained in conformance with Fire Department requirements. California Building Code sec. 2082.

MANAGEMENT SERVICES:

47. To eliminate the negative fiscal impact on municipal services associated with this proposal, the project will be required to annex into an existing community facilities district (CFD) or form a new community facilities district (CFD) for the purpose of financing the costs of maintenance and operation of the street lighting, landscaping, parkways and the removal of or cover of graffiti within the boundaries of, or along the perimeter of the district. The district's annual levy will include an amount for the maintenance of city parks. The city will determine which is more appropriate for the project, establishing a new district or annexing into an existing district. The district formation or annexation must be completed prior to the issuance of building permits.

END OF CONDITIONS OF APPROVAL

Exhibit “B”



**CITY OF FONTANA
CONDITIONS OF APPROVAL**

PROJECT: Master Case No. 21-017
Design Review No. 21-005

DATE: September 6, 2022

LOCATION: The project site is located on the southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13).

PLANNING DEPARTMENT:

1. The applicant/developer/property owner shall defend, indemnify, protect and hold harmless the City of Fontana or its agents, officers, attorneys and employees from any and all actual or alleged claims, actions or proceedings against the City of Fontana or its agents, officers, attorneys or employees to attack, set aside, void, annul or seek monetary damages arising out of any challenge to the applicant's proposed project or to any approvals of the Planning Commission and/or City Council concerning this project, including but not limited to actions challenging CEQA actions, permits, variances, plot plans, design plans, maps, licenses, and amendments. The City of Fontana shall promptly notify the applicant of any claim, action, or proceeding and the City of Fontana shall cooperate in the defense.

In the event of any such third-party action or proceeding, the City shall have the right to retain legal counsel. The applicant shall be responsible and reimburse the City for such legal fees and costs, in their entirety, including actual attorneys' fees, which may be incurred by the City in defense of such action or proceeding. This indemnification shall also include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorneys' fees, and other costs,

liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by applicant, the City and/or any parties bringing such forth.

The City of Fontana and the applicant acknowledge that the City would not have approved this project if the City were to be liable to applicant in damages under or with respect to all or any part of this application or this condition of approval. Accordingly, applicant shall not sue the City for damages or monetary relief for any matter arising from or related to this condition of approval. Applicant's sole and exclusive remedy shall be limited to declaratory/injunctive relief, mandate, and/or specific performance.

2. This Design Review shall become null and void two (2) years from the date of approval, unless the appropriate permits have been obtained and construction, defined as permit obtainment, commencement of construction of the primary building on site, and successful completion of the first Building and Safety Division inspection, has commenced within this period.
3. All Conditions of Approval contained herein shall be incorporated into all applicable final construction plans and a copy of these conditions shall be placed on a sheet in the final building and grading plans prior to issuance of any building or grading permits.
4. The rights and privileges granted by this project shall not become effective, nor shall the Applicant commence the use for which this project is granted, until all of the following have occurred:
 - A. All requirements of the City of Fontana's Municipal Code shall be complied with.
 - B. All Conditions of Approval imposed on this project have been fulfilled.
 - C. All of the improvements, construction, alteration, and other work set forth in this project have been completed and have been accepted by the City, as evidenced by the City's final inspection and acceptance of work.
5. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Director of the Planning Department or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the occupancy of the residential structure until corrections are approved in writing by all appropriate staff.
6. The Director of the Planning Department, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural relief. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
7. Upon discovery of any cultural tribal cultural or archaeological resources, cease construction activities in the immediate vicinity of the find until the find can be

assessed. All cultural tribal and archaeological resources unearthed by project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant. If the resources are Native American in origin, interested Tribes (as a result of correspondence with area Tribes) shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the Tribe will request preservation in place or recovery for educational purposes. Work may continue other parts of the project while evaluation takes place.

Preservation in place shall be the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavation to remove the resource along the subsequent laboratory processing and analysis. All Tribal Cultural Resources shall be returned to the Tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the Tribe or a local school or historical society in the area for educational purposes.

Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel shall meet the Secretary of the Interior standards for archaeology and have a minimum of 10 years' experience as a principal investigator working with Native American archaeological sites in southern California. The Qualified Archaeologist shall ensure that all other personnel are appropriately trained and qualified.

8. The construction contractor will use the following source controls at all times:
 - A. Use of noise-producing equipment will be limited to the interval from 8:00 a.m. to 5:00 p.m., Monday through Friday.
 - B. For all noise-producing equipment, use types and models that have the lowest horsepower and the lowest noise generating potential practical for their intended use.
 - C. The construction contractor will ensure that all construction equipment, fixed or mobile, is properly operating (tuned-up) and lubricated, and that mufflers are working adequately.
 - D. Have only necessary equipment onsite.
 - E. Use manually adjustable or ambient-sensitive backup alarms. When working adjacent to residential use(s), the construction contractor will also use the following path controls, except where not physically feasible, when necessary:
 - i. Install portable noise barriers, including solid structures and noise blankets, between the active noise sources and the nearest noise receivers.
 - ii. Temporarily enclose localized and stationary noise sources.

9. Foam treatment used for architecture features and/or projections located on the first floor (under 14-foot) shall be covered with concrete or similar durable material a minimum of ¼ inch thick, or as determined by the Director of the Planning Department.
10. If solar panel systems are installed on the roof of any residential structure, the installation shall be on top or above the approved roof tile. If a solar panel system is flush mounted to the roof, matching roof tiles shall be replaced immediately upon removal of the solar panels.
11. All garage doors shall be metal, sectional roll-up and have windows.
12. Wall-mounted decorative lighting fixtures shall be provided at the front porch area as well as on each side of the garage door.
13. Prior to the issuance of a Certificate of Occupancy, the applicant/developer/property owner shall underground all utilities, which for the purpose of this condition shall also include all boxes, structures and/or other equipment located in the public right-of-way, any public utility easement(s) and on any private property, to the satisfaction of the Director of the Planning Department or his/her designee.
14. All new block walls shall be constructed with a decorative block and capped with a prefabricated block cap.
15. The following electrical outlets and garage door opener will be provided in all garages:
 - A. Install one automatic garage door opener for the double garage door.
 - B. Install at least one duplex receptacle within garage.
16. In the event that one or more of the Conditions of Approval for this project needs to be amended and/or deleted due to health, safety or welfare concerns, the City Manager is authorized to approve or conditionally approve such amendment/deletion, provided that City manager shall bring such proposed amendment/deletion to the City Council at the next available meeting for City Council ratification, but in no event later than sixty (60) days following the City Manger's decision. The noticing of such City Council meeting for possible ratification shall be pursuant to Sections No. 30-30 and Sections No. 30-31 of the Municipal Code.

Prior to Issuance of Building /Construction Permits

17. The applicant/developer/property owner shall provide clustered and/or individual mailbox(es) for the delivery of mail to future residents of the development. The location shall be convenient for the residents and not block the line-of-sight for pedestrians or vehicle traffic.
18. The mailboxes shall be made of durable material and shall be installed in a manner that is resistant to vandalism and meets the requirements of the Post Office. The Post Office currently approves freestanding mailboxes that are F-series and wall-mounted boxes that are 4C series. The developer is responsible for contacting

the Post Office for the type and location of the mailboxes within their development. Any replacements of the mailboxes subsequent to the original installation shall be the responsibility of the developer, each individual homeowner and/or the homeowners association, and the Post Office.

BUILDING AND SAFETY DIVISION:

19. The applicant/developer/property owner shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Electrical Code
 - D. California Mechanical Code
 - E. California Plumbing Code
 - F. California Energy Code
 - G. California Fire Code
 - H. California Green Building Standards Code
20. The applicant/developer/property owner shall install an automatic fire suppression system, which is required in all new construction per FMC Chapter 11 Article II. Design and type of system shall be based upon the requirements of the Building Code, Fire Code and the requirements of the Fontana Fire Prevention District.
21. The applicant/developer/property owner shall verify that any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project complies with FMC Chapter 5 Article XIV.
22. The applicant/developer/property owner shall verify that all perimeter/boundary walls are designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
23. The applicant/developer/property owner shall have the tract map recorded prior to the issuance of any building permits.
24. The applicant/developer/property owner shall comply with the following grading requirements:
 - A. Grading plans shall be submitted to and approved by Building & Safety. The grading plans shall indicate all site improvements and shall indicate complete drainage paths of all drainage water run-offs.

- B. All drainage water shall drain via approved methods to an approved location, such as a public street, a public drainage system, etc.
 - C. Drainage water shall not cross over a public sidewalk. Drainage water may, however, cross under a sidewalk if an approved drainage structure is used.
 - D. A recorded drainage acceptance agreement is required from adjoining property(s) receiving flows from this property.
 - E. No water course or natural drainage shall be obstructed.
 - F. Minimum slope or grade for ALL drainage structures shall be one half (0.50) percent for concrete and one (1.0) percent for all other, or as otherwise approved by the Building Official.
 - G. Drainage water shall not pass from an 'improved' type of drainage structure to an 'unimproved' type of drainage structure (e.g., concrete swale to a dirt swale) unless otherwise approved by the Building Official.
 - H. A complete hydrology study using the latest edition of the San Bernardino County Flood Control Hydrology Manual, and complete hydraulic calculations justifying the size, slope, capacity, etc. of any and all drainage structures being utilized, shall be submitted to and approved by Building & Safety.
The on-site drainage system shall, as a minimum, be designed to handle the run-off generated by a ten (10) year storm. Check for flooding of all on-site structures (buildings) and all adjacent properties during a hundred (100) year storm.
 - I. The grading plans shall, as a minimum, contain sections at all lot lines and/or permit boundary lines. These sections shall clearly indicate:
 - i. The relationship between the proposed finished on-site grade elevations and the existing adjacent property grade elevations (Indicate any additional drainage water that may come from an adjacent property.);
 - ii. The ground cover/finished surface material being proposed (e.g., type of pavement, plant material, etc.);
 - iii. All proposed drainage structures;
 - iv. Any proposed and/or required walls or fencing.
25. The applicant/developer/property owner shall verify that all exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
26. The applicant/developer/property owner shall provide video footage of all sewer lines after installation, prior to final.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

27. The following items shall be completed and/or submitted to Building & Safety – as applicable – prior to the issuance of building permits for this project:
- A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off by a City Building Inspector

ENGINEERING DEPARTMENT:

28. All Conditions of Approval issued to Tentative Tract Map No. 20307 shall apply.
29. Applicant shall pay all applicable service fees pursuant to the City of Fontana Municipal Code.

FIRE PROTECTION DISTRICT:

30. Jurisdiction. The above referenced project is under the jurisdiction of the San Bernardino County Fire Department (herein “Fire Department”). Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances and standards of the Fire Department.
31. Fire Access Road Width. Prior to map recordation, all fire access roadways shall be designed to meet the requirements for this development and shall be approved by the Fire Department. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height. California Fire Code sec 503, SBCFD Standard 503.1
32. Turnaround. An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; and all roadways shall not exceed a 12 % grade and have a minimum of nineteen (19) foot inside radius and a forty-five (45) foot outside radius for all turns.
33. Water System Residential. Prior to map recordation, all water supply systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using Appendix B of the California Fire Code. A minimum of one new six (6) inch fire hydrant assembly with two (2) two and one half (2 1/2) inch and one (1) four (4) inch outlet shall be provided. All fire hydrants shall be spaced no more than six hundred

(600) feet as measured along vehicular travel-ways. California Fire Code sec 508, SBCFD Standard 508.1

34. The Fire Flow for this project shall be: 1500 GPM for a 2 hour duration at 20 psi residual operating pressure. Fire Flow is based on a 2000 sq.ft. structure.

The Fire Flow for this project shall be: 1,000 GPM for a 2 hour duration at 20 psi residual operating pressure. Fire Flow is based on a 3600 sq. ft. structure Max.

35. Hydrant Marking. Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. SBCFD Standard 508.5.2.
36. Water System Certification. The applicant shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the job-site.
37. Fire Sprinkler-NFPA #13D. An automatic life safety fire sprinkler system complying with NFPA 13D and Fire Department standards is required. A fire sprinkler contractor shall submit three (3) sets of detailed plans with hydraulic calculations and manufacturer specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. SBCFD Standard 903D.
38. Residential Addressing. The street address shall be installed on the building with numbers that are a minimum of four (4) inches in height and with a one half (½) inch stroke. The address shall be visible from the street. During the hours of darkness, the numbers shall be internally and electrically illuminated with a low voltage power source. Numbers shall contrast with their background and be legible from the street. Where the building is fifty (50) feet or more from the roadway, additional contrasting four (4) inch numbers shall be displayed at the property access entrances. California Fire Code sec. 505, SBCFD Standard 505.1
39. Security Gates. In commercial, industrial and multi-family complexes, all swing gates shall have an approved fire department Knox Lock. Where an automatic electric security gate is used, an approved Fire Department override switch is required. SBCFD Standard 503.1.2
40. Secondary Access. The development shall have a minimum of 2 points of vehicular access during each phase of construction for fire and emergency access purposes and for evacuation routes. SBCFD Standard 503.1
41. Spark Arrestor. An approved spark arrestor is required. Every chimney that is used in conjunction with any fireplace or any heating appliance in which solid or liquid fuel are used, shall have an approved spark arrestor visible from the ground that is maintained in conformance with Fire Department requirements. California Building Code sec. 2082.

MANAGEMENT SERVICES:

42. To eliminate the negative fiscal impact on municipal services associated with this proposal, the project will be required to annex into an existing community facilities district (CFD) or form a new community facilities district (CFD) for the purpose of financing the costs of maintenance and operation of the street lighting, landscaping, parkways and the removal of or cover of graffiti within the boundaries of, or along the perimeter of the district. The district's annual levy will include an amount for the maintenance of city parks. The city will determine which is more appropriate for the project, establishing a new district or annexing into an existing district. The district formation or annexation must be completed prior to the issuance of building permits.

END OF CONDITIONS OF APPROVAL



NOTICE OF EXEMPTION

TO: Clerk of the Board of Supervisors
County of San Bernardino
385 N. Arrowhead Avenue, 2nd Floor
San Bernardino, CA 92415-0130

FROM: City of Fontana
Planning Department
8353 Sierra Avenue
Fontana, CA 92335

1. Project Title: **Master Case No. MCN21-017**
Variance No. 21-002
Tentative Tract Map No. 20307 (TTM No. 21-001)
Design Review No. 21-005
2. Project Location: **The project site is located on the southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13)**
3. (a) Project Location - City: **Fontana, CA 92335**
(b) Project Location - County: **San Bernardino**
4. Description of nature, purpose, and beneficiaries of Project: **A request to subdivide an existing parcel compromised of approximately 2.3 acres into nine individual lots and construct nine two-story single-family homes and nine detached single-story nonstandard dwelling units along with a variance to reduce the required lot depth.**
5. Name of Public Agency approving project: **City of Fontana**
6. Name of Person or Agency carrying out project: **Omar Marroquin, 1188 W Marshall Blvd., San Bernardino CA 92405**
7. Exempt status: (Check one)
 - (a) ☐ Ministerial project.
 - (b) ☐ Not a project.
 - (c) ☐ Emergency Project.
 - (d) ☒ Categorical Exemption. State type and class number: **Exempt under Section No. 15332 (Class 32, In-Fill Development Projects) of the California Environmental Quality Act and Section No. 3-13 (Certain Infill Projects) of the 2019 Local Guidelines for Implementing CEQA.**
 - (e) ☐ Declared Emergency.
 - (f) ☐ Statutory Exemption. State Code section number:
 - (g) ☐ Other Explanation: _____
8. Reason why project was exempt: **The project is categorically exempt from the California Environmental Quality Act (CEQA) because the Project includes development of a site less than five acres in size in accordance with the City's General Plan land use and zoning designations. The site is substantially surrounded by urban uses and does not contain habitat for endangered, rare, or threatened species. The Project would not result in significant effects to traffic, noise, air quality, or water quality, and the Project would be adequately served by all required utilities and public services.**



NOTICE OF EXEMPTION

9. Contact Person: Rina Leung, Senior Planner

Telephone: (909) 350-6566

Date Received for Filing:

(Clerk Stamp Here)

Rina Leung
Senior Planner



NOTICE OF PUBLIC HEARING

SI DESEA INFORMACION EN ESPAÑOL REFERENTE A ESTA NOTIFICACION O PROYECTO, FAVOR DE COMUNICARSE AL (909) 350-6728.

In compliance with Section No. 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Department by calling (909) 350-7602. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE PLANNING COMMISSION OF THE CITY OF FONTANA FOR THE FOLLOWING:

Master Case (MCN) No. 21-017/ Tentative Tract Map 20307 (TTM 21-001)/ Design Review (DRP) No. 21-005/ Variance (VAR) No. 21-002: A request to subdivide an existing parcel comprised of approximately 2.3 acres into nine individual lots and construct nine two-story single family homes and nine detached single-story nonstandard accessory dwelling units along with a variance to reduce the required lot depth.

Environmental Determination:

This project qualifies for a categorical exemption pursuant to Section No. 15332 (In-Fill Projects) of the California Environmental Quality Act and Section No. 3.18 of the 2019 Local Guidelines for implementing CEQA.

Location of Property:

Southwest corner of Oleander Avenue and Randall Avenue (APN: 0193-172-13).

Date of Hearing:

September 6, 2022

Place of Hearing:

City Hall Council Chambers
8353 Sierra Avenue

Fontana, CA 92335

Time of Hearing:

6:00 P.M.



Should you have any questions concerning this project, please contact Rina Leung, Senior Planner, at (909) 350-6566 or rleung@fontana.org

ANY INTERESTED PARTY MAY PROVIDE INFORMATION BY LETTER OR EMAIL WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION. PLEASE CONTACT THE PLANNER LISTED ABOVE.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.



City of Fontana

8353 Sierra Avenue
Fontana, CA 92335

Action Report

Planning Commission

File #: 21-1639
Agenda #: DC-A

Agenda Date: 9/6/2022
Category: Director Comments

Director's Communications: Upcoming City Council and Planning Commission memos.



MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming City Council Items

DATE: September 6, 2022

The items listed below are for agenda forecast purposes and are subject to change.

<u>CITY COUNCIL SEPTEMBER 13, 2022</u>	<u>PLANNER</u>	<u>PLACEMENT</u>
1. 2nd Reading – Adoption of Ordinance No. 1897 & 1900 MCN#21-040; GPA#21-001; ZCA#21-002; DRP#21-014; AGR#22-001 Industrial Commerce Building of approximately 102,000 square feet Sierra Ave. and Summit Ave.	Cecily Session-Goins	Consent Calendar
2. 2nd Reading – Adoption of Ordinance No. 1901 MCN#21-123; GPA#21-009; ZCA#21-011; TTM#20513 (21-008); CUP#21-022; DRP#21-047 76 Motor Court Style Single-Family Units NEC of Summit Ave. and Citrus Ave. (Citrus East)	Salvador Quintanilla	Consent Calendar
3. 2nd Reading – Adoption of Ordinance No. 1902 MCN#20-099R1; SPA#21-001; GPA#21-006 Ventana at Duncan Canyon Specific Plan East of I-15 Fwy., both north and south of Duncan Canyon Rd., and west of Citrus Ave.	Salvador Quintanilla	Consent Calendar
4. 2nd Reading – Adoption of Ordinance No. 1903 MCN#21-124; DRP#21-046; SPA#21-007; TTM#21-009 86 Attached Condo Units NEC of Summit Ave. and Citrus Ave. (Citrus West)	Alejandro Rico	Consent Calendar



Agenda for Upcoming City Council Items
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CITY COUNCIL SEPTEMBER 27, 2022

PLANNER

PLACEMENT

1. MCN#22-066; ANX#22-001
Pre-Annexation for Serena North Sewer System
13995 Foothill Blvd.

Salvador Quintanilla

Public Hearing



MEMORANDUM

TO: Planning Commission

FROM: Patty Nevins, Director of Planning *PN*

RE: Agenda for Upcoming Planning Commission Items

DATE: September 6, 2022

The items listed below are for agenda forecast purposes and are subject to change.

PLANNING COMMISSION SEPTEMBER 20, 2022	PLANNER	PLACEMENT
1. MCN#22-034; CUP#22-011 Sierra Avenue Smoke Shop 10650 Sierra Ave.	George Velarde	Public Hearing
2. MCN#22-109; DRS#22-041 Northgate Market Sign Program 9630 Sierra Ave.	Alexia De La Torre	Public Hearing
3. MCN#21-127; TTM#20431 (21-011); DRP#21-021 82-Unit Condominium Complex 8194 Cherry Ave.	Jon Dille	Public Hearing
4. MCN#22-110; MCA#22-007 Zoning and Development Code Amendments to Chapter 2, 25, 26, 30 & 33	Salvador Quintanilla	Public Hearing



Agenda for Upcoming Planning Commission Items
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PLANNING COMMISSION OCTOBER 4, 2022	PLANNER	PLACEMENT
1. MCN#21-079; DRP#21-028; TPM#21-016 406 Multi-Family Complex NWC of Foothill Blvd. and Tokay Ave.	Salvador Quintanilla	Public Hearing
2. MCN#22-051; DRP#22-027 24 Unit Apartment 8969 Newport Ave.	Jon Dille	Public Hearing